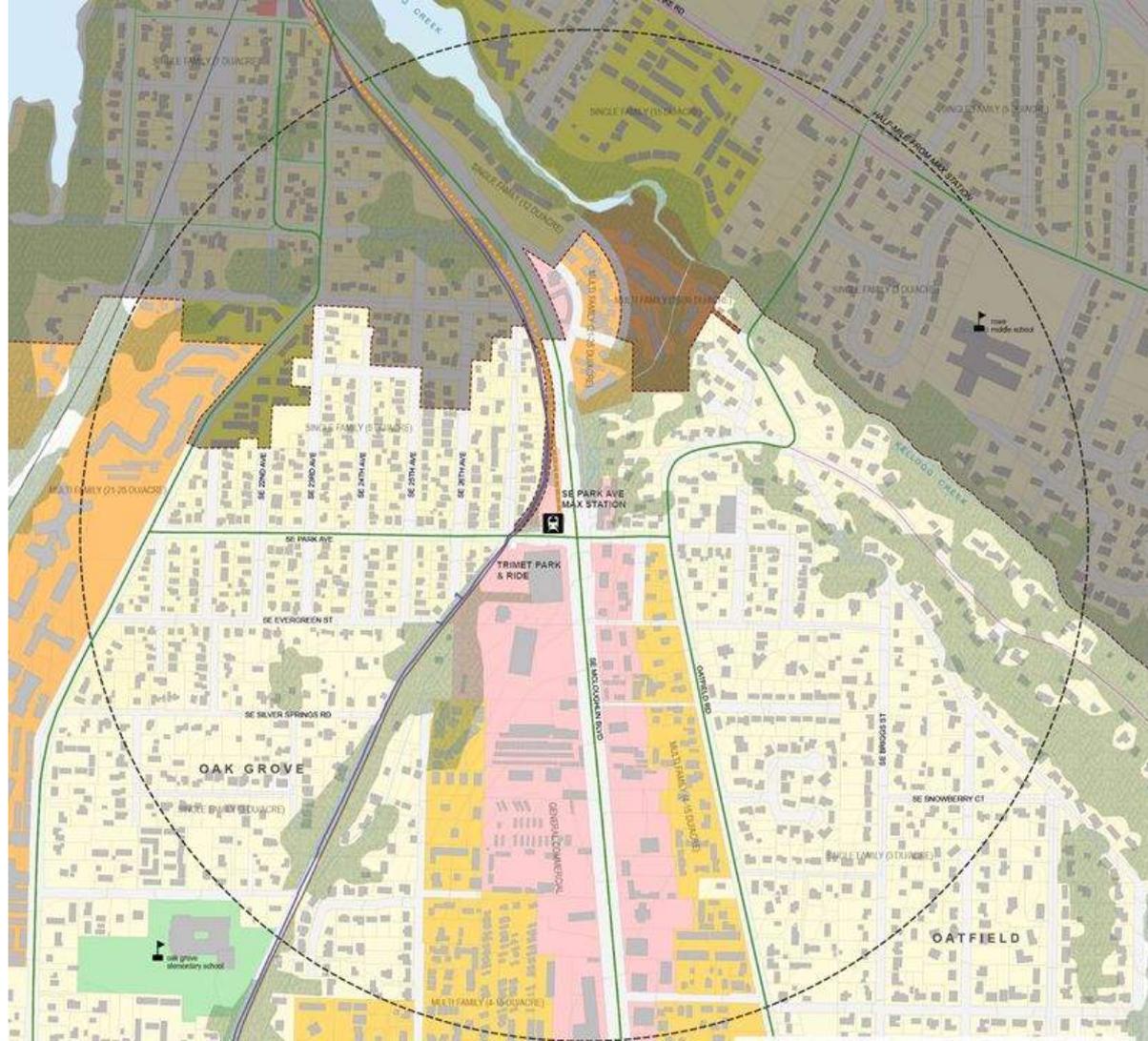


Park Ave Community Project Phase II

Public Workshop #3
September 16, 2020



PARK AVE COMMUNITY PROJECT

ACKNOWLEDGEMENTS

McLoughlin Area Plan Implementation Team
Park Ave Community Advisory Committee

Metro – 2040 Grant Funding

Clackamas County – Planning and Zoning and Business
and Community Services

SERA Architects



PARK AVE COMMUNITY PROJECT

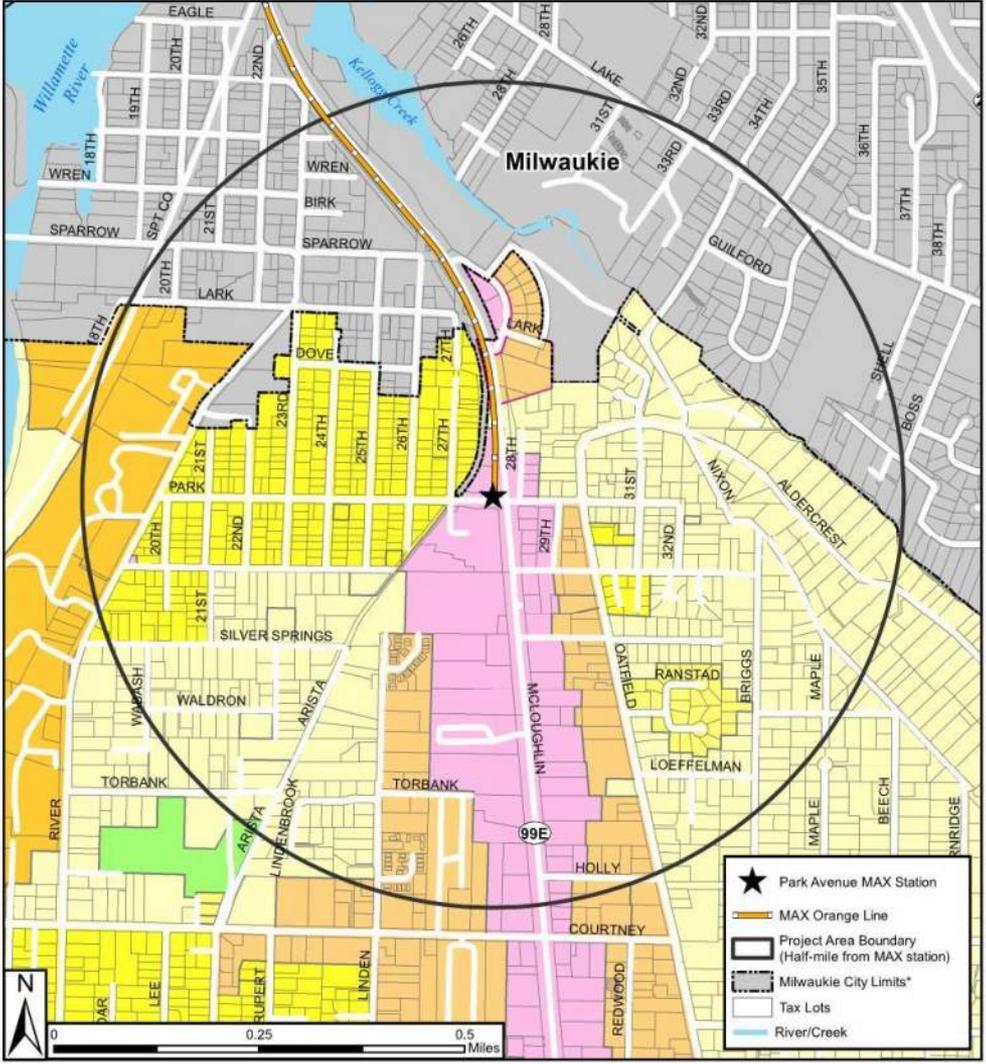
WORKSHOP AGENDA

1. Welcome & Introductions
2. Project Overview
3. Final Framework Plan
4. Zoning 101 Overview
5. Code Concepts
6. Discussion
7. Next Steps

PARK AVE COMMUNITY PROJECT STUDY AREA

CLACKAMAS COUNTY DESIGNATIONS

- Single-Family Residential, 7,000 sq ft min (R-7)
- Single-Family Residential, 8,500 sq ft min (R-8.5)
- Single-Family Residential, 10,000 sq ft min (R-10)
- Medium-Density Residential District (MR-1)
- High-Density Residential (HDR)
- Open Space Management
- General Commercial (C-3)



PARK AVE COMMUNITY PROJECT

INTRODUCTION TO THE PROJECT

- 1. Define Community Values and Vision
(Guiding Principles)**
- 2. Establish a 20+ Year Roadmap
(Framework Plan)**
- 3. Update Development & Design Standards**

Park
Area

ON THE GROUND TODAY...

Park
Area

MOULTON BLVD

PARK AVE

GC - C3

M'GLOUGHLIN BLVD

GC - C3

OATFIELD RD

MR1

MR1

COURTNEY RD



Park
Area

PARK AVE

WOLFEY RD

MCLOUGHLIN BLVD

OATFIELD RD

COURTNEY RD





PARK AVE

COURTNEY RD

2,800'

MCLOUGHLIN BLVD

COURTNEY RD

From the Park Ave station to the next intersection (Courtney Rd.) the distance is 2,800 feet.

Urban design best practice for walkable neighborhoods recommends a block size and intersection spacing that is 400-800 feet.

PARK AVE COMMUNITY PROJECT

GUIDING PRINCIPLES



Increase employment opportunities, promote innovative business ventures and enhance access to business and community services / amenities, while remaining sensitive to existing businesses adjacent to transit, along McLoughlin and along the near side streets.



Increase the diversity and accessibility of housing choices adjacent to transit along McLoughlin and along the near side streets, while maintaining sensitivity to existing residences.

PARK AVE COMMUNITY PROJECT

GUIDING PRINCIPLES



Provide **safe locations, crossings and connections** for walking, biking, transit and parking.



Cultivate a heart and hub of neighborhood activity supported by a network of **community gathering spaces** that are safe and welcoming both day and night.

PARK AVE COMMUNITY PROJECT

GUIDING PRINCIPLES



Treat **natural systems** as a benefit and an integral part of our community identity by preserving, promoting and enhancing native natural elements at a variety of scales.



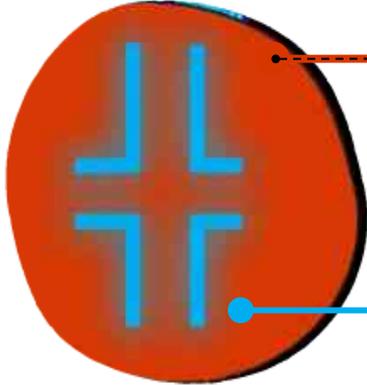
Promote **resilient, sustainable** systems and infrastructure.

Park
Area

REFINED FRAMEWORK PLAN

PARK AVE COMMUNITY PROJECT

FRAMEWORK ELEMENTS BASED ON WHAT WE HAVE HEARD...



LAND USE & DEVELOPMENT CHARACTER

Identify areas of differing character, use, and development intensity such as: housing type and density, employment centers, commercial districts, etc.

ACTIVE STREET DESIGN

Contributes to an active public realm through design that engages sidewalks and streets through techniques like: frequent building entries, transparency of ground floors, building facade variation, and limited driveway access points.

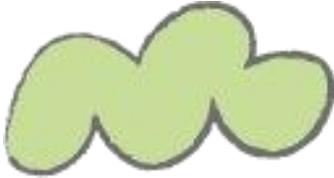


NEIGHBORHOOD/VILLAGE CENTER

A walkable heart and hub for the community, and where the community comes together for services, gathering, etc.

PARK AVE COMMUNITY PROJECT

FRAMEWORK ELEMENTS BASED ON WHAT WE HAVE HEARD...



LANDSCAPE & PLANTING IMPROVEMENTS

Enhanced landscaping and planting along existing connections. Preserve existing natural features and Oak trees.



PEDESTRIAN & BIKE IMPROVEMENTS

Provide sidewalks with landscape/planting buffers between sidewalk and any vehicles. Provide buffered/protected bike lanes.

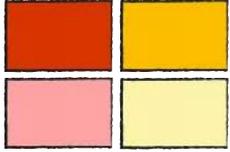


CROSSING IMPROVEMENTS

Provide a designated and safe pedestrian and bicycle crossing. Treatments at each crossing vary based on conditions.

PARK AVE COMMUNITY PROJECT

FRAMEWORK ELEMENTS BASED ON WHAT WE HAVE HEARD...



Identify areas of differing character, use, and development intensity (where do you want to see an increase of employment and housing?)



Locate desired hubs of activity



Locate active ground floor design



Locate pedestrian and bicycle improvements



Locate street crossing improvements

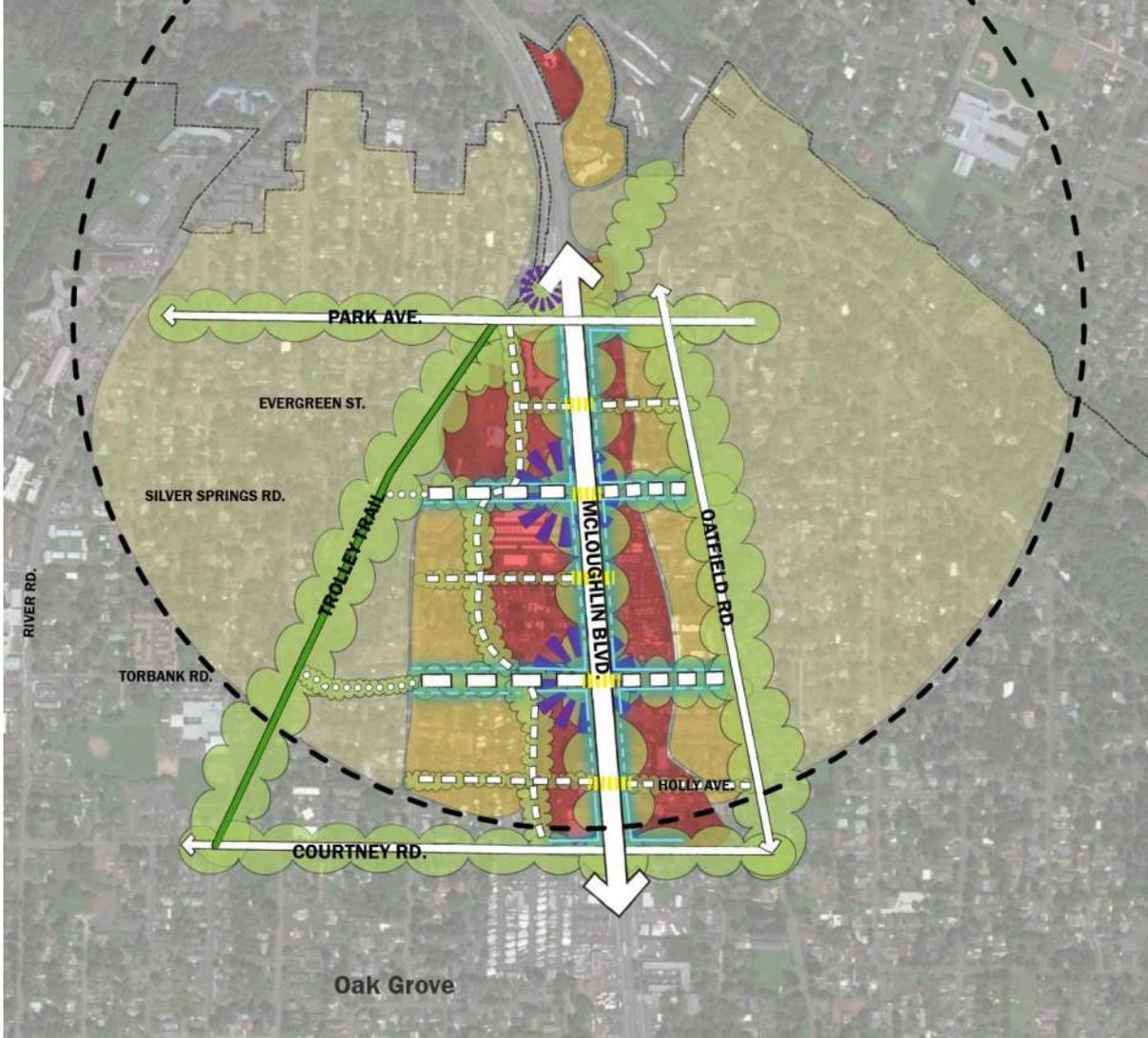


Locate opportunities for landscape and planting improvements

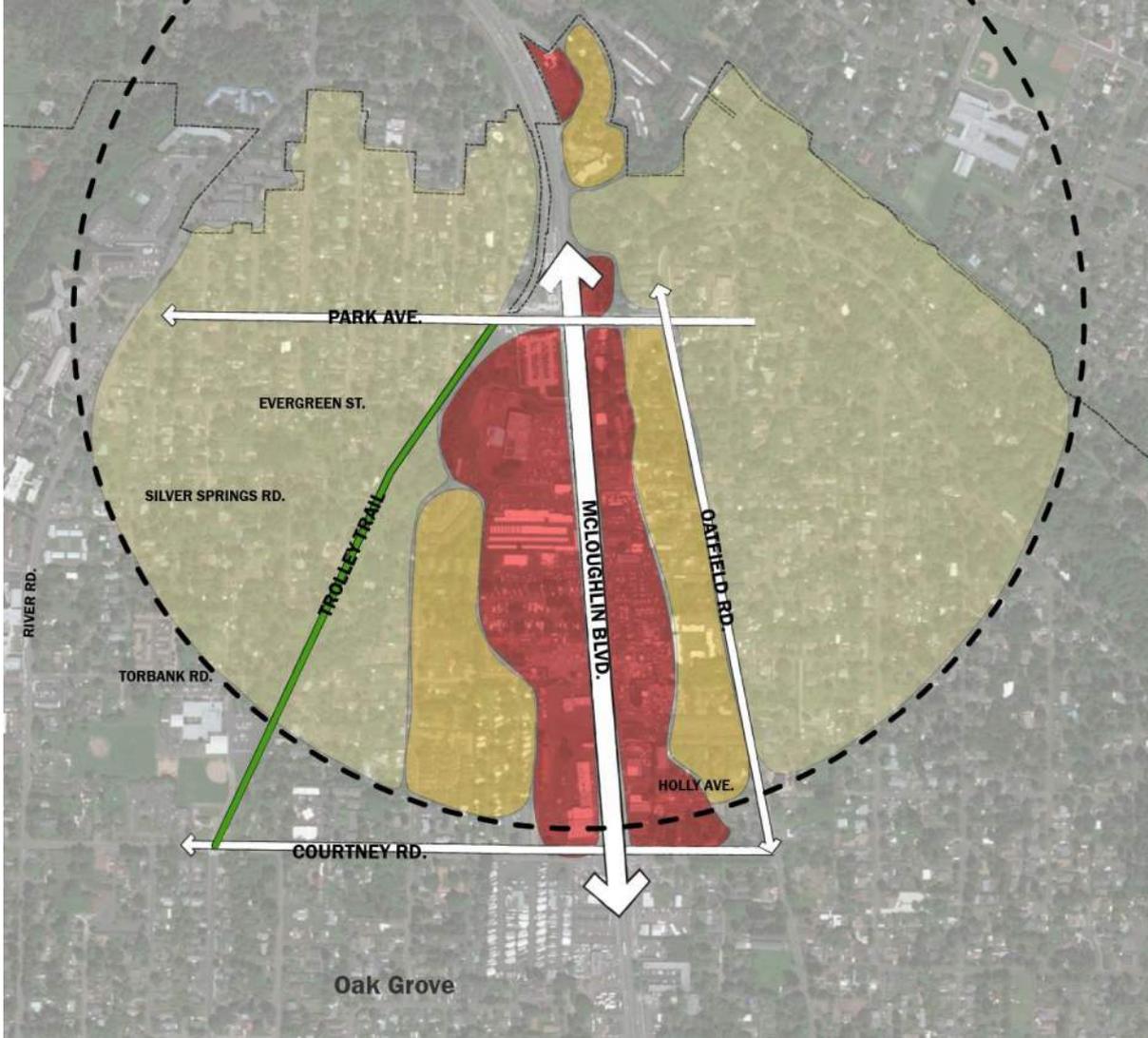
FINAL FRAMEWORK

Legend

-  Single Family Residential Zone
-  Commercial/Residential MU District
-  Multi-Family Residential Transition District
-  Green Street or Landscape Buffer
-  Active Street Design
-  Proposed Crossing Improvements
-  Recommended Bike/Ped Connection
-  Future Potential Bike/Ped Connection
-  Bike & Pedestrian Improvements along Existing Street
-  Activity Hub



DEVELOPMENT DISTRICTS



LANDSCAPE & PLANTING IMPROVEMENTS



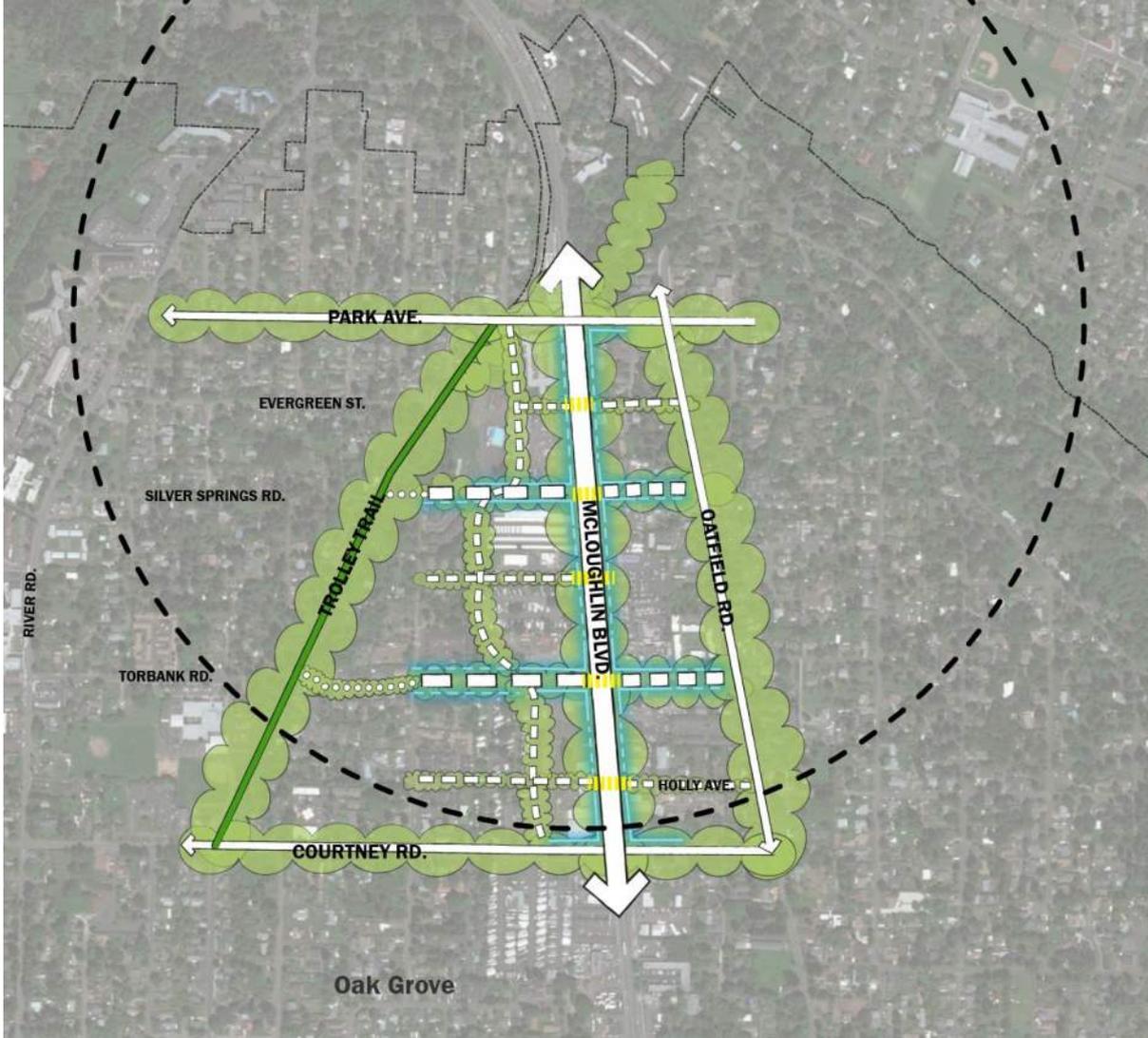
BIKE & PED CONNECTIONS



SAFE CROSSINGS



ACTIVE STREET DESIGN



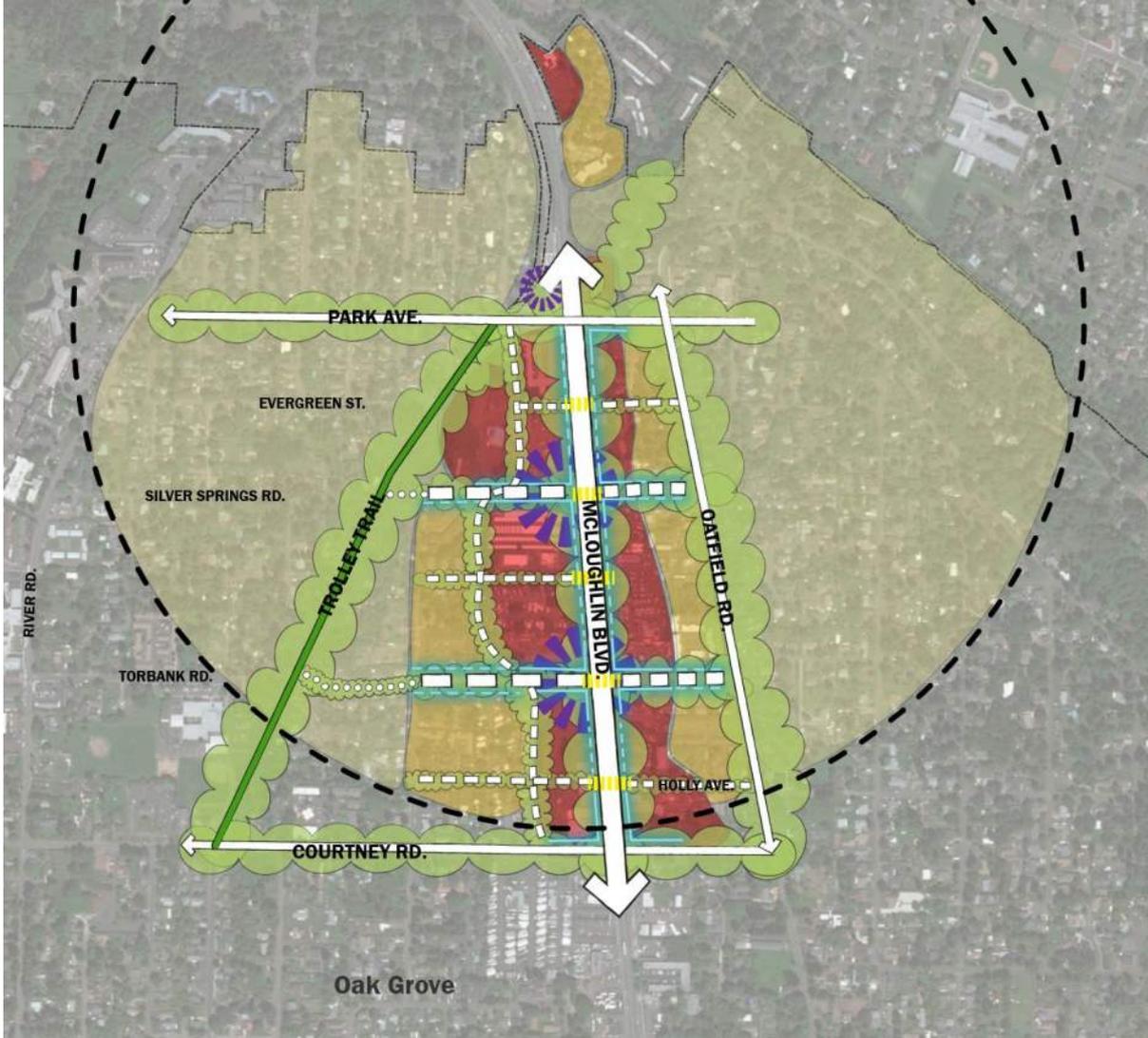
NEIGHBORHOOD HUBS



FINAL FRAMEWORK

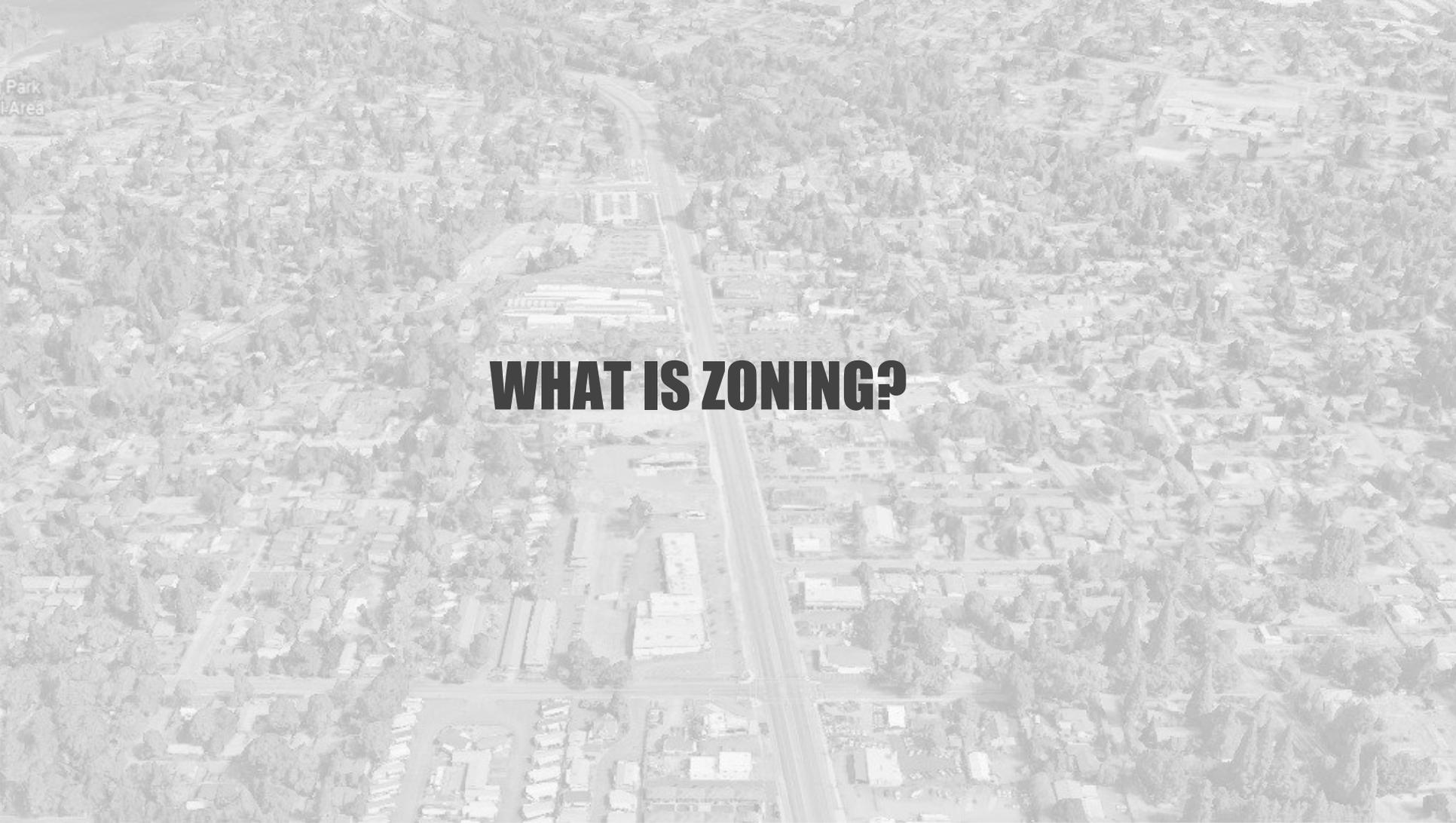
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Park
Area

WHAT IS ZONING?



ZONING 101

WHAT IS IT AND HOW DOES IT WORK?

Are “Zoning” and “Development & Design Standards” the same thing?

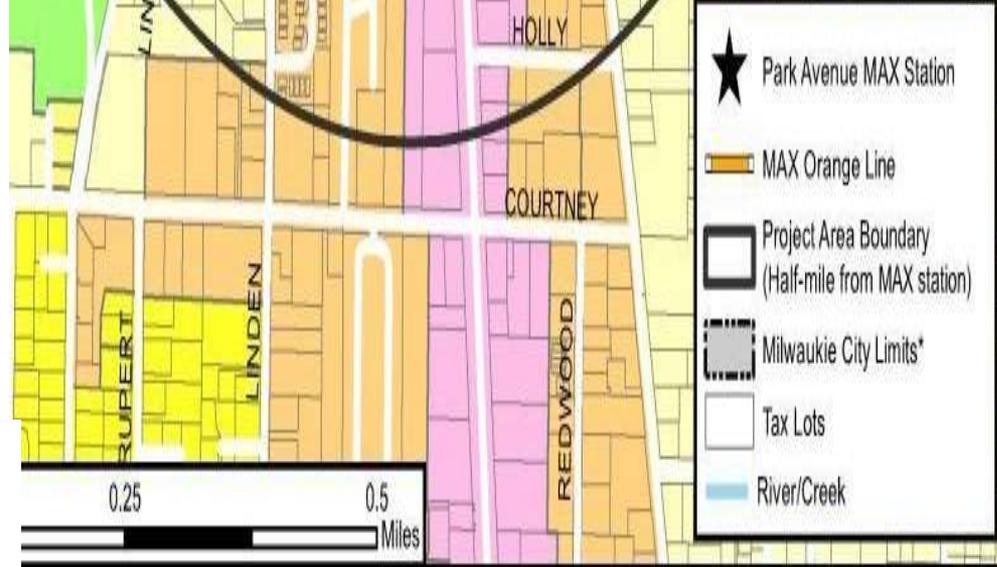
Zoning is a broad term that includes both a *mapping component* dividing an area into different “zones” and a set of *written standards* for what type of development is allowed in those zones. Development & design standards are a part of the zoning code, officially named the Zoning & Development Ordinance.

ZONING 101

ZONING MAP

CLACKAMAS COUNTY DESIGNATIONS

-  Single-Family Residential, 7,000 sq ft min (R-7)
-  Single-Family Residential, 8,500 sq ft min (R-8.5)
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AS

Park Avenue Community Project

STUDY AREA

Department of Transportation & Development
150 Beaver Creek Rd. Oregon City, OR 97045

ZONING 101

Zoning code standards address:

- What type of activity can you have?
- What must it look like?
- How do you get it approved & how is it reviewed?

ZONING 101

USES STANDARDS BY ZONE

EXAMPLE USE TABLE:

Use	NC	C-2	RCC	RTL	CC	C-3	PMU ¹	SCMU	OA ^{2,3}	OC	RCO
Civic and Cultural Facilities , including art galleries, museums, and visitor centers	P	P	P	P	P	P	P	P	P	P	P
Composting Facilities	X	X	X	X	X	X	X	X	X	X	X
Congregate Housing Facilities	X	X	p ^{7,8}	p ⁹	p ⁹	p ⁹	P	P	L	p ⁹	p ^{7,8}
Daycare Services, Adult	P	P	P	P	P	P	P	P	P	L ^{7,C}	L ^{5,C}
Drive-Thru Window Services , subject to Section 827	C	A	A ¹⁰	A	A	A	A ¹¹	X	X	A ¹¹	A ¹¹
Dwellings, Attached Single-Family	X	A	X	A	X	A	P	P	L ¹²	X	X
Dwellings, Detached Single-Family	A	A	X	A	X	A	X	X	X	X	X
Dwellings, Multifamily	X	X	p ⁷	p ⁹	p ⁹	p ⁹	P	P	L ¹³	p ⁹	p ⁷
Dwellings, Three-Family	X	X	X	P	P	P	P	P	L ¹³	P	X
Dwellings, Two-Family	X	A	X	P	P	P	P	P	L ¹³	P	X
Electric Vehicle Charging Stations	A,C	P	A	A,C	P	P	A	A	A	A	A
Employee Amenities , such as cafeterias, clinics, daycare facilities, fitness facilities, lounges, and recreational facilities	A	A	A	A	A	A	A	A	A ¹⁴	A ¹⁴	A ¹⁴
Entertainment Facilities , including arcades, billiard halls, bowling alleys, miniature golf courses, and movie theaters	C ¹⁵	p ¹⁵	p ¹⁵	P	P	P	p ¹⁵	p ^{15,16}	S	C ^{15,17}	L ^{6,15}
Farmers' Markets , subject to Section 840	P	P	P	P	P	P	P	P	P	P	P
Financial Institutions , including banks, brokerages, credit unions, loan companies, and savings and loan associations	P	P	P	P	P	P	P	P	P	P	P
Fitness Facilities , including athletic clubs, exercise studios, gymnasiums, and health clubs	p ¹⁵	p ¹⁵	p ¹⁵	P	P	P	p ¹⁵	p ^{15,16}	L ^{15,18}	C ¹⁵	L ^{15,19}

“P” = Primary Use

“A” = Accessory Use

“L” = Limited Use

“C” = Conditional (can be considered but not permitted outright)

“X” = Prohibited

ZONING 101

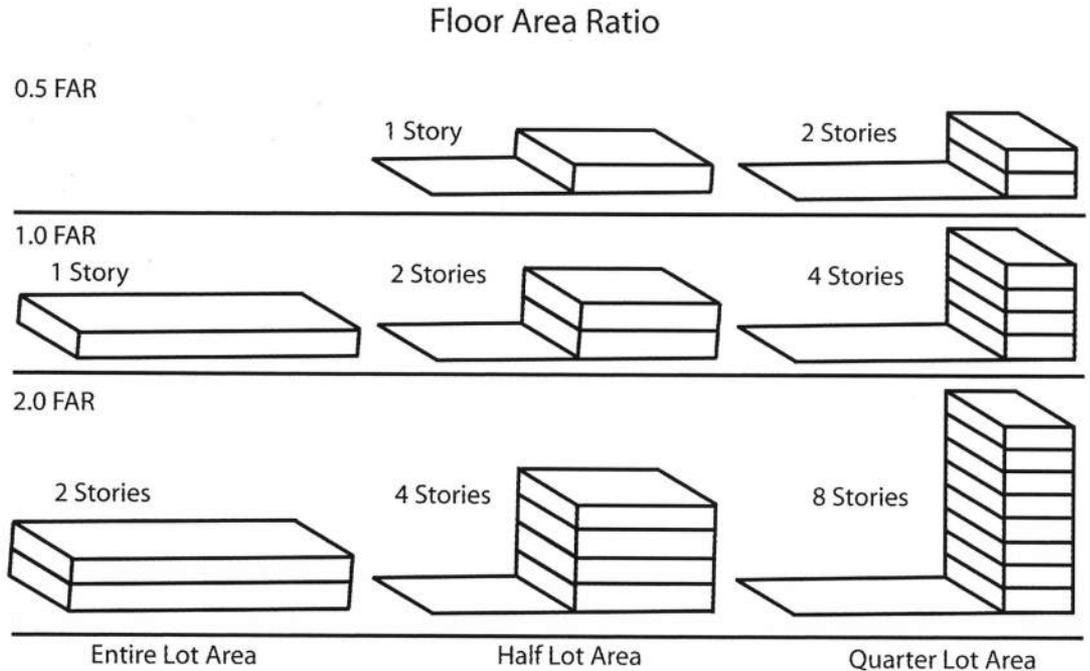
INTENSITY OF DEVELOPMENT

RESIDENTIAL

- Height
- Setbacks
- The dreaded D-word: Density

COMMERCIAL

- Height
- Setbacks
- Floor Area Ratio

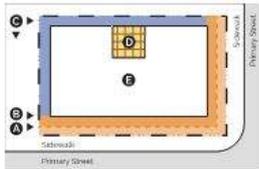


ZONING 101

DEVELOPMENT & DESIGN STANDARDS

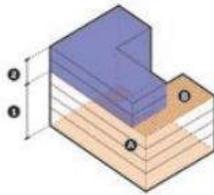
Large scale

Fine grained



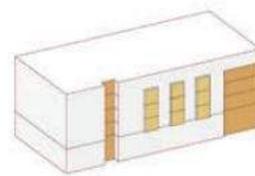
Site Design

How should development relate to the streets/public space? Where is parking located?



Massing

How tall/dense can development be?



Form

How much building articulation, glazing, stepbacks on upper floors should be required?



Building Design

How much variation in design pattern, colors, materials should be required?

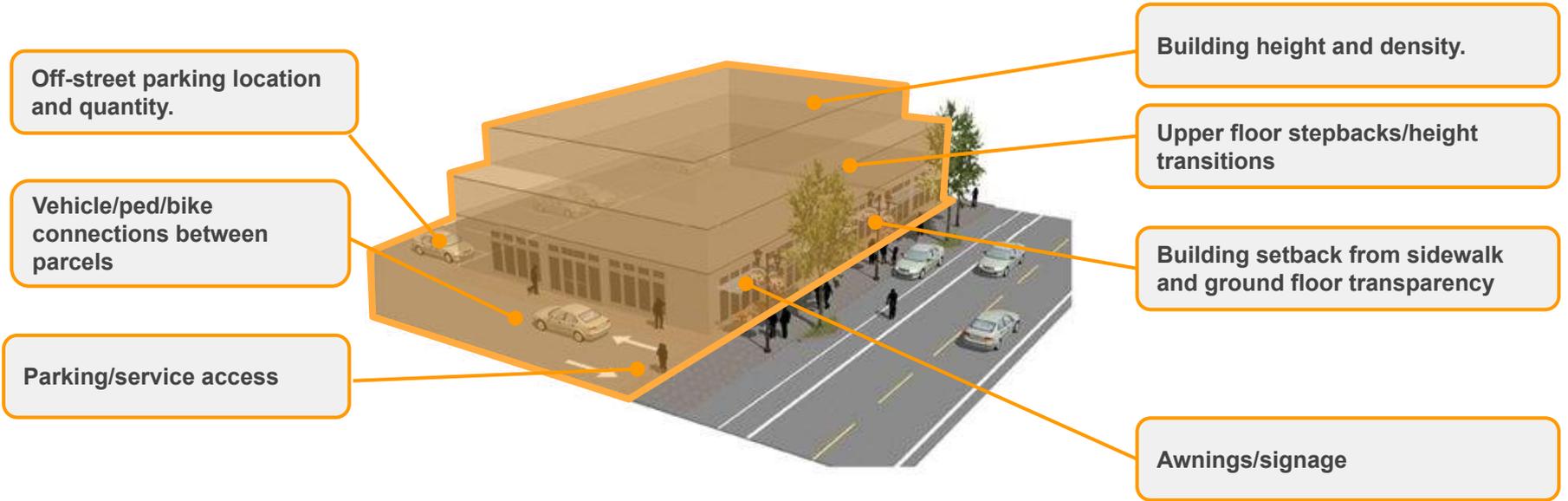
ZONING 101

DEVELOPMENT/DESIGN STANDARDS: WHAT CAN THEY REGULATE?



ZONING 101

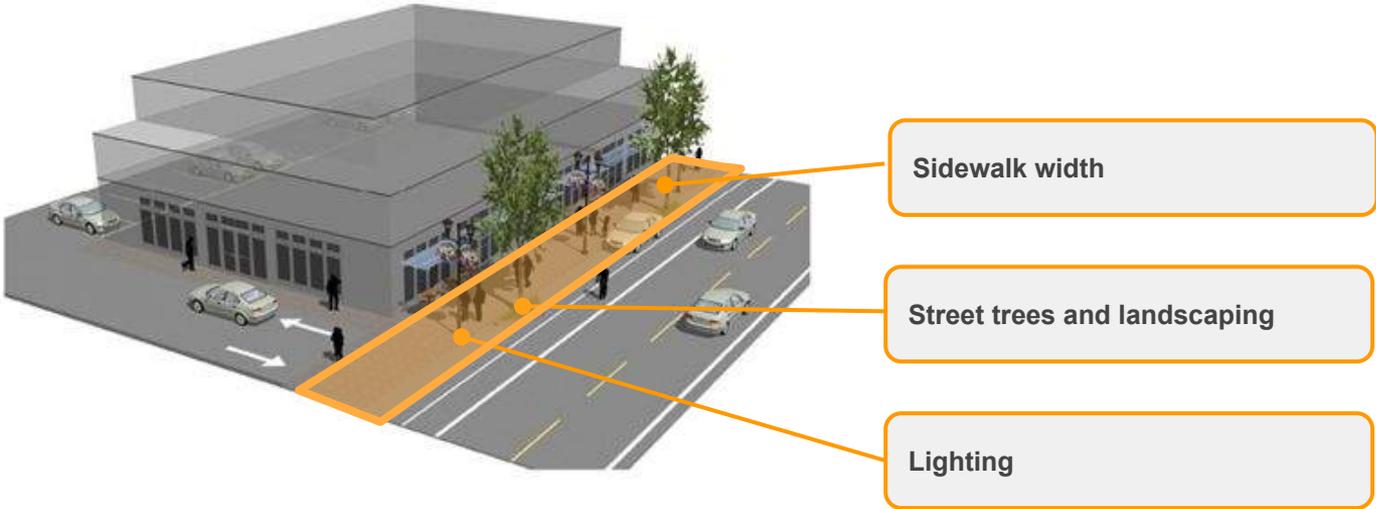
DEVELOPMENT/DESIGN STANDARDS: WHAT CAN THEY REGULATE?



PRIVATE PROPERTY

ZONING 101

DEVELOPMENT/DESIGN STANDARDS: WHAT CAN THEY REGULATE?



PUBLIC RIGHT OF WAY

ZONING 101

WHAT ZONING IS NOT

- Zoning cannot control what actually gets developed on a particular site, but it can create a set of possibilities and parameters for development that aligns with community vision.
- Zoning will not compel development overnight. Development will respond to market conditions and property owner interest.
- Zoning does not require anyone to change anything existing on their property until they are ready to do so.
- Zoning alone cannot complete desired public infrastructure and amenities, though it can contribute to both private and public facilities.

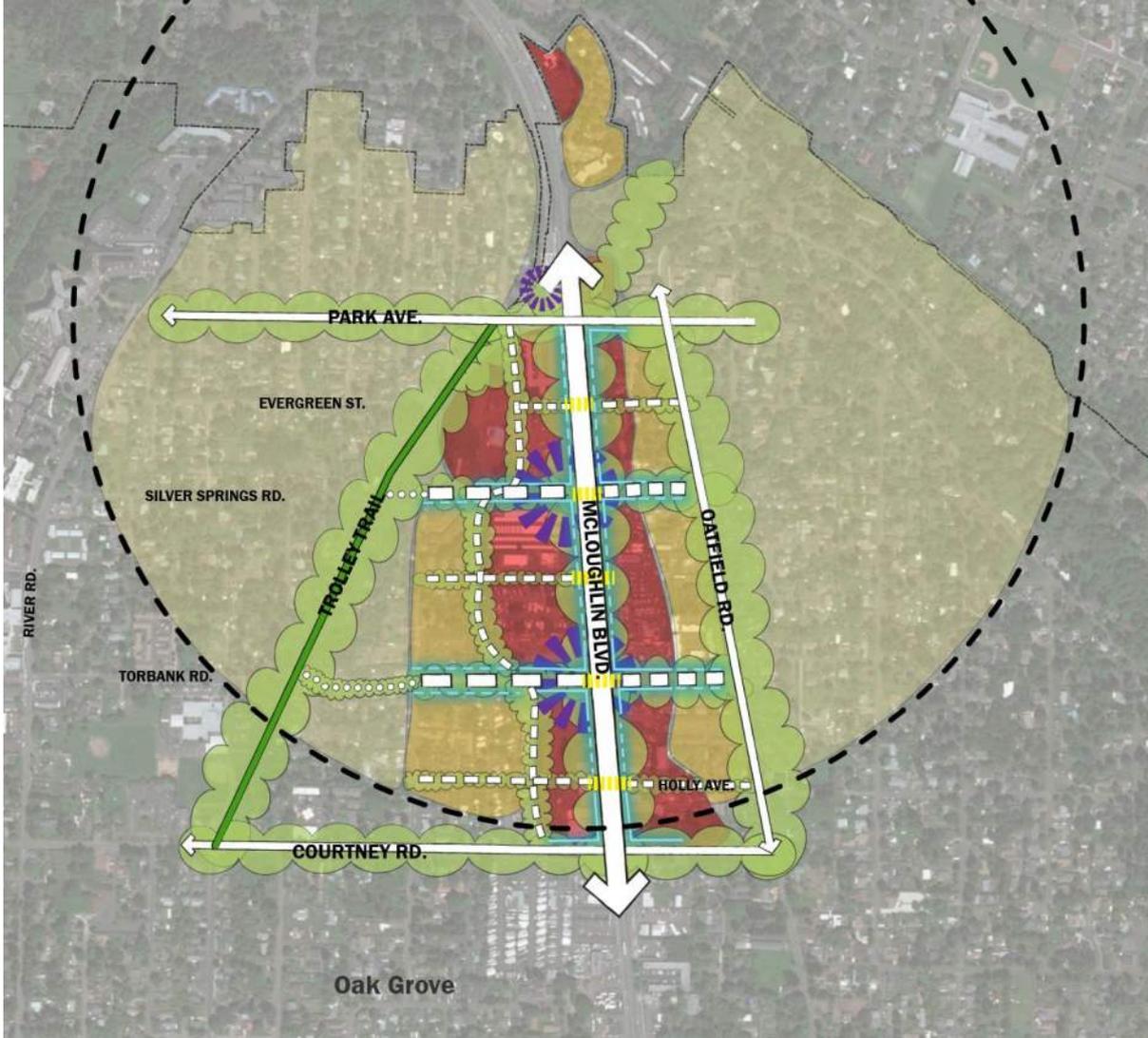
Park
Area

CODE CONCEPTS

TRANSLATION TO CODE

- Use standards
- Intensity standards
- Landscaping standards
- Environmental protection standards
- Connectivity standards, both types and locations
- Design standards, especially ground-floor

Additional aspects to be implemented outside of zoning code



Park
Area

MOULTON BLVD

PARK AVE

GC - C3

M'GLOUGHLIN BLVD

GC - C3

OATFIELD RD

MR1

MR1

COURTNEY RD



GREEN SPACES

PROPOSED STANDARDS

- Enhance green streetscapes with street trees and landscaping along the front of buildings
- Site landscaping minimums for all new development, can integrate stormwater
- Tree protection standards
- Protections for environmentally sensitive areas



CONNECTIVITY

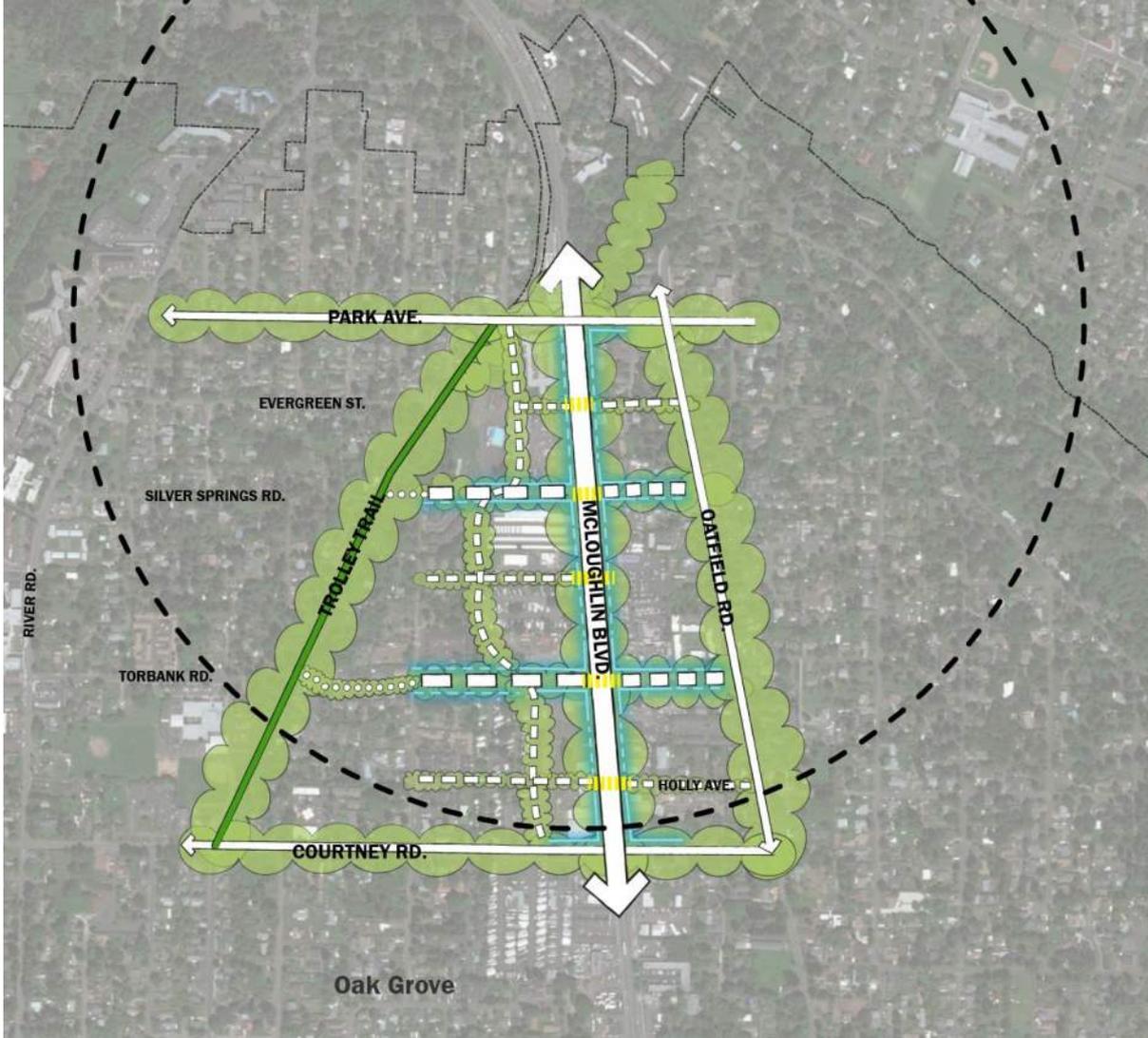
PROPOSED STANDARDS

- Where new connections are required
- Types of connections required: all modes, bike/ped only
- *Future work: cross-section design for different connections*



ACTIVE STREET DESIGN PROPOSED STANDARDS

- Design standards keyed to type of street frontage: McLoughlin, intersecting streets
- Techniques to include:
 - Prominent building entryway design
 - Window coverage
 - Facade detailing and articulation to prevent blank walls
 - Landscaping and plazas

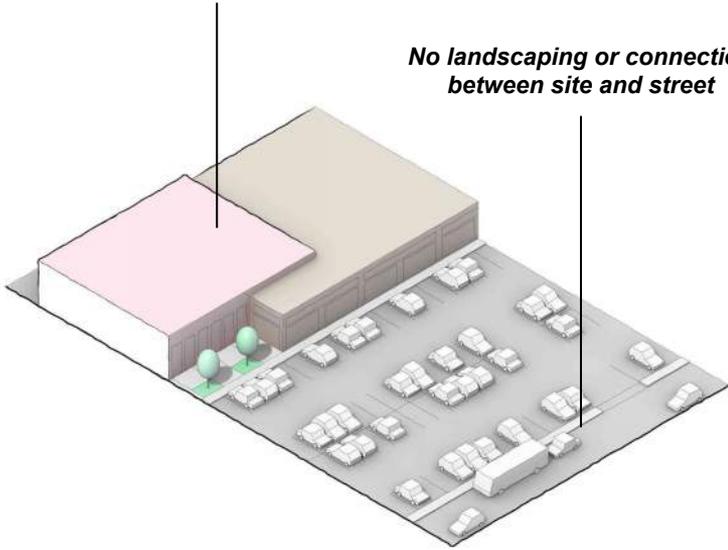


SETBACKS/FRONTAGE

EXISTING DEVELOPMENT

Large front setback to allow for parking along the street

No landscaping or connection between site and street

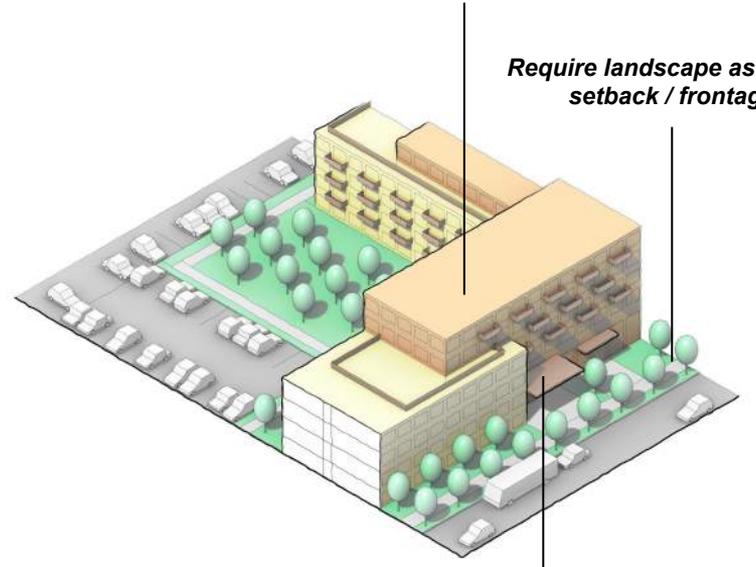


Note: Current standards would not allow similar development; 20 ft maximum front setback with landscaping is required

PROPOSED STANDARDS

Establish a maximum setback

Require landscape as part of setback / frontage



Require buildings to engage public space

SETBACKS/FRONTAGE

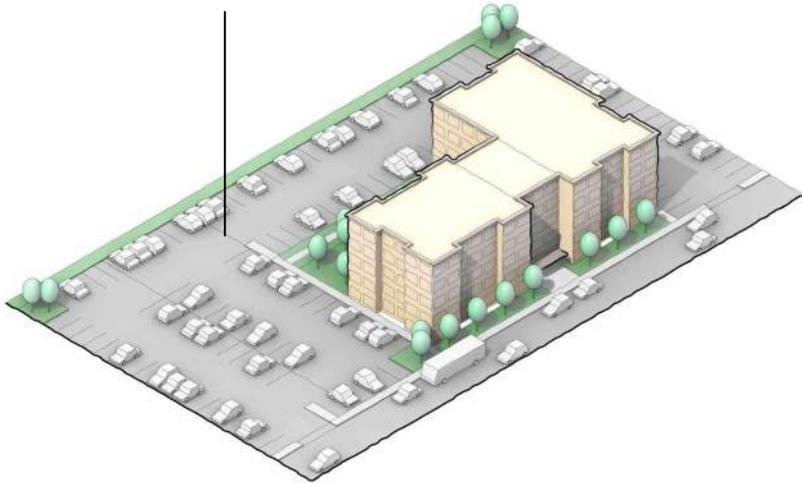
PROPOSED STANDARDS

- **Between private sites and public streets:**
 - Emphasize building frontage
 - Use pedestrian plazas, trees and landscaping between the sidewalk and private site
 - Move private parking to side or rear of sites
- **Will be complemented by elements within the public right-of-way such as:**
 - Expanded sidewalks
 - Street trees and landscaping between the sidewalk and street
 - Protected bike lanes
 - On-street parking

SITE UTILIZATION PRIORITIES

CURRENT STANDARDS

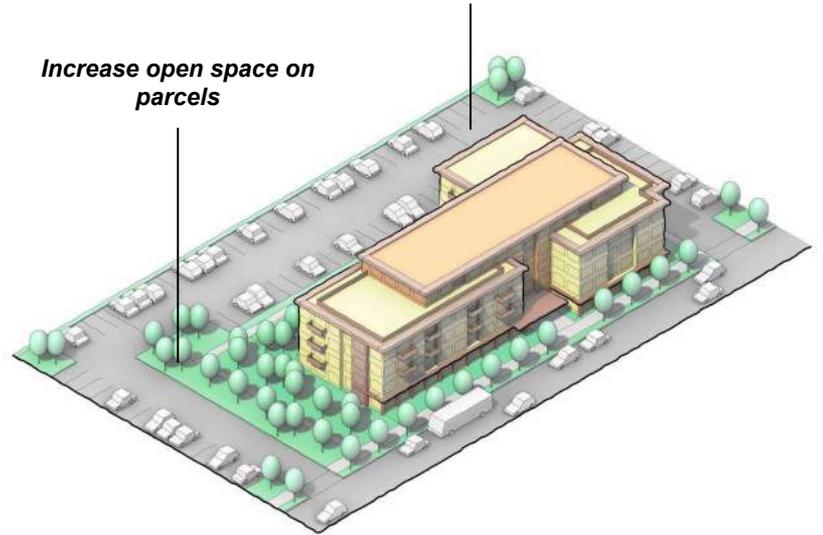
*Large surface parking requirements
(1.25 spaces per unit or more)*



PROPOSED STANDARDS

Balance building, parking, and open space mix with less than 1 space per unit

Increase open space on parcels



SITE UTILIZATION PRIORITIES

PROPOSED STANDARDS

- **Adjust utilization of site area to match development priorities:**
 - Increase effective area available for building footprints, to increase housing and employment opportunities
 - Maintain existing area for courtyards and open space
 - Reduce site area devoted to private parking

OFF-STREET PARKING

PROPOSED STANDARDS

- **Reduce minimum parking ratios for residential development:** begin with ratio around 1 space per unit as the regulatory minimum, while continuing to allow developers to build parking to meet their expectations
- **Reduce minimum parking ratios for commercial development:** exploring appropriate ratios, opportunities for sites with mix of uses
- Explore additional reductions possible for: proximity to transit, bike facilities, affordable housing projects, senior housing projects, mixed-use sites, shared parking (including Park & Ride), and car sharing

Park
Area

COURTNEY RD

PARK AVE

GC - C3

MCLOUGHLIN BLVD

GC - C3

OATFIELD RD

COURTNEY RD

GC - C3 MIX OF USES

Broad range of commercial, employment and multifamily residential uses to remain permitted uses
All existing development in the district remains permitted even if standards changed for new uses

CURRENT STANDARDS

- **Manufacturing** - on site manufacturing from raw materials not permitted.
Secondary manufacturing allowed.
- **Auto oriented** - range of auto-oriented uses are currently allowed.
- **Storage** - self-storage and commercial storage currently allowed.
- **Outdoor uses** - outdoor storage and operations currently allowed.

PROPOSED STANDARDS

- **Manufacturing** - allow on-site production of goods from raw materials to be sold (limit to food and beverage or expand?).
- **Auto oriented** - limit new uses like car wash, gas station, car sales or car repair uses
- **Storage** - prohibit new self-storage and commercial storage developments.
- **Outdoor uses** - prohibit outdoor storage and limit outdoor uses to cafe seating, street vendors, and sidewalk sales.

GC - C3 MIX OF USES

CURRENT STANDARDS



PROPOSED CHANGES



GC - C3 DEVELOPMENT INTENSITY

CURRENT STANDARDS

- **Commercial scale:** currently no maximum height or floor area ratio requirements.
- **Residential scale:** maximum of 25 dwelling units per acre with no maximum height or floor area ratio requirements.
- Minimum density of 22.5 units/acre required.

PROPOSED STANDARDS

- **Commercial scale:** maintain existing requirements to preserve flexibility.
- **Residential scale:** allow up to 50-100 dwelling units per acre
- Up to 4-5 story developments expected, but no height limit proposed
- Continue requiring minimum density of 22.5 units/acre

GC - C3 DEVELOPMENT INTENSITY AND USES



EXAMPLE: 50 DU/ACRE

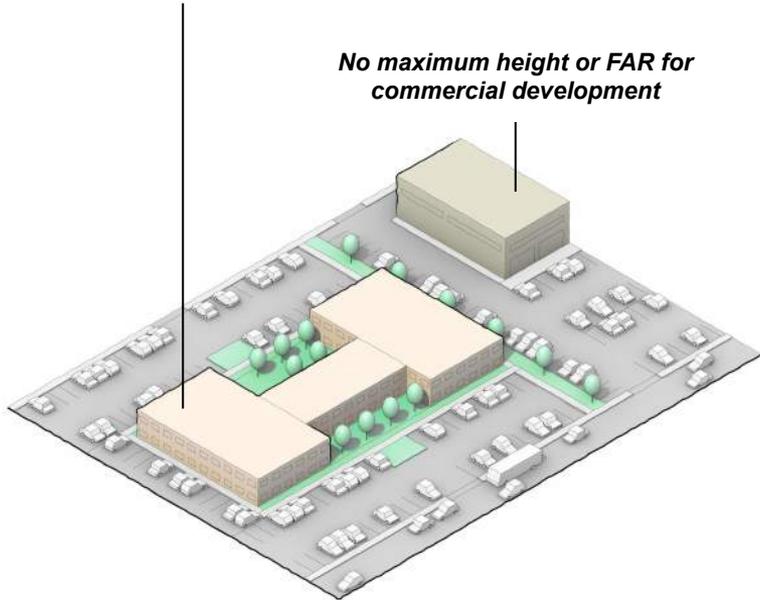
EXAMPLE: 100 DU/ACRE

GC - C3 DEVELOPMENT INTENSITY

CURRENT STANDARDS

Maximum 25 du/ac, with minimum 22.5 du/ac for residential development

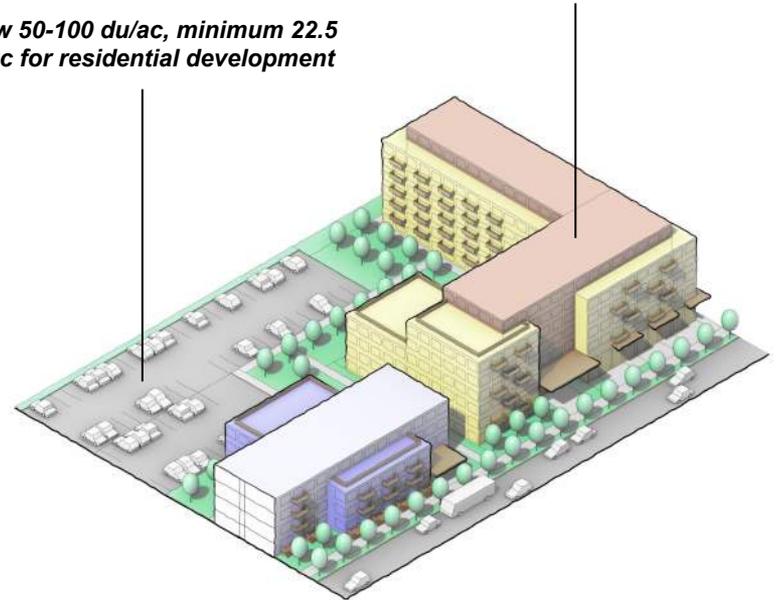
No maximum height or FAR for commercial development



PROPOSED STANDARDS

4-5 story residential development

Allow 50-100 du/ac, minimum 22.5 du/ac for residential development



Park
Area

MOULTON BLVD

PARK AVE

MCGLOUGHLIN BLVD

OATFIELD RD

MR1

MR1

COURTNEY RD



MR-1 DEVELOPMENT INTENSITY & USES

CURRENT STANDARDS

- Allows up to a maximum of 12 units per acre with minimum of 9.6 units per acre
- Allows townhouses, duplexes, triplexes, multifamily and manufactured dwelling parks
- No new single-family detached dwellings are permitted; existing houses are “grandfathered in” as nonconforming uses

PROPOSED STANDARDS

- Maintain maximum and minimum density for most residential types
- Allow cottage cluster developments in addition to existing uses, at higher density of 20-30 units per acre
- *Broader County-level review of MR-1 zone to come*

MR - 1 DEVELOPMENT INTENSITY & USES



EXAMPLE: COTTAGES



EXAMPLE: TOWNHOUSES

ZONING STANDARDS & GUIDING PRINCIPLES



INCREASED EMPLOYMENT OPPORTUNITIES

INCREASED HOUSING CHOICES



BIKE & PED CONNECTIONS



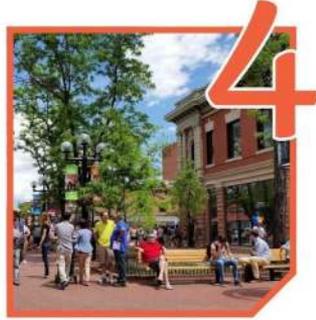
- Limit auto-oriented and low-job producing uses
- Permit on-site manufacturing

- Increase density of multifamily housing (CR-3)
- Allow new cottage cluster developments in addition to existing residential options (MR-1)
- Reduce area required for off-street parking

- Require new connections through sites scaled to desired modes
- Require active street design along new connections

ZONING STANDARDS & GUIDING PRINCIPLES

NEIGHBORHOOD HUBS



- Require active ground-floor design at key hubs
- Help buildings engage with the street through reduced setbacks
- Allow outdoor uses such as cafe seating



LANDSCAPING & PLANTING IMPROVEMENTS

- Require street trees and landscaping along the front of buildings, where appropriate, to enhance streets and connections
- Landscaping minimums for all new development, can integrate stormwater
- Tree protection standards

SUSTAINABLE SYSTEMS



- Sustainable features & solar setback standards
- Protections for environmentally sensitive areas

WE WANT TO HEAR FROM YOU!

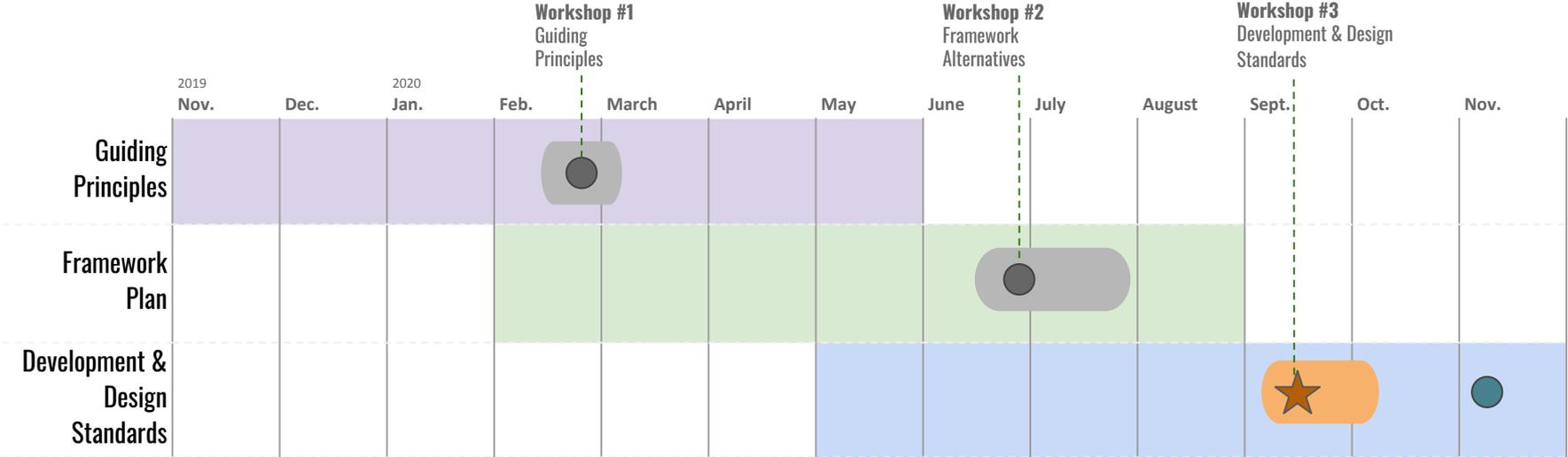
**OPPORTUNITY FOR QUESTIONS &
DISCUSSION...**

ing Park
ural Area

NEXT STEPS

PARK AVE COMMUNITY PROJECT

PROJECT TIMELINE



Workshop #1
Guiding Principles

Workshop #2
Framework Alternatives

Workshop #3
Development & Design Standards

2019
Nov.

Dec.

2020
Jan.

Feb.

March

April

May

June

July

August

Sept.

Oct.

Nov.

Guiding Principles

Framework Plan

Development & Design Standards

★ Today's Workshop

● Presentation to Board of County Commissioners (Public Hearing)

■ Online Survey Open

● Public Workshop

THANK YOU!

Online Survey:

www.clackamas.us/planning/parkave

For more information contact:

KarenB@clackamas.us

