



STAFF RECOMMENDATION

Approval, with Conditions

This document represents the Planning and Zoning Staff recommendation, findings and conditions of approval for a Design Review as cited below. It contains four parts: Section 1 – Summary, Section 2 – Proposed Conditions of Approval, Section 3 – Findings, Section 4 – Summary of Findings and Recommendation.

SECTION 1 – SUMMARY

DATE: December 3, 2019

CASE FILE NO.: Z0440-19-D

STAFF CONTACT(S): Anthony Riederer, ariederer@clackamas.us, 503-742-4528

LOCATION: 21E02DB00100, 03200

ADDRESS: 13505 SE River Road

APPLICANT(S): Melisse Kuhn, of SEA Architecture, on behalf of the owner

OWNER(S): Rose Villa, Inc.

TOTAL AREA: Approximately 2.72 acres

ZONING: HDR (Corridor Commercial, ZDO Section 315)

COMMUNITY PLANNING ORG: Oak Grove Community Council

PROPOSAL: Construction of approximately 155,000 square feet of new buildings across three separate buildings. This is the third of five phases of proposed redevelopment at Rose Villa, a senior living community offering a continuum of care model. Proposed project also includes revisions to, site access, circulation, parking, landscaping, and other redevelopment as required by the Clackamas County Zoning and Development Ordinance.

APPLICABLE APPROVAL STANDARDS: This application is subject to Clackamas County Zoning and Development Ordinance (ZDO). Development of the subject property is subject to the provisions of ZDO Sections 1102, 315, 1002, 1005, 1006, 1007, 1009, 1010, 1015, 1021, 1102, and 1307 as adopted by the Board of County Commissioners. Additionally, this project will be subject to county development standards including, the County Roadway Standards, County Excavation and Grading Ordinance, and Oregon Structural Specialty Code, etc.

BACKGROUND:

The subject site is located on the west side of SE River Road, near SE Torbank Road.. It is abutted to the north, west, and south by properties carrying the same High Density Residential zoning. To the east, across River Road are properties carrying single-family residential zoning.

This proposal is the third phase of a five-phase redevelopment proposal designed to create a welcoming pedestrian friendly community with connections to the surrounding neighborhood. The properties other newly developed buildings along SE River Road work to establish a development character which reflects the residential context of the development in form, materials, and massing while maintaining something more of a pedestrian campus ‘downtown’ character in terms of building proximity and development quality.

The site is currently developed and is legally non-conforming to the ZDO standards as to dwelling unit density. The proposed development will move the site towards compliance with standards with the objective of reaching full compliance at the completion of the 5-phase master plan. Proposed project also includes revisions to, site access, circulation, parking, landscaping, and other redevelopment as required by the Clackamas County Zoning and Development Ordinance.

A pre-application conference was held on this project on March 27, 2019.

Clackamas County’s GIS mapping system indicates that the project site is not subject to any additional habitat or conservation-related overlay zoning, historic property protections, or hazards related to flood or earth movement.

NOTICE

Notice of this application was sent to property owners within 300 feet of the subject tract property lines, as well as Oak Lodge Water Services, Clackamas County’s Building, Engineering, Sustainability, and Economic Development Divisions, and Tri-Met.

PUBLIC COMMENT

As of the time this staff recommendation was released, one public comment had been received from the local Community Planning Organization (Oak Grove Community Council), expressing that they had voted unanimously to support the development proposal as submitted.

AGENCY COMMENT

Engineering Division Facts and Findings

The applicant has proposed construction of Phase Three of the five phase master plan for Rose Villa Senior Living. Phase Three improvements are located along the west side of SE River Road. Access is generally provided to this portion of the site via SE River Road and SE Schroeder Avenue. The proposed project will develop

p 41 independent senior living apartments, a 32-bed supportive living facility, 6 townhome units, care facility and administrative office, structured parking, child care for 36 children.

The proposed development is subject to the provisions of *Clackamas County Zoning and Development Ordinance (ZDO)* section 1007 pertaining to roads and connectivity, section 1015

pertaining to parking and loading, and Oak Lodge Water Services requirements and Roadway Standards Chapter 4 pertaining to surface water management.

SE River Road is classified as a minor arterial roadway. Clackamas County has adopted roadway standards that pertain to the structural section, construction characteristics, minimum required right-of-way widths and access standards for minor arterial roads. Consistent with ZDO Section 1007.02, the applicant is required to improve the roadway frontage of the project site to current standards. Approximately 600 feet of the project site frontage has been improved to current standards as part of recent Rose Villa phases. Proposed Phase 3 involve approximately 330 feet of frontage on SE River Road that will be improved to current standards.

The frontage of SE River Road is currently improved with curb, landscape strip and sidewalk. However, the existing improvements are not consistent with the standard cross section. The applicant will be required to provide up to a one-half street improvement of 26 feet from the right-of-way centerline, with a 5-foot wide landscape strip with street trees, and a 7-foot wide sidewalk.

There is an existing curb drop and approach on the site frontage that serves as access for ambulances from SE River Road. With the proposed project, this access will no longer be needed. The applicant will be required to remove the approach and replace with landscape and sidewalk.

Along the frontage of SE River Road adjacent to the proposed site improvements, there is existing on-street parking that will be retained with the required frontage improvements. The applicant's plans indicate a striped loading zone in the public right-of-way. As required by ZDO 1015.04, off-street loading spaces are required to be located on-site and are not permitted within the public right-of-way.

The applicant will be required to provide adequate on-site circulation for all vehicles anticipated to use the parking and maneuvering areas. The proposed parking and maneuvering areas appear to provide adequate access. The applicant will be required demonstrate turning movements within the structured parking garage, as well as for large vehicles such as garbage truck and emergency service vehicles that will access the site. Vehicle parking spaces and bicycle parking spaces will be required to meet minimum ZDO section 1015 dimensional requirements.

ZDO Subsection 1007.09 requires that an adequate transportation system is in place concurrent with development. A traffic impact study (TIA) was prepared for the Rose Villa Master Plan addressing over development of the campus. To address specific traffic related to the current Phase Three proposal, the applicant has provided TIS by Kittelson and Associates, dated November 18, 2019. Intersections that were evaluated include the existing site access points to SE River Road, the SE River Road and SE Park Avenue intersection, and the SE River Road and SE Courtney Road intersection. The proposed development is projected to generate 373 total daily vehicle trips, with 46 mid-day and 46 PM peak hour trips. The study concludes that capacity of the roadways and intersections serving the project site will operate within the volume to capacity ratios. There are no mitigation measures recommended for traffic impacts. Engineering staff has reviewed the TIS and concurs with the findings. Therefore, the county's concurrency requirements as they relate to the transportation system are met by the applicant's proposal.

Sustainability Division Facts and Findings

The application materials outline the collection method and movement for all materials, at each of the three buildings being constructed at Rose Villa during Phase 3.

The Schroeder building will collect refuse and recycling in internal rooms located on each level of the building. Trash and recycling will be collected in an underground facility in the Schroeder building. The materials containers will then be transported by maintenance staff, to the central collect area on the property for service by the collector.

The Madrona building will provide trash chutes on each level for residents to dispose of waste. Small mobile drop boxes will be located under the chute to collect materials. These drop boxes will be taken to the larger drop box in the loading zone area, where they will be staged until maintenance staff is available, daily, to move materials to the central collection area on the property for service by the collector.

The Trillium townhomes will have a central corral area for resident materials collection. The corral will act as a holding space for collection for nearby residents, until containers are full and rolled to the central collection area on the property for service by the collector. Movement of all collection containers will be done by maintenance staff.

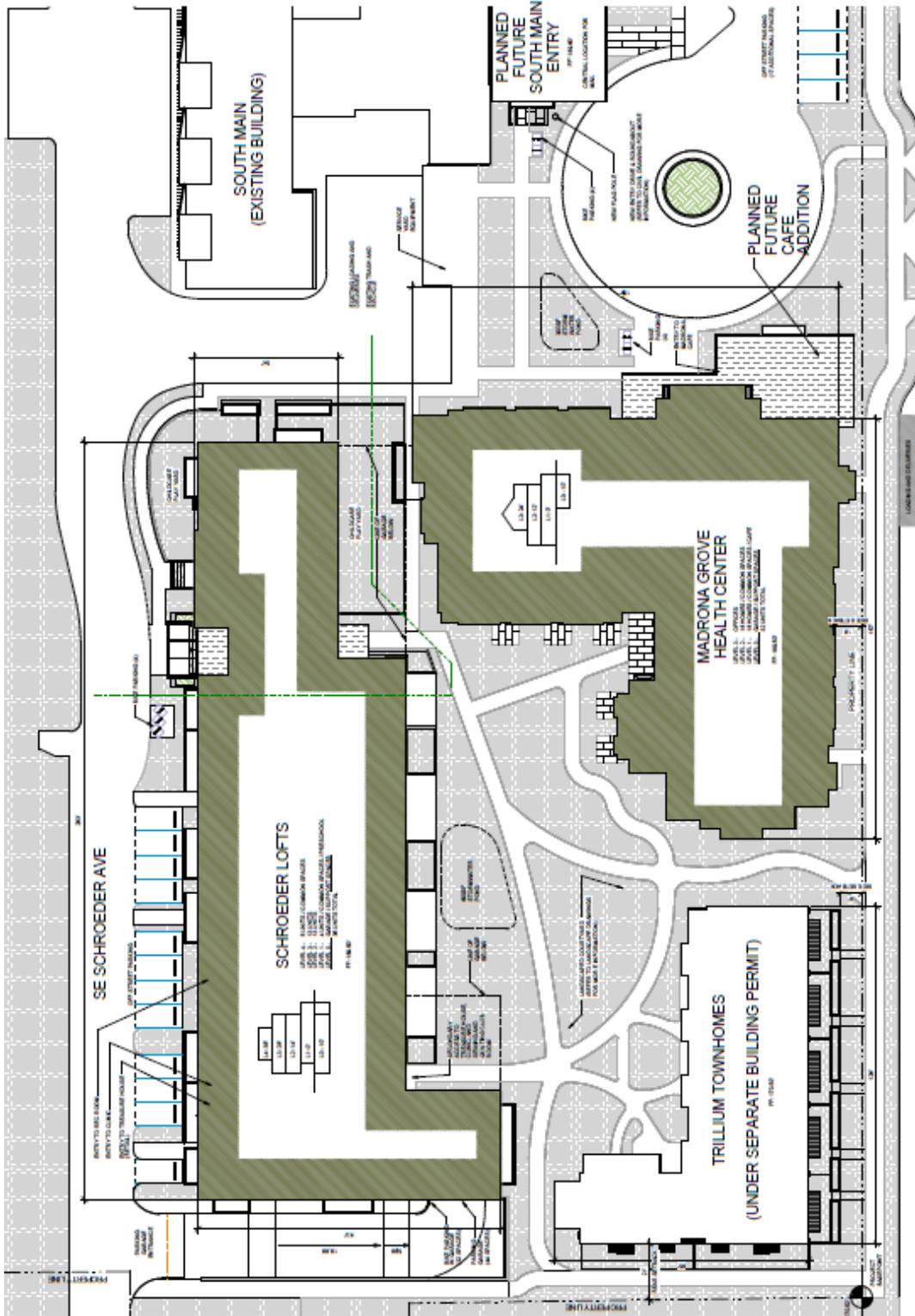
Oak Lodge Water Services Facts and Findings

The proposed development is located within the service area of Oak Lodge Water Services for sanitary sewer, water and surface water and shall be subject to the Oak Lodge Rules and Regulations and Design and Construction Standards for applicable utilities.

Site Aerial Image



Site Plan



Building Elevations – Schroder



1 SCHROEDER ELEVATION - WEST
2024.11.27



2 SCHROEDER ELEVATION - EAST
2024.11.27



3 SCHROEDER ELEVATION - NORTH
2024.11.27



4 SCHROEDER ELEVATION - SOUTH
2024.11.27

SCHROEDER LOFTS

- M-4
 MODULAR BRICK RUNNING BOND
- M-5
 HARDIE-ARTISAN VERTICAL SIDING
- M-6
 HARDIE-ARTISAN HORIZONTAL SIDING
- M-7
 HARDIE-PANEL WITH BATTENS ALIGNED WITH VERTICAL WINDOW MULLIONS
- M-8
 CAST IN PLACE CONCRETE

Building Elevations – Trillium



○ Detailed East Elevation
3/18" = 1'-0"



○ Detailed South Elevation
3/18" = 1'-0"



○ Detailed West Elevation - Townhomes A-D
3/18" = 1'-0"



○ Detailed East Elevation - Townhome E
3/18" = 1'-0"



○ Detailed West Elevation - Townhome F
3/18" = 1'-0"

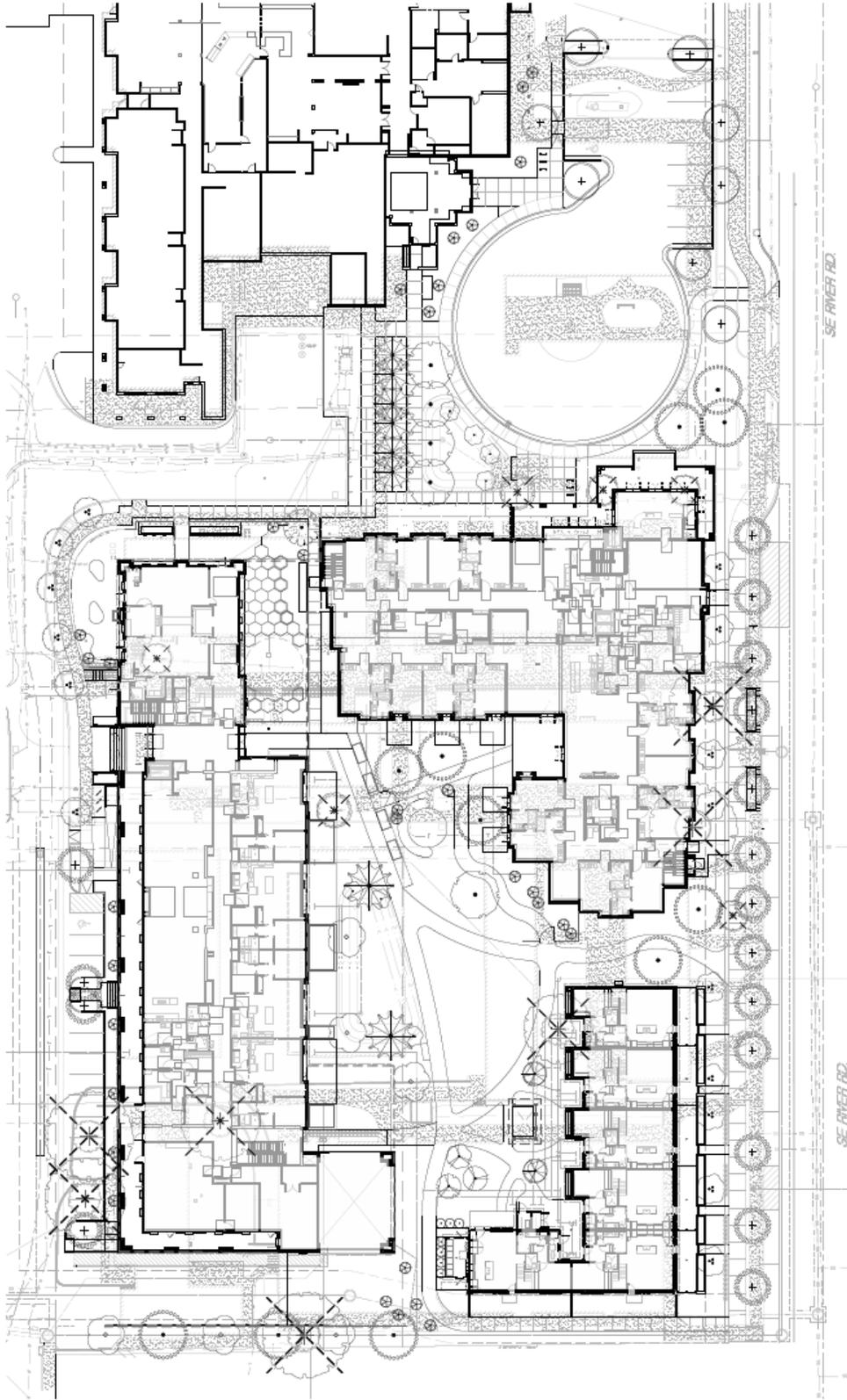


○ Detailed North Elevation - Townhome A
3/18" = 1'-0"



○ Detailed South Elevation - Townhome F
3/18" = 1'-0"

Landscape Plan



Landscape Plan Key

PLANT SCHEDULE

TREES	CODE	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY
	CABE	CARPINUS BETULUS 'FRANZ FONTAINE' FRANZ FONTAINE HORNBEAM	B & B	2" CAL		6
	WEEP	CERCIDIPHYLLUM JAPONICUM PENDULA KATSURA TREE	B & B	2" CAL		1
	CHNO	CHAMAECYPARIS NODIKATENSIS 'GREEN ARROW' GREEN ARROW NOOTKA CYPRESS	B & B		6-10' H	32
	CLUJ	CITRUS JUNOS YUZE CHANDRAN	15 GAL			7
	COKO	CORNUS KOUSA 'EDDIE'S WHITE WONDER' KOUSA DOGWOOD	B & B	2" CAL		17
	ERIA	ERIGODOTRYA JAPONICA LOQUAT	30 GAL	1.5" CAL	10'-12' H	2

	GLTR	GLEDTISIA TRICANTHOS 'SUNCOLE' TM SUNCOLE HONEYLOCUST	B & B	2" CAL		8
	MAGR	MAGNOLIA GRANDIFLORA 'EDITH BOGUE' EDITH BOGUE SOUTHERN MAGNOLIA	B & B	2" CAL		10
	MAGS	MALLUS DOMESTICA 'GRANNY SMITH' GRANNY SMITH APPLE	B & B	1.5" CAL		1
	MAGV	MALLUS DOMESTICA 'GRAVENSTEIN' GRAVENSTEIN APPLE	B & B	1.5" CAL		1
	MAHC	MALLUS DOMESTICA 'HONEYCRISP' APPLE	B & B	1.5" CAL		1
	NYSY	NYSSA SYLVIATICA 'DAVID DOM' AFTERBURNER TUPELO	B & B	2" CAL		4

NATIVE TREE	CODE	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY
	ACI	ACER CIRCINATUM VINE MAPLE	15 GAL	1.25" CAL	5'-6" H	29
	AM	ARBUTUS MENZIESII PACIFIC MADRONE	B & B	2" CAL		11
	CONU	CORNUS NUTTALLII WESTERN FLOWERING DOGWOOD	B & B	2" CAL		6
	PSME	PSEUDOTSUGA MENZIESII DOUGLAS FIR	B & B		6-10' H	2
	QUGA	QUERCUS GARRYANA OREGON OAK	48" BOX	3.5" CAL		1
	THPL	THUJA PLICATA WESTERN RED CEDAR	B & B		6-10' H	6

EXISTING TREES	CODE	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY
	REMV	EXISTING TREE TO BE REMOVED	-			13

SECTION 2 – PROPOSED CONDITIONS OF APPROVAL

The Clackamas County Planning and Zoning staff recommends approval of this design review application subject to the following conditions:

A. General Conditions:

1. Approval of this land use permit is based on the submitted revised written narrative and plan(s) filed with the County on October 2, 2019, with supplemental information submitted on October 28, 2019. No work shall occur under this permit other than which is specified within these documents. It shall be the responsibility of the property owner(s) to comply with these document(s) and the limitation of any approval resulting from the recommendation described herein.
2. The applicant is advised that they may take part in a Post Land Use Transition meeting. County staff would like to offer you an opportunity to meet and discuss this decision and the conditions of approval necessary to finalize the project. The purpose of the meeting is to ensure you understand all the conditions and to identify other permits necessary to complete the project. If you like to take advantage of this meeting please contact Wendi Coryell, 503-742-4657 or at wendicor@clackamas.us.
3. Prior to the SUBMISSION of building permits, the applicant shall submit a statement of use form to Wendi Coryell. She can be contacted at 503-742-4657 or wendicor@clackamas.us. The statement of use is used to calculate the applicable System Development Charges. These SDC's are included in the final calculation of the building permit fees for new development projects.
4. The decision is valid for four years from the date of the final written decision. If the County's final written decision is appealed, the approval period shall commence on the date of the final appellate decision (ZDO 1102.05). During this four year period, the approval shall be implemented, or the approval will become void. "Implemented" means all major development permits shall be obtained and maintained for the approved design review project. A "major development permit" is:
 - a. A building permit for the structure or
 - b. A permit issued by the County Engineering Division for frontage improvements required by this approval.
5. This Design Review approval is granted subject to the above and below stated conditions. Failure to comply with any of the conditions of approval constitutes a violation of this permit and may be cause for revocation of this approval.
6. The approval of the application granted by this decision concerns only the applicable standards for this decision. The decision does not include any conclusions by the county concerning whether the activities allowed will or will not come in conflict with the provisions of the federal Endangered Species Act (ESA). This decision should not be construed to or represented to authorize any activity that will conflict with or violate the ESA. It is the applicant, in coordination if necessary with the federal agencies responsibility for the administration and enforcement of the ESA, who must ensure that the approved activities are designed, constructed, operated and maintained in a manner that complies with the ESA.

B. Planning and Zoning Conditions:

1. Prior to issuance of building permit, the applicant shall submit a site drawing demonstrating a landscape irrigation system which meets the standards of ZDO 1009.10(M).

2. Prior to issuance of certificate of occupancy, applicant shall submit a signed maintenance contract guaranteeing the landscape materials for one year from the date of installations or provide a performance surety pursuant to Section 1311, Completion of Improvements, Sureties, and Maintenance, covering the landscape maintenance costs for the one-year period, per ZDO 1009.10(F).
3. Prior to issuance of certificate of occupancy the landscaping installation, lighting, and irrigation system shall be inspected to ensure compliance with submitted drawings and the standards of ZDO 1009.
4. Prior to the issuance of building permits, the applicant shall submit a final proposed signage plan demonstrating compliance with the dimensional standards of ZDO 1010.

C. Building Code Division Conditions:

1. All construction shall comply with current Oregon Structural Specialty Code and any other relevant codes. All required building permits shall be obtained and received before final occupancy approval.
2. All applicable development permits (grading and erosion control, etc.) shall be obtained prior to any construction.

D. Clackamas County Engineering Conditions

1. All frontage improvements in, or adjacent to Clackamas County right-of-way, and on site transportation improvements, shall be in compliance with *Clackamas County Roadway Standards*.
2. The applicant shall obtain a Development Permit from Clackamas County Department of Transportation and Development prior to the initiation of any construction activities associated with the project.
3. A Utility Placement Permit is required for any utility work within the public right-of-way, per Chapter 7 of the Roadway Standards. When there are multiple utility service trenches in the road, the trench repairs will grind and inlay the top 2” of the pavement restoration to include a minimum 12” tee beyond the furthest trench, and to combine multiple trenches into one surface repair.
4. The applicant shall verify that the required frontage improvement can be accommodated within the existing right-of-way, or shall dedicate additional right-of-way as necessary.
5. The applicant shall design and construct improvements along the entire site frontage of SE River Road to arterial roadway standards, consistent with Standard Drawing C140. These improvements shall consist of the following:
 - a. Up to a minimum 26-foot wide, one half street improvement, as measured from the right-of-way centerline to face of curb. The structural section shall comply with Standard Drawing C100 for an arterial roadway.
 - b. Standard curb, or curb and gutter if curblin slope is less than one percent.
 - c. A minimum 5-foot wide landscape strip with street trees shall be provided along the site frontage. Street trees shall be planted at 25-40 spacing, based on tree species.
 - d. A 7-foot wide unobstructed sidewalk, per Standard Drawing S960.

- e. At the south end of the sidewalk, an ADA compliant, concrete curb ramp shall be constructed, per ODOT Standard Drawings.
 - f. Remove the existing curb drop and approach currently used for ambulance access and replace with curb, landscape strip and sidewalk to match.
 - g. A striping plan shall be provided for the SE River Road frontage.
 - h. Where water quality planters are located adjacent to the curb and there is on-street parking, there shall be a minimum 18-inch wide concrete step out area between the back of curb and the planter.
 - i. Drainage facilities in conformance with Oak Lodge Water Services requirements and *Clackamas County Roadway Standards* Chapter 4. Maintenance provisions for water quality facilities, such as planters or swales within and serving the public right-of-way, shall be addressed through a maintenance agreement with the property owner.
6. The applicant shall design and construct on-site parking and maneuvering areas as follows:
- a. The applicant shall provide adequate on site circulation for the parking and maneuvering of all vehicles anticipated to use the site, including, but not limited to:
 - i) Parking spaces shall meet minimum ZDO Section 1015 and Roadway Standards Drawing P100 dimensional requirements. The plans shall list the number of parking spaces required and the number of parking spaces provided. The applicant shall label all compact, carpool, disabled, and loading berth spaces;
 - ii) All parking a maneuvering areas shall be hard surfaced, constructed to the minimums of Standard Drawing R100
 - iii) The paths traced by the extremities of trucks and emergency vehicles shall be demonstrated.
 - iv) Maneuvering within the structured parking, including maneuvering in and out of typical parking stalls shall be demonstrated.
 - v) The paths traced by the extremities of trucks and emergency vehicles shall be demonstrated.
 - vi) A pavement marking and signage plan shall be provided.
 - b. All curbs shall typically be type "C", or curb and gutter if curb line slope is less than one percent, if they carry, direct or channel surface water. Alternative curbs will be considered when it is determined by the Clackamas County Department of Transportation and Development that type "C" curbs or curb and gutter are not appropriate. Extruded curbs for carrying, directing or channeling surface water, or used as a vehicle wheel stop, shall not be allowed.
 - c. Where the on-site ADA walkway intersects the public sidewalk, there shall be a minimum 5x5 foot wide landing.
 - d. The proposed loading berth on SE River Road is not permitted and shall be provided on-site.
7. All traffic control devices on private property, located where private driveways intersect County facilities shall be installed and maintained by the applicant, and shall meet standards set forth in the *Manual on Uniform Traffic Control Devices* and relevant Oregon supplements.
8. A Fire Access and water supply plan shall be provided for subdivisions, commercial buildings over 1000 square feet in size or when required by Clackamas Fire District #1. The plan shall show fire apparatus access, fire lanes, fire hydrants, fire lines, available fire flow, fdc location if applicable, building square footage and type of construction. The applicant shall provide fire

flow tests per NFPA 291 and shall be no older than 12 months. Work to be completed by experienced and responsible persons and coordinated with the local water authority.

9. Following completion of site construction activities of subdivisions, buildings over 1000 square feet or when required by Clackamas Fire District #1, the applicant shall provide as-built Fire Access and Water Supply pdf plans to the local Fire District and the County. The pdf plans shall show fire apparatus access, fire lanes, fire hydrants, fire lines, available fire flow, fdc location if applicable, building square footage and type of construction. The plans shall include any supporting details of the access, circulation, water vaults, fire lines, valves, fdc, backflow devices, etc.
10. Prior to certificate of occupancy, the applicant shall provide an Engineer's cost estimate to Clackamas County Engineering for any unfinished improvements required by conditions of approval. The estimate shall be submitted for review and approval of quantities of asphalt concrete, aggregates, curbs, sidewalks and any other required improvements and associated construction costs.
11. Prior to the issuance of a building permit, the applicant shall submit to Clackamas County Engineering Office:
 - a. Written approval from the Clackamas Fire District #1 for the planned access, circulation, fire lanes and water source supply. The approval shall be in the form of site and utility plans stamped and signed by the Fire Marshal.
 - b. Written approval from Clackamas River Water District for adequate water supply source to serve the development. The approval shall be in the form of utility plans stamped and signed by the Water District representative.
 - c. Written approval from Oak Lodge Water Services for surface water management facilities, surface water detention facilities, and erosion control measures.
 - d. A set of street and site improvement construction plans, including a striping and signing plan, for review, in conformance with *Clackamas County Roadway Standards* Section 140, to Clackamas County's Engineering Office and obtain written approval, in the form of a Development Permit.

E. Clackamas County Sustainability Conditions:

1. Prior to issuance of building permits, the applicant shall provide additional detail to staff that illustrate adherence to ZDO 1021.04 and 1021.05. The applicant shall continue to work with Clackamas County's Sustainability and Solid Waste Staff, Emily Murkland, to finalize plans that comply with the design standards.

F. Oak Lodge Water Services Conditions:

1. As a condition of land use application approval, OLWSD requests the property owner be required to comply with the following requirements and to procure the necessary approvals and/or permits from the OLWSD in accordance with the OLWSD code, regulations or policies.
2. Property owner shall apply for Site Development Permit from OLWSD and supply all relevant materials, fees and charges.
3. Property owner shall apply for an erosion and sediment control permit from OLWSD.
4. Prior to Site Development Permit issuance, all submittals shall be reviewed for compliance with Oak Lodge rules, regulations, fees, charges and design and construction standards in effect on the date of complete application to OLWSD; not Land Use application and not rules in effect at any previous application.

5. Based on the preliminary design, an existing public sanitary sewer main (D3) would be located under one of the proposed structures. The owner shall relocate the public main and associated easement outside structural footprints to an alignment acceptable to Oak Lodge’s Rules. A public easement shall be granted to Oak Lodge Water Services of a minimum 20-foot width, centered on this public main.
6. Owner shall determine that the existing water meter and public infrastructure provides sufficient volume and pressure to serve the proposal. Should the meter or public system require upgrades, these upgrades shall be borne by the owner.
7. All fees and charges shall be paid before the Site Development permit is issued. All costs associated with the design, construction and testing of any applicable utility shall be proved by and at the sole expense of the owner.
8. Prior to plat or final approval, the owner of the development must sign an *Agreement to Maintain Stormwater Facilities*, prepared by OLWSD. The Stormwater Maintenance Agreement must be incorporated into the Covenants, Conditions, and Restrictions of the plat or recorded against the property.

SECTION 3 – DESIGN REVIEW FINDINGS

This application is subject to Clackamas County Zoning and Development Ordinance (ZDO) Section(s) 1102, 315, 1002, 1005, 1006, 1007, 1009, 1010, 1015, 1021, 1102, and 1307. The Clackamas County Planning and Zoning Staff has reviewed these Sections of the ZDO and design guidelines in conjunction with this proposal and make the following findings and conclusions:

1. Section 1102 – Design Review

Subsection 1102.01 Applicability

Finding: Clackamas County’s Zoning and Development Ordinance determines development types for which design review is required. ZDO Subsection 1102.01(A) states that design review is required for, “...development, redevelopment, expansions, and improvements in commercial and industrial zoning districts...” The proposed development is located in the Corridor Commercial district, and thus design review is required for the project.

Subsection 1102.02 Applicability

Finding: Clackamas County’s Zoning and Development Ordinance determines the submittal requirements necessary for design review. The applicant submitted a set of information consistent with the submittal requirements of the Zoning and Development ordinance which county staff deemed complete on October 28, 2019. The standard is met.

Subsection 1102.03 Approval Criteria

Finding: Clackamas County’s Zoning and Development Ordinance determines that projects which require design review are subject to the standards of the underlying zoning district as well as to Section 1000 “Development Standards”. The analysis of the proposal, per those sections of the Clackamas County ZDO, follow in subsequent sections.

2. Section 315 – High Density Residential (HDR) district

Subsection 315.03 Uses Permitted

Clackamas County’s ZDO determines uses that are permitted primary, permitted accessory, conditionally permitted, or not allowed in each zoning district.

Finding: The proposed development is located in the High Density Residential district. The applicant’s submitted materials indicate that the proposed use for this site is a “Multi-Family Dweelling” and “Nursing Home”, which are primary permitted uses in the zone. The other proposed uses, “Offices”, “Outpatient Clinics”, “Commercial Services” and “Child Care Facilities” are permitted limited uses in the HDR zone. The proposed development meets the standard.

Subsection 315.04 Dimensional Standards

Finding: The table below demonstrates how the applicant’s proposal complies with the dimensional standards of the HDR district. These standards are met.

	Ordinance Standard	Demonstrated Dimension	Complies With Standard
Minimum Lot Size	None	2.72 acres	Complies
Maximum Front Setback	See 1005.03(E)	10 feet	Complies, per 1005.03(E)
Minimum Front Yard Setback	15 feet	10 feet	Complies
Minimum Rear Yard Setback	See Subsection 1005.03(L)(5)	21 feet, at southern end of proposed building.	Complies
Minimum Side Yard Setback	See Subsection 1005.03(L)(5)	21 feet, at southern end of proposed building.t	Complies

3. Section 1002 – Protection of Natural Features

Section 1002 addresses the protection of various natural features including hillsides, the excessive removal of trees prior to development, the protection of trees and wooded areas through development, river and stream corridors, the winter ranges of deer and elk populations, certain open spaces near Mount Hood, significant natural areas, and significant landforms and vegetation.

Finding: The site has been previously developed and historically used as campus of housing for seniors. There is limited natural vegetation. There are no significant slopes on the site. There are no additional elements protected by Section 1002, as identified in the Clackamas County Comprehensive Plan, present on site. The standards of Section 1002, as applicable, are met.

4. Section 1005 – Sustainable Site and Building Design

Section 1005 addresses the development of sites and design of buildings so as to efficiently utilize land, create lively, safe, and walkable centers, support the use of non-auto modes of transportation, reduce impact of development of natural features, utilize opportunities arising from a site’s configuration, design illumination so dark skies are maintained when possible and accommodate the needs of users of developments. It applies to institutional, commercial, and industrial development; multifamily dwellings; and developments of more than one two- or three-family dwelling.

Subsection 1005.03 – General Site Design Standards establishes standards for the sites of commercial, industrial, and multifamily developments and addresses standards for the placement and orientation of buildings, on-site pedestrian circulation, the placement and orientation of building entrances, and other use- and zone-specific standards.

Finding: The proposal is for a grouping of buildings with new vehicular and pedestrian circulation parking, landscaping, and other site elements. The proposal is for a three buildings, clustered around a central courtyard allowing for efficient sharing of infrastructure and site elements. The project is designed on a previously developed site allowing for the reuse of existing infrastructure. Buildings have clear and paved access to River Road. The site design shows the principle building set at a yard depth of 10 feet, creating a strong relationship with the sidewalk. The parking lots are not greater than three acres in size. The building is not located along a major transit street. The standards of Section 1005.03, are met.

Subsection 1005.04 – Building Design provides standards for building facades, entrances roof design, exterior building materials, the screening of mechanical equipment, and other use- and zone-specific standards.

Finding: There are three buildings proposed in this phase of the development which staff will discuss as an ensemble below, identifying any specific areas of discord with the standards of the zoning and development ordinance. Each of these buildings present a significant and exceptional articulation of façade across all building frontages through fenestration, change in materials, and modulation of plane. Human scale and proportion is demonstrated in the use of materials common to differing styles of architecture common to the area and region.

Given that the different buildings are designed in differing architectural styles, the articulation of the roof lines across the ensemble of buildings create significant visual variety and interest. The designs use colors and materials that are appropriate to the high-density residential context while respecting the adjacent lower-density portions of the surrounding neighborhood.

The design of the buildings are consistent with their proposed use and level of public exposure. The façade materials are consistent with the identity of the neighborhood and the emerging character of this residential campus which puts an emphasis on styles of architecture common in the Pacific Northwest and expressed through durable materials such as brick and cultured stone consistent with the proposed use of the building. Per the above findings and the applicant’s submitted drawings, the proposed buildings comply with the relevant standards of section 1005.04. These standards are met.

Subsection 1005.05 – Outdoor Lighting provides standards to ensure that onsite lighting is compatible with the site and surrounding uses while preventing light trespass and pollution.

Finding: The site design provides appropriately scaled lighting, including specialty landscape lighting which both enhances building appeal and provides pedestrian and vehicular safety. Per the above findings based on staff review of the applicant’s submitted drawings, the proposed addition complies with the relevant standards of section 1005.05. These standards are met.

Subsection 1005.06 – Additional Requirements requires projects to employ one additional design element per 20,000 square feet of site area.

Finding: Section 1005.06 requires applicants to employ one “Additional Requirement” for every 20,000 square feet of site area. The applicant is providing six “Additional Requirements”.

1. The design includes a solar energy system, satisfying the additional requirement of 1005.06(A).
2. The design includes landscaping which exceeds the minimum required by 10%, satisfying the additional requirement of 1005.06(G).
3. The design includes a sheltered courtyard with predominantly southern exposure, satisfying the additional requirement of 1005.06(K)
4. The design includes significant paved pedestrian pathways between buildings within the larger campus as well as to the surrounding neighborhood, satisfying the additional requirement of 1005.06(L).
5. The design includes underground parking for both vehicles and bicycles, satisfying the additional requirement of 1005.06(Q).
6. The design includes site design which is explicitly designed to support views to significant natural features such as the Willamette River and Mount Hood, satisfying the additional requirement of 1005.06(S).

This standard is met.

5. Section 1006 – Utilities, Street Lights, Water Supply, Sewage Disposal, Surface Water Management, and Erosion Control.

Section 1006 addresses the provision of appropriate infrastructure for utilities, water supply, and sewage disposal, as well as the management of surface water and site erosion.

Finding: No new streetlights are required to meet county requirements. County Planning staff has received the required preliminary statements of feasibility from Oak Lodge Water Services. Per the above findings and the applicant’s submitted materials, the proposed development complies with the relevant standards of Section 1006. These standards are met.

6. Section 1007 - Roads and Connectivity

Subsection 1007.02 – Public and Private Roadways

Subsection 1007.03 – Private Roads and Access Drive

Subsection 1007.04 – Pedestrian and Bicycle Facilities

A-C: General Standards, Design and Requirements

D-G: Location and Construction of Sidewalks and Pedestrian Paths

H: Sidewalk and Pedestrian Path Width

I-N: Accessways, Bikeways, Trails, Bike/Pedestrian Circulation

Finding: The proposed development will be required to comply with all applicable requirements of Clackamas County Engineering, including those identified through the ZDO and within the county’s engineering standards. **With the conditions recommended by Clackamas County Engineering in Section 2 and the applicant’s submitted drawings, the proposed development meets the standards. As conditioned, these standards are met.**

Subsection 1007.05 – Transit Amenities

Finding: Subsection 1007.05 applies to all residential, commercial, institutional, and industrial developments on existing and planned transit routes. The local transit provider, Tri-Met, was invited to comment at both the pre-application conference and through the land use application. No input was received from the agency. The standard is met.

Subsection 1007.06 – Street Trees addresses requirements for street trees within the Portland Metropolitan Urban Growth Boundary, in the Clackamas Regional C

enter Area, in the Business Park zoning district, and in Sunnyside Village.

Finding: The proposed development is within the Portland Urban Growth Boundary. Street trees are provided in the landscape plan around the public perimeter of the site. These standards are met.

Subsection 1007.07 – Transportation Facilities Concurrency

Finding: Clackamas County’s engineering division and the Oregon Department of Transportation have reviewed the proposal. Their conditions of approval will ensure that the capacity of transportation facilities is adequate or will be made so in a timely manner. **The conditions recommended by Clackamas County Engineering in Section 2 and the applicant’s submitted drawings, the proposed development meets the standards. As conditioned, these standards are met.**

7. Section 1009 – Landscaping

Section 1009 seeks to ensure that sites are design with appropriately selected, designed, installed, and maintained landscape materials and that landscaped areas are used for appropriate purposes.

Finding: The proposed site design is 28% landscaped area, which exceeds the 25% requirement of the design standard in the HDR zone, by more than 10%. A variety of plants of various sizes, textures, and seasonal interest are indicated, none of which are invasive or noxious species. These species are predominantly native and/or drought tolerant plants, appropriate to a residential campus context and the local habitat/conditions. The provided walls and other landscape features coordinate with the material character of the primary buildings on the site. Conditions of approval will ensure compliance with the required landscaping in terms of composition of materials, installation and maintenance of landscape, and irrigation. **With the conditions of approval in Section 2, the above findings and the applicant’s submitted drawings, the proposed development meets the standards. As conditioned, these standards are met.**

8. Section 1010 – Signs

The provisions of Section 1010 are intended to maintain a safe and pleasing environment for the people of Clackamas County by regulating the size, height, number, location, type, structure, design, lighting, and maintenance of signs.

Finding: The applicant is proposing no additional signage through this application, apart from building numbers and limited identification signage. **With the conditions of approval in Section 2, the above findings and the applicant’s submitted drawings, the proposed development meets the standards. As conditioned, these standards are met.**

9. Section 1012 – Density

Section 1012 is designed to establish development standards which regulate density in various residential and commercial zoning districts.

Finding: The site is currently legally non-conforming as to the required density in a High Density Residential zone. This proposal moves the site closer to compliance and works within an understanding established through the previously completed master planning process that, over all five phases, the site would achieve compliance. The applicant has submitted documentation describing the intention to move toward compliance with these standards and has demonstrated that the site can accommodate the number of units that compliance would require. **With the conditions of approval in Section 2, the above findings and the applicant’s submitted drawings, the proposed development meets the standards. As conditioned, these standards are met.**

10. Section 1015 – Parking and Loading

Section 1015 is designed to ensure that developments in Clackamas County provide sufficient and properly designed parking for motor vehicles and bicycles as well as appropriate off-street loading areas.

Finding: The uses proposed in this development have different parking ratios associated with them , per ZDO Table 1015-1, as outlined below.

USE	RATIO	SQUARE FEET	PARKING REQUIRED
CHILD CARE	0.5 spots per 1,000 square feet	3,136	1.5 spots
NURSING FACILITY	0.2 spots per bed	32 beds	6.4 spots
OFFICE	2.7 per 1,000 square feet	8,682	24.3 spots
RETAIL	4.1 per 1,000 square feet	1,000	4.1 spots
CLINIC	3.5 per 1,000 square feet	1,000	3.5
MULTI FAMILY	Various	Various	36.5 spots
TOTAL			96.3 spots

The submitted site plan provides 82 parking stalls, with an additional 14 parking stalls along River Road which were previously unallocated. This is a total of 96 parking stalls, satisfying this requirement. Table 1015-2 provides requirements for bicycle parking totaling 30 parking spot for the site. The design provides 32 spots in a bike storage room along with additional spots near public entrances for a total of 40 bike parking spots. Per ZDO Table 1015-3, no off-street loading zones are required for a development of this size and use. The dimensions and locations of all proposed parking areas comply with the standards of ZDO Section 1015. The standards are met.

11. Section 1021 – Refuse and Recycling Standards For Commercial, Industrial, and Multi-Family Developments

Finding: The application materials outline the collection method and movement for all materials, at each of the three buildings being constructed at Rose Villa during Phase 3 .

The Schroeder building will collect refuse and recycling in internal rooms located on each level of the building. Trash and recycling will be collected in an underground facility in the Schroeder building. The materials containers will then be transported by maintenance staff, to the central collect area on the property for service by the collector.

The Madrona building will provide trash chutes on each level for residents to dispose of waste. Small mobile drop boxes will be located under the chute to collect materials. These drop boxes will be taken to the larger drop box in the loading zone area, where they will be staged until maintenance staff is available, daily, to move materials to the central collection area on the property for service by the collector.

The Trillium townhomes will have a central corral area for resident materials collection. The corral will act as a holding space for collection for nearby residents, until containers are full and rolled to the central collection area on the property for service by the collector. Movement of all collection containers will be done by maintenance staff.

With the conditions of approval in Section 2, the above findings and the applicant's submitted drawings, the proposed development meets the standards. As conditioned, these standards are met.

SECTION 4 - SUMMARY OF FINDINGS AND RECOMMENDATION

The Planning and Zoning Staff finds that, as conditioned herein, the proposed building and site design meets the standards of the permitted uses in the High Density Residential district and applicable design review standards.

Based on the above analysis of the ordinance standards, staff recommends approval of this design review application for the proposed development, subject to the conditions indicated in Section 2.

Clackamas County is committed to providing meaningful access and will make reasonable accommodations, modifications, or provide translation, interpretation or other services upon request. Please contact us at 503-742-4545 or email drenhard@clackamas.us.

503-742-4696: ¿Traducción e interpretación? | Требуется ли вам устный или письменный перевод? | 翻译或口译? | Cần Biên dịch hoặc Phiên dịch? | 번역 또는 통역?