



Transmittal

38 NW Davis / Suite 300, Portland, OR 97209

PROJECT: Parr Lumber Damascus 190120 DATE: 7/20/2020
SUBJECT: Parr Lumber - Damascus TRANSMITTAL ID: 00006
PURPOSE: For your use and distribution VIA: Info Exchange

FROM

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TO

NAME	COMPANY	EMAIL	PHONE
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REMARKS: Good morning, Anthony -
Here are the resubmission documents in pdf form. I've included an updated photometrics sheet that our electrical consultant updated after our submission; no data is different from our hardcopy, but the baseplan correctly shows that the loading dock has been removed.

Hope your weekend was great! Let me know if you needed anything else -
Melinda

DESCRIPTION OF CONTENTS

QTY	DATED	TITLE	NOTES
1	7/16/2020	EL1.01P.pdf	
1	7/17/2020	Materials.pdf	
1	7/16/2020	Narrative and New Exhibits_07172020.pdf	
1	7/16/2020	New Product Data Sheets.pdf	
1	7/17/2020	Parr Lumber Damascus_Land Use Permit Resubmission Sheets 7-17-20.pdf	
1	7/16/2020	Site 11x17.pdf	

COPIES:

Mariah Kiersey (Ankrom Moisan Architects, Inc.)

Parr Lumber Damascus Wholesale Building & Supply Store

Design Review Narrative & Findings Revised for Incomplete Application Resubmission

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Site Location:

A Combination of Five Tax Lots

19855 SE Sunnyside Rd

(Tax Lot: 23E05D 02205, Parcel Number 00610556)

19850 SE Damascus Ln

(Tax Lot: 23E05D 02213, Parcel Number 01498089)

No situs address

(Tax Lot: 23E05D 02000, Parcel Number 00610477)

21881 SE Foster Rd

(Tax Lot: 23E05D 02001, Parcel Number 00610486)

19865 SE Hwy 212, Damascus 97089

(Tax Lot: 23E05D 01900, Parcel Number 00610440)



Site Size:	Approximately 5.52 acres within the Metro UGB
Zoning:	Rural Industrial (RI) Rural Commercial (RC)
Summary of Request:	<p>Parr Lumber received a zoning interpretation from the Clackamas Planning director regarding five lots under two owners in the Damascus unincorporated area. The Director found that a Parr Lumber wholesaling and office building, enclosed warehouse, and open/covered lumber storage would be an allowed use on the site. As a result, Parr is under contract to purchase the properties, and are making application for development consistent with the director's interpretation.</p> <p>With this application, Parr Lumber is requesting design review approval to build a new wholesale building, warehouse, lumber yard, and associated facilities.</p>

Report Date: July 16, 2020 (*Revised*)

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IV. Appendices

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PLAN SET SHEETS

Civil

- 1.0 Coversheet and Vicinity Map
- 2.0 Existing Conditions Plan
- 3.0 Site and Utility Plan (composite)
- 4.0 Preliminary Grading Plan
- 5.0 Foster Rd and Damascus Lane Proposed Improvements

Landscape

- L1.0 Planting Plan
- L1.1 Planting Plan
- L1.2 Planting Plan & Details
- L1.3 Planting Plan and Details

Architectural

- A1.01 Site Plan
- A1.02 Signage Plan
- A2.01 Warehouse-Level 1 Floor Plan
- A2.02 Warehouse-Mezzanine Plan
- A2.03 Warehouse-Roof Plan
- A2.11 Dispatch and Saw Building- Floor Plan and Roof Plan
- A2.21 Shed Building #1 – Floor Plan and Roof Plan
- A2.31 Premanufactured L-Rack Floor Plan and Roof Plan
- A2.41 T-Rack Floor Plan and Roof Plan
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- A3.21 Shed Building #1 – Exterior Elevations
- A3.31 Premanufactured L-Rack- Exterior Elevations
- A3.41 T-Rack Exterior Elevations

Exterior Lighting

- E1.01 Electrical Site Plan

APPENDIX ITEMS

- A. Pre-application Conference Notes
- B. Traffic Study
- C. Geotechnical Study
- D. Service Provider Letter from Sunrise Water Authority, January 17, 2020
- E. Service Provider Letter from Clackamas County Surface Water
- F. Preliminary Stormwater Report
- G. Clackamas County Authorization Notice – Onsite Wastewater Systems**
- H. Incomplete Application Notice - Signed**



I. Drainage field easement exhibit

***Items in bold are new exhibits for revised package and are included in this printing. Previously submitted appendix items are not included.**

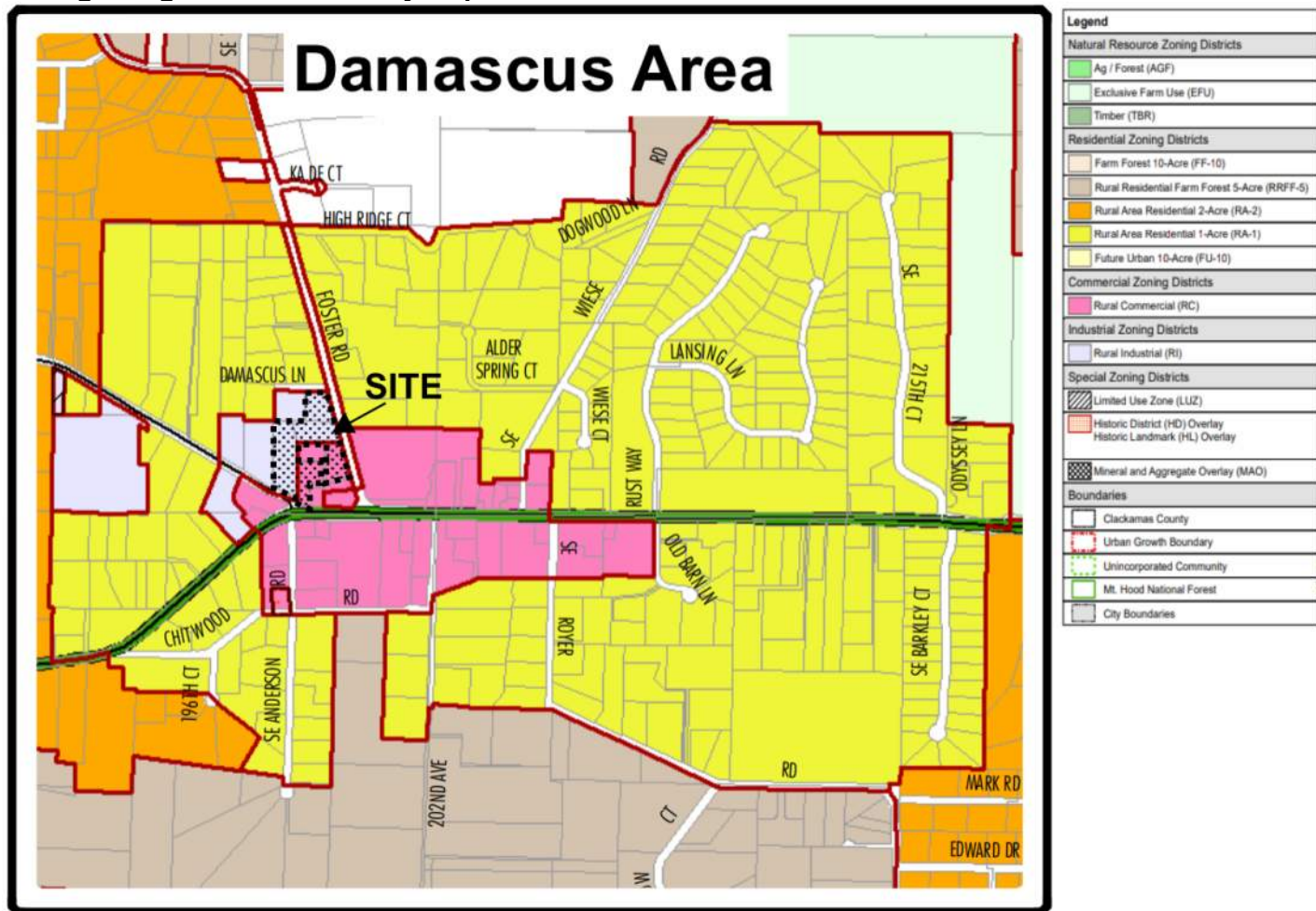


I. Description of Proposal

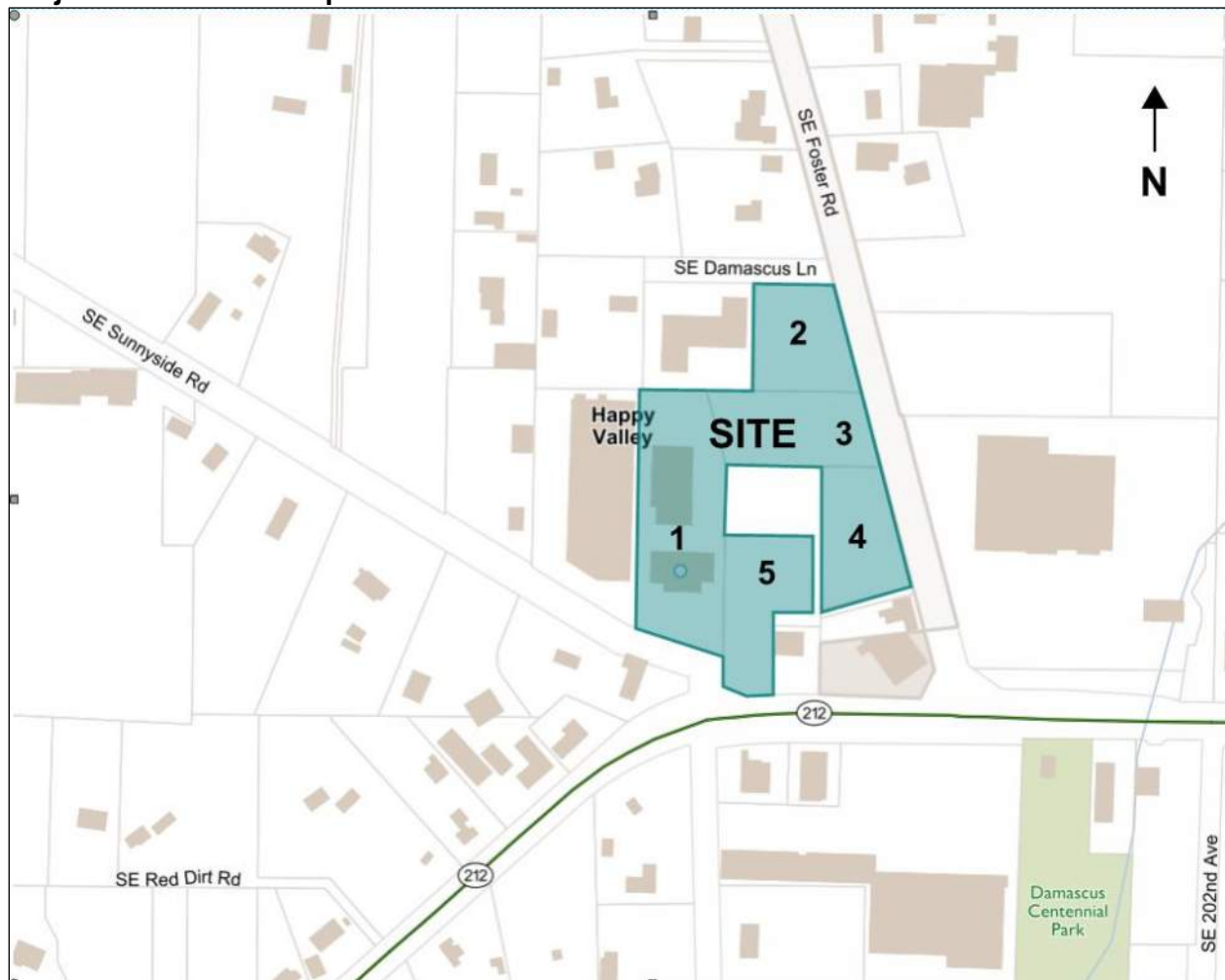
EXISTING CONDITIONS AND PROJECT PROPOSAL

This proposal includes the development of five tax lots in Damascus near where SE Sunnyside Road and SE Foster Road intersect Hwy 212. These parcels are under contract to be purchased by Parr Lumber and will create a site that is approximately 5.52 acres in size once the lots are consolidated. A combination of Rural Industrial (RI) and Rural Commercial (RD) zoning is applied across the site. Parcel 00610556 has a RI zoning designation and contains two existing, vacant buildings. Demolition of these structures will occur under the new development. The other four tax lots are currently vacant and undeveloped. Once entitled, all of the tax lots will be consolidated into a single tax lot.

Zoning Designation and Vicinity Map



Project Site Context Map



Lots 1-3 are zoned Rural Industrial and 4 and 5 are Rural Commercial. Parr Lumber proposes to construct four new buildings on the site, along with customer/employee parking areas, an open lumber storage yard, a truck staging/loading area, a drain field, covered open storage, and a perimeter security fence. The two largest proposed buildings are located in the same general vicinity of the existing structures and include an enclosed warehouse and an office/sales building. The proposed development is a complementary use to the garden supply store at the intersection of SE Foster and HWY 212. Internal Parr studies determined that these services are needed in this area.

With two zoning designations and the absence of the flag-shaped lot included with the land purchase, there are operational constraints associated with the development. Circulation on the site must accommodate small contractor visits, large truck deliveries, garbage/recycling pickup, and truck staging and loading.

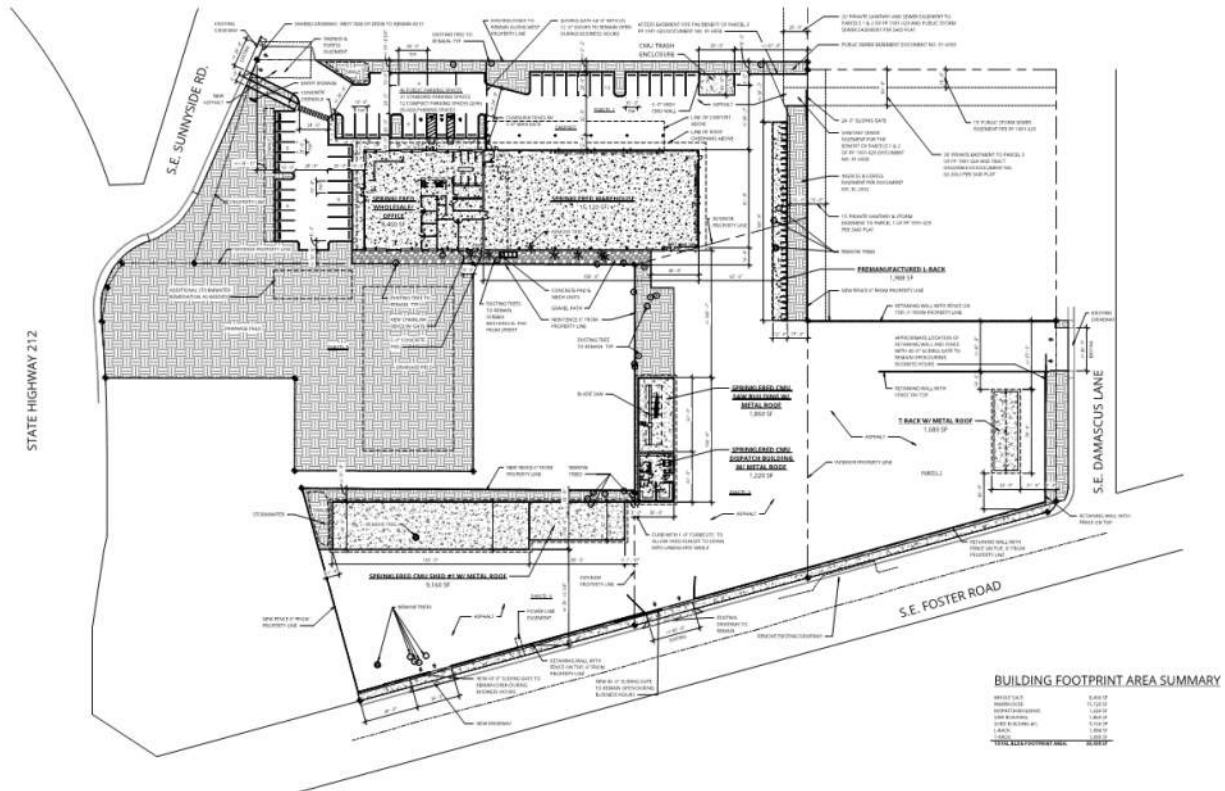
The project connects and improves sidewalks, simplifies utility connections, and remediates stormwater onsite. With a grade that drops over 32 feet from the NE to the south, stormwater and drainage/septic fields are placed at lower points. Where possible, the preservation of



mature trees is proposed along lot lines. Street connections and improvements have accommodated findings from the attached traffic study.

A Pre-Application Conference meeting was held with Clackamas County Staff for this project proposal on September 11, 2019. The application was assigned case file ZPAC0099-19. The Pre-Application notes from the Pre-Application Conference are provided in Appendix A.

Conceptual Site Map



(See Sheet A1.01 for enlargement)



II. Responses to Applicable Approval Criteria: Clackamas County Zoning and Development Ordinance

513 – RURAL COMMERCIAL (RC) DISTRICTS

513.03 USES PERMITTED

A. Uses permitted in the RTC and RC Districts are listed in Table 513-1, Permitted Uses in the RTC and RC Districts. In addition, uses similar to one or more of the listed uses for the applicable zoning district may be authorized pursuant to Section 106, Authorizations of Similar Uses.

B. As used in Table 513-1:

1. "P" means the use is a primary use.
2. "A" means the use is an accessory use.
3. "C" means the use is a conditional use, approval of which is subject to Section 1203, Conditional Uses.
4. "S" means the use may be authorized only pursuant to Section 106; however, identifying a use as "S" does not indicate that any determination has been made regarding whether the use will be authorized pursuant to Section 106.
5. "X" means the use is prohibited.
6. Numbers in superscript correspond to the notes that follow Table 513-1. C. Permitted uses are subject to the applicable provisions of Subsection 513.04, Dimensional Standards; Section 1000, Development Standards; and Section 1100, Development Review Process.

Excerpt of Table 602-1: Permitted Uses in the RC District

Use	RC
Accessory Uses, Customarily Permitted Including: Parking areas and storage buildings/rooms	A
Offices , including administrative and corporate offices and call centers. These businesses primarily serve other industries or deliver their products and services to the end user through means other than on-site customer visits. Few general public customer visits per day are generated. Offices, including administrative, business, corporate, governmental, and professional offices. Examples include offices for the following: accounting services, architectural services, business management services, call centers, employment agencies, engineering services, governmental services, income tax services, insurance services, legal services, manufacturer's representatives, office management services, property management services, real estate agencies, and travel agencies.	P
Retailing —whether by sale, lease, or rent—of any of the following new or used products: animal feed, building materials , farm equipment, forestry equipment, and livestock supplies services, such as cardlock fueling stations; however, motor vehicle fueling stations that cater to the general public are excluded.	P
Wholesaling —whether by sale, lease, or rent—of any of the following new or used products: animal feed, farm equipment, farm materials, farm products, fertilizer,	P



forestry equipment, forestry materials, forestry products, mulch, nursery stock, seeds, and seedlings	
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Response: The proposed uses as described within the proposal and bolded in the above table, are permitted within the Rural Commercial zoned portion of the site and are consistent with the Director's interpretation issued by Clackamas County under File number Z0076-19.

513.04 DIMENSIONAL STANDARDS IN THE RC DISTRICT

Standard	Requirement	Proposed
Minimum Lot Size	Generally, None 20-acre min. for subdivision/partition	N/A. New lots not created.
Maximum Front Yard Setback	N/A	
Minimum Front Setback	30 feet	85 feet from SE Foster Road
Minimum Rear Setback	10 feet	10 feet
Minimum Side Yard Depth	10 feet	10 feet
Building Height	No maximum	~20 feet (<i>tallest</i>)

Response: As proposed, the portions of the development on the RC zoned properties will meet or exceed the required setbacks. Please see sheet 3.0 Site and Utility Plan for details.

604 – RURAL INDUSTRIAL (RI) DISTRICTS

604.03 USES PERMITTED

Uses permitted in the RI District are listed in Table 604-1, Permitted Uses in the RI District. In addition, uses similar to one or more of the listed uses may be authorized pursuant to Section 106, Authorizations of Similar Uses.

A. As used in Table 604-1:

- 1. "P" means the use is a primary use.*
- 2. "A" means the use is an accessory use.*
- 3. "C" means the use is a conditional use, approval of which is subject to Section 1203, Conditional Uses.*
- 4. "X" means the use is prohibited.*
- 5. Numbers in superscript correspond to the notes that follow Table 604-1.*

B. Permitted uses are subject to the applicable provisions of Subsection 604.04, Dimensional Standards, Section 1000, Development Standards, and Section 1100, Development Review Process.

Excerpt of Table 604-1: Permitted Uses in the RI District

Use	RC
Accessory Uses, Customarily Permitted Including: Parking areas and storage buildings/rooms	A
Offices	A



Retail Sales of Products that are Manufactured on the Subject Property, Distributed from the Subject Property, Warehoused on the Subject Property, or Sold on a Wholesale Basis from the Subject Property	A
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Response: As proposed, the uses proposed in the Rural Industrial zoned portions of the site including the offices, wholesaling, warehousing, Lumber sheds parking, loading, and maneuvering areas are allowed as accessory uses per table 604-1.

604.04 DIMENSIONAL STANDARDS IN THE RI DISTRICT

Standard	Requirement	Proposed
Minimum Lot Size	Generally, None. 20-acre min. for subdivision/partition	N/A. New lots not created.
Maximum Front Yard Setback	None	
Minimum Front Setback	30 feet	120 feet from Sunnyside Road
Minimum Rear Setback	0 feet	10 feet
Minimum Side Yard Depth	0 feet	3 feet
Building Height	No maximum	~30 feet (<i>tallest</i>)
Maximum Building Floor Space per Commercial Use in an Unincorporated Community	4,000 square feet ⁴	~3,079 SF (See sheet A2.01 for specifics.)
Maximum Building Floor Space per Industrial Use in an Unincorporated Community	40,000 square feet ⁵	~39,428 SF (See sheet A1.01 for specifics.)

⁴No maximum applies to uses authorized under Oregon Statewide Planning Goals 3 and 4 and uses intended to serve the community and surrounding rural area or the travel needs of people passing through the area.

⁵No maximum applies to uses authorized under Statewide Planning Goals 3 and 4; expansion of a use that existed on December 5, 1994; uses that require proximity to a rural resource, as defined in Oregon Administrative Rules 660-004-0022(3)(a); new uses that will not exceed the capacity of water and sewer service available to the site on December 5, 1994, or, if such services are not available to the site, the capacity of the site itself to provide water and absorb sewage; and uses sited on abandoned or diminished mill sites.

⁶No maximum applies to the primary processing of raw material produced in rural areas, or uses sited on abandoned or diminished mill sites. Also, any lawfully established industrial use that existed on December 20, 2001, may expand to occupy a maximum of 40,000 square feet of building floor space or 25 percent more building floor space than was occupied by the use on December 20, 2001, whichever is greater.

Response: The proposed buildings and development have been designed with these standards in mind. The floor space for the retail portion of the site is approximately 3,079 SF, accessory to the primary use on the site which is wholesaling and warehousing. See sheets A1.01 and A2.01 for building breakdowns.



709 – WATER QUALITY RESOURCE AREA DISTRICT

709.01 PURPOSE

Section 709 is adopted to implement the policies of the Comprehensive Plan for Water Quality Resource Areas.

709.02 AREA OF APPLICATION

A. Section 709 applies in the Water Quality Resource Area District (WQRAD). The WQRAD applies to all parcels containing a Water Quality Resource Area (WQRA), provided that such parcels are inside the Metropolitan Service District Boundary or the Portland Metropolitan Urban Growth Boundary and outside the boundaries of both Clackamas County Service District No. 1 and Surface Water Management Agency of Clackamas County. WQRAs are protected water resources and adjacent vegetated corridors as established by Section 709. Protected water resources are classified as primary or secondary.

Response: The proposed site is located within Clackamas County Service District No. 1. This means that the proposed site is not within the WQRAD, and that this section is not applicable to the proposed development.

SECTION 1002 – PROTECTION OF NATURAL FEATURES

1002.02 – DEVELOPMENT RESTRICTION FOLLOWING EXCESSIVE TREE REMOVAL

Subsection 1002.02 applies to land inside the Portland Metropolitan Urban Growth Boundary, except land specially assessed as forestland on September 28, 2010.

A. Excessive Tree Removal: Excessive tree removal is the removal of more than three trees—excluding those identified as exempt in Subsection 1002.02(E)—on a lot of record in a calendar year.

E.11. Trees, the removal of which is authorized by approval of an administrative action under this Ordinance;

Response: Review and approval of the tree removal proposal under the administrative Design Review is exempt from the excessive tree removal threshold. The project requires removal of 36 trees, 6-inches or greater in size, to accommodate new development. Landscaping installed within the newly developed areas will exceed the number of trees removed. A total of 44 new trees are proposed on site, and another 20 trees are proposed as street trees. (see Landscape Sheets L1.0 through L1.2 for specific details). In addition, the landscape buffer around the site has been proposed to retain and protect as many trees and shrubs as possible on the perimeter of the lots to mitigate aesthetic impacts from surrounding properties.

Removal of Existing Trees

Location	Qty.
Lumber storage and truck parking area	40
Warehouse building	2
Wholesale store	2



1002.03 – TREES AND WOODED AREAS

- A. *Existing wooded areas, significant clumps or groves of trees and vegetation, consisting of conifers, oaks and large deciduous trees, shall be incorporated in the development plan wherever feasible. The preservation of these natural features shall be balanced with the needs of the development, but shall not preclude development of the subject property, or require a reduction in the number of lots or dwelling units that would otherwise be permitted. Site planning and design techniques which address incorporation of trees and wooded areas in the development plan include, but are not limited to, the following [...]*

Response: The areas proposed for new improvements contain sparse tree canopy. No wooded areas or significant clumps or groves of trees are present. It is not possible to retain the sixteen trees proposed for removal and accommodate the proposed development. The project proposal complies with the parking lot landscaping and minimum site landscaping requirements, resulting in far more onsite trees (44) overall at the completion of development.

- B. *Trees and wooded areas to be retained shall be protected during site preparation and construction according to County design and specifications by:*
1. *Avoiding disturbance of the roots by grading and filling activity;*
 2. *Providing for water and air filtration to the roots of trees which will be covered with impermeable surfaces;*
 3. *Pruning or topping of trees which will be in parking areas or near buildings, as necessary, to maintain proper balance between top growth and roots, reduce windfall potential, and provide adequate vision clearances for safe vehicular circulation; and*
 4. *Requiring, if necessary, the advisory expertise of a qualified consulting arborist or horticulturist both during and after site preparation, and a special maintenance/management program to provide protection of specified wooded areas or specimen trees, as recommended by the arborist or horticulturist.*

Response: Acknowledged by the applicant. Tree protection will be implemented as deemed necessary during construction activities.

1002.08 – SIGNIFICANT LANDFORMS & VEGETATION

Institutional, commercial, and industrial development; multifamily dwellings; and developments of more than one two- or three-family dwelling shall cluster and modulate building masses to minimize disturbance of existing significant landforms and vegetation. Pursuant to the review procedure required by Section 1102, Design Review, minimum front setbacks may be reduced or waived to minimize disturbance of natural landforms or vegetation. If a setback reduction is granted, a program for protection of those landforms and vegetation during construction, and for long-term maintenance, shall be provided.

Response: There are no significant landforms of vegetation associated with these properties. No exception to the minimum front setback is proposed development; therefore, Section 1002.08 does not apply.



1005 – SITE AND BUILDING DESIGN

1005.02 APPLICABILITY

Section 1005 applies to institutional, commercial, and industrial development; multifamily dwellings; and developments of more than one two- or three-family dwelling.

Response: The proposed development is located in the Rural Commercial and Rural Industrial Zoning Districts. Therefore, ZDO Section 1005 applies to the application.

1005.03 GENERAL SITE DESIGN STANDARDS

A. Where feasible, cluster buildings within single and adjacent developments for efficient sharing of walkways, on-site vehicular circulation, connections to adjoining sites, parking, loading, transit-related facilities, plazas, recreation areas, and similar amenities.

Response: The site is being developed as a wholesale building materials and lumber yard. To the extent possible, the two main buildings that are most likely to see the most on-site activity are clustered off of SE Sunnyside Road in the southwest portion of the site. Pedestrian walkways from the main building entrance to Sunnyside Road is provided as shown on sheet 3.0 the composite Site and Utility Plan.

B. Where feasible, design the site so that so that the longest building elevations can be oriented within 20 degrees of true south in order to maximize the south-facing dimensions.

Response: Given the layout of the lots, the existing zoning, and the operational needs of the development, the location of the two main buildings are located in the SW corner of the site and perpendicular to the southern end of the site. The proposed lumber sheds are all oriented on an east west axis.

C. Minimum setbacks may be reduced by up to 50 percent as needed to allow improved solar access when solar panels or other active or passive solar use is incorporated into the building plan.

Response: Reduced setbacks do not permit the buildings to be located on site in a way that would improve their solar access.

D. A continuous, interconnected on-site walkway system meeting the following standards shall be provided.

- 1. Walkways shall directly connect each building public entrance accessible to the public to the nearest sidewalk or pedestrian pathway, and to all adjacent streets, including streets that dead-end at the development or to which the development is not oriented.*

Response: Pedestrian walkways from the main building entrance to Sunnyside Road is provided as shown on sheet 3.0 the composite Site and Utility Plan.

- 1. Walkways shall connect each building to outdoor activity areas including parking lots, transit stops, children's play areas and plazas.*



Response: The public outdoor areas including the primary parking area is connected to the main public entrance of the building. Other than this connection, employee parking is located at the rear of the building and within the lumber yard.

2. *Walkways shall be illuminated. Separate lighting shall not be required if existing lighting adequately illuminates the walkway.*

Response: The on-site walkways will be illuminated through parking lot and building mounted lighting. See sheet E1.01, the photometric lighting plan for specific lighting locations and intensity.

3. *Walkways shall be constructed with a well-drained, hard-surfaced material or porous pavement and shall be at least five feet in unobstructed width.*

Response: All new walkways will be constructed of concrete and will meet the minimum unobstructed width of 5 feet as required. See sheet 3.0 for specific sidewalk widths and locations.

4. *Standards for walkways through vehicular areas:*
 - a. *Walkways crossing driveways, parking areas and loading areas shall be constructed to be clearly identifiable to motorists through the use of different paving material, raised elevation, warning signs or other similar methods.*
 - b. *Where walkways are adjacent to driveways, they shall be separated by a raised curb, bollards, landscaping or other physical barrier.*
 - c. *Inside the Portland Metropolitan Urban Growth Boundary (UGB), if the distance between the building public entrance and street is 75 feet or greater and located adjacent to a driveway or in a parking lot, the walkway shall be raised, with curbs, a minimum four-foot-wide landscape strip and shade trees planted a maximum of 30 feet on center.*
 - d. *The exclusive use of a painted crossing zone to make walkways identifiable to motorists may be used only for portions of walkways which are shorter than 30 feet and located across driveways, parking lots, or loading areas.*
 - e. *Walkways bordering parking spaces shall be at least seven feet wide or a minimum of five feet wide when concrete bumpers, bollards, curbing, landscaping, or other similar improvements are provided which prevent parked vehicles or opening doors from obstructing the walkway.*

Response: The proposed walkway through the parking area is shown on sheet 3.0, and is proposed to be constructed of concrete as opposed to asphalt. The walkway eventually connects to Sunnyside Road. All other parking is for employees and is located in a gate controlled yard. There is an expectation that the entire yard with the exception of the designated parking will be utilized for maneuvering, loading, and unloading lumber and building materials consistent with other similar facilities. Employees are either walking or driving in the laydown yard during all business hours.

5. *The interconnected onsite walkway system shall connect to walkways in adjacent developments, or stub to the adjacent property line if the adjacent land is vacant or is developed without walkways.*



- a. *Walkway stubs shall be located in consideration of topography and eventual redevelopment of the adjacent property.*
- b. *Notwithstanding the remainder of Subsection 1005.03(D)(6), walkway linkages to adjacent development shall not be required within industrial developments, to industrial developments, or to vacant industrially zoned land.*

Response: As mentioned previously, walkways are provided along the entire perimeter of the site, and a direct connection is provided from the main entrance to the nearest public street. Access to the laydown yard is controlled and not open to the public, so there would be no proposed connections to from the site along those lines. It is important to note that the public portions of the site are zoned Rural Industrial, and that the entire site will be developed with a use that many communities would consider light industrial.

E. Inside the UGB, except for industrial developments, a minimum of 50 percent of the street frontage of the development site shall have buildings located at the minimum front yard depth line.

Response: The site is located in the UGB, but the main activity of the site is located on property zoned Rural Industrial and with a use that is typically considered light industrial in that Parr Lumber provides wholesaling of building materials as opposed to general retail that one might typically find in a large format hardware/lumber store such as Home Depot or Lowes.

F. Inside the UGB, parking lots larger than three acres in size shall be built with major on-site vehicular circulation ways that include raised walkways with curbs, a minimum four-foot-wide landscape strip and shade trees planted a maximum of 30 feet on center.

Response: The proposed parking and circulation areas open to the general public along with the same areas for employee parking constitute approximately 78,350 square feet or 1.8 acres in size. This criterion is not applicable to the proposed development.

G. New retail, office, mixed use, and institutional buildings located on major transit streets shall have at least one public entrance facing a major transit street, or street intersecting a major transit street.

1. *A private street used to meet the standards in Subsection 1005.03(G) must have raised walking surfaces on both sides, street trees, curbs, and pedestrianscale street lighting, and must connect at both ends to an existing or proposed street.*
2. *If a development has frontage on more than one major transit street, this orientation requirement needs to be met on only one side.*
3. *The public entrance orientation requirement does not apply to warehouses or industrial buildings with less than 5,000 square feet of attached offices.*

Response: There is no transit service available to the site. This criterion is not applicable.

H. New retail, office, mixed use, multifamily, and institutional buildings located at a major transit stop shall be set back a maximum of 20 feet from at least one of the following: the major transit stop, the major transit street or an intersecting street, or a pedestrian plaza at the major transit stop or a street intersection.



1. For the purpose of Subsection 1005.03(H), a building is located at a major transit stop, if:
 - a. The building is located on a lot that has frontage on the major transit street or an intersecting street; and
 - b. Any portion of the building is within a 200-foot radius of the major transit stop.
2. Lawfully established buildings that do not comply with the maximum setback standard may have additional height added as an expansion without being brought into conformance with the standard.
3. The maximum setback standard does not apply to warehouses or industrial buildings with less than 5,000 square feet of attached offices.

Response: There is no transit service available to the site. This criterion is not applicable.

1005.04 BUILDING DESIGN

A. The following standards apply to building facades visible from a public or private street or accessway and to all building façades where the primary entrance is located.

1. *Building facades shall be developed with architectural relief, variety and visual interest and shall avoid the effect of a single, long or massive wall with no relation to human size. Examples of elements that subdivide the wall: change in plane, texture, masonry pattern or color, or windows.*

Response: The building façade is provided with architectural relief through a variety of colors, materials, and glazing. The building facades do not consist of a long or massive wall with a single plane. The warehouse would be the longest building, and the architect is proposing to incorporate windows, and entrances where functionally possible to break up the buildings appearance from the passerby. The west elevation, the most visible to the public, will be made up of a combination of windows, overhangs, pedestrian entrances, and loading entrances. See sheet A3.01 for the building elevations.

2. *Building facades shall have particular architectural emphasis at entrances and along sidewalks and walkways.*

Response: Building facades are provided with overhangs and signage at entrances along sidewalks and will be visible from SE Sunnyside Road see sheets A3.01 and A3.13 for the building elevations and materials.

3. *Provide visual interest through use of articulation, placement and design of windows and entrances, building trim, detailing, ornamentation, planters or modulating building masses.*

Response: The wholesale and warehouse building has visual interest around entries, with detailing, material changes, floor to ceiling windows, and color variation. As mentioned above, the buildings are provided with articulation through porches, porticos, and a very distinct overhang along the pedestrian side of the building, a variety of colors, and materials. See sheets A3.01 and A3.13 for the proposed building elevations and materials.



4. Utilize human scale, and proportion and rhythm in the design and placement of architectural features.

Response: The wholesale and warehouse buildings are articulated with a combination, of windows, pedestrian entries, and landscaping that further scale the proportion of the buildings to human scale. It should be noted that this is a lumber/building material wholesale and distribution use that is intended to accommodate significant amounts of storage and circulation. Very little of the site will be open to the general public. The windows provide a rhythm to the front façade that continues around the south elevation to a second public entry. See sheets A3.01 for specific details.

5. Use architectural features which are consistent with the proposed use of the building, level and exposure to public view, exposure to natural elements, and ease of maintenance.

Response: Parr Lumber buys and sells building materials. Their facilities are designed and constructed based on their intimate knowledge of the business. The materials for the warehouse and lumber sheds have been selected for durability, ease of maintenance, and cost. The larger form is sculptural at a larger scale with a shed roof and waterfall edge at the east. The scale is further broken down by textures and materials that are durable but beautiful. The tilt-up concrete will use form liners and reveals. The soffits will be a durable wood-look (Allura vented fiber cement), and the standing seam roof will be highly reflective. Daylighting is used both in the wholesale building and warehouse, greatly reducing the need for daytime power. Staff door opens to the internal green lot, stormwater areas, and mature trees which also screen the mechanical unit. See sheets A1.01 for Architectural site and A3.01 for Building Elevations

6. When uses between ground-level spaces and upper stories differ, provide differentiation through use of bays or balconies for upper stories, and awnings, canopies, trim and other similar treatments for lower levels.

Response: The proposed buildings are primarily single story, but there is a mezzanine within the warehouse area. All of that would be within the interior of the building. The uses do not differ. This criterion is not applicable.

B. Requirements for building entries:

1. Public entries shall be clearly defined, highly visible and sheltered with an overhang or other architectural feature, with a depth of at least four feet.

2. Commercial, mixed-use and institutional buildings sited to comply with 1005.03(E) shall have public entries that face streets and are open to the public during all business hours.

Response: The proposed development is for a wholesale lumber/building materials yard with a small retail component on land zoned for both Rural Industrial and Rural Commercial uses. As discussed earlier, these are all permitted uses within the zone with limitations. The main activity on site is industrial with accessory office and retail. Section 1005.03.E does not appear to be applicable to this request.



C. The street-facing façade of commercial, mixed-use and institutional buildings sited to comply with 1005.03(E) shall meet the following requirements:

- 1. Facades of buildings shall have transparent windows, display windows, entry areas, or arcades occupying a minimum of 60 percent of the first floor linear frontage.*
- 2. Transparent windows shall occupy a minimum of 40 percent of the first floor linear frontage. Such windows shall be designed and placed for viewing access by pedestrians.*
- 3. For large-format retail buildings greater than 50,000 square feet, features to enhance the pedestrian environment, other than transparent window, may be approved through design review. Such items may include, but are not limited to display cases, art, architectural features, wall articulation, landscaping, or seating, provided they are attractive to pedestrians, are built to human scale, and provide safety through informal surveillance.*

Response: The proposed use of the site is primarily industrial, and does not appear to be subject to the provisions of 1005.03E. It should be noted, that the majority of the primary building will include significant glazing, overhangs, and design. In fact, approximately every elevation includes glazing in addition to skylights. The public-facing Sunnyside is over 60% floor-to ceiling glazing.

D. Requirements for roof design:

- 1. For buildings with pitched roofs:*
 - a. Eaves shall overhang at least 24 inches.*
 - b. Roof vents shall be placed on the roof plane opposite the primary street.*

Response: The proposed wholesale and warehouse will have a shed roof with skylights, and large pedestrian overhangs. Roof vents will be on the low side of the shed roof, not visible to the public entries or Sunnyside views. See A2.03 for location. The wholesale/warehouse building design includes a dramatic 6' overhang that is articulated with a wood-look soffit. See A3.01 for elevations. All outbuildings have 2' overhangs. See A3.11, A3.21

E. Requirements for exterior building materials:

- 1. Use architectural style, concepts, colors, materials and other features that are compatible with the neighborhood's intended visual identity.*

Response: There is not a neighborhood plan for the area that would suggest the intended visual identity. The applicant proposes a form-lined tiltup concrete panel, black-framed glazing, white, highly-reflective standing seam roofing, and a fiber-cement soffit with a wood grain look. Metal paneling with a wood look will be provided on the soffits. Please see sheet A3.01 for specific materials. All outbuildings will have highly reflective roofing, Parr-blue soffits, and CMU walls with a striped pattern for visual interest.

- 2. Building materials shall be durable and consistent with the proposed use of the building, level and exposure to public view, exposure to natural elements, and ease of maintenance.*

Response: The proposed materials were selected based on the client's experience with building materials and other facilities. They are high quality and durable for the proposed use.



3. Walls shall be surfaced with brick, tile, masonry, stucco, stone or synthetic equivalent, pre-cast masonry, gypsum reinforced fiber concrete, wood lap siding, architecturally treated concrete, glass, wood, or a combination of these or other high-image materials.

Response: Walls utilized for screening of equipment will be constructed of concrete. Retaining walls on site will be constructed of concrete or concrete block.

4. Notwithstanding Subsection 1005.04(E)(3) metal may be approved as an exterior building material through design review pursuant to Section 1102 for specific high-image surfaces, canopies, awnings, doors, screening of roof-mounted fixtures, or other architectural features.

Response: As stated above, the primary building, most visible to the public entering the site from SE Sunnyside road is constructed of concrete wall paneling and glazing on the façade of the primary building. The trims and awning will include metal finishes that are intended to complement the building design. Please see sheet A3.11 for specific materials. The secondary buildings and all of the roofs are proposed to be constructed of a high quality and durable metal with a highly reflective architectural finish.

G. Requirements to increase safety and surveillance:

1. Locate buildings and windows to maximize potential for surveillance of entryways, walkways, parking, recreation and laundry areas.

Response: The building is located at the front of the property near the main public entrance. There are windows along the front of the building where employees can monitor the entryway, parking, and public sidewalks. The main work areas for employees with the exception of front office employees occurs in areas that have controlled access. These are areas that include the warehouse and the main laydown yard. They will be well lit, and because of the sites location between two highly traveled roads, the areas are fairly visible to the public and police.

2. Provide adequate lighting for entryways, walkways, parking, recreation and laundry areas.

Response: The entire site is proposed to be lit with both building mounted equipment and individual pole lights. Please see sheet E1.01, the proposed lighting plan. All entryways, walkways, and parking areas are proposed to be lit as required.

3. Locate parking and automobile circulation areas to permit easy police patrol.

Response: Proposed public parking is located at the front of the property off of Sunnyside Road. There are windows along the front of the building where employees can monitor the entryway, parking, and public sidewalks. The main work areas for employees with the exception of front office employees occurs in areas that have controlled access. These are areas that include the warehouse and the main laydown yard. They will be well lit, and because of the sites location between two highly traveled roads, the areas are fairly visible to the public and police.

4. Design landscaping to allow for surveillance opportunities.



Response: Landscaping has been strategically located by a professional and licensed landscape architect. As proposed, landscaping is a mix of trees, shrubs, and ground cover. All areas are visible from the public right-of-way given the site's location and allows for ample opportunities for surveillance. Please see sheets L1.0, L1.1, and L1.2 for proposed landscaping.

5. Locate mail boxes where they are easily visible and accessible.

Response: The proposed development is a business, and will provide mail collection and delivery available within the business as opposed to a mail box.

6. Limit fences, walls and, except for trees, landscaping between a parking lot and a street to a maximum of 30 inches in height.

Response: This standard is contradictory to what's allowed for fencing and walls in other sections of the code. The fences are proposed to be chain link, and the walls are retaining walls along the perimeter of the site and within the loading and unloading area at the rear of the site. Although they are over 30 inches in height, they do not preclude areas internal to the site from being easily surveilled by employees and law enforcement.

7. Locate play areas for clear parental monitoring.

Response: A play area is not proposed for this development. This standard is not applicable to the project.

H. Solar access requirements:

1. Except for uses with greater cooling needs than heating needs, such as many retail uses, concentrate window areas on the south side of buildings (within 20 degrees of due south) where there is good southern exposure.

Response: The proposed buildings will be provided with windows, or in the case of the proposed lumber sheds, open on three sides. There will be ample opportunity for passive lighting within the building. See sheet A3.11 for proposed window locations.

2. Provide overhangs, balconies, or other shading devices to prevent excessive summer heat gains.

Response: As mentioned previously in this narrative, the roof is provided with eaves that vary in size and scale. There are awnings located at the primary public entrances and along the front façade of the warehouse. In conjunction with the added tree cover, the site should remain should be relatively shaded.

3. Use architectural features, shape of buildings, fences, natural landforms, berms, and vegetation to catch and direct summer breezes for natural cooling, and minimize effects of winter winds.



Response: The proposed development is open to the north and east. A portion of the site will also be open to the south and west. To the extent possible, winds can freely move across and around the site.

I. Requirements for compatibility with the intent of the design type or with the surrounding area. For purposes of Subsection 1005.04(I), design types are Centers, Station Communities or Corridor Streets as identified on Comprehensive Plan Map IV-8, Urban Growth Concept; X-CRC-1, Clackamas Regional Center Area Design Plan, Regional Center, Corridors and Station Community; X-SC-1, Sunnyside Corridor Community Plan, Community Plan Area and Corridor Design Type Location; or X-MC-1, McLoughlin Corridor Design Plan, Design Plan Area. The intent of these design types is stated in Chapter 4 or 10 of the Comprehensive Plan.

Response: The project is not located in a Center, Station Community or Corridor Street. Nor is the site located within a plan area specifically identified above. Comprehensive Map 4-8, Urban Growth Concept, identifies this area as Industrial. As a result, the development is subject to compatibility of the general surrounding industrial area.

6. Inside the Portland Metropolitan Urban Growth Boundary, use colors, materials and architectural designs to visually reduce the impact of large buildings.

Response: A sizable building footprint is necessary to accommodate the proposed use. The impact of the building massing is reduced by siting it on the interior of the project site, with setbacks of more than 60+ feet for the main buildings. The larger building and the visual impact of its scale will be minimized and broken up by a combination of placement, materials, articulation, and landscaping. In addition, several mature trees will be retained to break up the larger facades which are expected to be visible from SE Foster/Safeway. Visual breaks are also created along the wall plane by integrating rows of windows and varying the exterior finish materials. The colors proposed in the exterior materials are warm, neutral tones.

7. In unincorporated communities, design structures to reflect and enhance the local character and to be in scale with surrounding development.

Response: As previously discussed, the scale of the building is comparable to those on surrounding properties in height and massing. The concrete and metal exterior materials proposed on the warehouse building echo the industrial character of this zoning district and the property immediately west of the site.

8. In rural and natural resource areas, use materials, colors and shapes that imitate or complement those in the surrounding areas, such as those used in typical farm structures.

Response: This standard is not applicable to this proposal.

9. In open space or scenic areas, use natural color tones, lines and materials which blend with the natural features of the site or site background.

Response: This site is not designated as an open space or scenic area. This standard is not applicable.

J. Requirements for screening mechanical equipment:



1. Rooftop mechanical equipment, except for solar energy systems, shall be screened from view by the use of parapet walls or a sight-obscuring enclosure around the equipment. The screen shall be constructed of one of the primary materials used on the primary facades, and shall be an integral part of the building's architectural design.

2. Ground mounted mechanical equipment shall be located away from the intersection of two public streets, to the extent practicable, and shall be screened by ornamental fences, screening enclosures, or landscaping that blocks at least 80% of the view.

3. Wall mounted mechanical equipment shall not be placed on the front of a building or on a façade that faces a street. Wall mounted mechanical equipment that extends six inches or more from the outer building wall shall be screened from view from the streets; from residential, public, and institutional properties; and from public areas of the site or adjacent sites through one of the screening techniques used in 1005.04(J)(1) or (2).

Response: Mechanical equipment is proposed to be located within the interior of the building or ground mounted, and will be screened by a landscaping and concrete screen walls. See sheet A3.1 for details.

K. Requirements for specialized structures in industrial zoning districts:

2. In the BP and LI Districts, silos, towers, and other specialized storage or processing structures are prohibited unless they are enclosed in a building that complies with the other applicable standards of Subsection 1005.04, or unless they are approved as part of a conditional use.

Response: This Subsection pertains to requirements for projects located on sites within the GI, BP and LI Zoning Districts. The site is located in the RC and RI Zoning District and is not subject to the specialized requirements of this Subsection.

1005.05 OUTDOOR LIGHTING

A. Outdoor lighting devices:

1. Shall be architecturally integrated with the character of the associated structures, site design and landscape.

Response: Proposed lighting will be integrated into the site and consists of both building mounted lighting and individual pole mounted lighting. See sheet E1.01 for specific details.

2. Shall not direct light skyward.

Response: Proposed lighting will be shielded and directed to the ground. No proposed lighting will be directed skyward.

3. Shall direct downward and shield light; or direct light specifically toward walls, landscape elements or other similar features, so that light is directed within the boundaries of the subject property;



Response: Noted. All proposed lighting will be shielded, directed to the ground, and located interior of the site as required. See sheet E1.01 for specific details.

4. Shall be suitable for the use they serve, e.g. bollard lights along walkways, pole mounted lights for parking lots;

Response: As proposed, lighting will be building mounted or located on individual poles with the sole intent of lighting the areas that are intended to be lighted. See sheet E1.01 for specific details.

5. Shall be compatible with the scale and intensity of uses they are serving. Height of pole mounted fixtures shall not exceed 25 feet or the height of the tallest structure onsite, whichever is less; and

Response: Noted. None of the pole mounted fixtures will exceed 25 feet in height.

6. At entrances, shall be glare-free. Entrance lighting may not exceed a height of 12 feet and must be directed downward.

Response: Lighting at the entrance of the facility will be building mounted, less than 12 feet high, and directed downward as required. See sheet E1.01 for specific details.

B. The following are exempt from Subsection 1005.05(A):

- 1. Temporary lights used for holiday decorations;*
- 2. Street lights regulated in Section 1006, Utilities, Street Lights, Water Supply, Sewage Disposal, Surface Water Management, and Erosion Control; and*
- 3. Lighting associated with outdoor recreation uses such as ball fields or tennis courts.*

Response: The applicant acknowledges the exemptions for Subsection 1005.05(A).

1005.06 ADDITIONAL REQUIREMENTS

Development shall comply with a minimum of one of the following techniques per 20,000 square feet of site area. Regardless of site size, a minimum of one and a maximum of five techniques are required. Partial site area numbers shall be rounded.

Response: The pre-application conference notes confirmed the project is required to meet at least five of the additional requirements listed in this section. Techniques associated with Items 2, 3, 4, and 5 are selected for this project.

***B. Use passive solar heating or cooling techniques to reduce energy consumption.
Examples of techniques:***

- 1. Modulate building masses to maximize solar access.*
- 2. For developments with more than one structure, locate taller structures to minimize negative impacts on solar access for the development site and adjacent sites.***



3. **Locate buildings to maximize windbreaks.**
4. **Locate structures and landscaping to avoid winter shading on the south side and optimize summer shading on the west and southwest sides of buildings.**
5. **Utilize deciduous trees to provide summer shade and allow winter sun.**
6. *Utilize deciduous vines on fences, trellises, and arbors to provide summer shade.*
7. *Locate and form berms to protect buildings and exterior use spaces against winter winds or utilize dense evergreens or conifers to screen winter wind and protect against hostile winter elements.*
8. *Provide skylights or clerestory windows to provide natural lighting, and/or solar heating of interior spaces.*

Response: The project has utilized the bolded techniques above to reduce energy consumption through passive solar heating or cooling techniques. The location of the new primary buildings on the site are located far enough from surrounding structures on the site and adjacent sites to ensure that their access to solar heating or cooling is not precluded by the proposed development. To create conditions for summer shading and allow winter sun, deciduous trees are proposed on the west and south sides of the building in compliance with Items B4 and B5.

C. Use highly reflective (high albedo) materials on roof surfaces.

Response: Metal roofing material is proposed as a highly reflective roof surface for the all on-site buildings. See sheet A3.11 for proposed building materials.

1006 – UTILITY LINES & FACILITIES

1006.01 GENERAL STANDARDS

A. The location, design, installation, and maintenance of all utility lines and facilities shall be carried out with minimum feasible disturbance of soil and site consistent with the rules and regulations of the surface water management regulatory authority.

Response: The applicant acknowledges this standard. Please reference sheet 3.0 for the location of proposed utilities. These designs were prepared by licensed engineers, with expertise in the rules and regulations of the surface water management regulatory authority.

B. All development that has a need for electricity, natural gas, and communications services shall install them pursuant to the requirements of the utility district or company serving the development. Except where otherwise prohibited by the utility district or company, all such facilities shall be installed underground.

Response: The applicant acknowledges this standard. All new utility lines will be placed underground and in compliance with the requirements of the utility district or company providing service. Compliance with this standard will be confirmed at the time of building permit review.

C. Coordinated installation of necessary water, sanitary sewer, and surface water management and conveyance facilities is required.

Response: The applicant acknowledges this standard. The installation of all utility facilities will be coordinated in conformance with this standard.



D. Easements shall be provided along lot lines as deemed necessary by the County, special districts, and utility companies. Easements for special purpose uses shall be of a width deemed appropriate by the responsible agency.

Response: Noted. Utility easements will be provided where required. It should be noted that all proposed utilities located on site will be located on a single parcel once all of the lots have been consolidated, and the only easements necessary will be for those utilities that are public.

1006.02 STREET LIGHTS

Street lights are required for all development inside the Portland Metropolitan Urban Growth Boundary. The following standards apply:

A. Street lighting shall be installed pursuant to the requirements of Clackamas County Service District No. 5 and the electric company serving the development. A street light shall be installed where a new road intersects a County road right-of-way and, in the case of subdivisions, at every intersection within the subdivision.

B. Areas outside Clackamas County Service District No. 5 shall annex to the district through petition to the district.

Response: Noted. The applicant understands that they will be required to annex to the lighting district as required.

1006.03 WATER SUPPLY

A. All development which has a need for, or will be provided with, public or community water service shall install water service facilities and grant necessary easements pursuant to the requirements of the district or company serving the development.

B. Approval of a development that requires public or community water service shall be granted only if the applicant provides a preliminary statement of feasibility from the water system service provider.

1. The statement shall verify that water service, including fire flows, is available in levels appropriate for the development and that adequate water system capacity is available in source, supply, treatment, transmission, storage and distribution. Alternatively, the statement shall verify that such levels and capacity can be made available through improvements completed by the developer or the system owner.

2. If the statement indicates that water service is adequate with the exception of fire flows, the applicant shall provide a statement from the fire district serving the subject property that states that an alternate method of fire protection, such as an on-site water source or a sprinkler system, is acceptable.

3. The statement shall be dated no more than one year prior to the date a complete land use application is filed and need not reserve water system capacity for the development.

Response: Approval for water service to the site was approved by the Board of the Sunrise Water Authority on December 18, 2019. A statement of feasibility was provided in writing from Elizabeth Edgar, PE on January 17, 2019 and is provided as Appendix D.



1006.04 SANITARY SEWER SERVICE

A. All development that has a need for sanitary sewers shall install the facilities pursuant to the requirements of the district or company serving the development.

B. Approval of a development that requires sanitary sewer service shall be granted only if the applicant provides a preliminary statement of feasibility from the sanitary sewage treatment service provider and the collection system service provider.

1. The statement shall verify that sanitary sewer capacity in the wastewater treatment system and the sanitary sewage collection system is available to serve the development or can be made available through improvements completed by the developer or the system owner.

2. The service provider may require preliminary sanitary sewer system plans and calculations for the proposed development prior to signing a preliminary statement of feasibility.

3. The statement shall be dated no more than one year prior to the date a complete land use application is filed and need not reserve sanitary sewer system capacity for the development.

Response: Sanitary sewer service is not available in this location. As proposed, the site would be provided with sewer service through a septic system that is being designed by Aqua Resource Design and Consulting, LLC. The site is appropriate and large enough to accommodate on-site septic as evidenced in the Geotech report, and corresponding Statement of Feasibility from Clackamas County.

1006.06 SURFACE WATER MANAGEMENT AND EROSION CONTROL

The following surface water management and erosion control standards apply: A. Positive drainage and adequate conveyance of surface water shall be provided from roofs, footings, foundations, and other impervious or near-impervious surfaces to an appropriate discharge point.

B. The requirements of the surface water management regulatory authority apply. If the County is the surface water management regulatory authority, the surface water management requirements of the Clackamas County Roadway Standards apply.

Response: A licensed, professional engineer designed the stormwater management plan and prepared the preliminary stormwater report in compliance with County standards. A statement of feasibility was signed and provided by Sally Curran of Clackamas County on December 13, 2019. As proposed, drainage will be treated and detained on-site in underground facilities. Please reference the grading and drainage plans provided on sheet 4.0, the statement of feasibility from Mrs. Curran provided as Appendix E, and the preliminary stormwater report provided as Appendix F.

C. Approval of a development shall be granted only if the applicant provides a preliminary statement of feasibility from the surface water management regulatory authority. The statement shall verify that adequate surface water management, treatment and conveyance is available to serve the development or can be made available through improvements completed by the developer or the system owner.



- 1. The surface water management regulatory authority may require a preliminary surface water management plan and report, natural resource assessment, and buffer analysis prior to signing the preliminary statement of feasibility.*
- 2. The statement shall be dated no more than one year prior to the date a complete land use application is filed and need not reserve surface water treatment and conveyance system capacity for the development.*

Response: A Statement of Preliminary Feasibility for surface water management, signed and dated by Department of Transportation and Development (DTD) staff on December 13, 2019, is provided as Appendix E.

D. Development shall be planned, designed, constructed, and maintained to:

- 1. Protect and preserve existing natural drainage channels to the maximum practicable extent;*
- 2. Protect development from flood hazards;*
- 3. Provide a system by which water within the development will be controlled without causing damage or harm to the natural environment, or to property or persons within the drainage basin;*
- 4. Ensure that waters drained from the development are substantially free of pollutants, including sedimentary materials, through such construction and drainage techniques as sedimentation ponds, reseeding, and phasing of grading; and*
- 5. Ensure that waters are drained from the development in such a manner that will not cause erosion to any greater extent than would occur in the absence of development.*

Response: The applicant acknowledges this requirement. The project is designed by a licensed, professional engineer and complies with these requirements.

E. Where culverts cannot provide sufficient capacity without significant environmental degradation, the County may require the watercourse to be bridged or spanned.

Response: This standard does not apply. The site does not have an exposed watercourse on the property.

F. If a development, or any part thereof, is traversed by any watercourse, channel, stream, creek, gulch, or other natural drainage channel, adequate easements for surface water management purposes shall be provided to the surface water management regulatory authority.

Response: This standard does not apply. The site does not have an exposed watercourse on the property.

G. Channel obstructions are not allowed, except as approved for the creation of detention, retention, or hydropower facilities approved under this Ordinance. Fences with swing gates may be utilized.

Response: This standard does not apply. The site does not have an exposed watercourse on the property.

H. The natural drainage pattern shall not be substantially altered at the periphery of the subject property. Greatly accelerated release of stored water is prohibited. Flow shall not be diverted to



lands that have not previously encountered overland flow from the same upland source unless adjacent downstream owners agree.

Response: A licensed, professional engineer designed the grading and stormwater plan in compliance with these requirements. The natural drainage pattern is not substantially altered at the periphery of the property. The drainage plan is provided on Civil Sheet C4.0. The preliminary stormwater report is provided as Appendix F.

I. A surface water management and erosion control plan is required for significant residential, commercial, industrial, and institutional development. The plan shall include:

- 1. The methods to be used to minimize the amount of runoff siltation and pollution created from the development both during and after construction; and*
- 2. Other elements required by the surface water management authority.*

Response: A preliminary stormwater report, stormwater plan and erosion control plan are provided in the application plan set. Please reference Civil Sheets 3.0, 4.0, and Appendix F.

1007 – ROADS & CONNECTIVITY

1007.01 GENERAL PROVISIONS

B. Right-of-way dedications and improvements shall be required of all new developments, including partitions, subdivisions, multifamily dwellings, two- and three-family dwellings, condominiums, single-family dwellings, and commercial, industrial, and institutional uses, as deemed necessary by the Department of Transportation and Development and consistent with Section 1007, Chapters 5 and 10 of the Comprehensive Plan, and the Clackamas County Roadway Standards.

Response: Sidewalks are already provided along SE Sunnyside Road and Highway 212. The applicant proposes to provide ½ street improvements along SE Foster Road and SE Damascus Lane as required. Where right-of-way dedications and further improvements are required, the developer will concur so long as the required improvements are proportional to the impacts of the development.

C. New developments shall have access points connecting with existing private, public, county, or state roads.

- 3. Access control shall be implemented pursuant to Chapter 5 of the Comprehensive Plan and the Clackamas County Roadway Standards considering best spacing for pedestrian access, traffic safety, and similar factors as deemed appropriate by the Department of Transportation and Development.*

Response: The proposed development provides a total of four accesses onto the site. One access would be provided from SE Damascus Lane, two accesses would be provided off of SE Foster Road, and a primary public access would be provided into the site from SE Sunnyside Road. Please see sheet 3.0 for specific locations and spacing.

- 4. Approaches to public and county roads shall be designed to accommodate safe and efficient flow of traffic and turn control where necessary to minimize hazards for other vehicles, pedestrians, and bicyclists.*



Response: Noted. Approaches to the County roads will be designed to be compliant with the county design and spacing standards for access.

5. Joint access and circulation drives utilizing reciprocal easements shall be utilized as deemed necessary by the Department of Transportation and Development. In the NC District, joint street access for adjacent commercial developments shall be required.

Response: Joint access is not proposed. This standard is not applicable to the proposed development.

10. Inside the Portland Metropolitan Urban Growth Boundary:

- a. The development shall have no more than the minimum number of driveways required by the Department of Transportation and Development on all arterial and collector streets.*
- b. For properties having more than one street frontage, driveways shall be located on the street with the lowest functional classification, if feasible.*
- c. Driveways shall be no wider than the minimum width allowed by the Clackamas County Roadway Standards.*
- d. Driveways shall be located so as to maximize the number of allowed onstreet parking spaces, the number of street trees, and optimum street tree spacing.*

Response: Noted. As mentioned previously, the applicant is proposing four accesses into the site. The proposed accesses have been located to meet the county spacing standards for access onto local and arterial streets. See sheet 3.0 for specific locations.

D. Street alignments, intersections, and centerline deflection angles shall be designed according to the standards set forth in Chapters 5 and 10 of the Comprehensive Plan and the Clackamas County Roadway Standards.

Response: The project does not create new streets. This standard is not applicable to the application review.

E. All roads shall be designed and constructed to adequately and safely accommodate vehicles, pedestrians, and bicycles according to Chapters 5 and 10 of the Comprehensive Plan and the Clackamas County Roadway Standards. Development-related roadway adequacy and safety impacts to roadways shall be evaluated pursuant to the Clackamas County Roadway Standards and also to Oregon Department of Transportation standards for state highways.

Response: The project does not create new roads. However, half street road improvements are proposed on Foster Road and Damascus Lane. These improvements are designed to comply with Clackamas County Roadway Standards and are depicted on Civil Sheet 3.0. The road section for Foster Road shows a 5-foot wide sidewalk, 4 ½-foot planter, standard curb and gutter, 8-foot bike lane, 12-foot travel lane, and 7-foot turn lane. The Damascus Lane section depicts a 5-foot wide sidewalk and standard curb and gutter. Road widening of 3 ½ feet is proposed to accommodate this improvement.



F. Roadways shall be designed to accommodate transit services where transit service is existing or planned and to provide for the separation of motor vehicles, bicycle, and pedestrian traffic, and other modes as appropriate.

Response: Transit service is not provided within a mile of the project site. Roadway improvements do not necessitate the accommodation of transit services at this time.

G. The needs of all modes of transportation shall be balanced to provide for safe and efficient flow of traffic. Where practical, pedestrian crossing lengths shall be minimized and the road system shall be designed to provide frequent pedestrian connections.

Response: The development site is located within a rural unincorporated area. New sidewalks are being constructed along SE Foster Road and SE Damascus Lane, but pedestrian crossings are expected to remain at the signalized intersection of SE Foster Road and Highway 212. The County has not indicated any additional needs.

1007.04 PEDESTRIAN AND BICYCLE FACILITIES

C. Requirements for Pedestrian and Bicycle Facility Construction: Within the Portland Metropolitan Urban Growth Boundary (UGB), sidewalks, pedestrian pathways, and accessways shall be constructed as required in Subsection 1007.04 for subdivisions, partitions, multifamily dwellings, three-family dwellings, attached single-family dwellings where three or more dwelling units are attached to one another, and commercial, industrial, or institutional developments, except that for structural additions to existing commercial, industrial, or institutional buildings, development of such facilities shall be required only if the addition exceeds 10 percent of the assessed value of the existing structure, or 999 square feet.

Response: Noted. As stated previously, there are new pedestrian and bicycle facilities being constructed along SE Damascus Lane and SE Foster Road accordingly.

D. Requirement for Sidewalk Construction: Within the UGB, sidewalks shall be constructed, as required in Subsection 1007.04(F), for two-family dwellings, detached single-family dwellings, attached single-family dwellings where two dwelling units are attached to one another, and manufactured dwellings outside a manufactured dwelling park.

Response: This project is a development within a Rural Commercial and Rural Industrial zoning district. This standard is not applicable.

E. Sidewalks or Pedestrian Pathways in Unincorporated Communities: In an unincorporated community, either a sidewalk or a pedestrian pathway shall be constructed on arterial or collector street frontage(s) of a lot upon which a subdivision, partition, multifamily dwelling, three-family dwelling, attached single-family dwelling where three or more dwelling units are attached to one another, or a commercial, industrial, or institutional development is proposed.

Response: New sidewalks are proposed to be constructed along SE Foster Road and SE Damascus Lane as required.

F. Sidewalk Location: Sidewalks required by Subsection 1007.04(C) or (D) shall be constructed on:



1. Both sides of a new or reconstructed road, except that sidewalks may be constructed on only one side of the road if:
 - a. The road is not a through road;
 - b. The road is 350 feet or less in length and cannot be extended; or
 - c. In consideration of the factors listed in Subsection 1007.02(B)(3).
2. The street frontage(s) of a lot upon which a subdivision, partition, multifamily dwelling, three-family dwelling, attached single-family dwelling where three or more dwelling units are attached to one another, or a commercial, industrial, or institutional development is proposed; and
3. Local or collector road street frontage(s) of a lot upon which a two-family dwelling, a detached single-family dwelling, an attached single-family dwelling where two dwelling units are attached to one another, or a manufactured dwelling is proposed. This requirement shall be imposed as a condition on the issuance of a conditional use permit, building permit, or manufactured dwelling placement permit, but
 - a. The requirement shall be waived if the dwelling is a replacement for one destroyed by an unplanned fire or natural disaster; and
 - b. The sidewalk requirement shall apply to no more than two street frontages for a single lot.

Response: As stated previously, there are new pedestrian and bicycle facilities being constructed along SE Damascus Lane and SE Foster Road accordingly. The facilities are only proposed along the side of the street where the project fronts.

1007.06 STREET TREES

A. Within the Portland Metropolitan Urban Growth Boundary, street trees are required on all road frontage—except frontage on private roads or access drives-- for subdivisions, partitions, multifamily dwellings, three-family dwellings, attached single-family dwellings where three or more dwelling units are attached to one another, and commercial, industrial, or institutional developments, except that for structural additions to existing commercial, industrial, or institutional buildings, street trees are required only if the addition exceeds 10 percent of the assessed value of the existing structure, or 999 square feet. Street trees shall comply with the following standards:

1. Partial or complete exemptions from the requirement to plant street trees may be granted on a case-by-case basis. Exemptions may be granted, for example, if the exemption is necessary to save existing significant trees which can be used as a substitute for street trees.
2. Street trees to be planted shall be chosen from a County-approved list of street trees (if adopted), unless approval for planting of another species is given by the Department of Transportation and Development.
3. Location and planting of street trees may be influenced by such conditions as topography, steep terrain, soil conditions, existing trees and vegetation, preservation of desirable views, and solar access.
4. Planting of street trees shall be coordinated with other uses which may occur within the street right-of-way, such as bikeways, pedestrian paths, storm drains, utilities, street lights, shelters, and bus stops.
5. Street trees at maturity shall be of appropriate size and scale to complement the width of the street or median area.



Response: Street trees are proposed within the SE Foster Road and SE Damascus Lane street frontage. Please refer to Landscape Sheet L1.1 for detailed information on the tree locations, size and species.

1007.07 TRANSPORTATION CONCURRENCY FACILITIES

A. Subsection 1007.07 shall apply to the following development applications: design review, subdivisions, partitions, and conditional uses.

B. Approval of a development shall be granted only if the capacity of transportation facilities is adequate or will be made adequate in a timely manner. The following shall be exempt from this requirement:

1. Development that is located:

- a. In the Light Industrial, General Industrial, or Business Park District; and*
- b. North of the Clackamas River; and*
- c. West of Highway 224 (south of Highway 212) or 152nd Drive (north of Highway 212); and*
- d. South of Sunnyside Road (east of 82nd Avenue) or Harmony Road (west of 82nd Avenue) or Railroad Avenue (west of Harmony Road); and e. East of Interstate 205 (south of Milwaukie Expressway) or the city limits of Milwaukie (north of the Milwaukie Expressway).*

Response: The project does not create new roads. However, half street road improvements are proposed on Foster Road and Damascus Lane. These improvements are designed to comply with Clackamas County Roadway Standards and are depicted on Civil Sheet 3.0. The road section for Foster Road shows a 5-foot wide sidewalk, 4 ½-foot planter, standard curb and gutter, 8-foot bike lane, 12-foot travel lane, and 7-foot turn lane. The Damascus Lane section depicts a 5-foot wide sidewalk and standard curb and gutter. Road widening of 3 ½ feet is proposed to accommodate this improvement.

1009 – LANDSCAPING

1009.01 GENERAL PROVISIONS

A. Landscaping materials shall be selected and sited to produce a hardy and low-maintenance landscaped area with an emphasis on fast-growing plants. Selection shall include consideration of soil type and depth, spacing, exposure to sun and wind, slope and contours of the subject property, building walls and overhangs, and compatibility with existing vegetation to be preserved. Notwithstanding the requirement for hardiness, annuals are permitted as provided in Subsection 1009.01(B).

Response: Acknowledged by the applicant. A Registered Landscape Architect, in compliance with the County's installation and maintenance requirements, prepared the landscape plans.

B. A variety of plants, intermixed throughout landscaped areas, shall be provided, as follows:

- 1. Evergreen and deciduous;*
- 2. Trees, shrubs, and groundcover;*
- 3. Plants of varying textures;*



4. Plants of varying widths and heights at maturity; and

5. Plants with seasonal color interest (e.g., foliage, flowering perennials, annuals).

Response: Proposed landscaping includes a variety of plants as illustrated in Sheets L1.0, L1.1, L1.2 and L1.3. The proposed plantings include Trees, shrubs, and groundcover as required.

C. The planting of invasive non-native or noxious vegetation shall be prohibited, and existing invasive non-native or noxious vegetation shall be removed.

Response: Acknowledged by the applicant. Please reference the *Planting Schedule* on Sheet L1.2 for a list of all planting materials - trees, shrubs, grasses, and groundcover - proposed for this project.

D. Landscaped areas shall not be used for other purposes, such as storage or display of automobiles, equipment, merchandise, or materials.

Response: This requirement is acknowledged by the applicant. No landscaped areas are proposed for storage or display uses.

E. Landscaping of the unimproved area between a lot line and the improved portion of an adjacent road right-of-way shall be required when there are no immediate plans to develop or otherwise disturb the unimproved area, and one or more of the following apply:

1. The subject property is located inside the Portland Metropolitan Urban Growth Boundary;

Response: This standard applies to the project because it is located within the Metropolitan Urban Growth Boundary. The site is proposed with improvements that extend across the entirety of the site. This standard is met.

F. Landscaping shall be used to highlight public entrances to buildings. If—due to the depth of a front setback, a required walkway, or both—there is insufficient area to permit a typical, in-ground landscaping bed between a public entrance and a front lot line, this requirement may be met with trellises, hanging baskets, or planters, any of which shall include plants.

Response: Acknowledged by the applicant. Compliance will be demonstrated during submittal of final landscape plans.

G. Where feasible, landscaping shall be required adjacent to walkways and other areas intended for pedestrian use.

Response: Noted. Where feasible, landscaping has been provided adjacent to the new sidewalks on site. See sheets L 1.0 and L1.1.

H. Existing significant plants, terrain, and other natural features shall be incorporated into the landscaping design and development if such features are required to be retained by other provisions of this Ordinance or if otherwise feasible.



Response: No significant plants, terrain, or other natural features have been identified on the site.

1009.02 MINIMUM AREA STANDARDS

A. Table 1009-1, Minimum Landscaped Area, establishes the minimum percentage of the area of the subject property that shall be landscaped.

- 1. The minimum landscaped area shall be calculated after subtracting any public dedications from the area of the subject property.*
- 2. Landscaping in adjacent rights-of-way shall not count toward compliance with the minimum landscaped area.*
- 3. Requirements for surface parking and loading area landscaping, screening and buffering, scenic roads landscaping, landscaping strips, and recreational areas and facilities set forth in Section 1009 apply regardless of whether compliance with those requirements results in landscaping a greater percentage of the subject property than is required by Table 1009-1.*

Excerpt of Table 1009-1: Minimum Landscaped Area

Zoning District	Minimum Landscaped Area
RC & RI	15 percent

Response: Sheet L1.1 provides the area breakdowns of the site. As proposed. 15% of the site will be landscaped meeting this standard.

- 4. A minimum of 75 percent of the minimum landscaped area required by Table 1009-1—excluding any area occupied by pedestrian amenities, active recreational areas, or edible gardens—shall be landscaped with native or drought-tolerant plants.*

Response: Acknowledged by the applicant. Please reference the *Planting Schedule* on Sheets L1.0 through L1.2 for a list of all planting materials - trees, shrubs, perennials, grasses, vines, and groundcover - proposed for this project. Full compliance with this requirement will be demonstrated at the time of site development permit review, when the specific quantity and precise location of the plant species identified in on the Design Review landscape plans will be provided in greater detail.

- 5. Outdoor recreational areas required by Subsection 1009.08(A), as well as outdoor recreational areas in the MRR District, shall count toward the minimum landscaped area required by Table 1009-1, except that impervious surface area exceeding 25 percent of the outdoor recreational area shall be excluded.*

Response: Subsection 1009.08(A) requires outdoor recreational areas for specific types of residential development. Housing is not proposed for this project, nor is the site located in a MRR District. This standard is not applicable.

1009.03 SURFACE PARKING AND LOADING AREA LANDSCAPING



Surface parking and loading areas shall be landscaped as follows:

A. Surface parking areas that include more than 15 parking spaces shall comply with the following landscaping requirements:

1. Twenty-five square feet of landscaping per parking space, excluding perimeter parking spaces, shall be provided, except that the standard shall be reduced to 20 square feet for each parking space developed entirely with porous pavement.

Response: This standard is applicable to the 46 parking spaces (33 customer + 13 staff) proposed on the site plan. However, a total of 29 of those spaces are perimeter to the parking lot. With perimeter parking spaces excluded from the landscape calculation for this standard, the overall minimum interior parking lot landscaping requirement is based on 17 stalls. Subsequently, the minimum overall square footage of interior parking lot landscaping required for this site is 425 square feet (e.g. 25 SF * 17 stalls). The project exceeds this requirement, providing approximately 1,243 square feet of interior landscaping in the parking areas. Landscape Sheet L1.1 provides the landscape calculation for the interior landscaping proposed.

2. One landscape swale located between two rows of parking spaces, as shown in Figure 1009-1, is required for every six rows of parking spaces, unless all parking spaces are developed entirely with porous pavement. Additional swales beyond the minimum requirement are allowed.

a. For the purpose of Subsection 1009.03(A)(2), a "row" of parking spaces is one space deep, meaning that where two spaces abut at their ends, it is considered two "rows".

Response: Figure 1009-1 speaks to double loaded parking rows and the idea behind this standard appears to require a swale between the two rows of parking. This condition does not occur on the proposed plan, and is therefore not applicable to this development.

3. Interior landscaping not developed as swales pursuant to Subsection 1009.03(A)(2) shall comply with the following standards:

a. It shall be arranged in areas at the ends of rows of parking or between parking spaces within rows of parking.

b. It may join perimeter landscaping as long as the interior landscape area extends at least four feet into the parking area from the perimeter landscape line.

c. Landscaping that abuts, but does not extend into, the parking area may be included as interior landscaping if all of the following are met:

i. The abutting landscaped area must be in addition to required perimeter landscaping;

ii. Only the first 10 feet of the abutting landscaped area, measured from the edge of the parking area, may be included as interior landscaping; and



iii. The landscaped area is not abutting and parallel to required perimeter landscaping. See Figure 1009-2. d. The interior length and width of landscaped areas shall be a minimum of four feet.

Response: This standard is met. Please reference Landscape Sheets L1.0 and L1.1 for the location of and materials specified for interior landscaping. Standard landscape planters are at least 4 feet in width and are distributed across the parking area, in between stalls and at the end of rows of parking.

4. Interior landscaped areas, including swales, shall include a minimum of one tree located every eight interior parking spaces, or fraction thereof, except in the OA, VA, VCS, and VO Districts, where a minimum of one tree shall be located every six interior parking spaces.

a. Where necessary to accommodate other design considerations, variable spacing of the trees required by Subsection 1009.03(A)(4) is allowed, but in no case shall there be less than one tree planted in every 12 parking spaces.

b. The species of trees required shall be determined on the basis of the growth habit and the need to provide maximum shading of surface parking areas.

Response: A total of 46 passenger vehicle spaces are proposed on the site (33 customer spaces + 13 staff spaces). To comply with this standard, the project proposes 6 trees (e.g. 46 / 8) within the interior parking areas. These trees are distributed with variable spacing, not exceeding a frequency of at least one every 12 stalls. Please reference the planting plan on Landscape Sheets L1.0-L1.2. Landscape calculations are provided on Landscape Sheet L1.1. There are 7 trees located within the customer parking area and another two spaces in the employee parking area.

B. Perimeter landscaping requirements for surface parking and loading areas adjacent to abutting lots or rights-of-way are as follows:

1. A landscaping strip with a minimum width of five feet shall be provided adjacent to the perimeter of the surface parking or loading area, except:

a. In the OA, VA, VCS, and VO Districts, the minimum width shall be 10 feet;

b. In the BP and LI Districts, the minimum width shall be 15 feet abutting a front lot line; and

c. In the GI District, the minimum width shall be 10 feet abutting a front lot line.

Response: None of the exceptions listed in this Subsection apply to the RI and RC zoning districts. This standard is not applicable.

2. The required landscaping strips shall comply with the following standards:

a. Sufficient low shrubs shall be planted to form a continuous screen three feet high and 95 percent opaque, year-round; or a three-foot-high masonry wall or berm may be substituted for the shrubs. When applied along front lot lines, the screen or wall is to be



placed along the interior side of the landscaping strip and shall be 30 inches high instead of three feet high.

b. In addition, one tree is required for every 30 linear feet of landscaping strip, or as otherwise required to provide a tree canopy over the landscaping strip.

c. Ground cover plants must fully cover the remainder of the landscaped area.

Response: The landscaping strips around the perimeter are landscaped with an irrigated shrub bed. The *Planting Schedule* shown on any of the attached Landscape Plans (Sheets L1.0 through L1.2) includes a variety of shrub species and sizes, with mature heights noted in the planting legend. The proposed perimeter landscaping also includes groundcover plants, and trees that are spaced based on the landscape architects knowledge of the species.

3. A perimeter landscape strip is not required for a surface parking or loading area adjacent to an abutting lot if one or more interior driveways connect the two lots and if the abutting lot also is developed with a surface parking or loading area adjacent to the shared lot line.

Response: Noted by the applicant. The site area is comprised of five tax lots. The surface parking lot extends across multiple tax lots. Pursuant to this allowance, perimeter landscaping is not required along the boundary of the tax lots with common ownership. It should be noted that the lots will be consolidated, and that the perimeter of the overall parcel is landscaped according to these standards.

4. Required walkways may cross perimeter landscaping strips.

Response: Acknowledged by the applicant.

1009.04 SCREENING AND BUFFERING

A. Screening shall be used to eliminate or reduce the visual impacts of the following:

1. Service areas and facilities, such as loading areas and receptacles for solid waste or recyclable materials;

2. Storage areas;

3. Ground-mounted rainwater collection facilities with a storage capacity of more than 100 gallons;

4. Parking lots within or adjacent to an Urban Low Density Residential, VR-5/7, VR-4/5, RA-1, RA-2, RR, RRFF-5, FF-10, FU-10, or HR District; and

5. Any other area or use, as required by this Ordinance.

Response: All service and mechanical equipment are screened by a combination of landscaping and screening walls as required.



B. Screening shall be accomplished by the use of sight-obscuring evergreen plantings, vegetated earth berms, masonry walls, sight-obscuring fences, proper siting of disruptive elements, building placement, or other design techniques.

Response: Proposed screening includes landscaping and masonry screen walls as required. See the architectural plans for locations and dimensions.

C. Screening shall be required to substantially block any view of material or equipment from any point located on a street or accessway adjacent to the subject property. Screening from walkways is required only for receptacles for solid waste or recyclable materials. A sight-obscuring fence at least six feet in height and up to a maximum of 10 feet in height shall be required around the material or equipment.

Response: The proposed development utilizes a combination of landscaping to block the view of materials and equipment from the surrounding rights-of-way. The trash enclosure is interior to the site and screened by a masonry wall as required, although, it is the owners' intent to provide an alternative solution to solid waste on site based on their business practices. A1.01 shows the mechanical units out of sight-lines from Sunnyside, behind a chainlink fence and mature conifer trees to remain.

D. Buffering shall be used to mitigate adverse visual impacts, dust, noise, or pollution, and to provide for compatibility between dissimilar adjoining uses. Special consideration shall be given to buffering between residential uses and commercial or industrial uses, and in visually sensitive areas.

Response: In this instance, the surrounding uses are similar uses. To the extent necessary, buffering is provided through landscaping and setbacks.

E. Buffering shall be accomplished by one of the following:

3. A landscaping strip with a minimum width of five feet and including:

a. A masonry wall or sight-obscuring fence a minimum of six feet in height. The wall or fence is to be placed along the interior side of the landscaping strip;

b. Evergreen vines, evergreen trees, or evergreen shrubs, any of which shall be spaced not more than five feet apart; and

c. Low-growing evergreen shrubs and evergreen ground cover covering the balance of the area; or

Response: Adverse visual impacts are not anticipated for this project and the site does not abut dissimilar adjoining uses. This is an industrial area with long established uses. A buffer is not warranted beyond the standard requirements for providing 5-foot (15-feet at front property line) perimeter landscaping around parking areas and screening mechanical equipment from the street.

F. Required walkways shall be accommodated, even if such accommodation necessitates a gap in required screening or buffering.



Response: The standard is acknowledged by the applicant.

1009.06 LANDSCAPING STRIPS

A. In the BP and LI Districts, a landscaping strip a minimum of 15 feet wide shall be provided abutting front lot lines.

B. In the GI District, a landscaping strip a minimum of 10 feet wide shall be provided abutting front lot lines.

C. In all other zoning districts, except SCMU, a landscaping strip a minimum of five feet wide shall be provided abutting front lot lines. (See Subsection 1005.10(L) for additional SCMU landscaping requirements.)

1. This requirement will be waived or reduced in the NC, PMU, and VCS Districts, which are districts that have no minimum front setback standard, to the extent necessary to accommodate a building with a front setback of less than five feet.

2. If—due to the depth of a front setback and the need to accommodate a required walkway, required pedestrian amenities, or both—there is insufficient area to permit a five-foot-wide landscaping strip, the landscaping strip may be reduced in width or the landscaping requirement may be met with a linear arrangement of trellises, hanging baskets, or planters, any of which shall include plants.

Response: A varying landscape strip is provided along the front lot line. The proposed landscape strips do not fall below five feet in width as required. See sheets L1.0 – L1.2 for specific locations and details for the proposed planting strips.

1009.07 FENCES AND WALLS

A. Fences and walls shall be of a material, color, and design complementary to the development.

Response: The proposed use is industrial and includes chain link fencing consistent with the fence types on surrounding developments.

1009.08 RECREATION AREAS AND FACILITIES

A. An outdoor recreational area shall be provided in developments of two-family, three-family, or multifamily dwellings in the MR-1, MR-2, and HDR Districts, and in developments of three-family or multifamily dwellings, including mixed-use developments that include these uses, in the SCMU District, as follows:

1. A minimum of 200 square feet of usable outdoor recreational space per dwelling unit shall be provided for studio, one- bedroom, and two-bedroom units. The minimum shall be increased to 300 square feet per dwelling unit for units with three or more bedrooms.

2. Outdoor recreational areas may be designed for passive or active recreation, including edible gardening.

3. Outdoor recreational areas shall be designed for adequate surveillance opportunities.



4. Outdoor recreational areas shall be conveniently located and accessible to all dwelling units.

Response: As a commercial/industrial development, the project is not subject to the outdoor recreational standards intended for residential mixed-use development.

1009.09 EROSION CONTROL

- A. Graded areas shall be re-vegetated with suitable plants to ensure erosion control.
- B. Netting shall be provided, where necessary, on sloped areas while ground cover is being established.

Response: A grading plan is provided as sheet 4.0 of the civil plan set. A more formal grading and erosion control plan will be provided along with the construction documents prior to any on-site work.

1009.10 PLANTING AND MAINTENANCE

- A. Impervious weed barriers (e.g. plastic sheeting) are prohibited.
- B. Plants shall not cause a hazard. Plants over walkways, sidewalks, pedestrian pathways, and seating areas shall be pruned to maintain a minimum of eight feet below the lowest hanging branches. Plants over streets, bikeways, accessways, and other vehicular use areas shall be pruned to maintain a minimum of 15 feet below the lowest hanging branches.
- C. Plants shall be of a type that, at maturity, typically does not interfere with above or below-ground utilities or paved surfaces.
- D. Plants shall be installed to current nursery industry standards.
- E. Plants shall be properly guyed and staked to current nursery industry standards as necessary. Stakes and guys shall not interfere with vehicular or pedestrian traffic, shall be loosened as needed to prevent girdling of trunks, and shall be removed as soon as sufficient trunk strength develops, typically one year after planting.
- F. Landscaping materials shall be guaranteed for a period of one year from the date of installation. The developer shall either submit a signed maintenance contract for the one-year period or provide a performance surety pursuant to Section 1311, Completion of Improvements, Sureties, and Maintenance, covering the landscape maintenance costs for the one-year period.
- G. Plants shall be suited to the conditions under which they will be growing. As an example, plants to be grown in exposed, windy areas that will not be irrigated shall be sufficiently hardy to thrive under these conditions. Plants shall have vigorous root systems, and be sound, healthy, and free from defects and diseases.
- H. When planted, deciduous trees shall be fully branched, have a minimum caliper of two inches, and have a minimum height of eight feet.
- I. When planted, evergreen trees shall be fully branched, have a minimum height of eight feet, and have only one leader.
- J. Shrubs shall be supplied in minimum one-gallon containers or eight-inch burlap balls with a minimum spread of 12 inches.
- K. Ground cover shall be planted a maximum of 30 inches on center with a maximum of 30 inches between rows. Rows of plants shall be staggered. Ground cover shall be supplied in minimum four-inch containers, except that the minimum shall be reduced to two and one-quarter inches or equivalent if the ground cover is planted a minimum of 18 inches on center.



- L. *Plants shall be spaced so that ground coverage three years after planting is expected to be 90 percent, except where pedestrian amenities, rainwater collection systems, or outdoor recreational areas count as landscaping pursuant to Subsection 1009.02. Areas under tree drip lines count as ground coverage.*
- M. *Irrigation of plants shall be required, except in wooded areas, wetlands, and in river and stream buffers. The irrigation system shall be automatic, except that hose bibs and manually operated methods of irrigation may be permitted in small landscaped areas close to buildings. Automatic irrigation systems are subject to the following standards:*
 - 1. *An automatic irrigation controller shall be required for irrigation scheduling.*
 - 2. *The system shall be designed to prevent runoff, low head drainage, overspray, or other similar conditions where irrigation water flows onto non-targeted areas, such as adjacent property, non-irrigated areas, hardscapes, roadways, or structures.*
 - 3. *In mulched planting areas, the use of low volume irrigation is required to maximize water infiltration into the root zone.*
 - 4. *Narrow or irregularly shaped areas, including turf lawn, less than eight feet in width in any direction shall be irrigated with subsurface or low volume irrigation.*
 - 5. *Overhead sprinkler irrigation is prohibited within two feet of any impervious surface unless:*
 - a. *The landscaped area is adjacent to permeable surfacing and no runoff occurs; or*
 - b. *The adjacent impervious surfaces are designed and constructed to drain entirely to landscaping; or*
 - c. *The irrigation designer specifies an alternative design or technology that complies with Subsection 1009.10(M)(2).*
- N. *Appropriate methods of plant care and landscaping maintenance shall be provided by the property owner. Pruning shall be done to current nursery industry standards.*
- O. *Plants shall be protected from damage due to heavy foot traffic or vehicular traffic by protective tree grates, pavers, or other suitable methods.*

Response: Acknowledged by the applicant. Please reference the detailed landscape plans for information provided on plant size, spacing, and proposed irrigation.

1010.09 COMMERCIAL SIGNS IN INDUSTRIAL DISTRICTS

A. Commercial Freestanding Signs:

- 1. *Number: Only one sign shall be allowed for a development or complex, even when more than one tax lot or ownership is included in the development, unless approved through design review criteria 1010.09.A.1.(a-f).*

B. Building Commercial Signs:

- 1. *Number: The maximum sign area may be distributed among any number of signs.*
- 2. *Maximum size:*

- a. *If there is not a freestanding sign on the same site frontage, then one and one-half square feet of sign area per linear footage of the occupant's primary building wall.*
- b. *If there is a freestanding sign on the same site frontage, then one square foot of sign area per linear footage of the occupant's primary building wall.*
- c. *Wall signs based on the sign rights of a primary building wall may be placed on a secondary building wall; they may not be placed onto another primary building wall.*
- d. *Each tenant shall be allowed a minimum 32 square feet of building sign area.*



- e. In no case shall a building sign exceed 200 square feet.*
- 3. Design: Building signs shall be incorporated into the design of the building, and shall not be placed in locations which interrupt, detract from, or change the architectural lines of the building.*
- 4. Illumination: Building signs may be internally or externally illuminated, subject to Subsection 1010.02(I).*

Response: The requirements for review of signage is acknowledged by the applicant. Although the new structures are proposed on the portion of the site designated as a Rural Industrial Zoning District, signage is not proposed under this application. A signage plan is provided for reference (A1.02), but the applicant is aware of the fact that future signage is subject to ZDO standards and approval criteria under separate permits.

1015 – PARKING AND LOADING

1015.01 GENERAL STANDARDS

A. Inside the Portland Metropolitan Urban Growth Boundary (UGB), parking, loading, and maneuvering areas shall be hard-surfaced, unless a permeable surface is required for surface water management pursuant to the regulations of the surface water management authority or in order to comply with Subsection 1006.06.

Response: All proposed parking, loading, and maneuvering areas are proposed to be paved as required.

D. Motor vehicle parking, bicycle parking, and loading areas shall be separated from one another.

Response: Motor vehicle parking and bicycle parking is separate. Customer parking is provided directly off of SE Sunnyside Road and is separated from the employee parking, loading, and maneuvering areas by a controlled access area located to the rear of the main building.

E. Required parking spaces and loading berths shall not be:

- a. Rented, leased, or assigned to any other person or organization, except as provided for under Subsection 1015.02(D)(2)(a) for shared parking or Subsection 1015.04(C) for shared loading berths.*
- b. Used for storing or accumulating goods or storing a commercial or recreational vehicle, camper, or boat, rendering the space(s) useless for parking or loading operations.*
- c. Occupied by the conducting of any business activity, except for permitted temporary uses (e.g., farmers' markets).*

Response: Noted. None of the proposed parking is proposed to be utilized as prohibited by the above standards.

1015.02 MOTOR VEHICLE PARKING AREA STANDARDS

A. Off-street parking areas shall be designed to meet the following requirements:

Parr Lumber - Damascus

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1. Off-street motor vehicle parking areas shall be provided in defined areas of the subject property. No area shall be considered a parking space unless it can be shown that the area is accessible and usable for that purpose and has required maneuvering area for vehicles. Required backing and maneuvering areas shall be located entirely onsite.

Response: The onsite parking areas are designed by a licensed, professional engineer with knowledge in the county engineering and zoning standards for vehicle parking and maneuvering. The design of parking and maneuvering areas comply with this standard. Please reference Civil Sheet 3.0.

2. Automobile parking spaces shall be a minimum of 8.5 feet wide and 16 feet long, except that parallel spaces shall be a minimum of 8.5 feet wide and 22 feet long.

Response: The project complies with this standard. All parking spaces are striped to exceed the minimum required dimension of 8 ½ feet in width and 16 feet in length. Dimensioned parking spaces are shown on Civil Sheet 3.0, and are designed to be 10 feet wide by 19 feet in depth.

3. A minimum of 25 percent of required parking spaces shall be no larger than 8.5 feet wide and 16 feet long.

Response: The project complies with this standard. All parking spaces proposed for customer vehicles exceed the minimum width of 8.5 feet and a length of 16 feet. 12 of the 33 spaces or ~36% are 8.5' x 15' as required. The majority of vehicle trips expected to the site are contractor vehicles and likely to be larger than a passenger vehicle.

4. Parking areas shall comply with minimum dimensions for curb length, stall depth, and aisle width established by the Clackamas County Roadway Standards; these dimensions are based on the orientation (e.g., 45-degree, 90-degree), length, and width of the spaces.

Response: The project engineer designed the parking areas in compliance with the minimum dimensions required by the Clackamas County Standards for 90-degree parking. Please reference sheet 3.0 for detailed information.

5. Double-loaded, ninety-degree angle parking bays shall be utilized where possible.

Response: The layout of the site along with the width of the site dictates the layout of the parking. Double loaded parking is not possible on the site.

6. A minimum of one parking space or five percent of the required spaces, whichever is greater, shall be marked and signed for use as carpool/vanpool spaces. These spaces shall be the closest employee automobile parking spaces to the building entrances normally used by employees, but shall not take priority over any spaces required for individuals with disabilities.

Response: None of the proposed parking spaces are currently designated for carpool/vanpool spaces, but the applicant is willing to designate parking to meet the standard as required.



7. In parking lots greater than one acre, major onsite circulation drive aisles and lanes crossing to adjacent developments shall not have parking spaces accessing directly onto them.

Response: Noted. The primary parking lot is less than one acre in size. Employee parking is located behind a gated access to the rear of the facility. There are no drive aisles or lanes onto adjacent developments.

8. Where feasible, shared driveway entrances, shared parking and maneuvering areas, and interior driveways between adjacent parking lots shall be required.

Response: It is not feasible to share driveways, parking, or maneuvering areas between adjacent parking lots, as this business is a standalone business similar to the surrounding businesses.

9. Except for parallel spaces, parking spaces heading into landscaped areas or along the perimeter of a parking lot shall be provided with a sturdy tire stop at least four inches high and located two feet within the space to prevent any portion of a car within the lot from extending over the property line.

Response: Acknowledged by the applicant. Compliance with this requirement will be demonstrated at the time of building permit review.

10. For parking spaces heading into a landscaped area, the area in front of the tire stop that is included in the parking space dimension may be landscaped instead of paved or graveled according to the following standards:

- a. Landscaping shall be ground cover plants only;*
- b. The area in front of the tire stop that is included in the parking space dimension shall be in addition to the required minimum dimension for a landscape planter; and*
- c. The landscaped area in front of the tire stop may count toward overall site landscaping requirements established in Table 1009-1, Minimum Landscaped Area. However, it may not count toward perimeter landscaping requirements established in Section 1009.03(B)(1).*

Response: Noted. As currently proposed, the entire parking stall would be paved.

B. Parking Minimums: The minimum number of parking spaces listed in Table 1015-1, Automobile Parking Space Requirements, applies unless modified in Subsection 1015.02(D).

C. Parking Maximums:

1. Within the UGB, the parking maximums listed in Table 1015-1, Urban Zone A, apply when an area has 20-minute peak hour transit service within one-quarter mile walking distance for bus transit or one-half mile walking distance for light rail transit.



2. Within the UGB, areas not meeting the requirements of Subsection 1015.02(C)(1), are subject to the parking maximums listed in Table 1015-1, Urban Zone B.

Minimum & Maximum Parking Allowance by Use

Land Use Category	Classification	Minimum Parking Spaces per 1,000 SF	Maximum Parking Spaces (Urban Zone B – not close to 20 min transit)
Office Uses		2.7	4.1
Retail/Commercial		4.1	6.2
Warehouse and Storage Distribution & Terminals	0 to 49,999 SF 50,000 SF +	0.3 0.2	None None, if less than 150,000 SF

Applicable content from Table 1015-1: Automobile Parking Space Requirements

Response: The closest transit stop is located more than 1 mile from the project site. As a result, the site is subject to Urban Zone B parking maximum standards.

Vehicle Parking Compliance Table by Use (SEE SHEETS A1.01 AND A2.01)

Use	Square Footage	Minimum Requirement	Maximum Allowed	Proposed
Office	3,044	8	12	12
Retail/Commercial	3,079	8	13	13
Warehouse/ Storage/ Terminal	33,305	7	No Max	21

D. Exceptions to Parking Requirements:

1. Parking maximums in Table 1015-1 may be increased for the following:
 - a. Parking spaces in parking structures;
 - b. Fleet parking spaces;
 - c. Designated employee carpool spaces;
 - d. User-paid spaces; and
 - e. Parking spaces for vehicles for sale, lease, or rent.

Response: The site is expected to employ up to 35 employees and given the location, they are not likely to carpool or take transit. There are no proposed exceptions to the parking maximums. The site complies with the standards as proposed.

1015.03 BICYCLE PARKING STANDARDS

A. Bicycle parking areas shall meet the following on-site locational requirements:



1. *Bicycle parking racks shall be located in proximity to an entrance but shall not conflict with pedestrian needs.*

Response: Bicycle parking for employees will be provided within the warehouse. The client does not expect patrons to ride their bikes to the facility but is also willing to allow parking inside as well. See sheet A1.01 for the proposed location of the public bicycle parking.

2. *At least 75 percent of the bicycle parking spaces shall be located within 50 feet of a public entrance to the building.*

Response: As mentioned above, parking will be provided within the building.

3. *Bicycle parking may be provided within a building, if the location is easily accessible for bicycles.*

Response: The applicant would propose to provide parking within the building as suggested above.

4. *Bicycle parking for multiple uses, or a facility with multiple structures, may be clustered in one or several locations within 50 feet of each building's entrance.*

Response: Noted. As proposed, bicycle parking will be provided within the warehouse or office.

5. *If the bicycle parking is not easily visible from the street or main building entrance, then a sign must be posted near the building entrance indicating the location of the parking facilities.*

Response: The applicant acknowledges this standard. Compliance with this standard will be evaluated with detailed construction drawings during the building permit stage.

B. Bicycle parking shall be designed to meet the following requirements:

1. *When more than seven bicycle parking spaces are required, a minimum of 50 percent of the spaces shall be covered. All of the required bicycle spaces for schools, park-and-ride lots, congregate housing facilities, and multifamily dwellings shall be covered.*

Response: Less than seven bicycle parking spaces are required. Covered spaces are not required.

7. *The minimum number of bicycle parking spaces listed in Table 1015-2, Minimum Required Bicycle Parking Spaces, are required. If a listed use is located with the Portland Metropolitan Urban Growth Boundary (UGB), it shall have a minimum of two bicycle parking spaces or the number required by Table 1015-2, whichever is greater.*

Excerpt of Table 1015-2: Minimum Required Bicycle Parking Spaces

Land Use Category	Minimum Bicycle Parking Spaces
Retail and Commercial including offices and clinics	1 per 2,500 SF, up to 50,000 SF of building area



<i>Warehouses and industrial buildings without attached offices</i>	<i>1 per 10,000 SF of building area</i>
---	---

Response: As proposed, the development would be required to provide 3 bicycle parking spaces. As stated previously, those spaces can be accommodated within the warehouse.

8. New multifamily residential, commercial, and institutional developments within the UGB shall designate short-term bicycle parking (less than four hours) and long-term bicycle parking (four or more hours) spaces as needed for the development.

Response: This standard does not apply, as the development is not residential, commercial or institutional in nature.

1015.04 OFF-STREET LOADING STANDARDS

A. No area shall be considered a loading berth unless it can be shown that the area is accessible and usable for that purpose, and has maneuvering area for vehicles.

B. In cases of expansion of a building or use, that prior to the expansion, does not meet the minimum loading berth requirements in Table 1015-3, Minimum Required Off-Street Loading Berths, the following provisions shall apply:

- 1. The minimum number of additional loading berths required shall be based only on the floor area or capacity added and not on the area or capacity existing prior to the expansion.*
- 2. If the expansion covers any pre-expansion loading berths, lost loading berths shall be replaced, in addition to any required additional berths.*

C. In the event several uses occupy a single structure or parcel of land and share the same loading berths, the total requirement for off-street loading shall be reduced by up to 25 percent of the sum of the requirements of the several uses computed separately.

D. The minimum off-street loading berths listed in Table 1015-3 are required.

Land Use Category	Unit of Measurement	Number of Loading Berths	Minimum Required Dimension
<i>Industrial, Manufacturing, Warehousing, Storage</i>	<i>Under 5,000</i>	<i>None</i>	<i>60 feet x 12 feet x 14 feet high</i>
	<i>5,000 to 16,000</i>	<i>1</i>	
	<i>16,001 to 40,000</i>	<i>2</i>	
	<i>40,001 to 64,000</i>	<i>3</i>	
<i>Commercial Uses</i>	<i>Under 5,000</i>	<i>None</i>	<i>35 feet x 12 feet x 14 feet high</i>
	<i>5,000 to 24,999</i>	<i>1</i>	
	<i>25,000 to 49,999</i>	<i>2</i>	
	<i>50,000 to 100,000</i>	<i>3</i>	

Response: The commercial component of the site is less than 5,000 square feet and does not require a loading berth. The entire laydown area is intended as a loading and maneuvering area



and provides enough space for more than two semi-trucks at any given time. See sheets A1.01 for floor areas and sheet 3.0 for the laydown area.

1021 – REFUSE & RECYCLING STANDARDS FOR COMMERCIAL, INDUSTRIAL & MULTI-FAMILY DEVELOPMENTS

1021.02 APPLICABILITY

Section 1021 applies to all development and expansions of the following uses pursuant to the application and procedural Design Review requirements of Section 1102:

B. Institutional, commercial and industrial developments.

Response: As a commercial/industrial development, the standards of this section apply to the project.

1021.04 GENERAL PROVISIONS

All commercial, industrial and multifamily development shall comply with the standards set forth in these provisions. Modifications may be granted when consistent with the local franchised solid waste and recycling collection firm's service requirements pursuant to Subsection 1021.10. Additionally:

A. Compactors, containers, and drop boxes shall be located on a level Portland Cement concrete pad, a minimum four inches thick, at ground elevation or other location compatible with the local franchise collection firm's equipment at the time of construction. The pad shall be designed to discharge surface water runoff to avoid ponding.

Response: Acknowledged by the applicant. Compliance with this standard will be demonstrated by the construction documents at the time of building permit review.

B. Recycling and Solid Waste Service Areas:

- 1. Recycling receptacles shall be designed and located to serve the collection requirements for the specific type of material.*
- 2. The recycling area shall be located in close proximity to the garbage container areas and be accessible to the local franchised collection firm's equipment.*
- 3. Recycling receptacles or shelters located outside a structure shall have lids and be covered by a roof constructed of water and insect resistive material. The maintenance of enclosures, receptacles and shelters is the responsibility of the property owner.*

Response: Noted. A solid waste enclosure is proposed to be located along the west property edge and will be screened by a masonry wall. See Sheet A1.01 for location.

C. Special Wastes or Recyclable Materials:



1. Environmentally hazardous wastes defined in Oregon Revised Statutes 466.005 shall be located, prepared, stored, maintained, collected, transported, and disposed in a manner acceptable to the Oregon Department of Environmental Quality.

Response: The applicant acknowledges Subsection C.1. The property owner is responsible for managing any environmentally hazardous wastes in compliance with these regulations.

2. Containers used to store cooking oils, grease, or animal renderings for recycling or disposal shall not be located in the principal recyclable materials or solid waste storage areas. These materials shall be stored in a separate storage area designed for such purpose.

Response: Storage of the materials listed in this section are not proposed on this site. This standard is not applicable to this proposal.

D. Screening and Buffering:

Screening and buffering shall be in accordance with Section 1009.04:

Response: Refer to Section 1009.04 earlier in this narrative where compliance with screening and buffering requirements are outlined.

1021.05 ENCLOSURES AND GATES

A. Gates shall be designed to permit sufficient service access for local franchised solid waste collection equipment and personnel.

Response: Noted. Proposed gates are shown on sheet A1.01 of the proposed plan set and detailed on sheet L1.3. As proposed, the development will comply with this standard.

B. The gate swing shall be free of obstructions and have restrainers in the open and closed positions.

Response: The applicant acknowledges this standard. Compliance with this standard will be demonstrated by the detailed construction documents at the time of building permit review.

C. Enclosures constructed of wood or chain link fencing material shall contain a two- to four-inch high bumper curb at ground level located 12 inches inside the perimeter of the outside walls of the enclosure or fencing to prevent damage from container impacts.

Response: The applicant acknowledges this standard. Compliance with this standard will be demonstrated by the detailed construction documents at the time of building permit review.

D. Enclosures constructed of concrete, brick, and masonry block or similar type materials shall contain a bumper curb described in Subsection 1021.05(C) or a bumper rail to prevent damage from container impacts. The rail shall be secured by anchor bolts recessed in the rail within the perimeter walls of the enclosure at a height compatible with the service receptacle.



Response: The applicant acknowledges this standard. Compliance with this standard will be demonstrated by the detailed construction documents at the time of building permit review.

E. All areas around the receptacles shall be kept free of obstructions and accumulations of waste matter, grease, oil, water, and standing water.

Response: Noted.

1021.06 RECEPTACLE DESIGN STANDARDS

The following provisions shall apply to the design and location of receptacles.

A. Containers: Enclosures shall be designed consistent with the following standards:

- 1. Length and width of the service container.*
- 2. A minimum of two feet, including pad area, shall be provided around the sides and rear of each container.*
- 3. A minimum three feet, including pad area, shall be provided in front of each container for maneuverability in depositing garbage or recyclable materials. In cases where the containers face each other, a minimum four feet shall be provided.*
- 4. Containers two cubic yards or less in size shall be provided with a minimum nine feet of unobstructed overhead or vertical clearance for servicing.*
- 5. Containers greater than two cubic yards in size shall be provided with a minimum 20 feet of unobstructed overhead or vertical clearance for servicing.*

Response: Although the architectural sheets, A1.01 shows compliance with these standards, the applicant and owner are actively negotiating alternative options for the site based on the owners experience running similar facilities throughout Oregon and Washington.

B. Drop Boxes and Compactors:

- 1. The size of the pad shall be at least 14 feet wide and at least five feet longer than the length of the drop box or compactor.*
- 2. Setbacks:*
 - a. The pad shall be located a minimum of two feet from any perimeter wall or structure.*
 - b. Drop boxes and compactors shall be located a minimum of five feet from any combustible wall, structure, opening, or overhang. This may be reduced to a minimum of two feet provided the pad is located adjacent to a noncombustible wall, structure, opening, or overhang.*



3. Loading dock areas shall have a guide rail and bumper stop placed at ground level or at dock level where the rear of the drop box or compactor is to rest to protect any enclosure, wall, or structure from damage due to loading or unloading.

4. Compactors shall be compatible with collection equipment and weight limits prescribed by state and local law. The local franchised collection firm shall be consulted for equipment compatibility and service demands.

5. Weekly collection and disposal of putrescible waste is required by the Clackamas County Solid Waste and Waste Management Ordinance. More frequent collection may be required to prevent nuisance conditions when use and capacity of the receptacle(s) is inadequate to provide clean and safe conditions.

6. The maintenance of privately owned compactors and the area surrounding the compactor is the responsibility of the property owner.

Response: The project does not propose a drop box or compactor. These standards are not applicable.

1021.07 VEHICLE ACCESS

A. The minimum safe vehicular access to the front of a service container pad, shelter, or enclosure shall be a length of 45 feet and width of 12 feet.

Response: The proposed enclosure is provided with head on access from the east, and will be coordinated with the hauler. See sheet 3.0 for detailed location and access.

B. Vehicle access to service a drop box or compactor shall include the pad length as required in Subsection 1021.07(A) plus a minimum of 65 feet in front of the loading hook placement position.

Response: A trash compactor is not proposed for this project. This standard is not applicable.

C. The vehicular access to a pad or enclosure shall be hard-surfaced consistent with the off-street parking provisions of Section 1015.

Response: Compliance with this standard will be demonstrated at the time of detailed construction drawing review.

D. In the absence of an on-site through street or driveway, a cul-de-sac with a minimum 50-foot turning radius shall be provided for vehicle maneuvering at the end of a private dead end street or driveway. A standard emergency services hammerhead turnaround, consistent with the County's standards for road improvements, may be granted in lieu of the cul-de-sac when the design is approved by the local fire district.

Response: The site provides adequate driveway, maneuvering and circulation area for access by emergency services. Please reference the civil plan sheets for maneuverability and access plans.



E. The percent of grade for access to the pad or enclosure shall not exceed three percent. Exceptions may be granted when compatible with the equipment manufacturer's specifications and consistent with Subsection 1021.10.

Response: Acknowledged by the applicant. Compliance with this standard will be demonstrated at the time of permit review.

1021.08 SIGNS

"No Parking" signs shall be placed in a prominent location on the enclosure, or shelter, and painted on the pavement in front of the enclosure, or shelter, to provide unobstructed and safe access for servicing receptacles. Signs clearly identifying recycling containers and type of recyclable material shall be placed on each respective container and maintained at all times.

Response: Acknowledged by the applicant. Compliance with this standard will be demonstrated at the time of permit review.

1102 – DESIGN REVIEW

1102.01 PURPOSE AND APPLICABILITY

Section 1102 is adopted to provide standards, criteria, and procedures under which design review may be approved. Design review is required for:

A. Development, redevelopment, expansions, and improvements in commercial and industrial zoning districts, except for uses approved through a zone change to NC District;

Response: Design Review is applicable to the project because the scope of work proposes redevelopment and improvements within the RI and RC Zoning Districts.

1102.02 SUBMITTAL REQUIREMENTS

In addition to the submittal requirements identified in Subsection 1307.07(C), an application for design review shall include:

A. A narrative describing the proposed use;

Response: This document contains a narrative describing the proposed use, project improvements, as well as findings for the applicable development standards and approval criteria. This standard is met.

B. An engineering geologic study, if required pursuant to Section 1002, Protection of Natural Features, or 1003, Hazards to Safety;

Response: The proposed development does not take place on slopes greater than or equal to 20 percent and less than or equal to 35 percent. Pursuant to Sections 1002 and 1003, an engineering geologic study is not required for the proposed development.



C. Preliminary statements of feasibility, if required pursuant to Section 1006, Utilities, Street Lights, Water Supply, Sewage Disposal, Surface Water Management, and Erosion Control;

Response: Preliminary statements of feasibility have been requested and are provided in the appendices as required.

D. A transportation impact study, if required pursuant to Section 1007, Roads and Connectivity;

Response: A transportation impact study, prepared by Todd Mobley of Lancaster Mobley Engineering and dated January 14, 2020 is provided as appendix B to this application.

E. Calculations demonstrating compliance with Section 1012, Lot Size and Density, if applicable;

Response: The standards of this section are not applicable to the application. Section 1012 applies to subdivisions, partitions, replats, conditional uses for manufactured home parks and dwellings, and specific housing projects.

F. A vicinity map showing the location of the subject property in relation to adjacent properties, roads, bikeways, pedestrian access, utility access, and manmade or natural site features that cross the boundaries of the subject property;

Response: A vicinity map is provided on the cover Sheet 1.0.

G. An existing conditions map, drawn to a scale of not less than one inch equals 50 feet, showing:

- 1. Contour lines at two-foot intervals for slopes of 20 percent or less within an urban growth boundary; contour lines at five-foot intervals for slopes exceeding 20 percent within an urban growth boundary; contour lines at 10- foot intervals outside an urban growth boundary; source of contour information.*
- 2. Slope analysis designating portions of the site according to the following slope ranges and identifying the total land area in each category: zero to 20 percent, greater than 20 percent to 35 percent, greater than 35 percent to 50 percent, and greater than 50 percent;*
- 3. Drainage;*
- 4. Potential hazards to safety, including areas identified as mass movement, flood, soil, or fire hazards pursuant to Section 1003;*
- 5. Natural features, such as rivers, streams, wetlands, underground springs, wildlife habitat, earth mounds, and large rock outcroppings;*
- 6. Wooded areas, significant clumps or groves of trees, and specimen conifers, oaks, and other large deciduous trees. Where the site is heavily wooded, an aerial photograph, at a scale of not more than 1 inch equals 400 feet, may be submitted and only those trees that will be affected by the proposed development need be sited accurately;*



7. *Overlay zoning districts regulated by Section 700, Special Districts;*
8. *Noise sources;*
9. *Sun and wind exposure;*
10. *Significant views;*
11. *Structures, impervious surfaces, utilities, onsite wastewater treatment systems, landscaping, driveways and easements (e.g., access, utility, storm drainage). Note whether these will remain or be removed and provide dimensions of driveways and easements; and*
12. *All of the following that are on or adjacent to the subject property, including dimensions and, if applicable, names: existing roads, platted unconstructed roads, railroad rights-of-way, bikeways, curbs, sidewalks, pedestrian pathways, accessways, and trails.*

Response: Please reference this information on the existing conditions plan provided on Civil Sheet C2.0.

H. A proposed site plan, drawn to a scale of not less than one inch equals 50 feet, showing:

- 1. The subject property, including contiguous property under the same ownership as the subject property, and adjacent properties;*
- 2. Property lines and dimensions for the subject property. Indicate any proposed changes to these;*
- 3. Natural features to be retained;*
- 4. Location, dimensions, and names of all existing or platted roads or other public ways, easements, and railroad rights-of-way on or adjacent to the subject property;*
- 5. The location of at least one temporary benchmark and spot elevations;*
- 6. Location and dimensions of structures, impervious surfaces, and utilities, whether proposed or existing and intended to be retained. For phased developments, include future buildings;*
- 7. Approximate location and size of storm drainage facilities;*
- 8. Relation to transit; parking and loading areas, including dimensions and number of individual parking and loading spaces and drive aisles; bicycle racks; walkways; and pedestrian crossings;*
- 9. Orientation of structures showing windows and doors;*
- 10. Location and type of lighting;*
- 11. Service areas for waste disposal, recycling, loading, and delivery;*



12. Location of mail boxes;

13. Freestanding signs; and

14. Pedestrian amenities;

Response: No natural features are present on the site. Pedestrian amenities and mailboxes are not currently proposed. The remaining information is contained on a combination of civil and architectural plan sheets in the attached plan set. Signage will be applied for under separate cover.

I. A grading plan, drawn to a scale of not less than one inch equals 50 feet, showing location and extent of proposed grading, general contour lines, slope ratios, slope stabilization proposals, and natural resources protection consistent with Sections 1002 and 1003;

Response: Grading Plans, drawn to a scale of 1"=40'-0", is provided on Sheet 4.0.

J. Architectural drawings, including:

1. Building elevations, including any building signs. Identify the dimensions, area, color, materials, and means of illumination of such signs. Identify and show dimensions of any electronic message center or other changeable copy sign areas;

2. Building sections;

3. Floor plans;

4. Color and type of building materials; and

5. Elevation of freestanding sign(s). Identify the dimensions—including total height and height between bottom of sign and ground, area, color, materials, and means of illumination. Identify and show dimensions of any electronic message center or other changeable copy sign areas; and

6. Gross floor area, in square feet, of each structure; floor area ratio if a minimum floor area ratio standard applies; and number of dwelling units;

Response: Architectural plans are included in the attached plan sheet, and illustrate the information called for in this subsection.

K. A general landscaping plan, drawn to a scale of not less than one inch equals 50 feet, showing the elements required on the proposed site plan and:

1. Existing plants and groups of plants proposed;

2. Description of soil conditions; plans for soil treatment such as stockpiling of topsoil or addition of soil amendments; and plant selection requirements relating to soil conditions;



3. Erosion controls, including plant materials and soil stabilization, if any;
4. Irrigation system;
5. Landscape-related structures such as fences, terraces, decks, patios, shelters and play areas; and
6. Open space and recreational areas and facilities, if applicable.

Response: This information is provided on Landscape Sheets L1.0 through L1.2.

L. A transportation improvement plan that includes proposed cross-sections for roads to be constructed or improved, including widths of travel lanes, bikeways, sidewalks, curbs, pedestrian pathways, and landscape strips. Identify proposed landscape plan for landscape strips, including street tree type, size and location. Identify proposed dedication of right-of-way.

Response: New roads are not proposed with this development. However, street improvements are shown on Civil Sheet 5.0. Landscaping in the right-of-way is depicted on the landscape sheets.

1102.03 APPROVAL CRITERIA

Design review requires review as a Type II application pursuant to Section 1307, Procedures, and shall be subject to the following standards and criteria:

- A. *The proposed development shall be subject to Section 1000, Development Standards, and the standards of the applicable zoning district.*

Response: This document outlines the applicable standards and approval criteria from the Zoning Development Ordinance and provides findings of the project's compliance with these requirements.

- B. *As part of design review in the RCO District and for the PMU1 site, a master plan shall be required if the proposed development does not meet the minimum floor area ratio for the entire site (where phased compliance is permitted by Table 510- 2, Dimensional Standards in the Urban Commercial and Mixed-Use Zoning Districts) or if compliance with Table 510-3: Site-Specific Requirements for the PMU District, is not being achieved for the entire PMU1 site. The master plan shall demonstrate that it is feasible to achieve full compliance with a future phase of development that is not reliant upon adding additional stories to existing or proposed structures or demolishing structures built after the RCO or PMU District was applied to the subject property.*

Response: This criterion is not applicable. The project is not located in the RCO or PMU1 Zoning District. A master plan is not applicable.

- C. *As part of design review of development of any portion of the OA District, a master plan shall be required for the subject property and all contiguous lots with a Comprehensive Plan land use designation of Office Apartment. The master plan shall include a plan for*



consolidation of motor vehicle accesses for the entire Office Apartment site that complies with the access targets of Comprehensive Plan Map X-SC-5, Sunnyside Corridor Community Plan Sunnyside Road Access Management Targets.

Response: This criterion is not applicable. The project is not located in the AO Zoning District. A master plan is not applicable.

III. Conclusion

This design review narrative and appendices demonstrate compliance with Clackamas County's applicable approval criteria or the ability to demonstrate compliance, with further clarification as a condition of approval, at the time of building permit review. The applicant respectfully requests that the County approve this Design Review proposal.





DAN JOHNSON
DIRECTOR

DEPARTMENT OF TRANSPORTATION AND DEVELOPMENT

DEVELOPMENT SERVICES BUILDING

150 BEAVERCREEK ROAD OREGON CITY, OR 97045

February 18, 2020

Brannon Lamp
Aqua Resource Design
brannon@aqua-resource.com

IMPORTANT DOCUMENT – PLEASE READ CAREFULLY
This is not a septic construction permit.

Site: Township 2S Range 3E Section 05D Tax Lot 1900
19865 SE Hwy 212

Application Number: SE005620

Results: Permit Required

To whom it may concern:

Onsite Wastewater Systems program staff have completed an evaluation at the Authorization Notice application for the property referenced above. Based in part on the Existing System Evaluation Report (ESER) that was prepared for this system, and any available public records, we have found your system to require a major alteration permit for reconnection. The proposal to use 200' of the northern leach lines for the primary drainfield following a treatment standard one advanced treatment system with the proposed replacement area is approvable. In order to move forward, a new commercial major alteration permit is needed. Current fees would be \$1,108 for a commercial major repair/alteration plus \$221 commercial repair/alteration review fee. If applied for within 60 days, the county authorization notice fee of \$255 shall be credited towards your permit.

If you have any questions, feel free to contact me at adennis@clackamas.us or 503-742-4614.

Sincerely,

Aaron Dennis, WWS
Soil Scientist, Senior

CC:



Clackamas County Planning and Zoning Division
Department of Transportation and Development

Development Services Building
150 Beaver Creek Road | Oregon City, OR 97045
503-742-4500 | zoninginfo@clackamas.us
www.clackamas.us/planning

NOTICE OF INCOMPLETE APPLICATION

ORIGINAL DATE SUBMITTED: January 27, 2020
FILE NUMBER: Z0036-20-D
APPLICATION TYPE: Design Review
STAFF CONTACT: Anthony Riederer, ariederer@clackamas.us
DATE OF THIS NOTICE: February 4, 2020
180 DAYS AFTER DATE SUBMITTED: July 25, 2020
Date of CERTIFIED MAILING: February 4, 2020

MAILED TO:

Melinda McMillian, Ankrom Moisan
38 NW Davis, Suite 300
Portland OR 97209

Also Sent via Email

MISSING INFORMATION REQUIRED FOR A COMPLETE APPLICATION:

1. Please provide a Clackamas County approval for the subsurface sewage disposal system for the proposed development, per 1102.02(C).

PRELIMINARY ADVISORY NOTES:

- All buildings with pitched roofs are to have eaves which overhang by not less than 24 inches, per 1005.04(D)(1)(a).
- Per the pre-application conference notes, metal is not a listed material for building facades, per 1105.04(E)(3). If the intention is to make the case that the proposed product is 'high-image', it is the applicant's responsibility to 'make the case' for this. Significant additional information will be required to substantiate.

IMPORTANT

Your application will be deemed complete, if, within 180 days of the date the application was first submitted, the Planning Division receives one of the following:

1. All of the missing information; or
2. Some of the missing information and written notice from you (the applicant) that no other information will be provided; or

3. **Written notice from you (the applicant) that none of the missing information will be provided.**

If any one of these options is chosen within 180 days of the date of the initial submittal, approval or denial of your application will be subject to the relevant criteria in effect on the date the application was first submitted.

NOTICE

Your application will be considered Void if, on the 181st day after the date the application was first submitted, you have been mailed this notice and have not provided the information requested in Options 1 – 3 above. In this case, no further action will be taken on your application.

Applicant or authorized representative, please check one of the following and return this notice to: Clackamas County Planning Division; 150 Beavercreek Road, Oregon City, Oregon, 97045

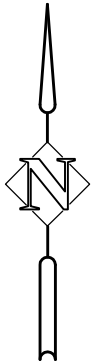
- ☒ I am submitting the required information (attached); or.
- ☐ I am submitting some of the information requested (attached) and no other information will be submitted; or
- ☐ I will not be submitting the requested information. Please accept the application as submitted for review and decision.


Signed

17 July 2020
Date


Print Name

PRIVATE EASEMENT FOR INDIVIDUAL ONSITE
WASTEWATER TREATMENT SYSTEM



SCALE
1" = 40'

DOCUMENT NO.
2001-061243

POINT OF
BEGINNING

S89°59'29"E 172.81'

N00°12'11"E 95.00'

S00°10'08"W 95.00'

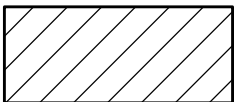
DOCUMENT NO.
2007-040476

DOCUMENT NO.
2007-091926

N89°59'29"W 172.87'

DOCUMENT NO.
2007-091925

LEGEND



PRIVATE EASEMENT FOR
INDIVIDUAL ONSITE
WASTEWATER TREATMENT SYSTEM
± 16,418 SQ.FT.



SURVEY MONUMENT OF RECORD

SEE ATTACHED
LEGAL DESCRIPTION



**Harper
Houf Peterson
Righellis Inc.**

ENGINEERS • PLANNERS
LANDSCAPE ARCHITECTS • SURVEYORS

205 SE Spokane Street, Suite 200, Portland, OR 97202
phone: 503.221.1131 www.hhpr.com fax: 503.221.1171

PAR-34 GMW 04/06/2020 PAGE 1 OF 1

April 6, 2020

Private Easement for Onsite Wastewater Treatment System

A 95 foot wide easement located in the Southeast One-Quarter of Section 5, Township 2 South, Range 3 East of the Willamette Meridian, Clackamas County, Oregon, being a portion of that land described in a deed to OC Damascus LLC, recorded in Document No. 2007-091925, Clackamas County Deed Records, said easement being more particularly described as follows:

Beginning at the northwest corner of said tract described in Document No. 2007-091925, Clackamas County Deed Records,

Thence along the north line of Document No. 2007-091925, S89°59'29"E 172.81 feet to the northeast corner thereof;

Thence along the east line of said Document No. 2007-091925, S00°10'08"W 95.00 feet;

Thence leaving said east line, N89°59'29"W 172.87 feet to the west line of said Document No. 2007-091925;

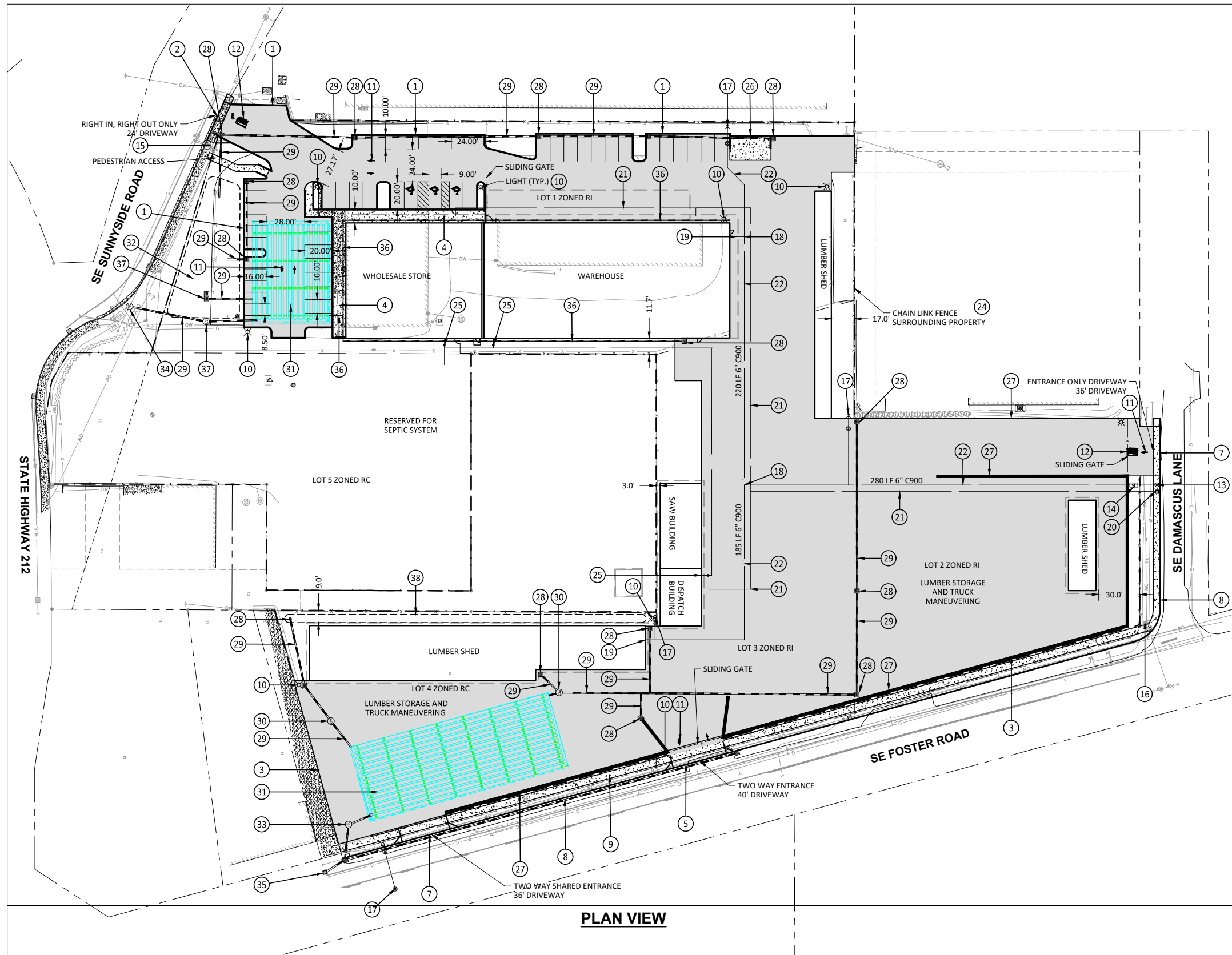
Thence along said west line N00°12'11"E 95.00 feet to **The Point of Beginning**.

The above described easement contains 16,418 square feet, more or less.

This legal description is based up on Survey Number 2019-186, Clackamas County Survey Records, which by reference is made a part hereof.



Renewed through 6-30-2021



CONSTRUCTION NOTES:

- 1 CONSTRUCT STANDARD CURB
- 2 CONSTRUCT 24' COMMERCIAL DRIVEWAY
- 3 EDGE OF PAVEMENT SEE TYPICAL PAVEMENT SECTION
- 4 CONSTRUCT CONCRETE WALK
- 5 CONSTRUCT 40' COMMERCIAL DRIVEWAY
- 7 CONSTRUCT 36' COMMERCIAL DRIVEWAY
- 8 CONSTRUCT CURB AND GUTTER
- 9 CONSTRUCT CONCRETE SIDEWALK PER DETAIL
- 10 INSTALL SITE LIGHT PER DETAIL
- 11 INSTALL DIRECTIONAL ARROW
- 12 INSTALL ONLY PAVEMENT MARKING
- 13 INSTALL 6" TAP AND TAPPING VALVE
- 14 INSTALL 6" DDVC AND FDC
- 15 EXISTING HYDRANT TO REMAIN
- 16 RELOCATE EXISTING FIRE HYDRANT INTO PLANTER STRIP
- 17 INSTALL FIRE HYDRANT
- 18 INSTAL 6" X 6" TEE
- 19 STUB FIRE SERVICE TO BUILDING
- 20 INSTALL 1 1/2 " DOMESTIC WATER METER WITH BACK FLOW PREVENTION VALVE
- 21 INSTALL 2" SCHEDULE 80 WATER LINE
- 22 INSTALL 6" C900 WATER LINE
- 24 INSTALL 6' CHAIN LINK FENCE
- 25 INSTALL 6" SANITARY SEWER LATERAL
- 26 PROPOSED TRASH ENCLOSURE
- 27 POPOSED RETAINING WALL
- 28 PROPOSED CATCH BASIN
- 29 PROPOSED STORM PIPE
- 30 PROPOSED WATER QUALITY MANHOLE
- 31 PROPOSED UNDERGROUND DETENTION SYSTEM
- 32 PROPOSED STORMWATER QUALITY AND DETENTION POND
- 33 PROPOSED OUTLET CONTROL MANHOLE
- 34 PROPOSED STORMWATER MANHOLE
- 35 PROPOSED STORMWATER CONNECTION
- 36 PROPOSED ROOF AND FOUNDATION PIPE
- 37 PROPOSED POND OUTLET CONTROL STRUCTURE
- 38 PROPOSED WATER QUALITY SWALE

SITE AND UTILITY PLAN

DAMASCUS PARR LUMBER
CLACKAMAS COUNTY, OR



**Harper
Houf Peterson
Righellis Inc.**

ENGINEERS ♦ PLANNERS



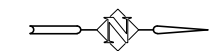
DESIGNED:	KKV / JLV
DRAWN:	TLH
CHECKED:	KKV
DATE:	JULY 14, 2020

[illegible]

SHEET NO.

3.0

JOB NO. PAR-34

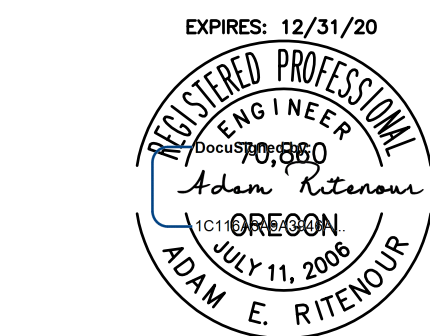


PRELIMINARY

P:\PAR (Parr Lumber)\PAR-34 (Damascus)\PAR34-DWGS\SHEETS\ PAR34-3_0 Site-Utl.dwg

SHEET NOTES

FOR PURPOSES OF PHOTOMETRICS, BUILDING-MOUNTED LIGHTING
CONTRIBUTES TO OVERALL CALCULATIONS



38 NORTHWEST DAVIS, SUITE 300
PORTLAND, OR 97209
503.245.7100
1505 5TH AVE, SUITE 300
SEATTLE, WA 98101
206.576.1600
1014 HOWARD STREET
SAN FRANCISCO, CA 94103
415.252.7063

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GLUMAC

A TETRA TECH COMPANY
engineers for a sustainable future™

600 SW Fifth Ave., Suite 1600
Portland, OR 97204
www.glumac.com
7.503.227.5280
Project Manager: Joshua Checkis
Job No. 201800248

PARR LUMBER - DAMASCUS

19885 SE SUNNYSIDE RD
DAMASCUS, OR 97089

PARR LUMBER

REVISION	DATE	REASON FOR ISSUE
1	07-16-20	PERMIT REVISION

LIGHTING SITE PLAN
- PHOTOMETRICS

LAND USE PERMIT

DATE
07-14-2020
PROJECT NUMBER
190120

SHEET NUMBER

EL1.01P

STATE HIGHWAY 212

S.E. SUNNYSIDE RD.

S.E. DAMASCUS LANE

S.E. FOSTER ROAD

PARCEL 5

PARCEL 2

PARCEL 4

SPRINKLERED
WHOLESALE/
OFFICE

SPRINKLERED WAREHOUSE

Tag	Description	Qty
SA1	GLEONAF-SH-LED-E1-T4W	14
SC1	GLEONAF-SH-LED-E1-SWQ-7030	1
SB1	WDE4 LED P4 70CRI RFT 30K	7
SD1	PGL8-SC-128L-110-3K7	13

Label	Avg	Max	Min
Parr Planar	2.48	16.9	0.1

1 SITE LIGHTING PLAN Photometrics

SCALE: 1"= 30'-0"



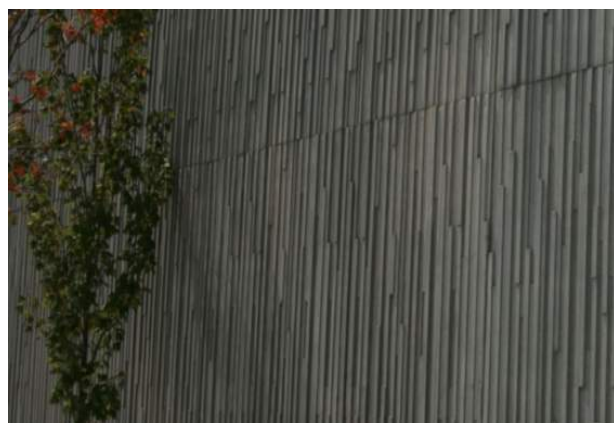
SOUTHWEST CORNER



PAC Clad standing seam metal roof in Stone White on shed roof and east elevation. Matching color on fascia. Product rated as highly reflective/Energy Star.



Allura USA Fiber Cement Vented and Traditional Soffit in Cedar.

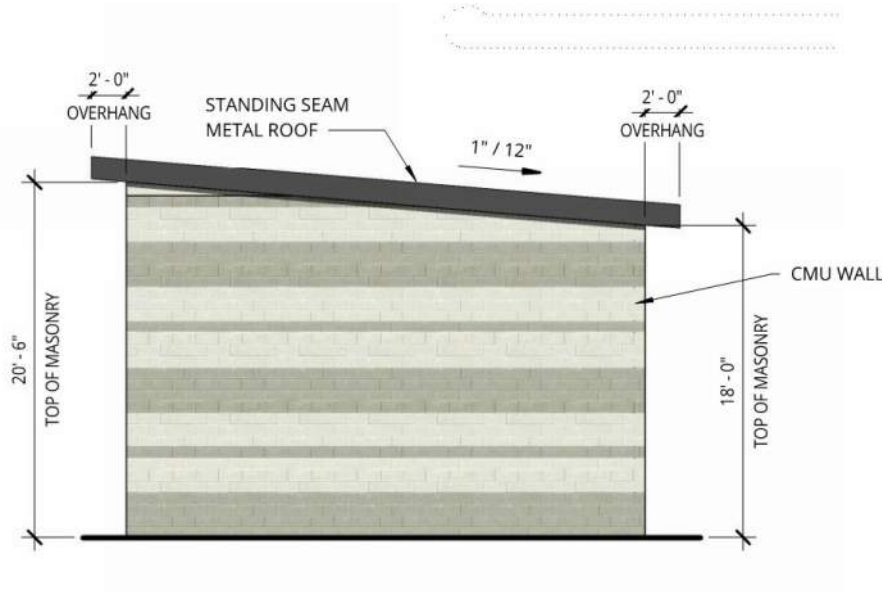


Tilt-up concrete panels with form liner and bevel reveals. Final form liner pattern to be selected with contractor. Architect prefers vertical pattern.



Black curtain wall with slim steel canopies over each public entry. (Interior will celebrate Parr wood brand with feature walls and ceiling slats.)

Parr Lumber Damascus - Color + Materials



OUTBUILDINGS:

All racks and outbuildings to have highly reflective roofing with soffit painted Parr corporate blue.

Outbuildings with CMU walls will have striped pattern with gray, contrasting masonry units as shown above.

Black framed windows to match curtainwall, typ.

Existing mature trees to remain along interior lot line

Oko reinforced fiber cement board panels in bicolor high contrast gray



Paint or vinyl graphic in Parr corporate blue, typ



NE CORNER



NW CORNER

SEE A3.01 SHEET FOR ELEVATIONS AND ADDITIONAL DESCRIPTION OF MATERIAL LOCATIONS.



MATERIAL + COLOR PRECEDENT:
Image shows the combination of wood-look soffits, white roof/fascia, concrete walls, and black frame for glazing.

Parr Lumber Damascus - Color + Materials

Walls

- Tilt-up
- Standing Seam Metal
- Oko-’like’ panels

Openings

- Black Storefront
- Roll-Up Garage Doors

Soffits

- Metal Panels
- (wood ‘look’)

PARR®
L U M B E R





selected
colors/products
marked in red



FOREST GREEN



HARTFORD GREEN



▲ ★ MILITARY BLUE



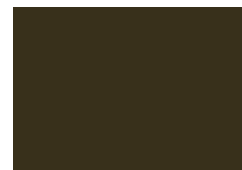
BERKSHIRE BLUE



▲ ★ SLATE BLUE



AWARD BLUE



▲ AGED BRONZE



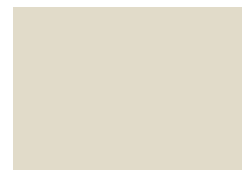
▲ ★ MEDIUM BRONZE



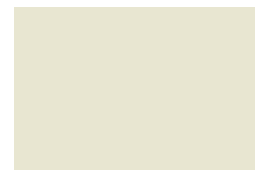
▲ ★ CARDINAL RED



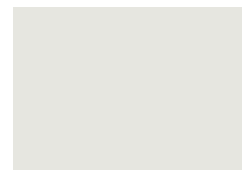
▲ ★ COLONIAL RED



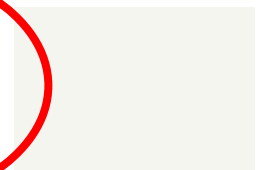
▲ ★ SANDSTONE



▲ ★ ALMOND



▲ ★ STONE WHITE



▲ ★ BONE WHITE

Color Guide

PAC-CLAD.COM

PAC-CLAD® Color Availability

PAC-CLAD STANDARD COLORS	REFLECTIVITY	EMISSIONITY	3 YEAR EXPOSURE	SRI	STEEL		ALUMINUM				20-IN. COIL		ENERGY STAR
					24 GA.	22 GA.	.032	.040	.050	.063	24 GA.	.032	
AGED BRONZE	0.29	0.87	0.27	29	✓								
ALMOND	0.56	0.86	0.55	65	✓	✓	✓	✓	✓		✓		★
ARCADIA GREEN	0.29	0.87	0.29	29	✓		✓						★
AWARD BLUE***	0.24	0.86	0.23	22	✓		✓		✓				
BERKSHIRE BLUE*	0.30	0.87	0.27	31	✓								
BLACK ALUMINUM**	0.04	0.89	0.04	-2			✓	✓	✓	✓			
BONE WHITE	0.70	0.86	0.69	85	✓	✓	✓	✓	✓	✓	✓	✓	★
BURGUNDY	0.14	0.85	0.13	9	✓		✓		✓				
BURNISHED SLATE	0.32	0.87	0.31	33	✓								
CARDINAL RED***	0.44	0.86	0.44	49	✓		✓		✓				★
CHARCOAL	0.30	0.86	0.30	30	✓		✓		✓		✓	✓	★
CITYSCAPE	0.49	0.86	0.50	56	✓	✓	✓	✓	✓		✓	✓	★
COLONIAL RED	0.31	0.86	0.31	31	✓		✓	✓	✓				★
DARK BRONZE	0.29	0.86	0.29	29	✓	✓	✓	✓	✓	✓	✓	✓	★
EVERGREEN	0.28	0.86	0.26	27	✓		✓						★
FOREST GREEN	0.10	0.86	0.10	4	✓	✓	✓	✓	✓				
GRANITE*	0.33	0.87	0.33	34	✓	✓	✓	✓	✓				★
GRAPHITE	0.29	0.87	0.28	29	✓								
HARTFORD GREEN	0.08	0.88	0.08	3	✓		✓	✓	✓				
HEMLOCK GREEN	0.31	0.87	0.30	32	✓		✓		✓				★
HUNTER GREEN	0.28	0.86	0.27	27	✓		✓						★
INTERSTATE BLUE	0.16	0.87	0.15	12	✓		✓		✓				
MANSARD BROWN	0.31	0.86	0.31	31	✓	✓	✓	✓	✓				★
MATTE BLACK STEEL**	0.26	0.86	0.25	25	✓	✓					✓		
MEDIUM BRONZE	0.30	0.87	0.29	31	✓	✓	✓	✓	✓	✓	✓	✓	★
MIDNIGHT BRONZE	0.06	0.87	0.06	0	✓			✓					
MILITARY BLUE	0.31	0.86	0.30	31	✓		✓						★
MUSKET GRAY	0.32	0.86	0.31	33	✓	✓	✓		✓				★
PATINA GREEN	0.33	0.86	0.32	34	✓		✓						★
SANDSTONE	0.48	0.86	0.48	54	✓	✓	✓	✓	✓	✓	✓	✓	★
SIERRA TAN	0.32	0.82	0.31	31	✓	✓	✓	✓	✓		✓		★
SLATE BLUE	0.28	0.86	0.27	27	✓		✓						★
SLATE GRAY	0.38	0.86	0.37	41	✓	✓	✓	✓	✓		✓	✓	★
STONE WHITE	0.69	0.86	0.67	84	✓	✓	✓	✓	✓	✓	✓	✓	★
TEAL	0.32	0.86	0.32	33	✓		✓						★
TERRA COTTA	0.34	0.87	0.33	36	✓		✓		✓		✓	✓	★
PAC-CLAD PREMIUM COLORS													
AGED COPPER	0.55	0.80	0.53	62	✓		✓						★
ANODIC CLEAR	0.32	0.83	0.31	31				✓					
CHAMPAGNE	0.50	0.85	0.49	57	✓		✓	✓	✓				★
COPPER PENNY	0.52	0.81	0.52	58	✓		✓	✓	✓		✓		★
SILVER	0.47	0.87	0.46	53	✓	✓	✓	✓	✓		✓	✓	★
SILVERSMITH	0.32	0.88	0.32	34				✓					
WEATHERED COPPER	0.45	0.88	N/A	51	✓								
WEATHERED STEEL	0.32	0.89	N/A	34	✓								
WEATHERED ZINC	0.48	0.82	0.46	53	✓	✓	✓		✓				★
ZINC	0.42	0.82	0.38	45	✓		✓	✓	✓				★
CLEAR-COAT ACRYLIC FINISH (NON-KYNAR)													
GALVALUME PLUS	0.68	0.14	0.55	57	✓	✓					✓		★

PAC-CLAD Premium finishes are available from stock at a moderate extra cost. PAC-CLAD Copper Penny is a Non-Weathering finish. Solar Reflectance Index calculated according to ASTM E-1980.

*Low Gloss/Low Sheen, 70% PVDF finish ** Appearance differs for Black Aluminum and Matte Black Steel *** 10-year finish warranty

ENERGY STAR PERFORMANCE CRITERIA:

Emissionity uses ASTM C1371 Reflectivity uses ASTM C1549.

TECHNICAL DATA FOR KYNAR 500/HYLAR 5000 COATING:

- ▶ South Florida Exposure: Color (ASTM D 2244) - No more than 5ΔE Hunter units at 20 years; Chalk (ASTM D 4214) - Rating no less than 8 at 20 years; Film integrity - 20 years.
- ▶ Accelerated Weathering (ASTM D 4587, ASTM G 154): 5000 Hours; Chalk, per ASTM D 4214, rating of 6 or better; Color, per ASTM D 2244, < 5ΔE (Hunter Units) color change.

- ▶ Humidity Resistance (ASTM D 2247): Galvalume or HDG, 100% RH, 2000 hours - No field blisters; Aluminum, 100% RH, 3000 hours - No field blisters
- ▶ Salt Spray Resistance (ASTM B 117): Aluminum, 3000 hours, Galvalume or HDG, 1000 hours - Creep from scribe no more than 1/16", no field blisters
- ▶ Chemical/Acid Pollution Resistance (ASTM D 1308): Pass
- ▶ T-Bend (ASTM D 4145): 1T - 3T with no loss of adhesion
- ▶ Pencil hardness (ASTM D 3363): HB - 2H
- ▶ Specular Gloss (ASTM D 523) @ 60 degrees: Typical - 20 - 35

- ▶ Abrasion Resistance (ASTM D 968): 67 +/- 10 liters
- ▶ Cross Hatch Adhesion (ASTM D 3359): No loss of adhesion
- ▶ Reverse Impact (ASTM D 2794): Galvalume or HDG, 2x metal thickness inch-pounds, no loss of adhesion; Aluminum, 1.5x metal thickness inch-pounds, no loss of adhesion
- ▶ Flame Test (ASTM E 84): Class A Coating



PAC-CLAD®

P E T E R S E N

A **CARLISLE** COMPANY



Architectural Metal Roof, Wall and
Perimeter/Roof Edge Systems

TABLE OF CONTENTS

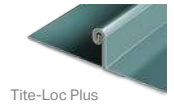
3-7 PAC-CLAD PRODUCT RANGE AND APPLICATIONS

8-9 PAC-CLAD COLOR CHART AND AVAILABILITY

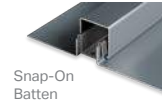
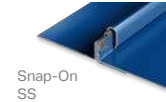
10-11 SNAP-CLAD PANELS



12-13 TITE-LOC PANELS



14-15 SNAP-ON PANELS

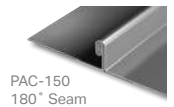
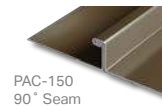


16-17 REDI-ROOF PANELS

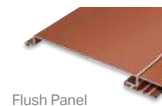


18-19 PAC-150 PANELS*

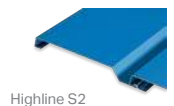
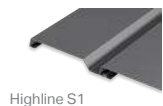
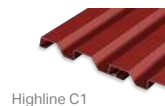
* Available only from our Georgia and Maryland facilities



20-21 FLUSH/REVEAL WALL PANELS



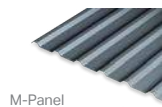
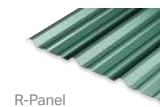
22-25 PRECISION SERIES WALL PANELS



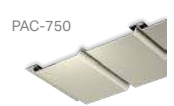
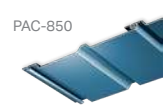
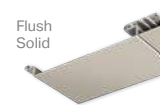
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30-31 SOFFIT PANELS



32 COLUMN COVERS

33 COMPOSITE WALL PANELS

34 COLORGARD® SNOW RETENTION SYSTEM

34 COIL AND FLAT SHEET

35 FLASHING, TRIM, ANODIZED ALUMINUM

36 FASCIA SYSTEMS

37 COPING SYSTEMS

38-39 GENERAL CONSIDERATIONS

Cover photo:
Ridley Township Marina, Ridley, PA
Installing contractor: E.P. Donnelly Inc.
Architect: Catania Engineering Associates,
General contractor: J.S. McManus Inc.
Photographer: hortonphotoinc.com
Profiles: Snap-Clad, PAC-750 vented,
ColorGard snow retention system
Color: Copper Penny

PAC-CLAD® PRODUCT RANGE

Petersen Aluminum Corporation (PAC) was founded in 1965 as a metals service center to the architectural metal industry. Petersen provides products of the highest possible quality within reliable, dependable lead times. Petersen's strong national sales base allows for large inventories and cost economies for its customers.

Headquartered in Elk Grove Village, Illinois, located just outside of Chicago, Petersen also operates full production facilities in Annapolis Junction, Maryland; Tyler, Texas; Phoenix, Arizona and Acworth, Georgia, plus a regional sales office in Andover, Minnesota. In addition to the information found in this catalog, PAC maintains an extensive website at pac-clad.com where a PDF of this catalog is available in digital format and within PAC's e-binder on its website.

Technical assistance and service are available and complemented locally by a nationwide organization of architectural representatives who can offer assistance in material selection, finish specification and budgeting. Because Petersen's scope of applications is so wide, inquiries are encouraged.

PAC-CLAD ARCHITECTURAL SHEET AND COIL

PAC-CLAD is a versatile prefinished sheet metal coating of 70% polyvinylidene fluoride (Kynar) that is applied to G-90 galvanized steel, galvalume steel or prime quality aluminum. Originally developed for use in abrasive environments, PAC-CLAD has proven to be ideally suited for applications in roofing, wall, curtainwall, storefront and trim applications. PAC-CLAD is now available in 45 colors carefully selected to complement a range of building materials.

PAC-CLAD PANELS

Petersen is an industry leader in providing factory-produced metal panels, maintaining extensive roll-forming equipment in all regional plants. Each Petersen facility produces panels that have been leveled. Standing seam, exposed fastener, flush wall, soffit and horizontal wall panels are factory-formed in lengths up to 64'. Refer to the specific product pages, or consult the local factory for maximum lengths and capabilities for each facility. Matching flashing and trim also may be factory-formed, or field-formed from PAC-CLAD material.

PAC-CLAD ACCESSORIES

Petersen fabricates a wide range of roofing accessories from stocked PAC-CLAD colors and gauges. Trim, gutters and downspouts can be produced from Petersen's 45 standard PAC-CLAD colors.

PERIMETER/ROOF EDGE SYSTEMS

Petersen's perimeter/roof edge product line provides the complete system to ensure a clean, sure-fitting product while eliminating the need for field fabrication. All PAC perimeter systems are produced in 12' lengths for an estimated 20 to 40 percent savings in material handling over the typical 8' or 10' lengths. Perimeter systems are competitively priced while providing superior strength, aesthetics and ease of installation. Perimeter products are tested to the standards of ANSI/SPRI/FM 4435/ES-1, Miami-Dade and FM. For information on our coping and fascia products, please see pages 36-37 of this catalog or visit pac-clad.com.



Cape Canaveral Volunteer Fire Station, Cape Canaveral, FL
Installing contractor: Quality Metals
Architect: BRPH
General contractor: W&J Construction
Photographer: hortonphotoinc.com
Profile: Tite-Loc Plus
Color: Arcadia Green

PAC-CLAD® COLOR CHART

TRIM

PAC-CLAD products are available in prime quality aluminum (.032 - .063), 24 gauge G-90 galvanized steel and 22 gauge Galvalume steel, finished with a 70% PVDF (Kynar) finish on the top side, with a washcoat on the bottom. Other metals available include mill finish aluminum, bare galvanized steel, stainless steel, Galvalume Plus and anodized aluminum.

A strippable vinyl film can be applied to coil, flat sheet or fabricated parts to protect painted surfaces. Vinyl masking is recommended where extra handling is expected. NOTE: Film must be removed immediately after installation.

FINISH WARRANTY

Life expectancy is 30-years plus on 70% PVDF-finished materials. A 30-year, non-prorated warranty covering color fade, chalking and film integrity is available at no extra charge. Warranty terms vary slightly for Cardinal Red, Award Blue, Weathered Steel and Weathered Copper.

PAC-CLAD METALLICS

Petersen can supply metallic finishes with the economy of a one-pass, two-coat system at a moderate additional cost. These colors are ideal for all building envelope applications. A PAC-CLAD metallic 30-year, non-prorated finish warranty applies. Proper orientation is required as this is a directional finish.

COMMITMENT TO SUSTAINABILITY

PAC-CLAD products provide unmatched aesthetics and performance, plus an element of sustainability. Where possible, Petersen products include a high percentage of recycled material, which lowers their environmental footprint. Additionally, PAC products are 100% recyclable which may reduce the solid waste stream to landfills.

Petersen also offers the industry's widest range of 45 colors, most of which feature outstanding SRI (Solar Reflectance Index) values for improved cooling and energy savings performance. PAC-CLAD offers 35 finishes that are rated by the Cool Roof Ratings Council, and 31 colors that are Energy Star®-approved. In addition, 30 PAC-CLAD finishes have an SRI of 29 or higher for steep slope roofs, to allow a building to qualify for credits in the U.S. Green Building Council's Leadership in Energy and Environmental Design (LEED) Green Building Rating System. Refer to pacgreeninfo.com for more information on sustainable cool metal roofing.

SHERWIN-WILLIAMS
Coil Coatings

Petersen Aluminum has been a proud partner with Sherwin-Williams Coil Coatings since 1972

NOTE: Colors below are not exact representations of actual PAC-CLAD colors. Ask a PAC representative for a color-chip chart or painted metal samples before making final color selection.

STANDARD COLORS

Patina Green*	Teal*	Hemlock Green*	Forest Green	Dark Bronze*	Midnight Bronze	Mansard Brown*
Arcadia Green*	Hartford Green	Evergreen*	Hunter Green*	Burnished Slate*	Aged Bronze*	Burgundy
Military Blue*	Berkshire Blue	Slate Blue*	Medium Bronze*	Terra Cotta*	Colonial Red*	Cardinal Red*
Interstate Blue	Award Blue	Charcoal*	Cityscape*	Sandstone*	Granite*	Sierra Tan*
Matte Black	Graphite*	Musket Gray*	Slate Gray*	Bone White*	Stone White*	Almond*

* Denotes PAC-CLAD Cool Color

PREMIUM COLORS

Anodic Clear*	Silversmith*
Silver*	Champagne*
Weathered Zinc*	Zinc*
Copper Penny*	Aged Copper*
Weathered Copper	Weathered Steel

PAC-CLAD® COLOR AVAILABILITY

PAC-CLAD STANDARD COLORS	REFLECTIVITY	EMISSIVITY	3 YEAR EXPOSURE	SRI	STEEL		ALUMINUM				ENERGY STAR
					24 GA.	22 GA.	.032	.040	.050	.063	
AGED BRONZE	0.28	0.86	N/A	27	✓						
ALMOND	0.53	0.87	0.52	62	✓	✓	✓	✓	✓		★
ARCADIA GREEN	0.30	0.88	0.30	31	✓		✓				★
AWARD BLUE	0.21	0.86	0.20	18	✓		✓		✓		
BERKSHIRE BLUE*	0.26	0.87	0.25	25	✓						
BLACK ALUMINUM**	0.20	0.86	0.19	17			✓	✓	✓	✓	
MATTE BLACK STEEL**	0.23	0.87	0.22	21	✓	✓					
BONE WHITE	0.65	0.86	0.64	78	✓	✓	✓	✓	✓	✓	★
BURGUNDY	0.23	0.87	0.22	21	✓		✓		✓		
BURNISHED SLATE	0.29	0.85	N/A	28	✓						
CARDINAL RED	0.36	0.86	0.36	38	✓		✓		✓		★
CHARCOAL	0.26	0.87	0.26	25	✓		✓		✓		★
CITYSCAPE	0.43	0.87	0.43	48	✓	✓	✓	✓	✓		★
COLONIAL RED	0.32	0.88	0.32	34	✓		✓	✓	✓		★
DARK BRONZE	0.26	0.88	0.26	26	✓	✓	✓	✓	✓	✓	★
EVERGREEN	0.25	0.86	0.23	24	✓		✓				★
FOREST GREEN	0.10	0.87	0.10	5	✓	✓	✓	✓	✓		
GRANITE*	0.36	0.87	0.36	39	✓	✓	✓	✓	✓		★
GRAPHITE	0.27	0.86	N/A	26	✓						
HARTFORD GREEN	0.09	0.88	0.09	4	✓		✓	✓	✓		
HEMLOCK GREEN	0.30	0.85	0.31	30	✓		✓		✓		★
HUNTER GREEN	0.26	0.86	0.25	25	✓		✓				★
INTERSTATE BLUE	0.13	0.87	0.12	8	✓		✓		✓		
MANSARD BROWN	0.28	0.85	0.28	27	✓	✓	✓	✓	✓		★
MEDIUM BRONZE	0.25	0.88	0.24	24	✓	✓	✓	✓	✓	✓	★
MIDNIGHT BRONZE	0.06	0.88	N/A	0	✓			✓			
MILITARY BLUE	0.29	0.87	0.28	30	✓		✓				★
MUSKET GRAY	0.28	0.87	0.27	28	✓	✓	✓		✓		★
PATINA GREEN	0.34	0.86	0.33	35	✓		✓				★
SANDSTONE	0.46	0.87	0.46	52	✓	✓	✓	✓	✓	✓	★
SIERRA TAN	0.31	0.87	0.31	32	✓	✓	✓	✓	✓		★
SLATE BLUE	0.23	0.87	0.22	21	✓		✓				★
SLATE GRAY	0.35	0.88	0.34	38	✓	✓	✓	✓	✓		★
STONE WHITE	0.67	0.85	0.65	80	✓	✓	✓	✓	✓	✓	★
TEAL	0.26	0.87	0.26	25	✓		✓				★
TERRA COTTA	0.36	0.88	0.35	39	✓		✓		✓		★
PAC-CLAD PREMIUM COLORS											
AGED COPPER	0.25	0.87	0.24	24	✓		✓		✓		★
ANODIC CLEAR	0.55	0.80	N/A	62				✓			
CHAMPAGNE	0.40	0.82	0.36	42	✓		✓	✓	✓		★
COPPER PENNY	0.45	0.87	0.44	51	✓		✓	✓	✓		★
SILVER	0.48	0.81	0.46	53	✓	✓	✓	✓	✓		★
SILVERSMITH	0.52	0.81	N/A	58				✓			
WEATHERED COPPER	0.45	0.88	N/A	51	✓						
WEATHERED STEEL	0.32	0.89	N/A	34	✓						
WEATHERED ZINC	0.25	0.82	0.24	22	✓	✓	✓		✓		★
ZINC	0.30	0.88	0.29	31	✓		✓	✓	✓		★
CLEAR-COAT ACRYLIC FINISH (NON-KYNAR)											
GALVALUME PLUS	0.68	0.14	0.55	57	✓	✓					★

PAC-CLAD Premium finishes are available from stock at a moderate extra cost. PAC-CLAD Copper Penny is a Non-Weathering finish. Solar Reflectance Index calculated according to ASTM E-1980.

*Low Gloss/Low Sheen, 70% PVDF finish ** Appearance differs for Black Aluminum and Matte Black Steel

ENERGY STAR PERFORMANCE CRITERIA:

Emissivity uses ASTM C1371 Reflectivity uses ASTM C1549.

TECHNICAL DATA FOR KYNAR 500/HYLAR 5000 COATING:

- ▶ South Florida Exposure: Color (ASTM D 2244) - No more than 5ΔE Hunter units at 20 years; Chalk (ASTM D 4214) - Rating no less than 8 at 20 years; Film integrity - 20 years.
- ▶ Accelerated Weathering (ASTM D 4587, ASTM G 154): 5000 Hours; Chalk, per ASTM D 4214, rating of 6 or better; Color, per ASTM D 2244, < 5ΔE (Hunter Units) color change.

- ▶ Humidity Resistance (ASTM D 2247): Galvalume or HDG, 100% RH, 2000 hours - No field blisters; Aluminum, 100% RH, 3000 hours - No field blisters
- ▶ Salt Spray Resistance (ASTM B 117): Aluminum, 3000 hours, Galvalume or HDG, 1000 hours - Creep from scribe no more than 1/16", no field blisters
- ▶ Chemical/Acid Pollution Resistance (ASTM D 1308): Pass
- ▶ T-Bend (ASTM D 4145): 1T - 3T with no loss of adhesion
- ▶ Pencil hardness (ASTM D 3363): HB - 2H
- ▶ Specular Gloss (ASTM D 523) @ 60 degrees: Typical - 20 - 35

- ▶ Abrasion Resistance (ASTM D 968): 67 +/- 10 liters
- ▶ Cross Hatch Adhesion (ASTM D 3359): No loss of adhesion
- ▶ Reverse Impact (ASTM D 2794): Galvalume or HDG, 2x metal thickness inch-pounds, no loss of adhesion; Aluminum, 1.5x metal thickness inch-pounds, no loss of adhesion
- ▶ Flame Test (ASTM E 84): Class A Coating

SNAP-CLAD PANELS

Snap-Clad panels feature architectural aesthetics as well as structural performance. Snap-Clad panels, produced in continuous lengths, are leveled to provide superior flatness and feature an optional factory-applied sealant bead for improved weather resistance. Maximum panel length is 64' and minimum panel length is 4'. Consult factory for longer lengths.

Snap-Clad panels feature a 1-3/4" leg height and a continuous interlock for improved structural performance and wind resistance. A concealed-fastener clip system allows for thermal expansion/contraction while providing extraordinary hold-down strength. Two clips are available: a standard clip for most mansard and fascia applications, and a high-performance clip for roofing applications and UL 90-rated assemblies.

TRIM

All flashing and trim shall be fabricated by manufacturer or qualified fabricator. Flashing shall be PAC-CLAD aluminum (.032 - .063 gauge as specified) or PAC-CLAD steel (24 gauge or 22 gauge as specified). A 30-year non-prorated finish warranty can be supplied covering finish performance. Vinyl masking is recommended on all fabrication applications where extra handling is expected. NOTE: The strippable film must be removed immediately after installation.

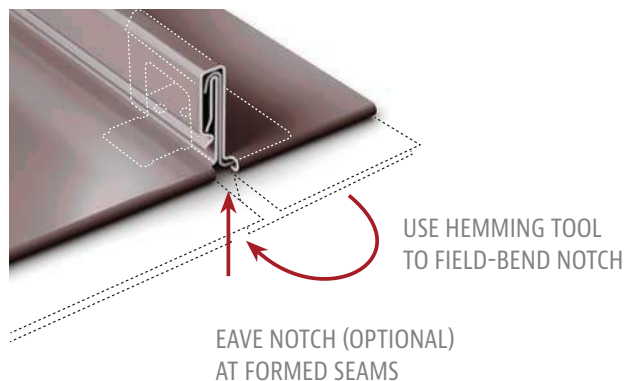
INSTALLATION

Snap-Clad panels are intended for use in roofing, mansard and fascia applications. Substrates may include 5/8" (min.) plywood, nailboard insulation or equal with an underlayment of ice and water shield applied horizontally from eave to ridge. Other substrates may include metal decking or rigid insulation in conjunction with bearing plates. A minimum 2:12 pitch is

recommended in most applications. Contact Petersen for assistance with details on projects requiring lower slopes. For coastal applications, aluminum panels along with stainless steel clips must be used for warranty. Consult a local architect/engineer for compliance with local codes and conditions.

EAVE NOTCHING

Factory-produced eave notching is available at nominal additional cost on Snap-Clad panels and Redi-Roof standing seam panels. Factory eave notching saves on labor cost by eliminating the need for field cutting to produce a properly trimmed eave detail.



PRODUCT FEATURES

- ▶ Architectural/structural panel
- ▶ Factory-applied sealant available
- ▶ Continuous interlock
- ▶ Labor-saving one-piece design
- ▶ Stiffener beads upon request
- ▶ Striations upon request
- ▶ Factory eave notching available
- ▶ 30-year non-prorated finish warranty
- ▶ Maximum factory-produced panel length is 64' (check w/factory for longer lengths)
- ▶ Weathertightness warranty available

- ▶ 43 stocked colors (24 gauge steel)
- ▶ 16 stocked colors (22 gauge steel)
- ▶ 36 stocked colors (.032 aluminum)
- ▶ 22 stocked colors (.040 aluminum)
- ▶ Panels available in Galvalume Plus

UL CLASSIFICATION

- ▶ UL-580 Class 90 wind uplift
- ▶ UL-1897 wind uplift
- ▶ UL-790 Class A fire rated
- ▶ UL-263 fire resistance rated
- ▶ UL-2218 impact resistance rated

- ▶ UL-90 rated aluminum panel up to 16" O.C.
- ▶ UL-90 rated steel panel up to 18" O.C.

ASTM TESTS

- ▶ ASTM E1592 tested
- ▶ ASTM E283/1680 tested
- ▶ ASTM E331/1646 tested

FLORIDA BUILDING & MIAMI-DADE PRODUCT APPROVALS

Please refer to pac-clad.com or your local factory for specific product approval numbers for Snap-Clad.



UL
90

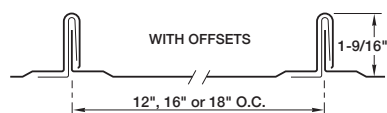
REDI-ROOF STANDING SEAM WITH OFFSETS

MATERIALS

.032 aluminum 22 gauge steel
24 gauge steel*

SPECS

12", 16" or 18" O.C. 1-9/16" High



UL
90

REDI-ROOF STANDING SEAM WITHOUT OFFSETS

MATERIALS

.032 aluminum 22 gauge steel
24 gauge steel*

SPECS

12", 16" or 18" O.C. 1-3/8" High

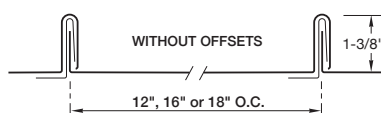


Photo above:
Fields Residence, Downers Grove, IL
Installing contractor: Complete Flashings
Architect: Kuklinski+Rappe Architects
General contractor: Roberts Design+Build
Photographer: Tom Harris
Profile: Redi-Roof
Color: Weathered Zinc

*24 gauge steel, in all O.C.'s is UL-90 Classified over solid substrate. See roof deck construction in Underwriter Laboratories roofing materials and systems directory.
A complete specification is available online at pac-clad.com.

FLUSH/REVEAL WALL PANELS

Flush panels are designed for wall, fascia and soffit applications where a flush or flat appearance is desired. A rounded interlock leg and concealed fastening system improves the flush appearance while providing additional strength. Panels are factory-formed to length to minimize field cutting. Maximum panel length is 25' and minimum panel length is 4'.

Flush panels are available in on-center dimensions designed to complement Petersen's roofing panel product line. Flush panels are available in Flush and Reveal joint configurations.

STIFFENING BEADS

The Flush and Reveal panels are available with optional stiffening beads. Stiffening beads are recommended for longer panel lengths. One or two beads are available.

INSTALLATION

Flush panels shall be installed over a solid substrate with appropriate ice and water shield, or in limited applications over framing sections. When used in a windscreen application, panels must be fastened (stitched) through side joints. Consult a local architect/engineer for requirements of local codes and conditions.

LEVELING

Petersen's Flush panels are formed on precision roll-forming equipment that includes levelers. Leveling removes typical metal conditions including coil set, crowning and edge wave. Leveling is available at no extra charge.

TRIM

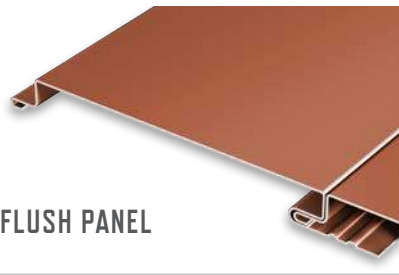
All flashing and trim shall be fabricated by manufacturer or qualified fabricator. Flashing shall be PAC-CLAD aluminum (.032 - .063 gauge as specified) or PAC-CLAD steel (24 gauge or 22 gauge as specified). A 30-year non-prorated finish warranty can be supplied covering finish performance. Vinyl masking is recommended on all fabrication applications where extra handling is expected.

Photo below:
Skyvue Apartments, Pittsburgh
Installing contractor: Wyatt Inc.
Architect: Niles Bolton
Material distributor: Brock Associates
General contractor: Massaro Corp.
Owner: RISE - A Real Estate Company
Photographer: hortonphotoinc.com
Profiles: Flush, 7/8" Corrugated, Sheet
Colors: Bone White, Stone White, Matte Black, Charcoal





Goose Creek High School, Goose Creek, SC
 Installing contractor: Glasgow Roofing
 Architect: SGA Architecture
 Distributor: Roofer's Supply of Greenville
 General Contractor: Thompson Turner Construction
 Owner: Berkeley County School District
 Photographer: hortonphotoinc.com
 Profiles: HWPC, Flush Panel with pencil ribs
 Color: Silver



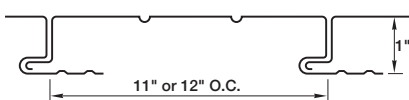
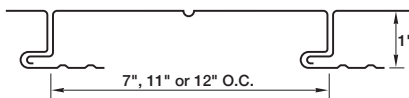
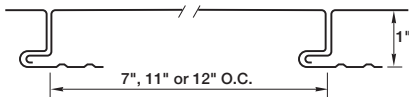
FLUSH PANEL

MATERIALS

.032 aluminum 24 gauge steel
 .040 aluminum* 22 gauge steel*

SPECS

7", 11", or 12" O.C. 1" High



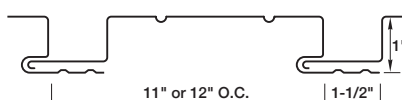
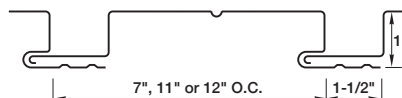
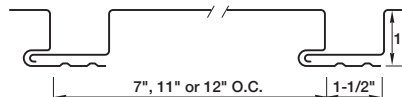
REVEAL PANEL

MATERIALS

.032 aluminum 24 gauge steel
 .040 aluminum* 22 gauge steel*

SPECS

7", 11", or 12" O.C. 1" High



PRODUCT FEATURES

- ▶ Levelled for flatness
- ▶ Available with up to two stiffener beads
- ▶ Rounded interlock leg provides improved flush fit
- ▶ 30-year non-prorated finish warranty
- ▶ Panel lengths from 4' to 25'

MATERIAL

- ▶ 43 stocked colors (24 gauge steel)
- ▶ 16 stocked colors (22 gauge steel)
- ▶ 36 stocked colors (.032 aluminum)
- ▶ 22 stocked colors (.040 aluminum)
- ▶ Galvalume Plus available

ASTM TESTS - FLUSH

- ▶ ASTM E330 tested - 12" only
- ▶ ASTM 1592
- ▶ ASTM E283
- ▶ ASTM E331
- ▶ AAMA 501.1-05

FLORIDA BUILDING PRODUCT APPROVALS

Please refer to pac-clad.com or your local factory for specific product approval numbers for Flush panels.

*Limited color availability. 12" O.C. has reduced fastening flange. A complete specification is available online at pac-clad.com.

PRECISION SERIES WALL PANELS



Herrington-Ornelas HealthPark
Installing contractor: Tyler Roofing
Architect: HC Architects
General contractor: WRL General Contractors
Owner: Christus Trinity Mother Frances Health System
Photographer: Tom Coplen
Profiles: Snap-Clad, HWP, Flush, Custom Coping
Colors: Champagne, Dark Bronze

PRODUCT FEATURES

- ▶ No-clip panel, or clip installation for expansion/contraction
- ▶ Multiple rib patterns provide a variety of looks and design options
- ▶ Panel depths of $\frac{7}{8}$ " or $1\frac{3}{8}$ "
- ▶ Cost-effective installation
- ▶ Horizontal or vertical installation
- ▶ Panel lengths:
30' maximum for steel;

22' maximum for aluminum on the thru-fastened leg; longer lengths available on clip panels

MATERIAL

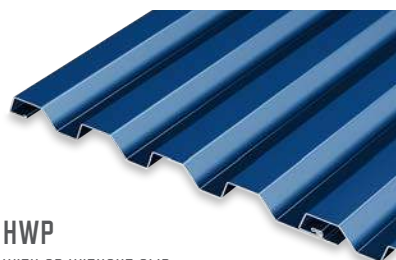
- ▶ 43 stocked colors (24 gauge steel)
- ▶ 36 stocked colors (.032 aluminum)
- ▶ 16 stocked colors (22 gauge steel)
- ▶ 22 stocked colors (.040 aluminum)
- ▶ 29 stocked colors (.050 aluminum)
- ▶ Galvalume Plus available

TESTS

- ▶ ASTM E330
- ▶ ASTM E283
- ▶ ASTM E331
- ▶ AAMA 501.1-05-B1, B2, C2, S1
- ▶ ASTM 1592

FLORIDA BUILDING PRODUCT APPROVALS

Please refer to pac-clad.com or your local factory for specific product approval numbers for Precision Series panels.



HWP
WITH OR WITHOUT CLIP

MATERIALS

.032 aluminum 24 gauge steel
.040 aluminum 22 gauge steel
.050 aluminum

SPECS

12" or 16" Wide $\frac{7}{8}$ " High



HIGHLINE B1
WITH OR WITHOUT CLIP

MATERIALS

.032 aluminum 24 gauge steel
.040 aluminum 22 gauge steel
.050 aluminum

SPECS

11.356" Wide $1\frac{3}{8}$ " High



HIGHLINE B2
WITH OR WITHOUT CLIP

MATERIALS

.032 aluminum 24 gauge steel
.040 aluminum 22 gauge steel
.050 aluminum

SPECS

15.356" Wide $1\frac{3}{8}$ " High

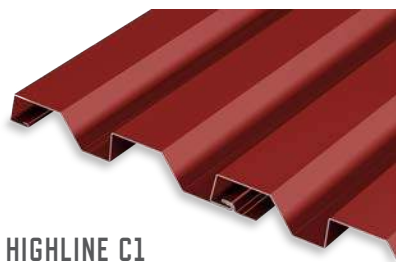


Precision Series architectural wall panels provide design flexibility by combining bold visual effects with easy, cost-effective installation. Multiple profiles are available with a variety of rib patterns. Options for each profile include a no-clip panel, or a clip-fastened panel to accommodate expansion and contraction.

The original Precision Series HWP profile features a $\frac{7}{8}$ " depth, while the Precision Series Highline profiles are 1- $\frac{3}{8}$ " deep, and

can be intermixed to add visual intensity to a building's exterior. Precision Series wall panels can be installed horizontally or vertically.

Consult Petersen rep for maximum length; minimum panel length is 4'. Additionally, these wall panels can be specified as perforated in aluminum only for use in equipment screen applications or over graphics as seen on page 24.



HIGHLINE C1
WITH OR WITHOUT CLIP

MATERIALS

.032 aluminum 24 gauge steel
.040 aluminum 22 gauge steel
.050 aluminum

SPECS

11.356" Wide 1- $\frac{3}{8}$ " High



HIGHLINE S1
WITH OR WITHOUT CLIP

Note: Minimum panel length is 5'

MATERIALS

.032 aluminum 24 gauge steel
.040 aluminum 22 gauge steel
.050 aluminum

SPECS

11.356" Wide 1- $\frac{3}{8}$ " High



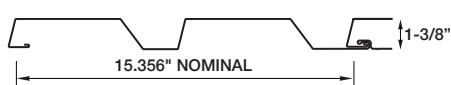
HIGHLINE C2
WITH OR WITHOUT CLIP

MATERIALS

.032 aluminum 24 gauge steel
.040 aluminum 22 gauge steel
.050 aluminum

SPECS

15.356" Wide 1- $\frac{3}{8}$ " High



HIGHLINE S2
WITH OR WITHOUT CLIP

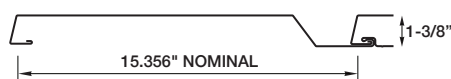
Note: Minimum panel length is 5'

MATERIALS

.050 aluminum 22 gauge steel

SPECS

15.356" Wide 1- $\frac{3}{8}$ " High



HIGHLINE M1
WITH OR WITHOUT CLIP

MATERIALS

.032 aluminum 24 gauge steel
.040 aluminum 22 gauge steel
.050 aluminum

SPECS

12.043" Wide 1- $\frac{3}{8}$ " High



The Highline M-1 panel should be installed in single-piece runs, either horizontally or vertically. For panels more than 20-ft. long, the clip version should be utilized. For panels less than 20-ft. long, the screw leg version is acceptable. For wall elevations with panels longer than 36-ft., flashing breaks must be used as indicated by the architect or designer. Highline M-1 panels are NOT designed to be field lapped over one another.

JOINT DETAILS

CLIP



NAIL FLANGE



Note: Line drawings on these pages are not to scale.

PAC-CLAD® FLASHING AND TRIM

Petersen maintains complete flashing fabrication capabilities in each of its plant locations to produce trim. Fabrication capabilities include press-breaking, shearing, notching and welding.

Each trim accessory is factory-formed in a gauge appropriate to the end-use application. Precisely matched color and finish quality is assured. For projects in which installer fabrication is preferred, flat sheet is available for immediate shipment.

A complete set of flashing details for each panel profile is available at pac-clad.com, and includes detailed drawings for many flashing conditions. These flashing details should be followed, especially for any projects requiring a

weathertightness warranty. Assistance with difficult or unusual flashing conditions also is available by contacting the local factory.

In addition to standard details, Petersen can provide custom fabrication to meet the most exacting requirements. Please contact Petersen for assistance with custom architectural elements.

Vinyl masking is recommended on all fabrication applications where extra handling is expected. NOTE: The strippable film must be removed immediately after installation.

ANODIZED ALUMINUM

PAC 500 BRONZE ANODIZED ALUMINUM

Petersen's PAC 500 anodized finishes include a wide range of architectural bronzes and black. A complete range of bronze shades and black can be achieved. PAC 500 is highly resistant to ultraviolet light. With anodized finishes, a color variance is to be expected from batch to batch, so please order enough sheet or coil to complete a project.

PAC 300 CLEAR ANODIZED ALUMINUM

PAC 300 clear anodized aluminum consists of anodized-quality 5005-H34 aluminum sheet, giving a .0003 thick clear anodized coating. Coil anodizing allows for exceptional control over uniformity of appearance. PAC 300 anodized aluminum is stocked in gauges .032-.125.

	.032	.040	.050	.063	.080	.125
PAC 500						
CHAMPAGNE	✓	✓	✓	✓		
LIGHT BRONZE	✓	✓	✓	✓		
MEDIUM BRONZE	✓	✓	✓	✓		
DARK BRONZE	✓	✓	✓	✓	✓	
BLACK		✓	✓	✓	✓	✓
PAC 300						
CLEAR	✓	✓	✓	✓	✓	✓

FASCIA SYSTEMS

As a key protective element, roof edge and perimeter products are necessary to maintain the integrity of all flat roofing systems. Petersen offers a line of fascia and coping products to meet the most stringent engineering requirements as well as provide the ideal finishing touch for superior aesthetics.

FASCIA

Designed with strength and performance in mind, PAC-Tite fascia products are tested to ANSI/SPRI/FM 4435-ES-1 standards for full compliance with the specification. Available in a multitude of steel and aluminum gauges and face heights, PAC-Tite fascia can meet the needs of any project condition. A lifetime 215 mph warranty is available for PAC-Tite fascia products. For additional design options, Petersen provides the PAC-LOC and the Snap Edge fascia systems.

Each project is custom-fabricated and produced to exacting jobsite requirements to ensure proper fit and superior functionality. Available in 45 PAC-CLAD colors, as well as anodized finishes, Petersen fascia products can complement any building's exterior. Additionally, the products are designed with ease of installation as a priority, and 12' lengths reduce material handling for an estimated 20 to 40 percent savings on labor. Competitive pricing and superior lead times allow the project to stay on budget and on schedule.

Petersen's fascia and coping systems typically exceed project specifications. PAC's roof edge systems provide unmatched uplift protection for single-ply and built-up/modified (BUM) roof systems.

Fascia system features include:

- ▶ Superior, efficient design for ease of installation
- ▶ Extensively tested for reliable, long-term performance
- ▶ Welded corners and scuppers available (for aluminum products only)
- ▶ Wide variety of colors and finishes
- ▶ Pre-punched, slotted holes for precise fastener placement
- ▶ Non-penetrating design maintains watertightness integrity
- ▶ Reusable and recyclable material
- ▶ Custom and radius capabilities available

PAC SNAP EDGE FASCIA



Fully Adhered/
Mechanically
Attached Single-
Ply (FA)



Stone Ballast
Single-Ply (SB)



Built-Up/
Modified (BUM)

PAC EXTENDED SNAP EDGE FASCIA



Fully Adhered/
Mechanically Attached
Single-Ply (FA)



Built-Up/Modified (BUM)

PAC-TITE WT FASCIA



Fully Adhered/
Mechanically Attached
Single-Ply (FA)



Built-Up/Modified (BUM)

PAC-TITE WT EXTENDED FASCIA



Fully Adhered/
Mechanically Attached
Single-Ply (FA)



Built-Up/Modified (BUM)

PAC-TITE WT CANTED FASCIA



WT Extended Canted
Fascia w/ Galvanized
Waterdam



WT Canted Fascia w/
Galvanized Waterdam

PAC-LOC FASCIA



PAC-LOC FASCIA
2000



PAC-LOC
FASCIA 3000

PAC-TITE ANGULAR FASCIA



Fully Adhered/
Mechanically
Attached
Single-Ply (FA)



Built-Up/
Modified
(BUM)

GENERAL CONSIDERATIONS

The following is a summary of conditions and considerations that Petersen considers important when specifying PAC-CLAD metal products. For more project-specific information, please contact 800-PAC-CLAD.

FINISHES

PAC-CLAD panels are available standard with a 70% PVDF (Kynar) finish. Please refer to the color information on pages 8 and 9 for color selection. Samples and photo-accurate color charts are available for your assistance.

SPECIAL COLORS

Special colors are available for most applications of greater than 10,000 sq. ft. and may be applied to either aluminum or G-90 galvanized steel. Contact Petersen for information concerning costs and availability.

INSTALLATION

Special care must be taken to ensure that panels are installed over a flat substrate. For roofing applications, panels typically must be installed over $\frac{5}{8}$ " or $\frac{3}{4}$ " plywood decking with ice and water shield horizontally overlaid from the eave to the ridge. It is recommended that clips be installed on 18" centers for all applications except Snap-Clad, Tite-Loc Plus and Tite-Loc (consult specific UL Construction assemblies for clip spacing). Consult a local architect/engineer for requirements of local codes and conditions.

ACCESSORIES

Most applications require additional metalwork including fascia, storefront trim, copings, gravel stops, downspouts, etc. Such metalwork may be specified for fabrication by manufacturer or for fabrication from flat sheet as provided by manufacturer. Flashings fabricated from PAC-CLAD flat sheet are fully covered under Petersen's 30-year finish warranty.

PAC-CLAD flat sheet provides an exact color match to PAC-CLAD panels. PAC-CLAD flat sheets, coil and fabricated trim accessories are available with a strippable masking applied. This masking is recommended on all applications requiring extra handling. NOTE: This strippable film must be removed immediately after installation.

PANEL CONDITIONS/VARIATIONS

Pencil ribs (also known as stiffening beads) and striations must be requested by the customer.



LENGTHS

All panels are cut to custom lengths before roll-forming and are available in lengths up to 64'. See specific product pages for maximum panel lengths. Minimum length is 4'. Consult factory for longer lengths. Lengths are accurate to $\frac{1}{4}$ ". Custom cut-to-length service is available at no cost and helps to improve project economy.

PANEL WIDTHS

Most PAC-CLAD panels are available in non-standard on-center dimensions. Contact Petersen for product availability and cost. PAC-CLAD panel standard widths are nominal and could vary.

PITCH

Tite-Loc panels are designed for a roof pitch of $\frac{1}{2}$:12 or greater. Snap-Clad panels have been designed to be installed on applications as low as 2:12 pitch. Redi-Roof panels and Snap-On panels have been designed for a minimum 3:12 pitch. Greater pitch may be required in snow country and in areas of extreme climate conditions.

Photo above:
Private Residence, Florida
Installing contractor: Cartercraft Roofing
Architect: T. S. Adams Studio Architects
General Contractor: Ray Jackson Construction
Photographer: hortonphotoinc.com
Profiles: PAC-150, Flush Panels
Colors: Weathered Zinc, Champagne

FIRE RATINGS

PAC-CLAD panels have been evaluated by Underwriters Laboratories for inclusion in a variety of fire-rated "P-Assemblies" and are classified in section CETW of the UL Fire Resistance Directory - Vol. 1. Several panel assemblies have been evaluated as Class A fire-rated. Contact PAC for complete information on components and assemblies.

OIL CANNING

All Petersen material is prime-quality aluminum, G-90 galvanized or galvalume steel. All materials are specified for roll-forming applications. Panels are inspected in the plant for flatness before shipment. Jobsite conditions such as temperature variation, unlevel substrate and/or improper installation may promote oil canning. Oil canning does not affect the finish or structural integrity of the panel and is therefore not cause for rejection.

WARRANTY

A 30-year finish warranty is available covering cracking, peeling and color fade on all PAC-CLAD applications. PAC-CLAD is a 70% PVDF (Kynar) finish and therefore carries the highest-quality 30-year non-prorated finish warranty available. Finish warranty terms for Cardinal Red, Award Blue, Weathered Copper, Weathered Steel and all metallic finishes vary slightly. Please refer to pac-clad.com for further details.

Petersen also offers a coastal finish warranty for projects located in the vicinity of the coast or within saltwater environments. Aluminum substrates, with stainless steel clips and fasteners, must be used to qualify for the coastal warranty.

For projects utilizing Snap-Clad, Tite-Loc or Tite-Loc Plus factory-formed standing-seam panels, weathertightness warranties for terms up to 20-years are available. Projects must be submitted and pre-approved by PAC technical personnel prior to ordering.

STORAGE

Materials should be stored in a clean, dry place. Suitable facilities for storage and protection of material should be provided at the job site. Store materials out of traffic areas to prevent dents, bending, abrasion, etc.

LIMITATIONS ON LIABILITY

Neither Petersen nor its customer shall be liable for special, indirect or consequential damages. The liability of Petersen in the event of the sale of its products shall be limited to replacement of any defective or nonconforming products or refund of the purchase price.

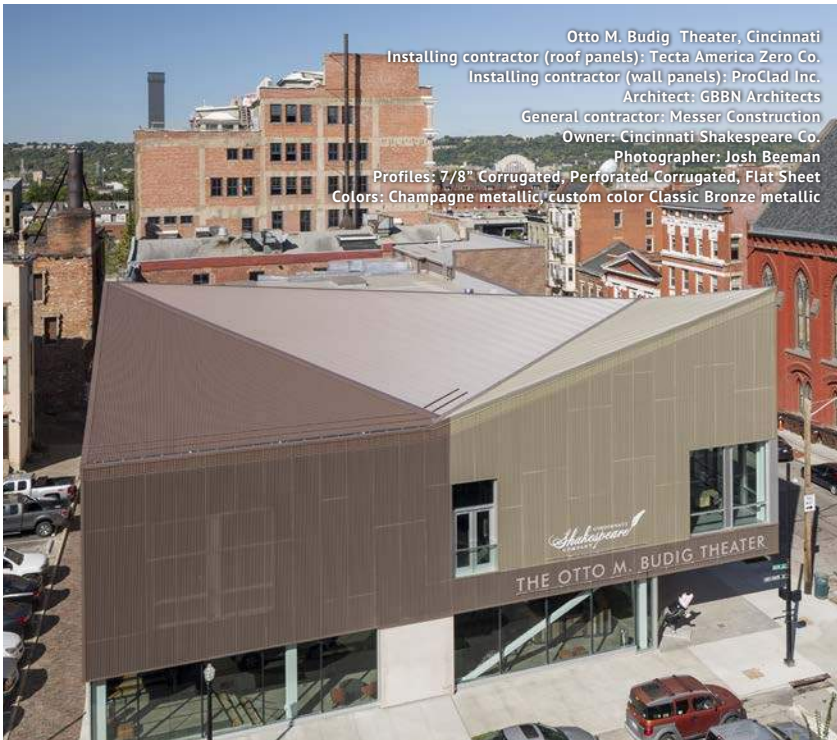


Summit Credit Union, Muskego, WI
Installing contractor: Alois Roofing & Sheet Metal
Architect: Strang Inc.
General contractor: J.H. Findorff & Son Inc.
Photographer: Scott Bell
Profiles: Snap-Clad, Flush Soffit, Precision Series HWP, S-51 ColorGard
Color: Silver Metallic

Richland Two Institute of Innovation, Columbia, SC
 Installing Contractor: Watts & Associates Roofing
 Architect: LS3P
 Material Distributor: ABC Supply
 General contractor: MB Kahn
 Photographer: hortonphotoinc.com
 Profiles: Reveal & Flush Wall Panels,
 Tite-Loc Plus, HWP
 Colors: Almond, Slate Gray, Sierra Tan,
 Interstate Blue, Silver



Otto M. Budig Theater, Cincinnati
 Installing contractor (roof panels): Tecta America Zero Co.
 Installing contractor (wall panels): ProClad Inc.
 Architect: GBBN Architects
 General contractor: Messer Construction
 Owner: Cincinnati Shakespeare Co.
 Photographer: Josh Beeman
 Profiles: 7/8" Corrugated, Perforated Corrugated, Flat Sheet
 Colors: Champagne metallic, custom color Classic Bronze metallic



« SNAP-CLAD PANELS

« TITE-LOC PANELS

« SNAP-ON PANELS

« REDI-ROOF PANELS

« SOFFIT PANELS

« PRECISION SERIES WALL PANELS

« FLUSH PANELS

« EXPOSED FASTENER PANELS

« FASCIA SYSTEMS

« COPING SYSTEMS

« COIL AND FLAT SHEET



HQ: 1005 Tonne Road
 Elk Grove Village, IL 60007
 P: 800-PAC-CLAD
 F: 800-722-7150

9060 Junction Drive
 Annapolis Junction, MD 20701
 P: 800-344-1400
 F: 301-953-7627

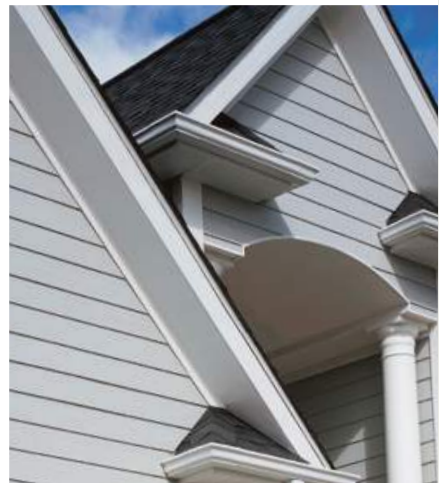
10551 PAC Road
 Tyler, TX 75707
 P: 800-441-8661
 F: 903-581-8592

102 Northpoint Parkway
 Acworth, GA 30102
 P: 800-272-4482
 F: 770-420-2533

1800 S. 7th Ave., Suite 130
 Phoenix, AZ 85007
 P: 833-750-1935
 F: 602-254-6504

1885 Station Parkway NW, Suite B
 Andover, MN 55304
 P: 877-571-2025
 F: 866-901-2935

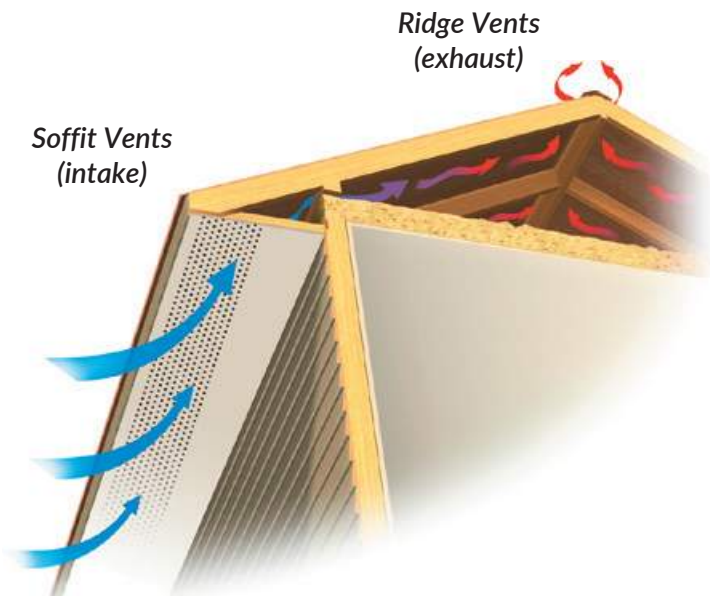
SOFFIT



Tackles a tough job beautifully.

Available in both vented and non-vented styles, Allura Soffit Panels will neither warp nor rot. That's because, unlike traditional wood, they are engineered to repel moisture, withstand any climate and provide extensive protection around the home.

Experts agree that the most effective system is a balance of air intake and exhaust that creates a uniform flow of air through the attic. In this challenging area, this system creates a condition in which the roof temperature is equalized from top to bottom, supplying a consistent airflow along the entire underside of the roof deck.



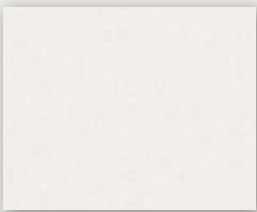
DESIGNER'S CORNER

Whether you prefer textured Cedar or Smooth, Allura Soffit options allow you to ensure your home's design style is consistent from every angle.

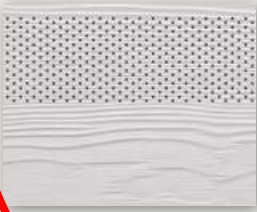
AVAILABLE TEXTURES*



Traditional Cedar



Smooth



Traditional Cedar Vented



Smooth Vented

Type	Thickness	Width	Length
Vented/Non-Vented	¼"	12"	12'
Vented/Non-Vented	¼"	16"	12'
Vented/Non-Vented	¼"	24"	8'
Vented/Non-Vented	¼"	24"	12'
Non-Vented	¼"	4'	8'

* Check market availability as products may vary.

Unleash your imagination.

ColorMax®

Allura's proprietary ColorMax® Finishing System not only ensures unparalleled protection against the elements, but also brings out your style in a gorgeous palette of eye-catching designer colors.

But that's only part of the story. Beneath our alluring ColorMax finish lies a strong precision process. Optimal defense is built in with our primer/sealer for premium weather protection and machine-applied coats of ColorMax color.

Whether you choose from our 25 solid colors and 5 natural-wood stains, or go with the paintable primed and sealed option, Allura will be the last cladding material you'll ever need.



Have a special request? Just show us a sample and we can match it with the Allura ColorMax Custom Color program. Or create an even greater competitive advantage with your very own Allura ColorMax Curated Collection, a palette of beautiful colors reserved exclusively for your use in your market. Contact your Allura sales representative for more details on both of these custom programs.



Allura is proud to partner with PPG Industries for their advanced primer and finish coating system and impeccable customer service. PPG has been the industry leader in factory applied finishes for over three decades, taking an expert approach to surface design. The color samples shown here are as accurate as printing methods will permit. For a physical color card, a request form or to find a preferred dealer near you, please visit AlluraUSA.com.

We don't just promise world-class service. *We guarantee it.*

At Allura, we believe the building industry is first and foremost a service industry. We understand time is money and you deserve respectful, courteous and knowledgeable customer service. So you can always count on us for helpful technical support, customer service reps and managers who are eager to assist you with all your Allura fiber cement needs.

ON-TIME SHIPMENTS

We take pride in delivering full and on-time shipments. If for any reason your direct Allura order does not ship on your promised ship date, please contact Allura's Customer Support immediately, so we can assist you.

QUALITY PRODUCTS & PROTECTED INVESTMENT

With over 75 years of experience, Allura provides a top quality, fiber cement product using our advanced formulation and quality control monitoring. Every piece of fiber cement product delivered from Allura will be palletized and wrapped to protect your investment.



BACKED BY CONFIDENCE.

Allura Fiber Cement Products are backed by our
50-Year Limited Transferable Warranty.* Guaranteed!

*Please review our Limited Transferable Warranty for specific details.

DATA SHEET

öko skin stripes



RIEDER



Colours	1 colour from colour collection greyscale	2 colours from colour collection greyscale
Surfaces	Mix of ferro light + ferro (contrast)	Mix of matt + ferro light + ferro (extra contrast)

MATERIAL

Length	2500 mm, 3100 mm / 98.42", 122" (US)
Width	70 mm 147 mm 302 mm / 2.76" 5.79" 11.89" (US)
Thickness	13 mm / 0.5" (US)
Colour collection	greyscale
Texture	standard

HANDLING

Mounting	Manually or with vacuum suction; slats must be handled with special care
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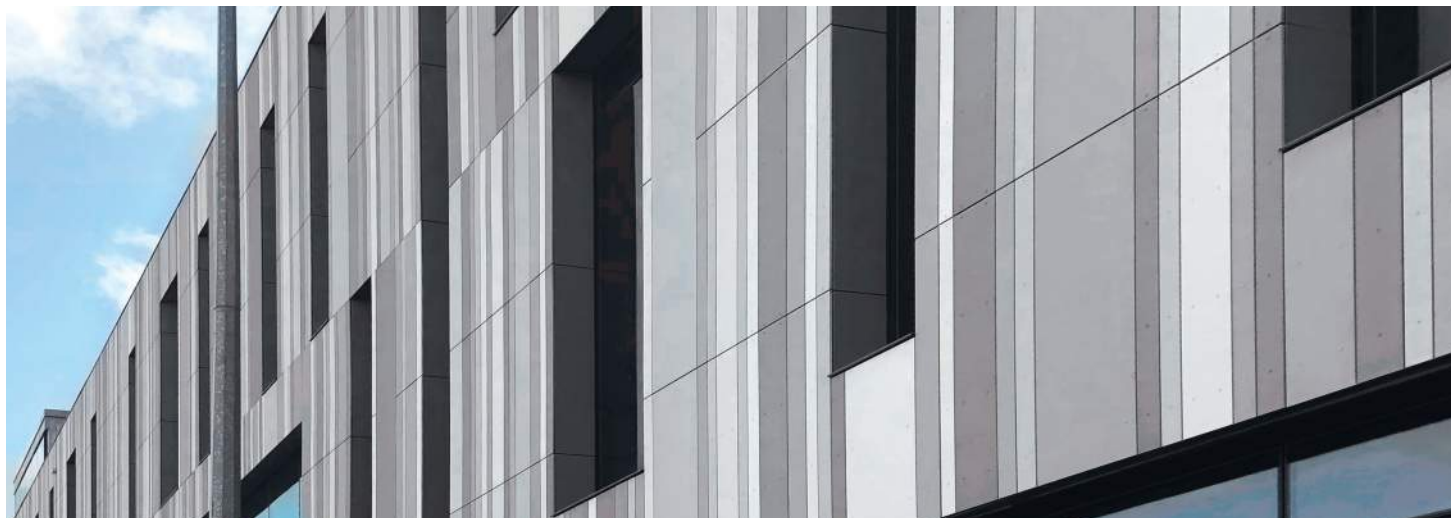
FIXING

Visible: rivet, screw	Distance to slat edge at least 30 mm / 1.18" (US)
Concealed: adhesive, undercut anchor, Rieder Power Anchor	Distance to slat edge (vertically) at least 100 mm / 3.93" (US) Distance to slat edge (horizontally): with 70 mm and 147 mm / 2.76" and 5.79" (US) once in the middle; with 302 mm / 11.89" (US) minimum distance to slat edge 60 mm / 2.36" (US) (with point attachment: 2 pieces) Maximum distance between two vertical attachment points: 600 mm / 23.62" (US) Additional supporting structure or bracing required depending on statics.

SCOPE OF DELIVERY

Palletisation	8 slats per layer in colour and surface mix (according to visualisation*) 18 layers per pallet (54 m ² / 581.251 ft ² (US) of 2500 mm length 66 m ² / 1,313.2 ft ² (US) of 3100 mm length)
---------------	---

Ara Institute of Canterbury, Jasmax



NOT FOR
CONSTRUCTION



38 NORTHWEST DAVIS, SUITE 300
PORTLAND, OR 97209
503.245.7100

1505 5TH AVE, SUITE
800 TITILE, WA 98101
206.576.1600

1014 HOWARD STREET
SAN FRANCISCO, CA 94103
415.252.7063

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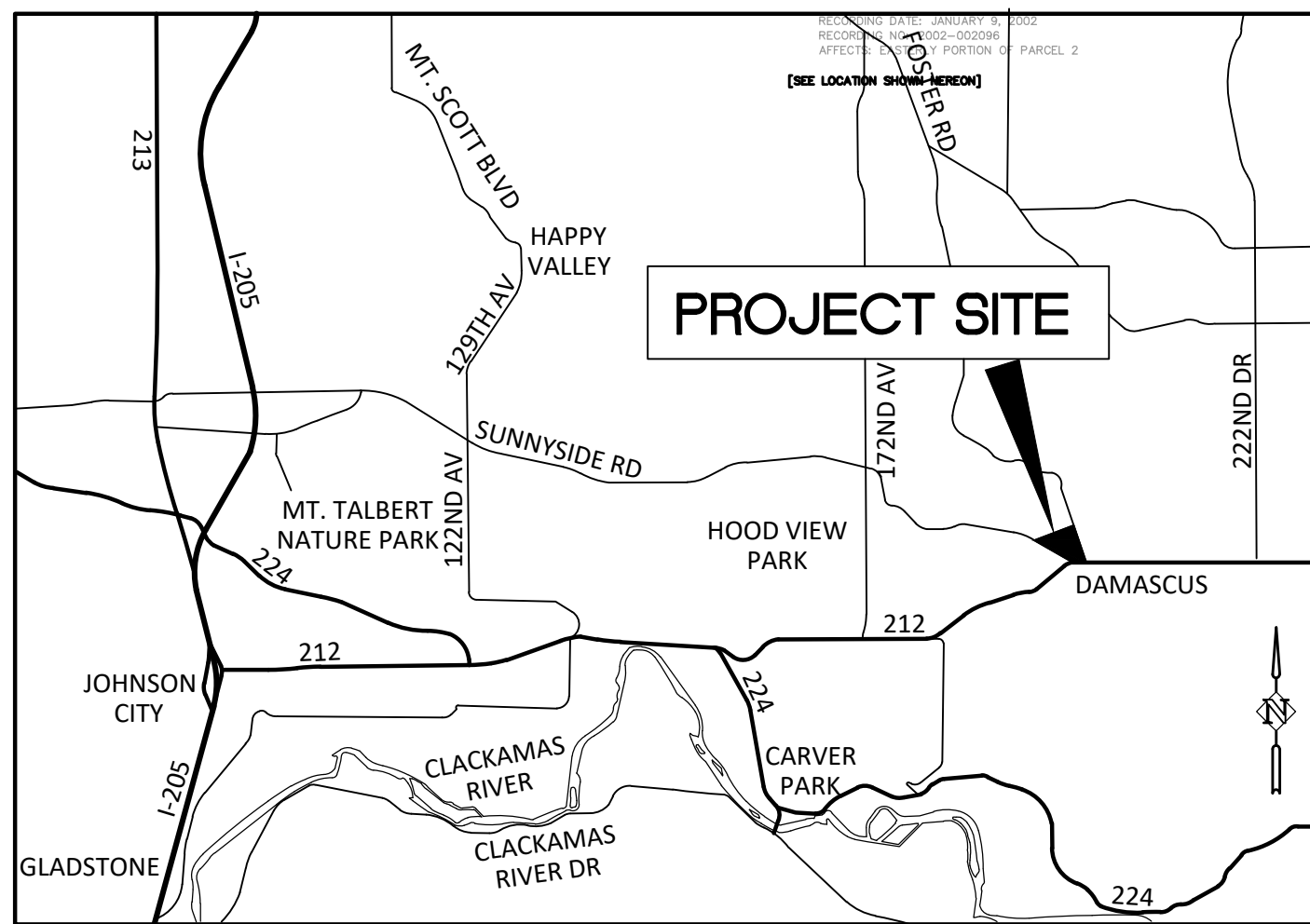


ENGINEERS+PLANNERS
LANDSCAPE ARCHITECTS+SURVEYORS
205 SE Spokane Street, Suite 200, Portland, OR 97202
phone: 503.221.1131 www.hhpr.com fax: 503.221.1171

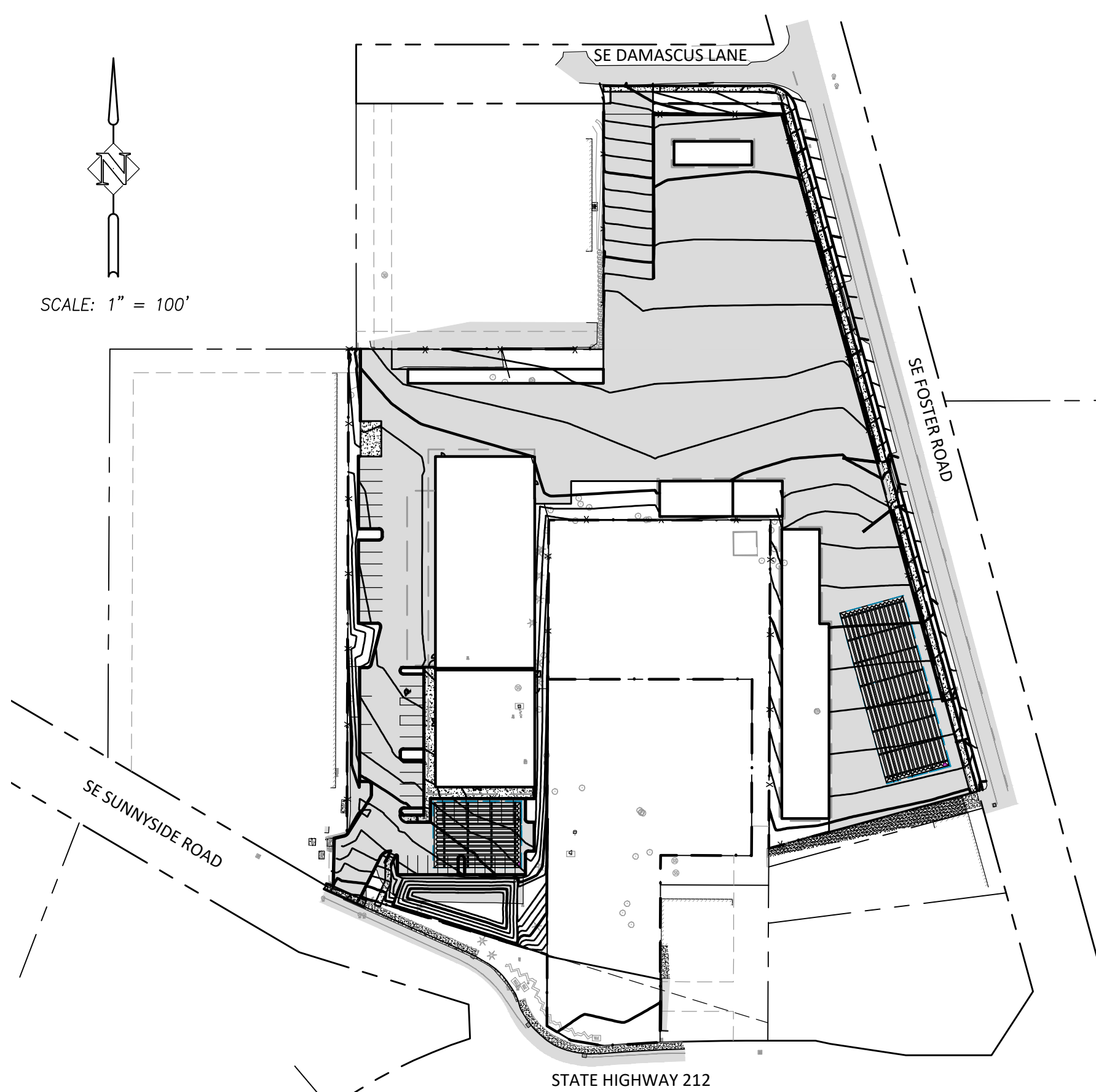
DAMASCUS PARR LUMBER

SE SUNNYSIDE RD AND HWY 212

CLACKAMAS COUNTY, OREGON



VICINITY MAP
N.T.S.



SCALE: 1" = 100'

SITE INFORMATION

19855 SE SUNNYSIDE ROAD, DAMASCUS, OR
T. 2S, R. 3E, SEC. 5
TAX LOTS 1900, 2000, 2001, 2205 AND 2213
SITE AREA = 5.52 ACRES

ZONE = RURAL COMMERCIAL, RURAL INDUSTRIAL

WATER SOURCE = SUNRISE WATER

SEWAGE DISPOSAL = PRIVATE SEPTIC SYSTEMS

OWNER/APPLICANT

BRAD FARMER
PARR LUMBER
5330 NW FIVE OAKS DRIVE
HILLSBORO, OR 97123
PHONE: 503-645-5545

SURVEYOR

HARPER HOUF PETERSON RIGHELLIS INC.
CONTACT: PAT GAYLORD
205 SE SPOKANE STREET, SUITE 200
PORTLAND, OR 97202
PHONE: 503-221-1131
FAX: 503-221-1171

ENGINEER

HARPER HOUF PETERSON RIGHELLIS INC.
PE CONTACT: KEN VALENTINE
1220 MAIN STREET, SUITE 150
VANCOUVER, WA 98660
PHONE: 360-750-1131

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1.2 Site and Utility Plan (composite)
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L1.2 Planting Plan & Details
L1.3 Planting Plan and Details

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A1.02 Signage Plan
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A2.02 Warehouse-Mezzanine Plan
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CLACKAMAS COUNTY STANDARD NOTES:

GENERAL NOTES

1. ALL WORK AND MATERIALS SHALL CONFORM TO THESE PLANS AND THE APPLICABLE PROVISIONS OF THE CLACKAMAS COUNTY ROADWAY STANDARDS. IMPROVEMENTS DEPICTED ON THESE PLANS ARE IN CONFORMANCE WITH COUNTY LAND USE ACTION CASEFILE #2007-09-E.
2. IN ORDER TO PROTECT UNDERGROUND FACILITIES, EXCAVATORS PERFORMING THE WORK SET FORTH ON THESE PLANS MUST COMPLY WITH THE PROVISIONS OF ORS 757.541 TO 757.571 (REQUIRES CONTRACTOR TO NOTIFY UTILITIES AT LEAST 48 HOURS, BUT NO MORE THAN 10 BUSINESS DAYS, PRIOR TO ANY EXCAVATION).
3. THE LOCATION OF EXISTING UTILITIES SHOWN ON THE PLANS IS APPROXIMATE AND SHOWN FOR INFORMATION PURPOSES ONLY. THE CONTRACTOR SHALL HAVE ALL UTILITIES LOCATED PRIOR TO COMMENCING CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION. ADDITIONAL UNDERGROUND UTILITIES MAY EXIST.
4. TRENCHES WITHIN THE RIGHTS-OF-WAY SHALL BE BACKFILLED WITH LOW STRENGTH CONTROLLED DENSITY FILL (CDF) WHEN:
 - TRENCHES ARE WITHIN THE ROADWAY OF ALL ARTERIALS AND COLLECTOR CLASSIFIED ROADS;
 - THE AFFECTED ROADWAY SURFACE IS NEWER THAN FIVE (5) YEARS FROM THE TIME OF THE LAST OVERLAY, WITHOUT REGARD TO THE ROADWAY CLASSIFICATION;
 - DEEMED NECESSARY BY THE COUNTY ROAD OFFICIAL.WHEN TRENCHES ARE EXEMPT FROM USE OF CDF, THE ROADWAY TRENCH SHALL BE BACKFILLED WITH AN APPROVED GRANULAR MATERIAL CONFORMING TO APWA CLASS B SPECIFICATIONS. SEE SECTION 311 AND 312 OF THE CLACKAMAS COUNTY UTILITY REGULATION FOR SPECIFICATIONS. LOCATED WITHIN COUNTY ROAD USE ORDINANCE.
5. TRENCHES OUTSIDE OF RIGHTS-OF-WAY MAY BE BACKFILLED IN ACCORDANCE WITH NATIVE MATERIALS AND COMPACTION SPECIFICATIONS FOR APWA CLASS A BACKFILL.
6. VEGETATION AND TOPSOIL ARE TO BE STRIPPED TO MINERAL EARTH (AND INSPECTED BY THE COUNTY) PRIOR TO PLACEMENT OF FILL OR BASE MATERIALS.
7. IN ADDITION TO ANY REQUIRED COMPACTION TESTING, THE COUNTY REQUIRES A PROOF ROLL WITH A FULLY LOADED 10-YARD DUMP TRUCK TO CHECK SUBGRADE COMPACTION PRIOR TO PLACEMENT OF ROCK SUBBASE AND AGAIN AT THE COMPLETION OF THE PLACEMENT OF THE BASE ROCK PRIOR TO PAVING THE FIRST LIFT OF ASPHALT.
8. ASPHALTIC CONCRETE MIX IS TO BE BATCHED FROM A MIX FORMULA APPROVED BY OSHD FOR MATERIAL USED. PAVING CONTRACTOR SHALL PROVIDE A CERTIFICATE OF COMPLIANCE FORM ASPHALT PAVEMENT PLANT.
9. SUBSEQUENT SETTLEMENT OR CRACKING OF FINISHED SURFACE WITHIN THE WARRANTY PERIOD SHALL BE CONSIDERED TO BE A FAILURE OF THE SUBGRADE AND REPAIRED AT NO COST TO THE COUNTY AND IN A MANNER ACCEPTABLE TO THE COUNTY.
10. THE CONTRACTOR SHALL CONTROL TRAFFIC THROUGH THE PROJECT SITE IN CONFORMANCE WITH THE LATEST EDITION OF "MANUAL ON UNIFORM, TRAFFIC CONTROL DEVICES", "OREGON SUPPLEMENTS", THE CONTRACTOR SHALL AT ALL TIMES MAINTAIN LOCAL ACCESS FOR HOMEOWNERS ALONG THE PROJECT SITE.
11. THE CONTRACTOR AND/OR SUB-CONTRACTOR SHALL HAVE A MINIMUM OF ONE (1) SET OF APPROVED CONSTRUCTION PLANS ON THE JOB SITE AT ALL TIMES DURING THE CONSTRUCTION PHASES.
12. CONTRACTOR SHALL REMOVE AND DISPOSE OF TREES, STUMPS, BRUSH, ROOTS, TORSELS, AND OTHER MATERIAL ENCOUNTERED DURING THE CONSTRUCTION OF THE ROADWAY AND WHERE INDICATED ON THE PLANS. MATERIAL SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL, REGIONAL AND STATE REGULATIONS AT FACILITIES AUTHORIZED TO ACCEPT SUCH MATERIAL. CONTACT COMMUNITY ENVIRONMENT SECTION AT 655-8521 FOR DISPOSAL OPTIONS.
13. CONTRACTOR SHALL COORDINATE AND SCHEDULE ALL EARTHWORK, TRENCH BACKFILL AND ROAD CONSTRUCTION COMPACTION TESTS AND GEOTECHNICAL REVIEWS WITH THE SOILS TESTING LAB AS REQUIRED FOR ACCEPTANCE OF PROJECT WORK BY CLACKAMAS COUNTY.
14. CONTRACTOR SHALL CAREFULLY MAINTAIN BENCHMARKS, PROPERTY CORNERS, MONUMENTS, AND OTHER REFERENCE POINTS. IF SUCH POINTS ARE DISTURBED OR DESTROYED BY CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND PAY FOR THEIR REPLACEMENT BY EMPLOYING A PROFESSIONAL LAND SURVEYOR TO RESET PROPERTY CORNERS & OTHER SUCH MONUMENTS.
15. EXCESS EXCAVATED MATERIAL SHALL BE HAULED AND DISPOSED OF AT SITES PROVIDED BY THE OWNER AND APPROVED PURSUANT TO A CLACKAMAS COUNTY GRADING PERMIT. FILL SITES SHALL BE LEVELED AND GRADED TO DRAIN. THE CONTRACTOR SHALL CORRECT ANY FILL RELATED CONDITIONS.
16. PRIOR TO BEGINNING WORK, THE CONTRACTOR SHALL PRESENT A LIST AT THE PRECONSTRUCTION MEETING OF SUBCONTRACTORS, A PROJECT SCHEDULE, A TRAFFIC CONTROL PLAN AND A LIST OF AT LEAST 3 PEOPLE RESPONSIBLE FOR MAINTAINING TRAFFIC CONTROL DURING NON-WORK PERIODS.
17. FINAL CLEANUP - PRIOR TO FINAL ACCEPTANCE AND PAYMENT, THE CONTRACTOR SHALL CLEAN THE WORK SITE AND ADJACENT AREAS OF ANY DEBRIS, DISCARDED ASPHALTIC CONCRETE MATERIAL OR OTHER ITEMS DEPOSITED BY THE CONTRACTOR'S PERSONNEL DURING THE PERFORMANCE OF THIS CONTRACT.

GRADING NOTES

1. FILLS SHALL BE COMPACTED TO 90 PERCENT OF MAXIMUM DENSITY AS DETERMINED BY ASTM TEST D1557-91, METHOD A, OR AN EQUIVALENT. THE APPLICANT SHALL BE RESPONSIBLE FOR MAKING THE NECESSARY ARRANGEMENTS FOR SUCH TESTING AND FOR SUPPLYING THE RESULTS TO CLACKAMAS COUNTY.
2. ALL FILLS MUST BE PLACED CONSISTENT WITH SECTION 10 OF THE EXCAVATION AND GRADING ORDINANCE. SITE PREPARATION MUST INCLUDE THE REMOVAL OF VEGETATION, NON-COMPLYING FILL, TOPSOIL, OR OTHER UNSUITABLE MATERIAL PRIOR TO PLACEMENT OF THE FILL. FILL SLOPES SHALL NOT EXCEED A GRADE OF 2 HORIZONTAL TO 1 VERTICAL.
3. ALL CUTS SHALL BE MADE CONSISTENT WITH SECTION 9 OF THE EXCAVATION AND GRADING ORDINANCE. NO CUT SHALL EXCEED A GRADE OF 2 HORIZONTAL TO 1 VERTICAL UNLESS APPROVED BEFOREHAND BY THE PROJECT ENGINEER AND CLACKAMAS COUNTY.
4. APPROPRIATE BENCHING OF FILLS IS REQUIRED FOR FILLS OVER 5 FEET IN HEIGHT ON SLOPES IN EXCESS OF 5 HORIZONTAL TO 1 VERTICAL. BENCHING MUST BE DONE AS PER THE APPROVED PLANS. CLACKAMAS COUNTY SHALL INSPECT BENCHES PRIOR TO FILL PLACEMENT.
5. CUT AND FILL SLOPES SHALL BE PROTECTED FROM EROSION. SUCH CONTROL MAY CONSIST OF APPROPRIATE REVEGETATION OR OTHER ACCEPTABLE MEANS AND METHODS. EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO EARTHWORK OR SITE STRIPPING.
6. THE CONTRACTOR SHALL COORDINATE WITH COUNTY PERSONNEL BY CALLING 655-8690 ANYTIME FOR REQUIRED INSPECTION AT THE FOLLOWING STAGES OF CONSTRUCTION:
 - a. INSPECTION OF SITE STRIPPING, BUT PRIOR TO FILL PLACEMENT. EROSION CONTROL MEASURES SHALL BE IN PLACE AT THIS TIME.
 - b. AFTER THE PLACEMENT OF EACH 300 YARDS OF FILL.
 - c. IN PREPARATION OF BENCH CONSTRUCTION PRIOR TO FILL PLACEMENT.
 - d. AFTER THE MAJORITY OF FILL HAS BEEN PLACED AND IS IN "ROUGH" GRADE BUT PRIOR TO FINAL GRADING.
 - e. WHEN FINAL GRADING IS COMPLETED.
 - f. DURING FINAL GRADING, BUT PRIOR TO BASE ROCK AND PAVEMENT CONSTRUCTION.

STREET & STORM DRAIN

1. STREET AND STORM DRAIN IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CLACKAMAS COUNTY ROADWAY STANDARDS AND THE APPROPRIATE SURFACE WATER DISTRICT. ALL STORM SEWER PIPES SHALL HAVE RUBBER GASKETS, WHICH PROVIDE A WATER TIGHT CONNECTION.
2. ALL TRENCH EXCAVATION SHALL CONFORM TO STANDARD STORM SEWER SPECIFICATIONS AND SHALL BE UNCLASSIFIED.
3. PIPE BEDDING AND PIPE ZONE SHALL CONFORM TO THE EXCAVATION AND BACKFILL DETAILS, AND SHALL BE 3/4" - 0" CRUSHED ROCK.
4. COMPACTION SHALL BE PER A.P.W.A. DIVISION III, SECTION 301.3.07. CONTRACTOR TO DETERMINE TYPE OF EQUIPMENT AND METHOD USE TO ACHIEVE REQUIRED COMPACTION.
5. TRENCH BACKFILL OUTSIDE OF RIGHT-OF-WAYS OR PAVED AREAS MAY BE EXCAVATED TRENCH MATERIAL. TRENCH BACKFILL IN PAVED AREAS SHALL BE APPROVED GRANULAR MATERIALS.
6. MATERIAL IN SOFT SPOTS WITHIN THE ROADWAY SHALL BE REMOVED TO THE DEPTH REQUIRED TO PROVIDE A FIRM FOUNDATION AND SHALL BE REPLACED WITH 1-1/2" - 0" CRUSHED ROCK. THE ENTIRE SUBGRADE SHALL BE THOROUGHLY COMPACTED OF 95% AASHTO T-99.
7. CONTRACTOR SHALL NOTIFY THE ENGINEER WHEN SUBGRADE IS COMPLETE AND 24 HOURS PRIOR TO PLACEMENT OF ROCK BASE MATERIAL AND 24 HOURS PRIOR TO FINAL PAVING FOR AN INSPECTION OF THE WORK. FAILURE TO DO SO WILL MAKE ANY SUBGRADE FAILURE OR DRAINAGE PROBLEMS THE RESPONSIBILITY OF THE CONTRACTOR. CLACKAMAS COUNTY REQUIRES A PROOF ROLL WITH A FULLY LOADED 10-YARD DUMP TRUCK TO CHECK SUBGRADE COMPACTION PRIOR TO PLACEMENT OF ROCK SUBBASE AND AGAIN AT THE COMPLETION OF THE PLACEMENT OF THE BASE ROCK PRIOR TO PAVING THE FIRST LIFT OF ASPHALT.

UTILITY NOTES

1. THE CONTRACTOR IS REQUIRED TO OBTAIN A STREET OPENING PERMIT FOR UTILITY CONNECTIONS IN THE STREET. CONTACT CLACKAMAS COUNTY AT 742-4681 FOR STREET OPENING PERMITS.
2. UTILITY TRENCHING, IN CERTAIN CLACKAMAS COUNTY ROADS AND STREETS, IS REQUIRED BY THE UTILITY SECTION OF THE ROAD USE ORDINANCE TO BE BACKFILLED WITH CONTROLLED DENSITY FILL (CDF). THE PAVEMENT IN THE TRENCH AREA MUST BE SAWCUT PRIOR TO COMMENCING THIS WORK. THE CDF MUST CONFORM TO THE SPECIFICATIONS AS LISTED IN THE COUNTY DEPARTMENT OF TRANSPORTATION OFFICES. STEEL PLATING SHALL NOT BE REMOVED UNTIL CDF IS SET AND READY TO BE PAVED OVER. DEPENDING ON GROUND WATER LEVELS, TEMPERATURES AND THE VARIANCES IN THE FILL MATERIAL, IT COULD TAKE THE CDF ONE TO FOUR DAYS TO SET.
3. COPIED OF THE CDF MATERIAL DELIVERY SLIPS MUST BE SUBMITTED FOR COUNTY RECORDS. SUBMIT COPIES TO THE ROAD PRESERVATION SECTION, CLACKAMAS COUNTY, 902 ABERNETHY ROAD, OREGON CITY, OR 97045.

ATTENTION EXCAVATORS

OREGON LAW REQUIRES YOU TO FOLLOW RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER. THOSE RULES SET FORTH IN OAR 952-001-0010 THROUGH OAR 952-001-0090. YOU MAY OBTAIN COPIES OF THESE RULES FROM THE CENTER BY CALLING 503-232-1987. IF YOU HAVE ANY QUESTIONS ABOUT THE RULES, YOU MAY CONTACT THE CENTER. YOU MUST NOTIFY THE CENTER AT LEAST TWO BUSINESS DAYS, BEFORE COMMENCING AN EXCAVATION. CALL 503-246-6699.

ZPAC 0098-19

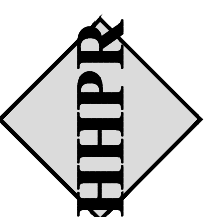
PRELIMINARY

COVER SHEET, LEGEND, INDEX

DAMASCUS PARR LUMBER

CLACKAMAS COUNTY, OR

Harper
Houf Peterson
Righellis Inc.



DESIGNED	KKV / JLV	DATE	JULY 14, 2020
DRAWN	TLH	DATE	
CHECKED	KKV	DATE	
DESCRIPTION		DATE	
NO.		DATE	
DATE		DATE	
SHEET NO. 1.0			
JOB NO. PAR-34			

PARR LUMBER - DAMASCUS
19855 SE SUNNYSIDE RD
DAMASCUS, OR 97089

PARR LUMBER

REVISION	DATE	REASON FOR ISSUE
1	07/14/20	PERMIT REVISION

COVER SHEET,
LEGEND, INDEX

LAND USE PERMIT

DATE 7-14-20 PROJECT NUMBER 190120

SHEET NUMBER 1.0

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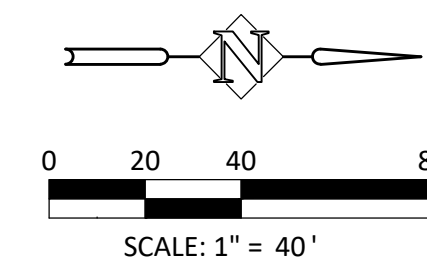


PARR LUMBER

[illegible]

LAND USE PERMIT

SHEET NUMBER



PRELIMINARY

SHEET NO.

2.0

JOB NO.

PAR-34



NOT FOR
CONSTRUCTION



38 NORTHWEST DAVIS, SUITE 300
PORTLAND, OR 97209
503.245.7100

1505 5TH AVE, SUITE
800 TITL, WA 98101
206.576.1600

1014 HOWARD STREET
SAN FRANCISCO, CA 94103
415.252.7063

ANKROM MOISAN ARCHITECTS, INC.

Harper
HHPR Houf Peterson
Righellis Inc.

ENGINEERS PLANNERS
LANDSCAPE ARCHITECTS & SURVEYORS

205 SE Spokane Street, Suite 200, Portland, OR 97202
phone: 503.221.1131 www.hhpr.com fax: 503.221.1171

CONSTRUCTION NOTES:

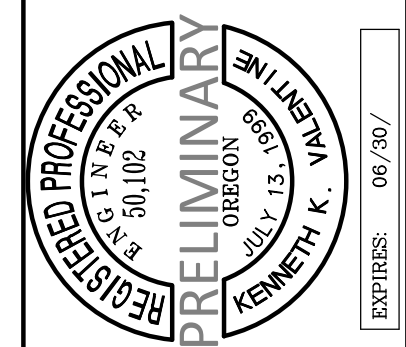
- 1 CONSTRUCT STANDARD CURB
- 2 CONSTRUCT 24" COMMERCIAL DRIVEWAY
- 3 EDGE OF PAVEMENT SEE TYPICAL PAVEMENT SECTION
- 4 CONSTRUCT CONCRETE WALK
- 5 CONSTRUCT 40" COMMERCIAL DRIVEWAY
- 7 CONSTRUCT 36" COMMERCIAL DRIVEWAY
- 8 CONSTRUCT CURB AND GUTTER
- 9 CONSTRUCT CONCRETE SIDEWALK PER DETAIL
- 10 INSTALL SITE LIGHT PER DETAIL
- 11 INSTALL DIRECTIONAL ARROW
- 12 INSTALL ONLY PAVEMENT MARKING
- 13 INSTALL 6" TAP AND TAPPING VALVE
- 14 INSTALL 6" DDVC AND FDC
- 15 EXISTING HYDRANT TO REMAIN
- 16 RELOCATE EXISTING FIRE HYDRANT INTO PLANTER STRIP
- 17 INSTALL FIRE HYDRANT
- 18 INSTAL 6" X 6" TEE
- 19 STUB FIRE SERVICE TO BUILDING
- 20 INSTALL 1 1/2" DOMESTIC WATER METER WITH BACK FLOW PREVENTION VALVE
- 21 INSTALL 2" SCHEDULE 80 WATER LINE
- 22 INSTALL 6" C900 WATER LINE
- 24 INSTALL 6" CHAIN LINK FENCE
- 25 INSTALL 6" SANITARY SEWER LATERAL
- 26 PROPOSED TRASH ENCLOSURE
- 27 POPOSED RETAINING WALL
- 28 PROPOSED CATCH BASIN
- 29 PROPOSED STORM PIPE
- 30 PROPOSED WATER QUALITY MANHOLE
- 31 PROPOSED UNDERGROUND DETENTION SYSTEM
- 32 PROPOSED STORMWATER QUALITY AND DETENTION POND
- 33 PROPOSED OUTLET CONTROL MANHOLE
- 34 PROPOSED STORMWATER MANHOLE
- 35 PROPOSED STORMWATER CONNECTION
- 36 PROPOSED ROOF AND FOUNDATION PIPE
- 37 PROPOSED POND OUTLET CONTROL STRUCTURE
- 38 PROPOSED WATER QUALITY SWALE

SITE AND UTILITY PLAN
DAMASCUS PARR LUMBER
CLACKAMAS COUNTY, OR

Harper
HHPR Houf Peterson
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LANDSCAPE ARCHITECTS & SURVEYORS

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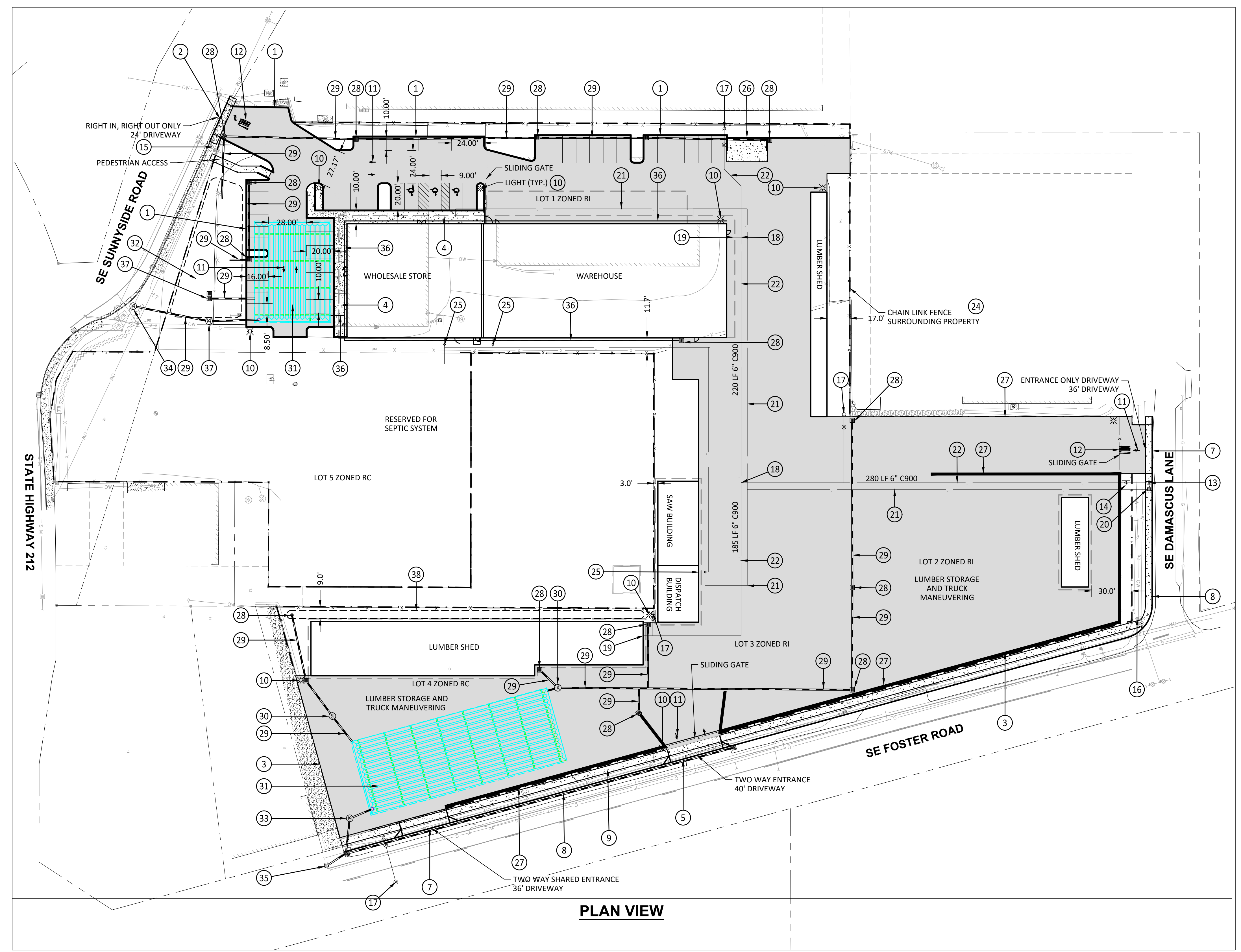


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DRAWN	TLH
CHECKED	KKV
DATE	JULY 14, 2020

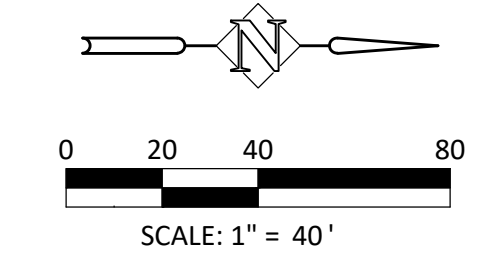
DATE	NO.	DESCRIPTION
		R E V I S I O N S

SHEET NO.
3.0

JOB NO.
PAR-34



PLAN VIEW



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PARR LUMBER

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SITE AND
UTILITY PLAN

LAND USE PERMIT

DATE
7-14-20

PROJECT NUMBER
190120

SHEET NUMBER
3.0

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Ankrom Moisan

38 NORTHWEST DAVIS, SUITE 300
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1505 5TH AVE, SUITE
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206.576.1600

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415.252.7063

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FOSTER RD AND DAMASCUS LN IMPROVEMENTS	
LAND USE PERMIT	
DATE 7-14-20	PROJECT NUMBER 190120
SHEET NUMBER 5.0	



NOT FOR
CONSTRUCTION



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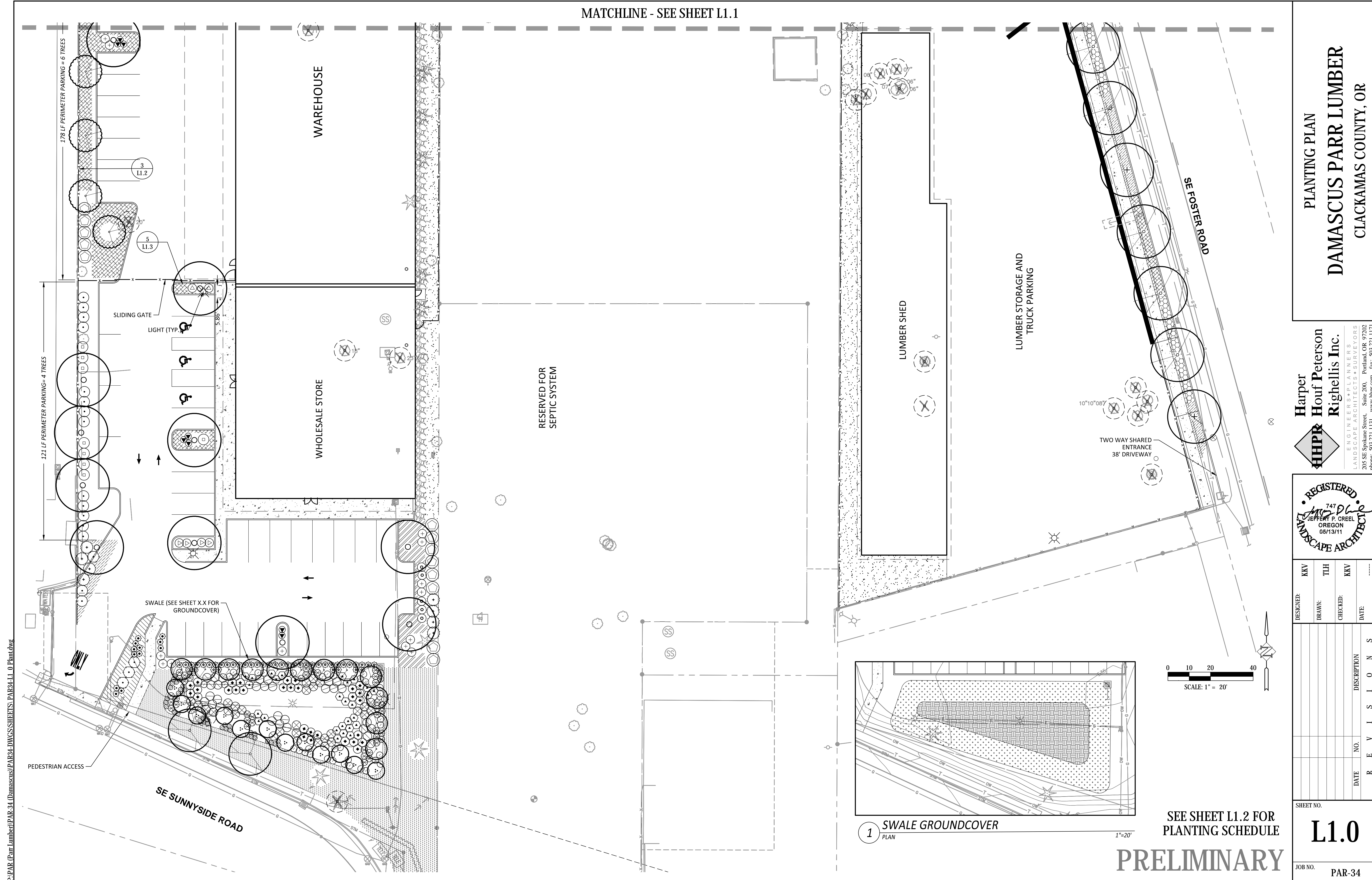
PLANTING
PLAN

LAND USE PERMIT

DATE
7-8-20

PROJECT NUMBER
190120

SHEET NUMBER
L1.00



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206.576.1600

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415.252.7063

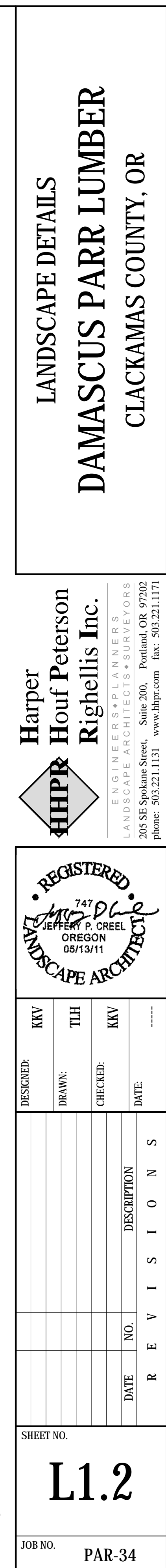
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SHEET NUMBER

L1.20

1

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503.245.7100

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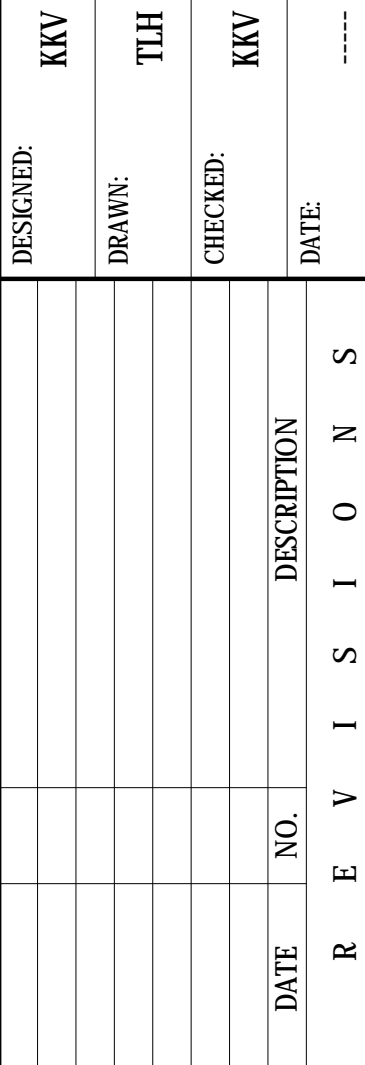
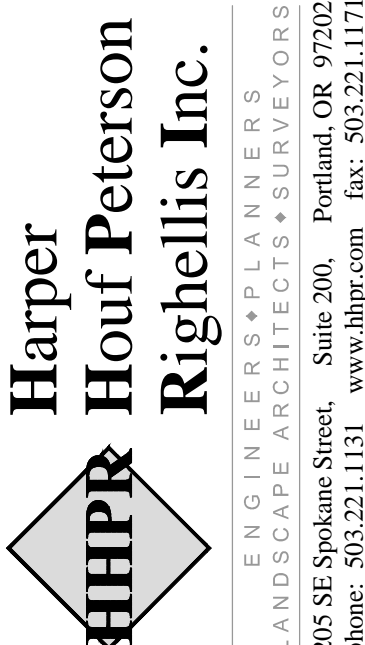
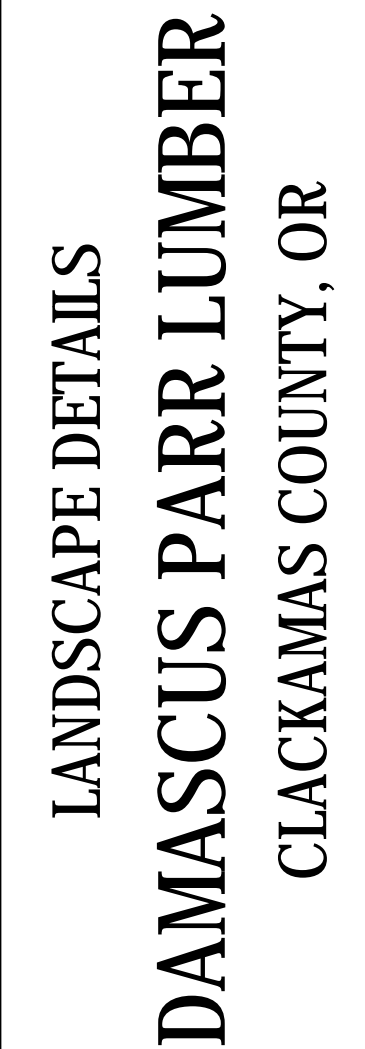
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PARR LUMBER

LANDSCAPE DETAILS	
LAND USE PERMIT	
DATE 7-8-20	PROJECT NUMBER 190120
SHEET NUMBER L1.30	



JOB NO. PAR-34

PRELIMINARY

P:\PAR (Parr Lumber)\PAR-34 (Damascus)\PAR34-DWG\SHEETS\ PAR34-L1 0 Plant.dwg

STATE HIGHWAY 212

S.E. SUNNYSIDE RD.

S.E. DAMASCUS LANE

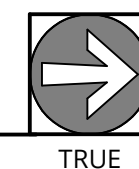
S.E. FOSTER ROAD

BUILDING FOOTPRINT AREA SUMMARY

WHOLE SALE:	8,400 SF
WAREHOUSE:	15,120 SF
DISPATCH BUILDING:	1,220 SF
SAW BUILDING:	1,860 SF
SHED BUILDING #1:	9,160 SF
L-RACK:	1,988 SF
T-RACK:	1,680 SF
TOTAL BLDG FOOTPRINT AREA:	39,428 SF

1 SITE PLAN

1" = 30'-0"



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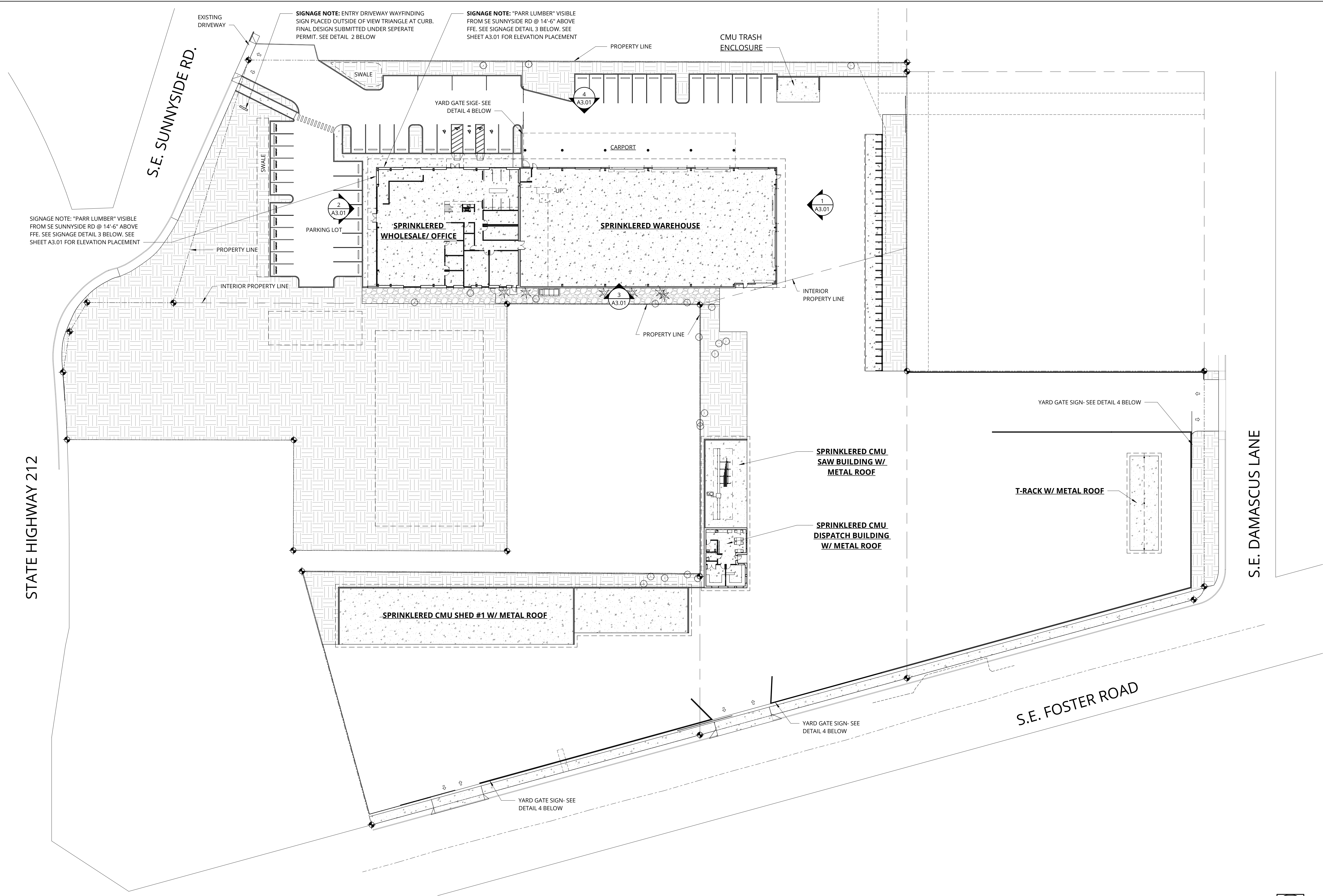
SITE PLAN

LAND USE PERMIT

DATE	PROJECT NUMBER
07-17-2020	190120

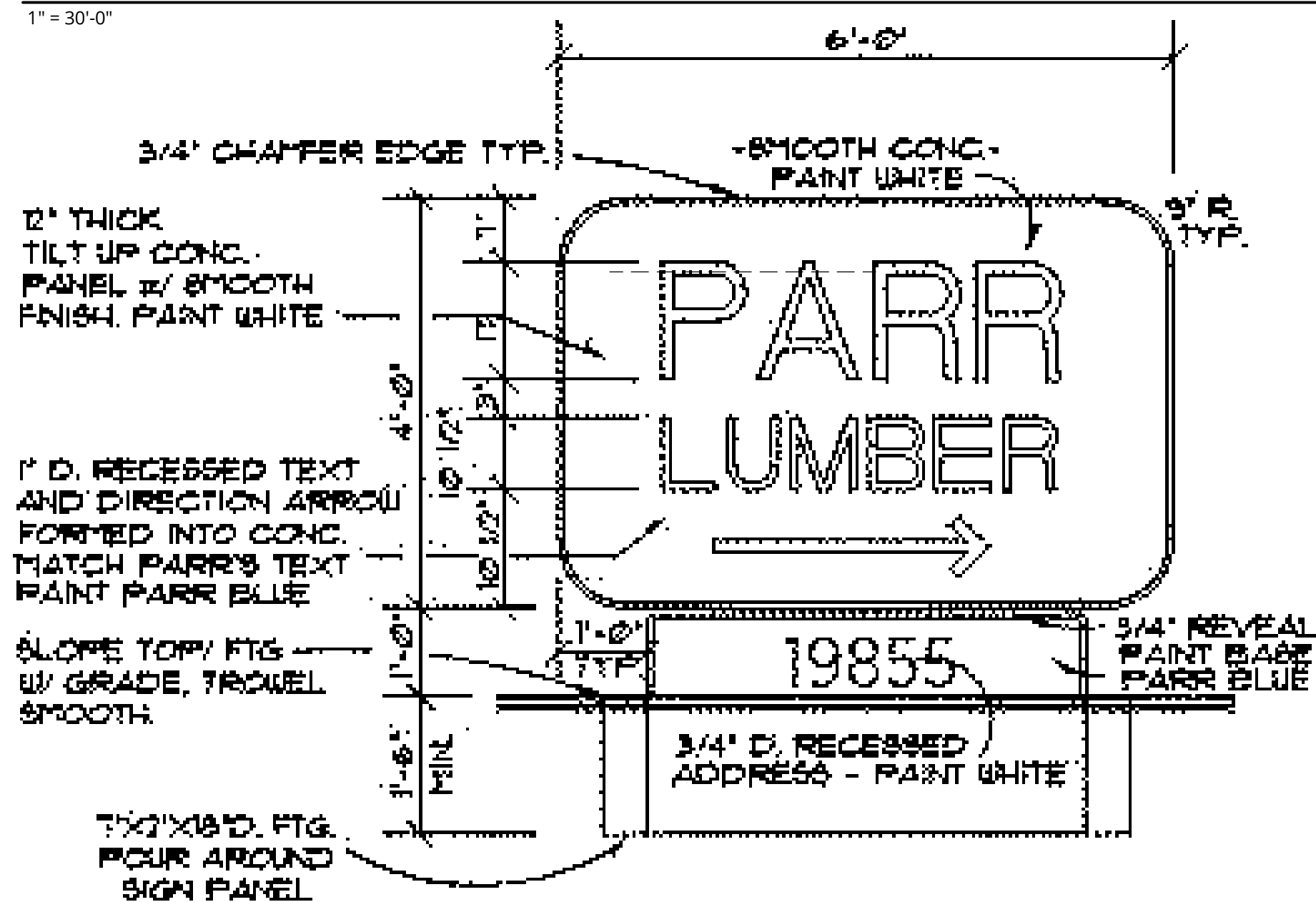
SHEET NUMBER

A1.01



1 SIGNAGE PLAN

1" = 30'-0"



2 ENTRY SIGN AT SUNNYSIDE

3/4\"/>

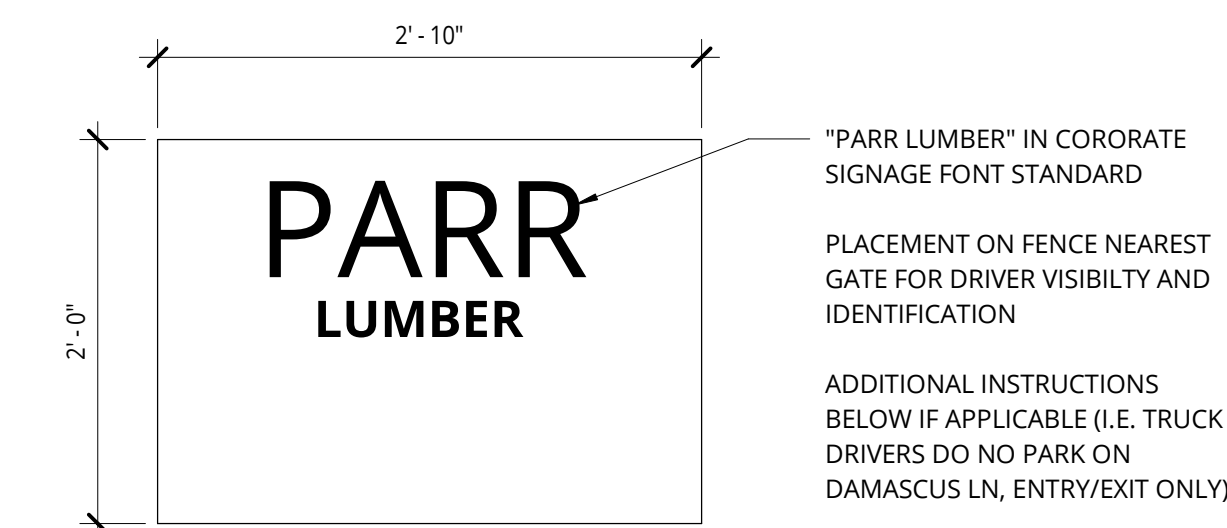
3 BUILDING SOUTH & WEST ELEVATION SIGNAGE

3/4\"/>



4 IDENTIFICATION SIGNAGE @ YARD GATES

1\"/>

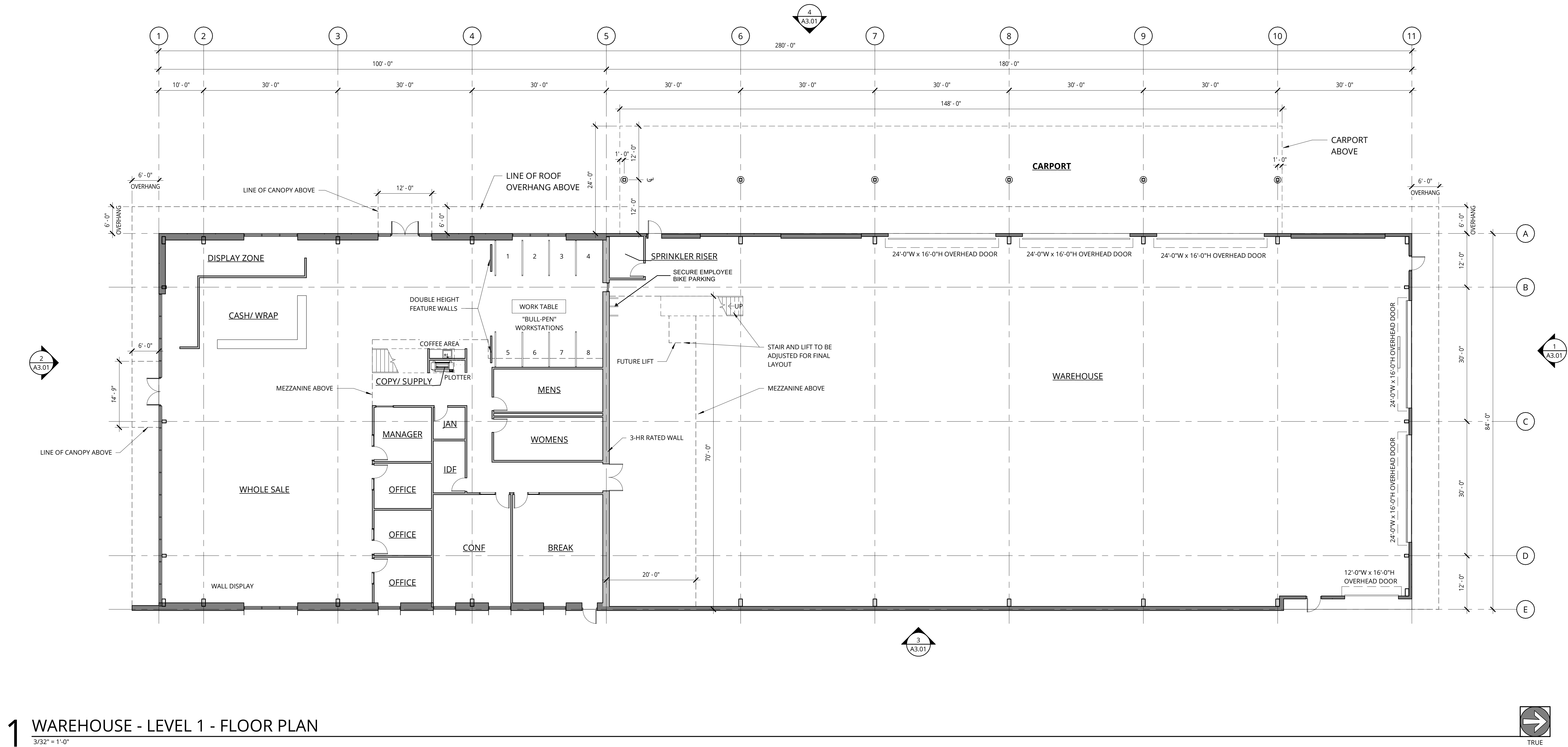


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SIGNAGE PLAN

LAND USE PERMIT

DATE	PROJECT NUMBER
07-17-2020	190120
SHEET NUMBER	



1 WAREHOUSE - LEVEL 1 - FLOOR PLAN
3/32" = 1'-0"

WHOLE SALE & WAREHOUSE AREA SUMMARY

WHOLE SALE BUILDING AREA	
RETAIL:	3,079 SF
BUSINESS/ STAFF:	3,044 SF
CIRCULATION/ SUPPORT:	2,277 SF
MEZZANINE (UNOCCUPIED STORAGE)	2,199 SF
TOTAL WHOLE SALE BUILDING AREA:	10,599 SF

WAREHOUSE BUILDING AREA	
WAREHOUSE:	15,120 SF
STORAGE MEZZANINE:	1,368 SF
TOTAL WAREHOUSE BUILDING AREA:	16,488 SF



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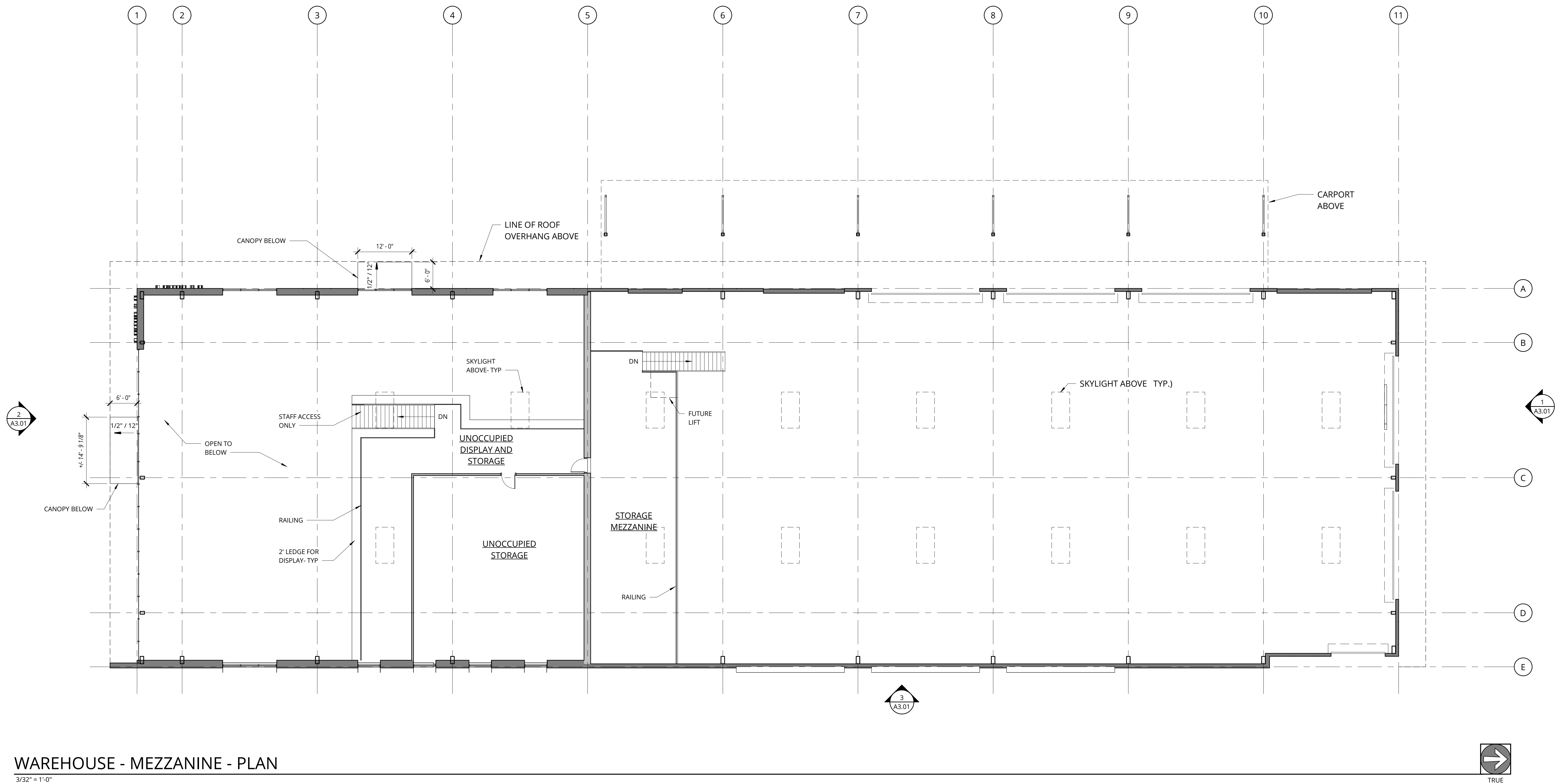
REVISION	DATE	REASON FOR ISSUE
1	07/17/20	PERMIT REVISION

WAREHOUSE - LEVEL 1 FLOOR PLAN

LAND USE PERMIT

DATE	PROJECT NUMBER
07-17-2020	190120

SHEET NUMBER	PROJECT NUMBER
A2.01	190120



1 WAREHOUSE - MEZZANINE - PLAN
3/32" = 1'-0"

REGISTERED ARCHITECT
MARIAH KIERSE
Mar Kierse
PORTLAND, OREGON
No. 50991
STATE OF OREGON

ANKROM MOISAN

ANKROM MOISAN

38 NORTHWEST DAVIS, SUITE 300
PORTLAND, OR 97209
503.245.7100

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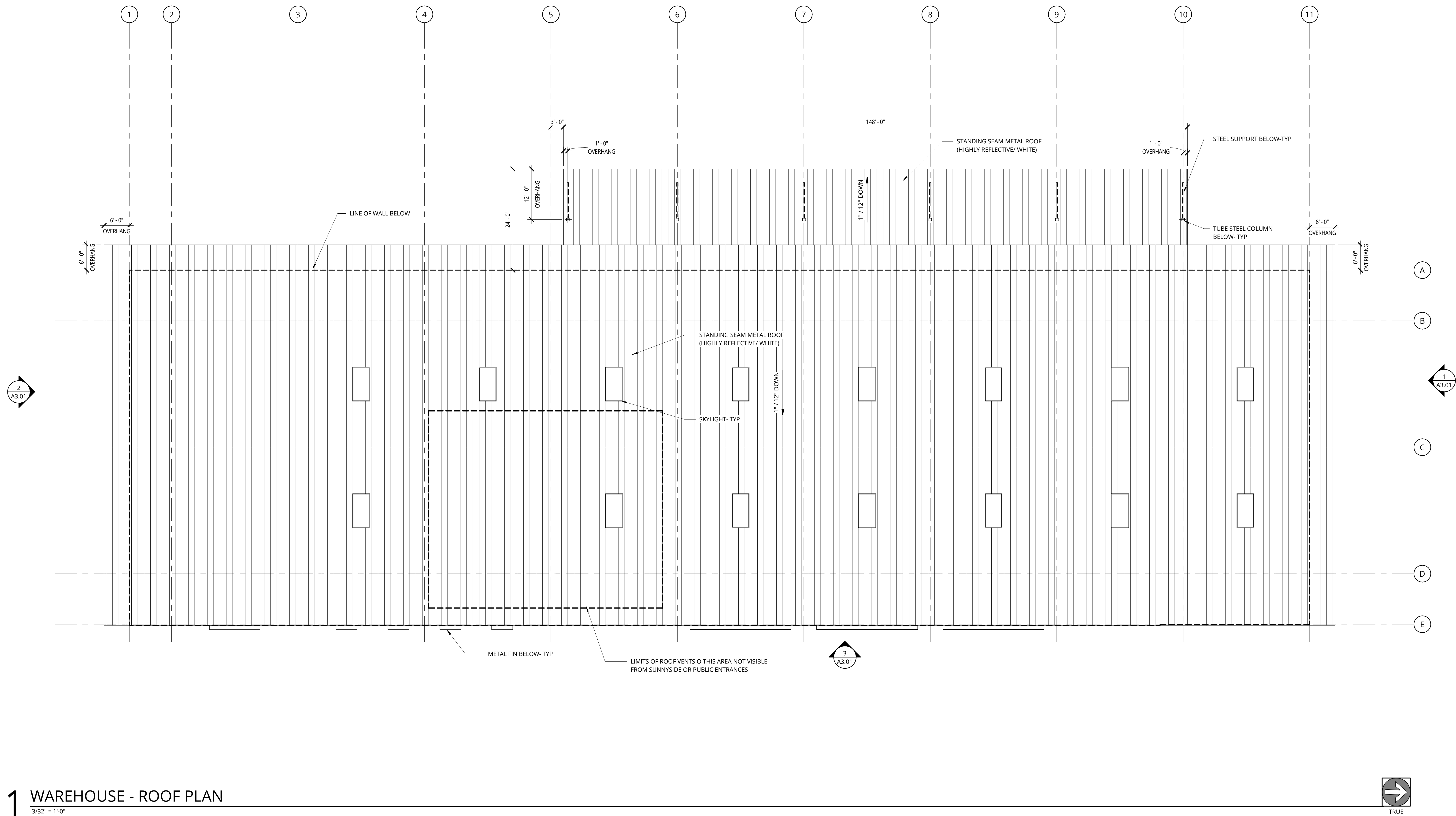
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PARR LUMBER

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WAREHOUSE - MEZZANINE PLAN

LAND USE PERMIT

DATE 07-17-2020	PROJECT NUMBER 190120
SHEET NUMBER A2.02	



1 WAREHOUSE - ROOF PLAN
3/32" = 1'-0"

REGISTERED ARCHITECT
MARIAH KIERSE
Mar Kierse
PORTLAND, OREGON
No. 50991

M

™

Ankrom Moisan

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PARR LUMBER

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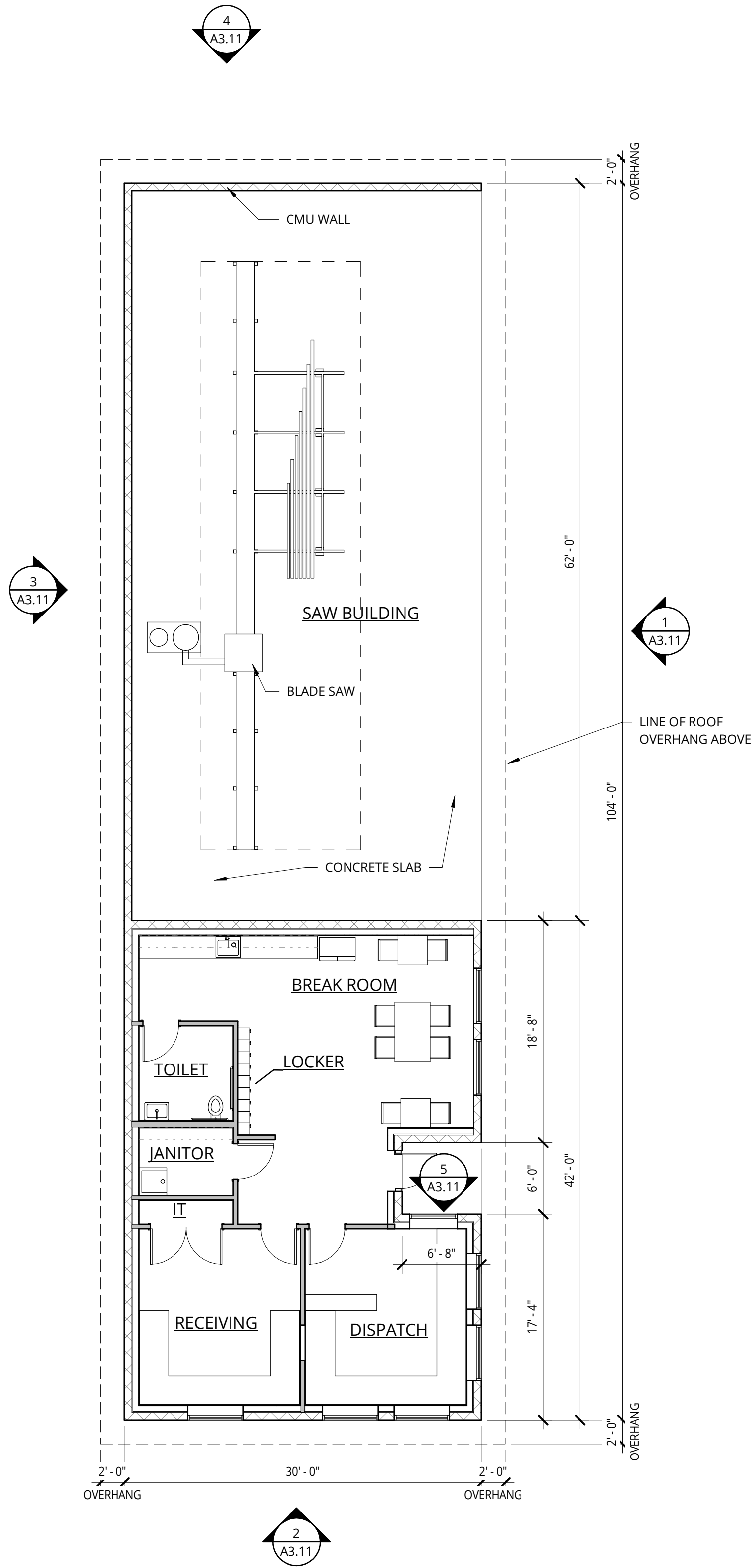
WAREHOUSE - ROOF
PLAN

LAND USE PERMIT

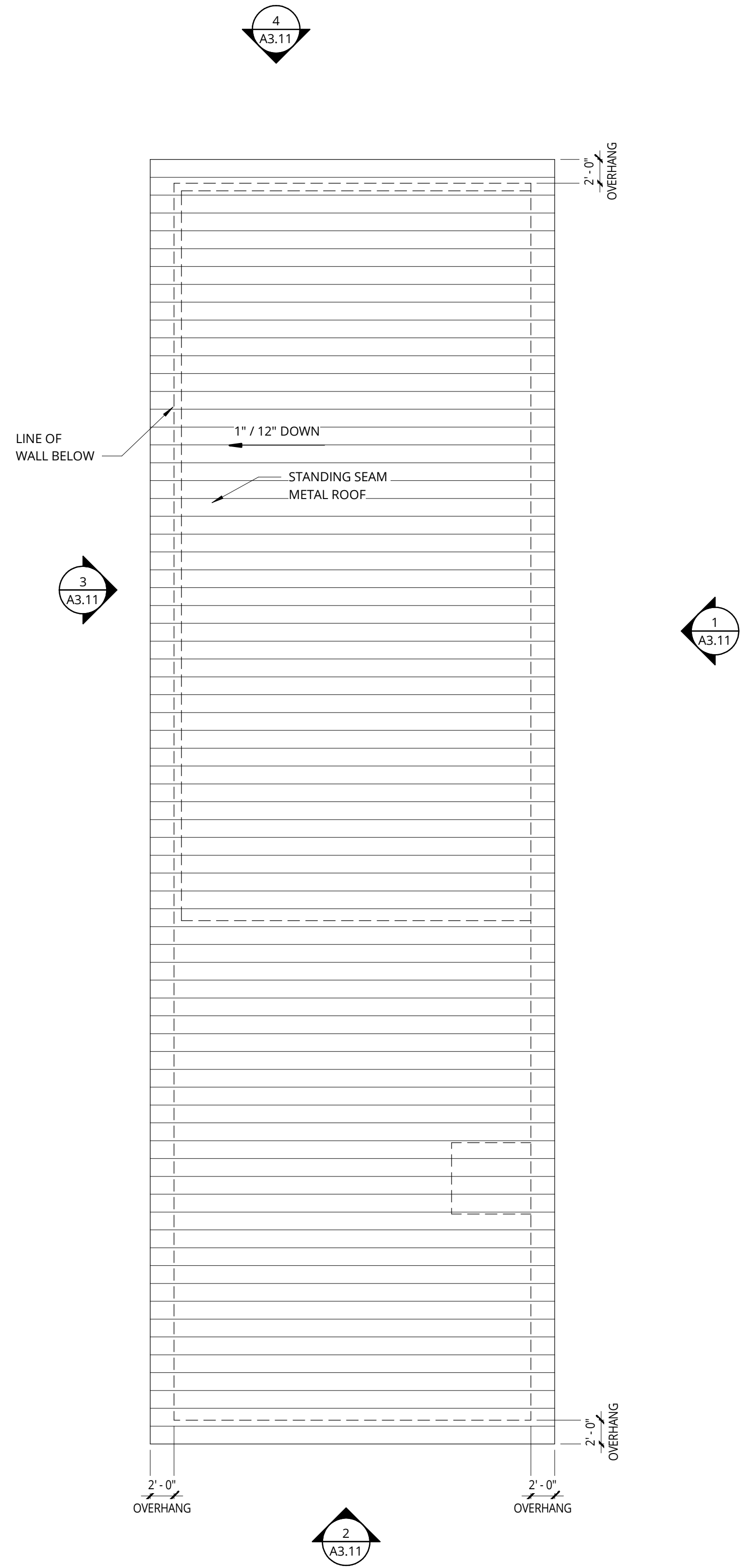
DATE 07-17-2020	PROJECT NUMBER 190120
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SHEET NUMBER

A2.03



1 DISPATCH & SAW BUILDING - FLOOR PLAN
1/8" = 1'-0"
TRUE



2 DISPATCH & SAW BUILDING - ROOF PLAN
1/8" = 1'-0"
TRUE

REGISTERED ARCHITECT
MARIAH KIERSE
Mar Kierse
PORTLAND, OREGON
No. 50991
STATE OF OREGON

™
Ankrom Moisan

38 NORTHWEST DAVIS, SUITE 300
PORTLAND, OR 97209
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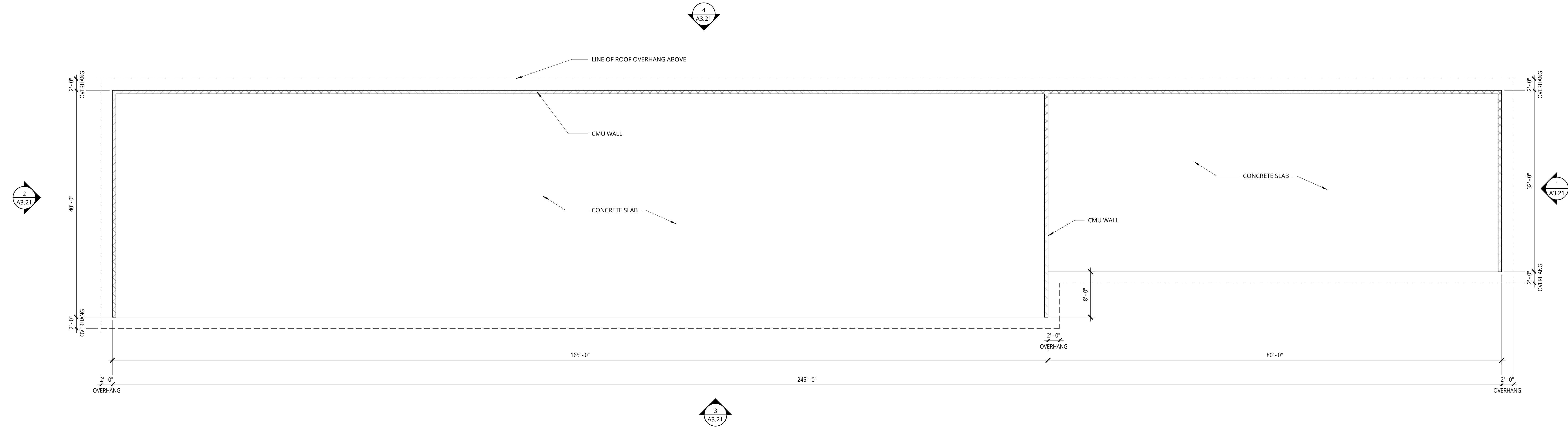
DISPATCH & SAW
BLDG - FLOOR PLAN
AND ROOF PLAN
LAND USE PERMIT

DATE
07-17-2020

PROJECT NUMBER
190120

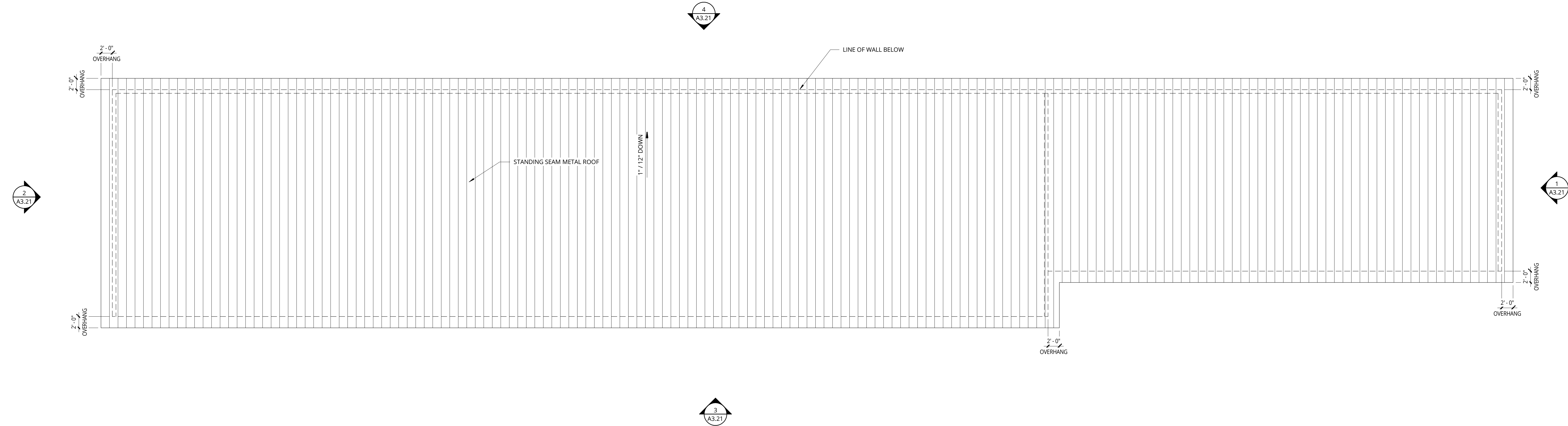
SHEET NUMBER

A2.11



1 SHED BUILDING #1 - FLOOR PLAN

1/8" = 1'-0"



2 SHED BUILDING #1 - ROOF PLAN

1/8" = 1'-0"



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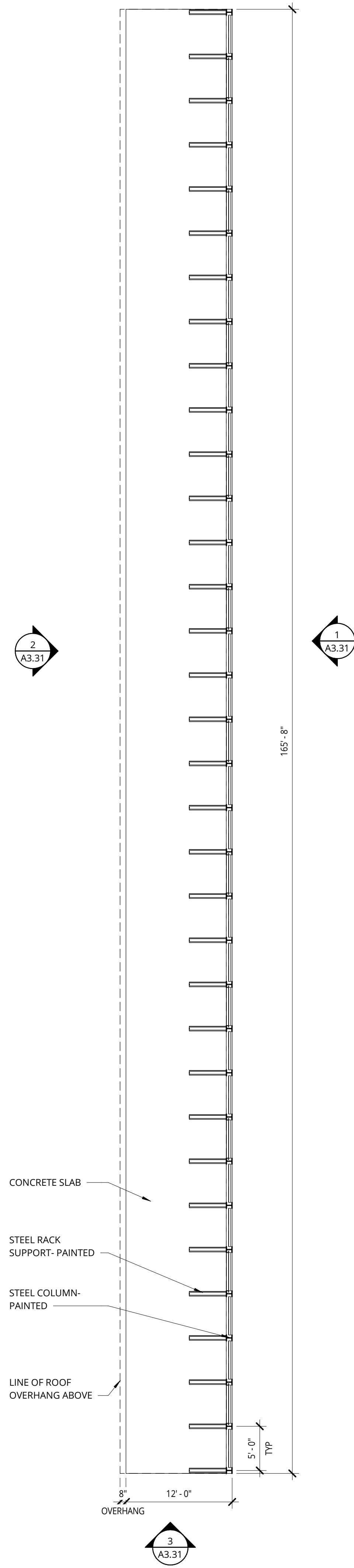
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PARR LUMBER

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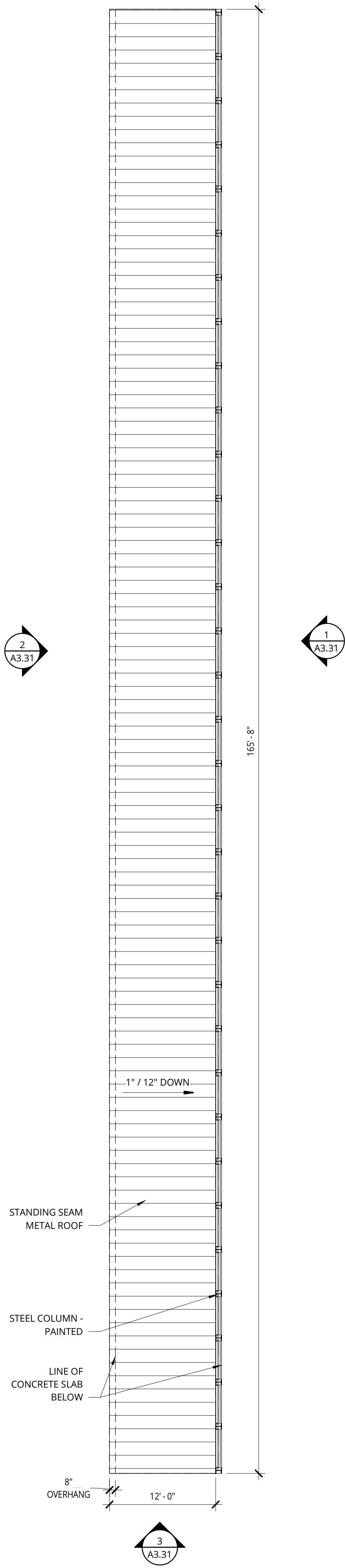
SHED BUILDING #1 -
FLOOR PLAN AND
ROOF PLAN
LAND USE PERMIT

DATE	PROJECT NUMBER
07-17-2020	190120

SHEET NUMBER
A2.21




1 PREMANUFACTURED L-RACK - FLOOR PLAN
1/8" = 1'-0"  TRUE



2 PREMANUFACTURED L-RACK - ROOF PLAN
1/8" = 1'-0"  TRUE

REGISTERED ARCHITECT
MARIAH KIERSE
Mar Moisan
PORTLAND, OREGON
No. 50991
STATE OF OREGON


Ankrom Moisan™

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PREMANUFACTURED
L-RACK - FLOOR
PLAN & ROOF PLAN
LAND USE PERMIT

DATE	PROJECT NUMBER
07-17-2020	190120

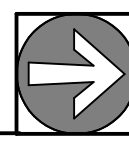
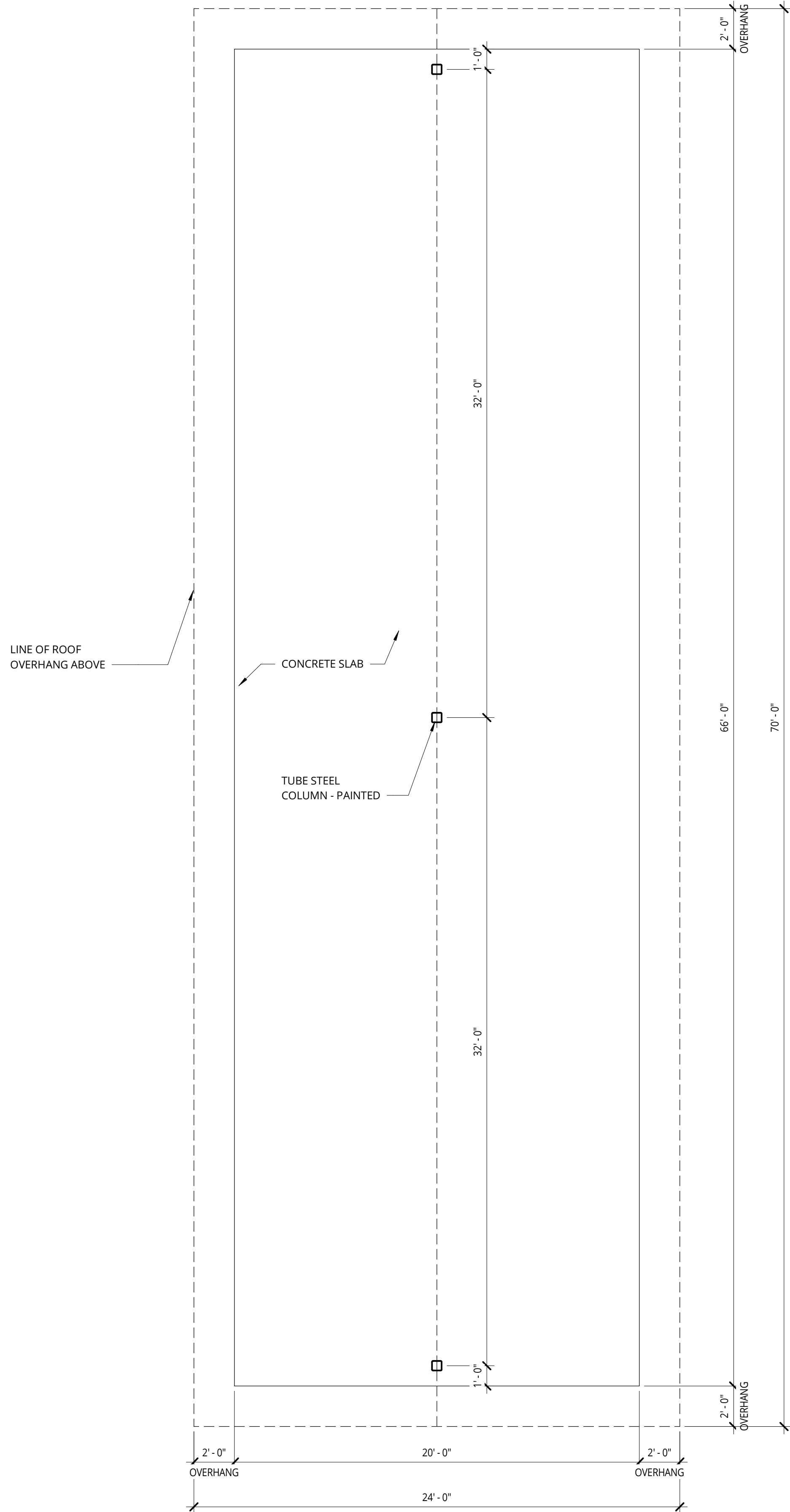
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A2.31



1 T-RACK - FLOOR PLAN

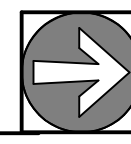
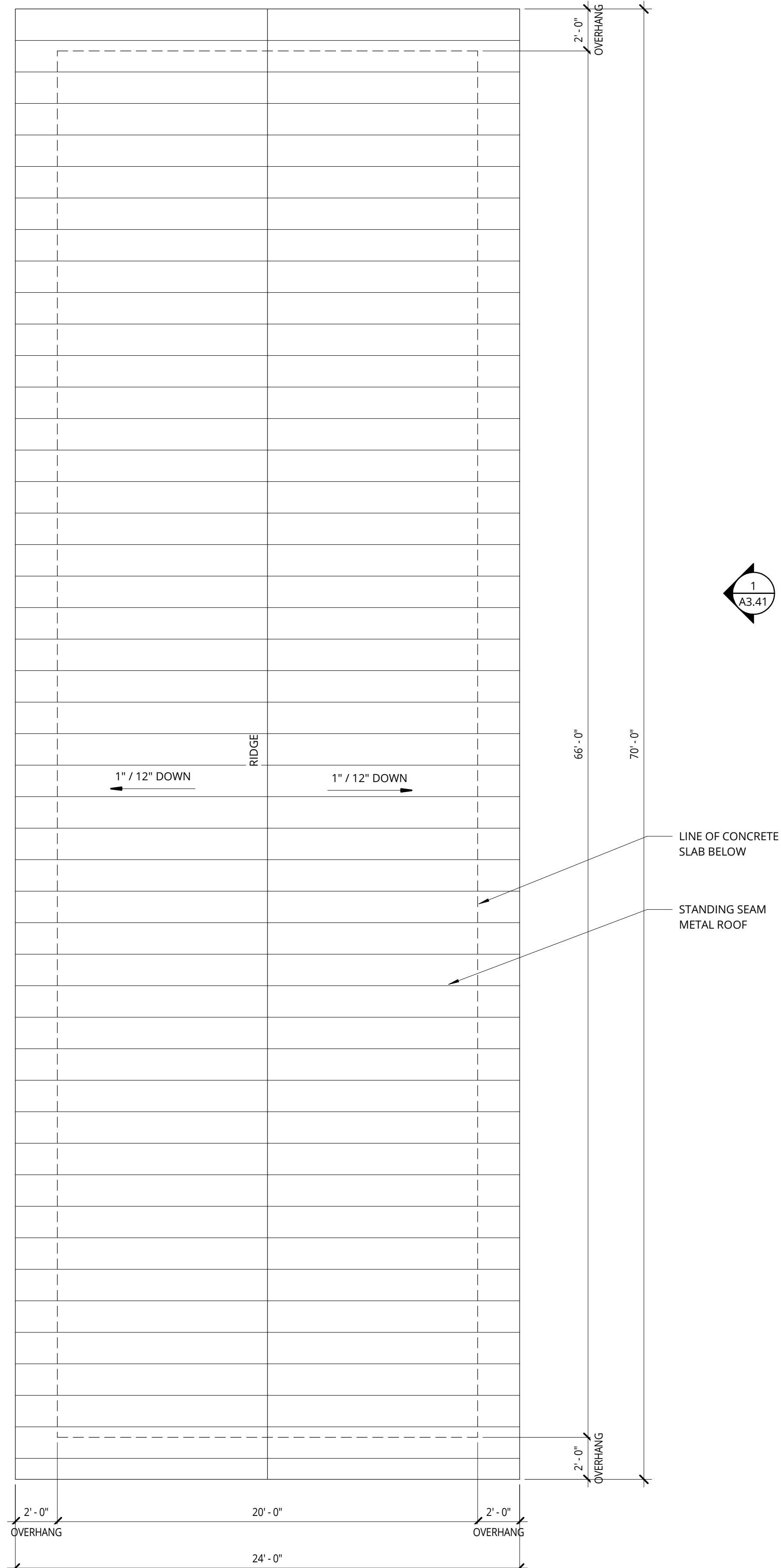
1/4" = 1'-0"



TRUE

2 T-RACK - ROOF PLAN

1/4" = 1'-0"



TRUE



38 NORTHWEST DAVIS, SUITE 300
PORTLAND, OR 97209
503.245.7100
1505 5TH AVE, SUITE 300
SEATTLE, WA 98101
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SAN FRANCISCO, CA 94103
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PARR LUMBER - DAMASCUS

19855 SE SUNNYSIDE RD
DAMASCUS, OR 97089

PARR LUMBER

REVISION	DATE	REASON FOR ISSUE
1	07/17/20	PERMIT REVISION

T-RACK FLOOR PLAN
AND ROOF PLAN

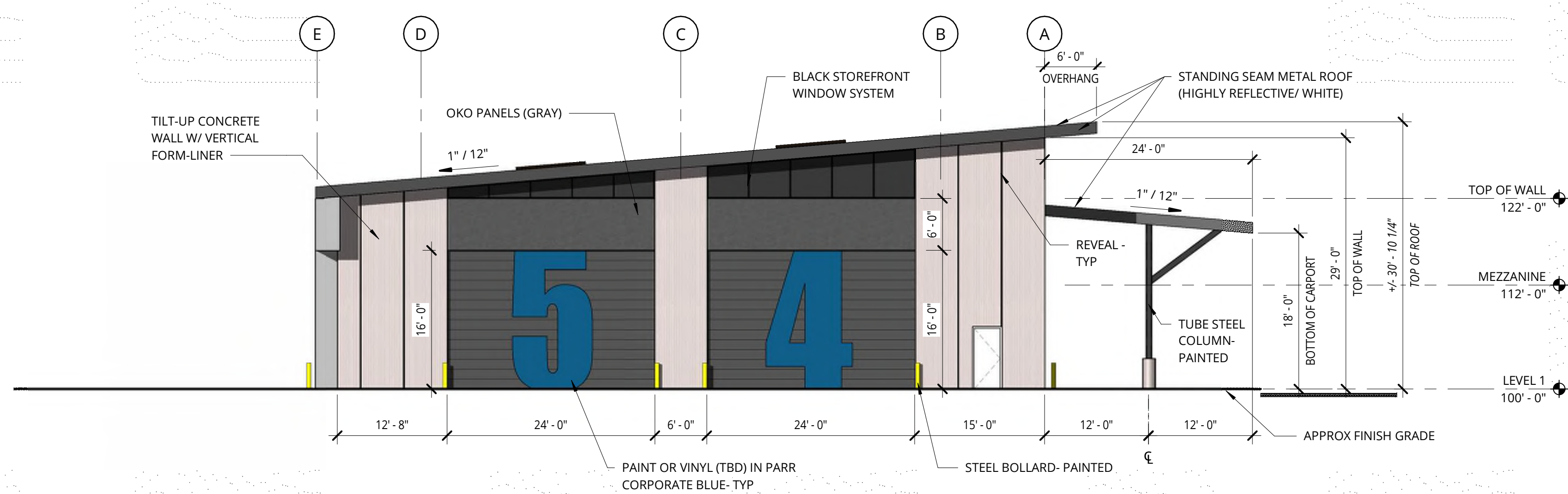
LAND USE PERMIT

DATE	PROJECT NUMBER
07-17-2020	190120

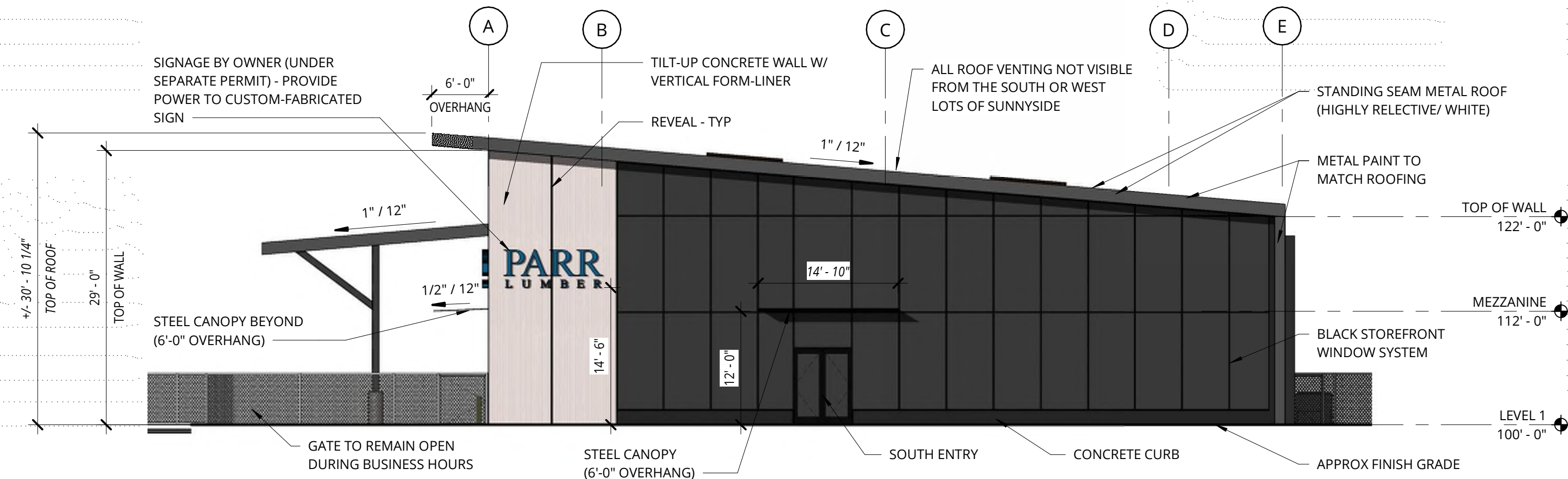
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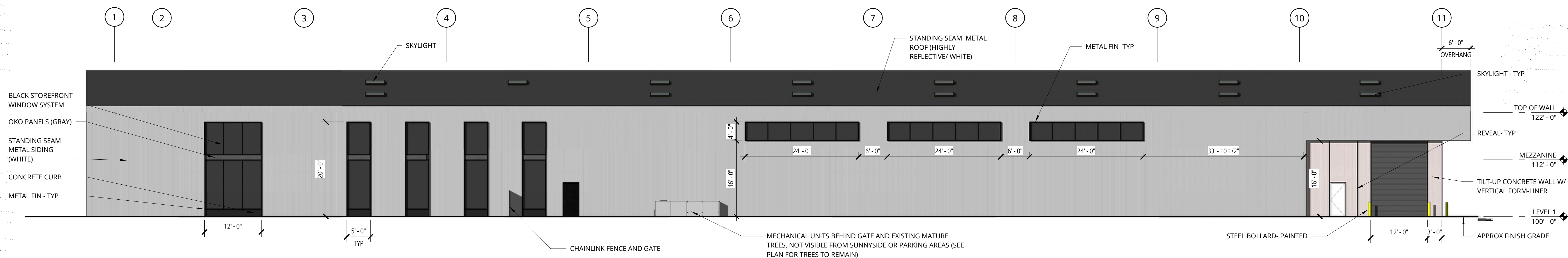
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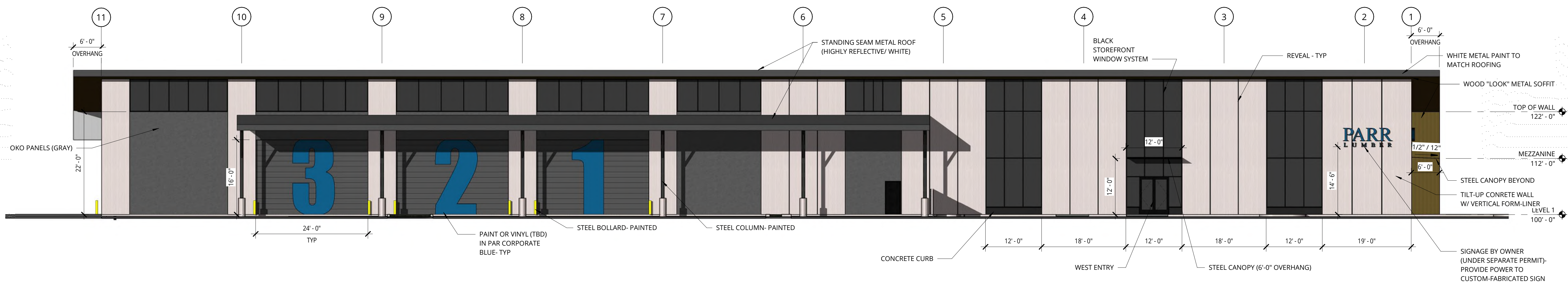
1 WAREHOUSE - NORTH ELEVATION
3/32" = 1'-0"



2 WAREHOUSE - SOUTH ELEVATION
3/32" = 1'-0"



3 WAREHOUSE - EAST ELEVATION
3/32" = 1'-0"



4 WAREHOUSE - WEST ELEVATION
3/32" = 1'-0"



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1	07/17/20	PERMIT REVISION

WAREHOUSE BLDG -
EXTERIOR
ELEVATIONS
LAND USE PERMIT

DATE 07-17-2020 PROJECT NUMBER 190120

SHEET NUMBER

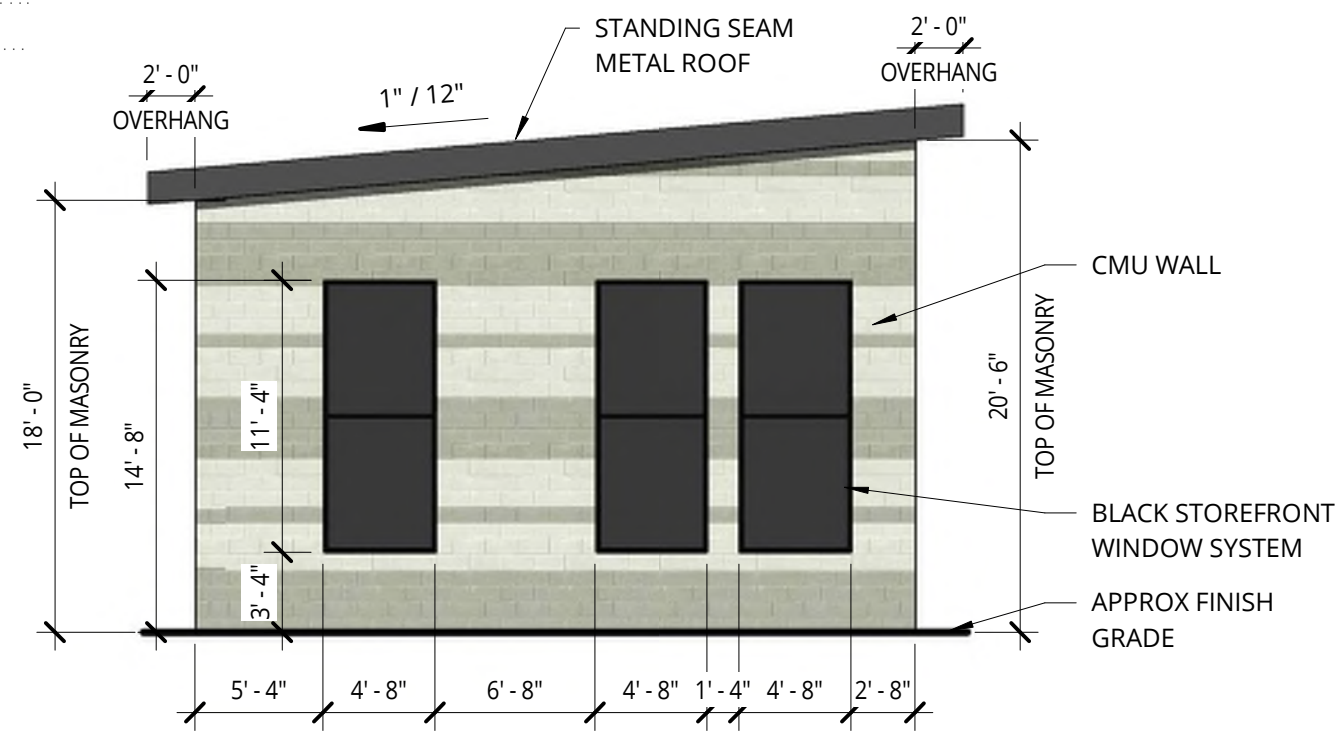
A3.01

7/17/2020 3:31:43 PM



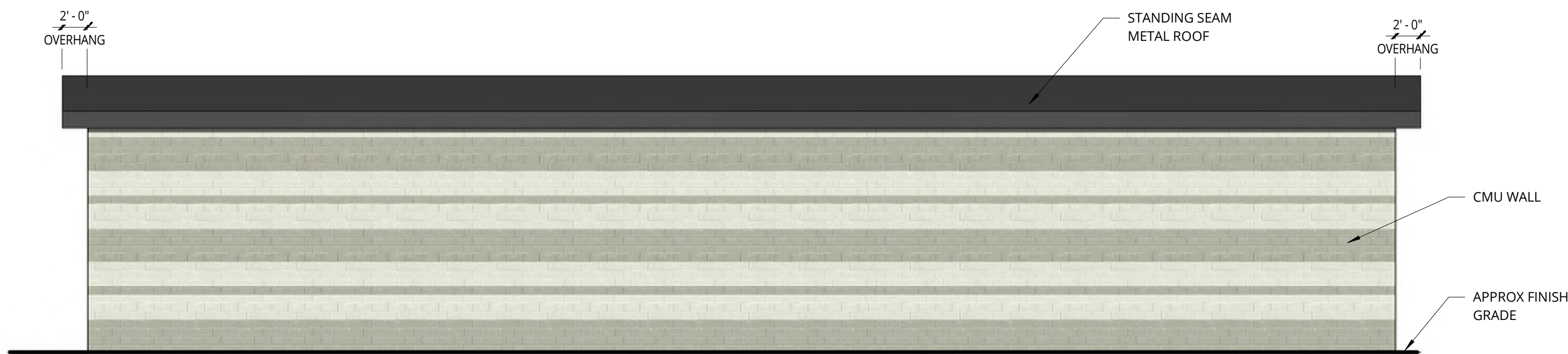
1 DISPATCH & SAW BUILDING - NORTH ELEVATION

1/8" = 1'-0"



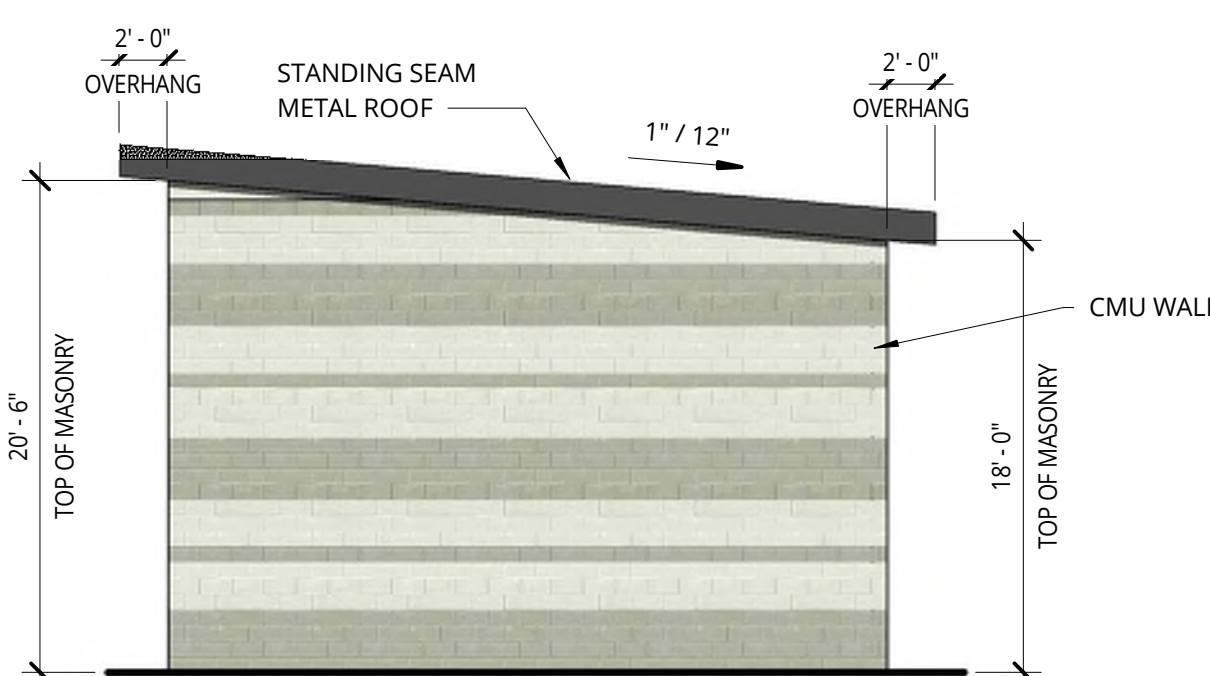
2 DISPATCH & SAW BUILDING - EAST ELEVATION

1/8" = 1'-0"



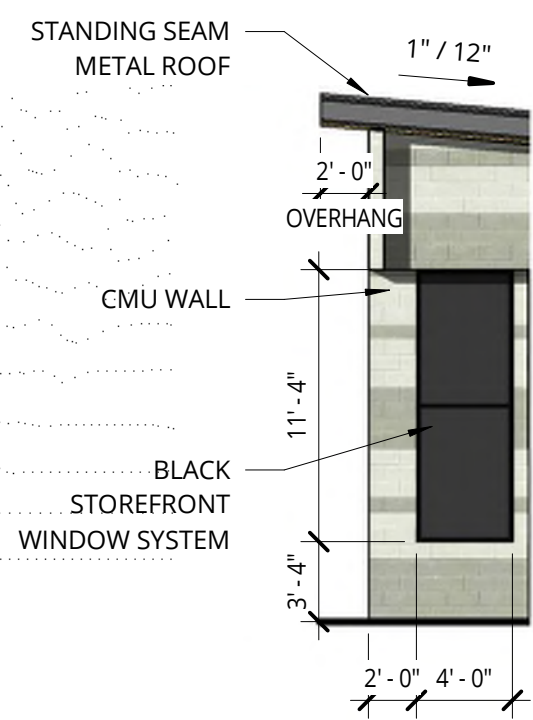
3 DISPATCH & SAW BUILDING - SOUTH ELEVATION

1/8" = 1'-0"



4 DISPATCH & SAW BUILDING - WEST ELEVATION

1/8" = 1'-0"



5 DISPATCH BUILDING - ENTRY - EAST ELEVATION

1/8" = 1'-0"

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REGISTERED ARCHITECT

MARIAH KIERSE

Mariah Kierse

PORTLAND, OR 97209

No. 50991

STATE OF OREGON

™

Ankrom Moisan

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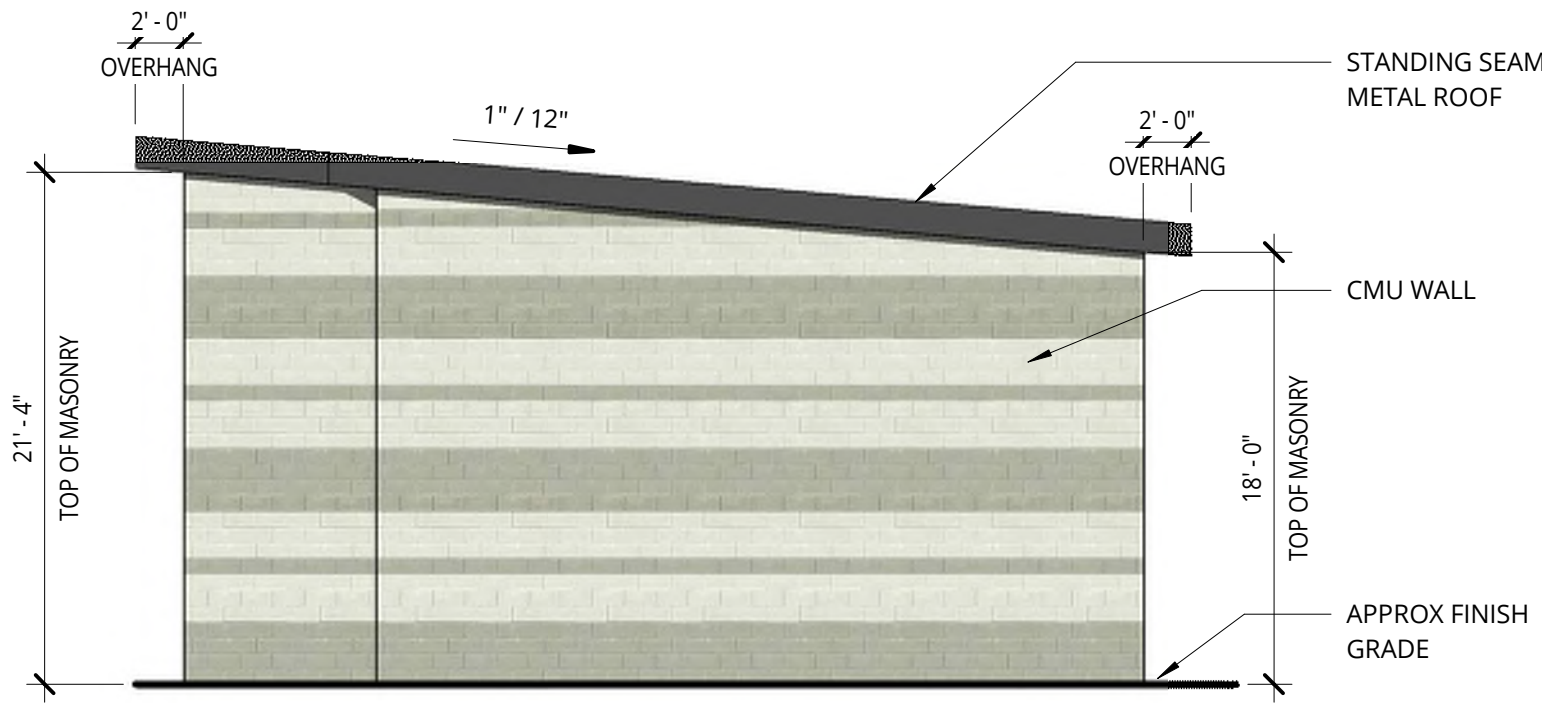
REVISION	DATE	REASON FOR ISSUE
1	07/17/20	PERMIT REVISION

DISPATCH & SAW
BLDG - EXTERIOR
ELEVATIONS
LAND USE PERMIT

DATE	PROJECT NUMBER
07-17-2020	190120

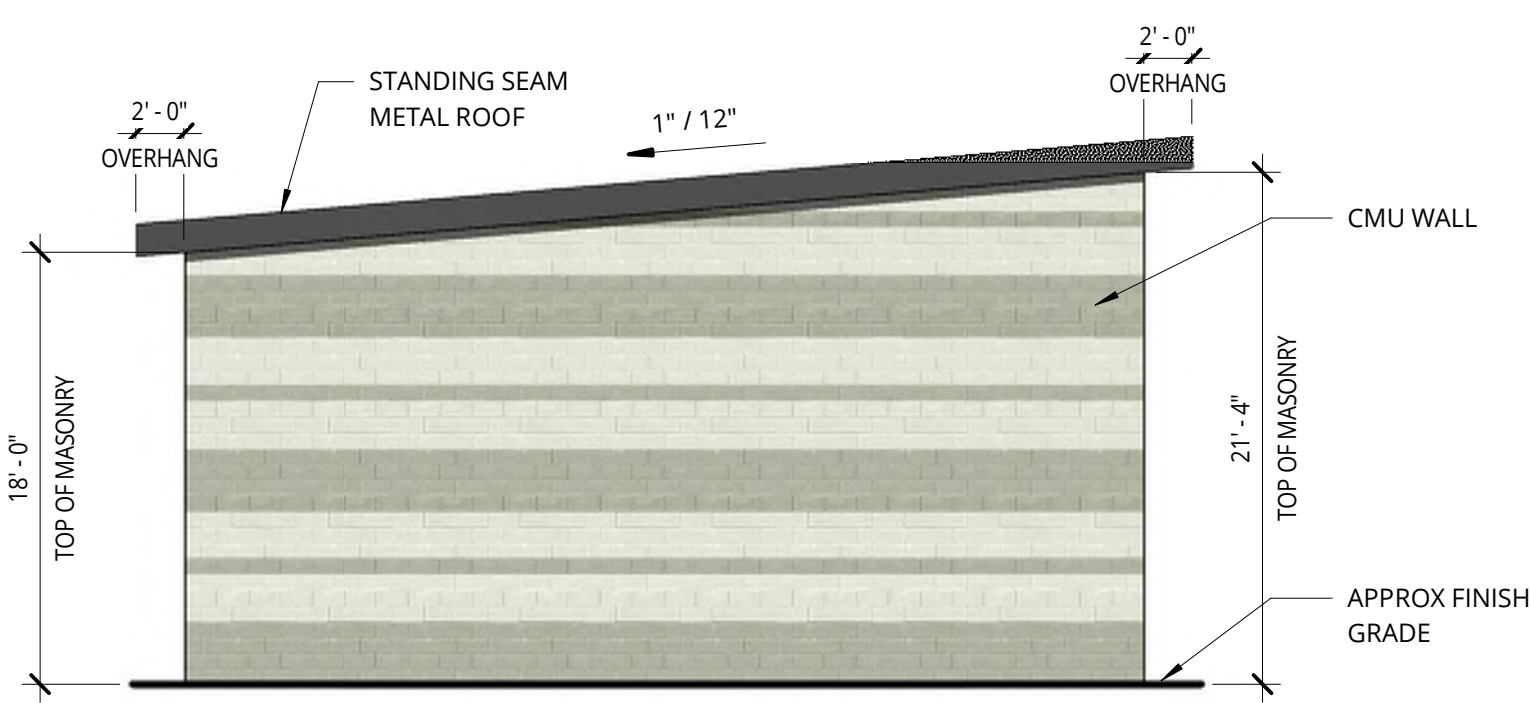
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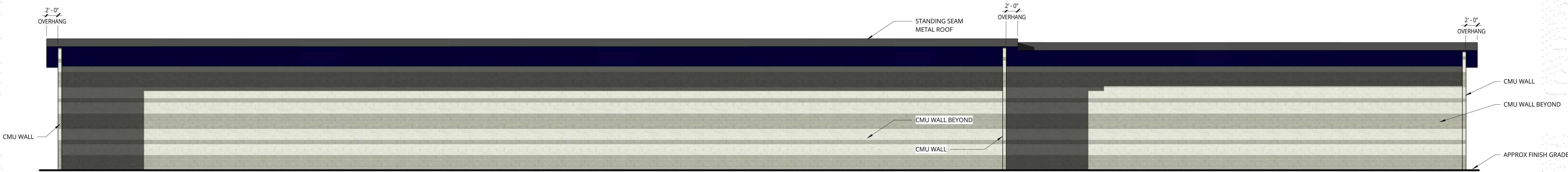
1 SHED BUILDING #1 - NORTH ELEVATION

1/8" = 1'-0"



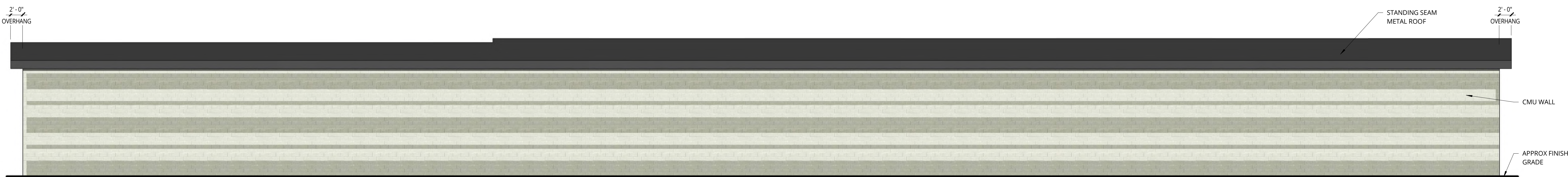
2 SHED BUILDING #1 - SOUTH ELEVATION

1/8" = 1'-0"



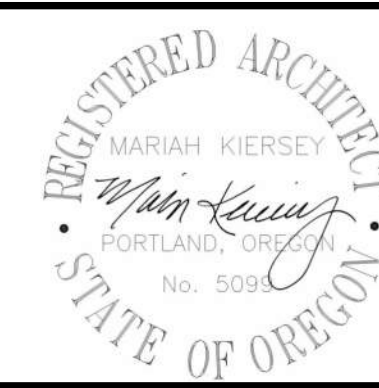
3 SHED BUILDING #1 - EAST ELEVATION

1/8" = 1'-0"



4 SHED BUILDING #1 - WEST ELEVATION

1/8" = 1'-0"



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1	07/17/20	PERMIT REVISION

SHED BLDG #1 -
EXTERIOR
ELEVATIONS
LAND USE PERMIT

DATE
07-17-2020

PROJECT NUMBER
190120

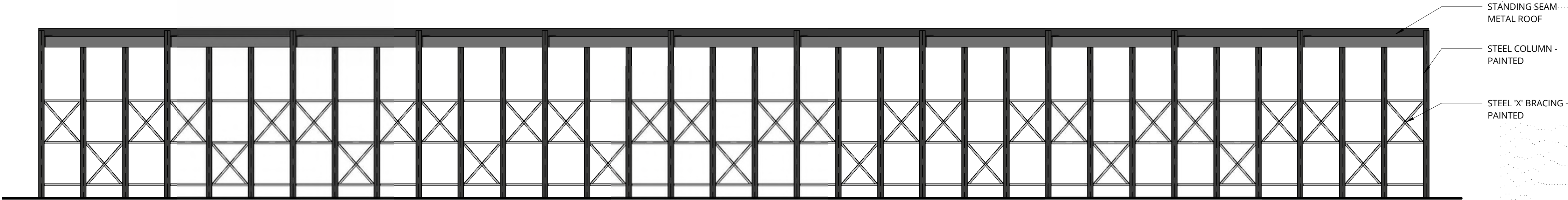
SHEET NUMBER

A3.21

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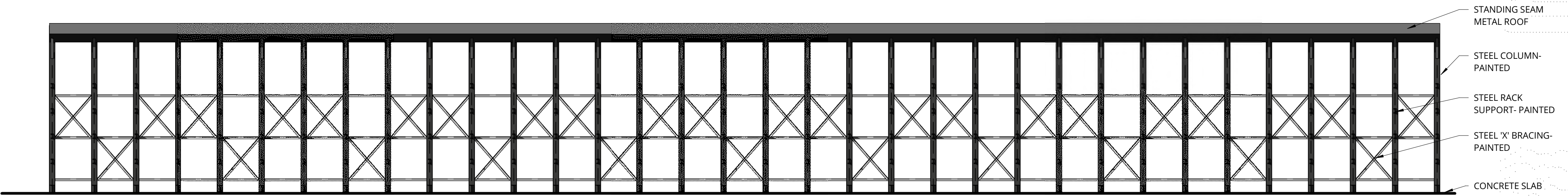
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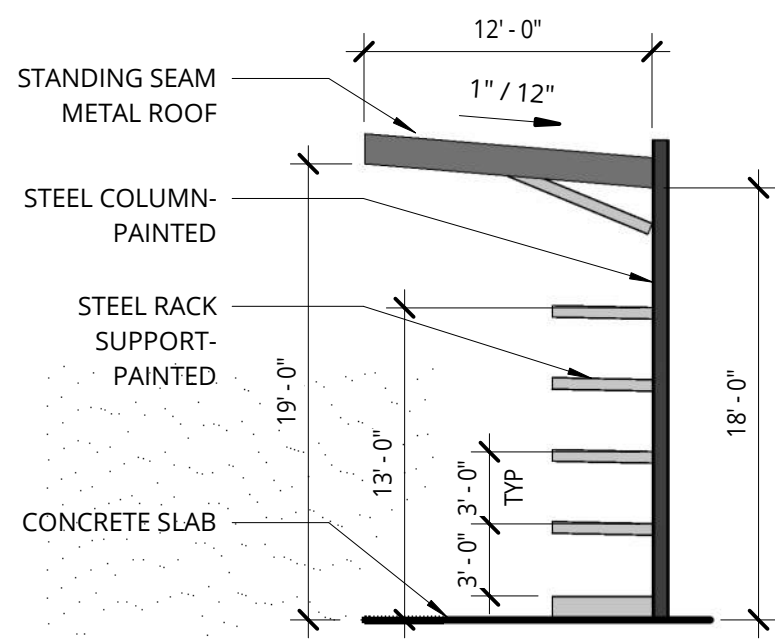
1 L-SHED BUILDING - NORTH ELEVATION

1/8" = 1'-0"



2 L-SHED BUILDING - SOUTH ELEVATION

1/8" = 1'-0"



L-SHED BUILDING -EAST
ELEVATION (WEST ELEVATION
MIRROR)

3

1/8" = 1'-0" | A3.31



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REVISION	DATE	REASON FOR ISSUE
1	07/17/20	PERMIT REVISION

PREMANUFACTURED
L-RACK -EXTERIOR
ELEVATIONS
LAND USE PERMIT

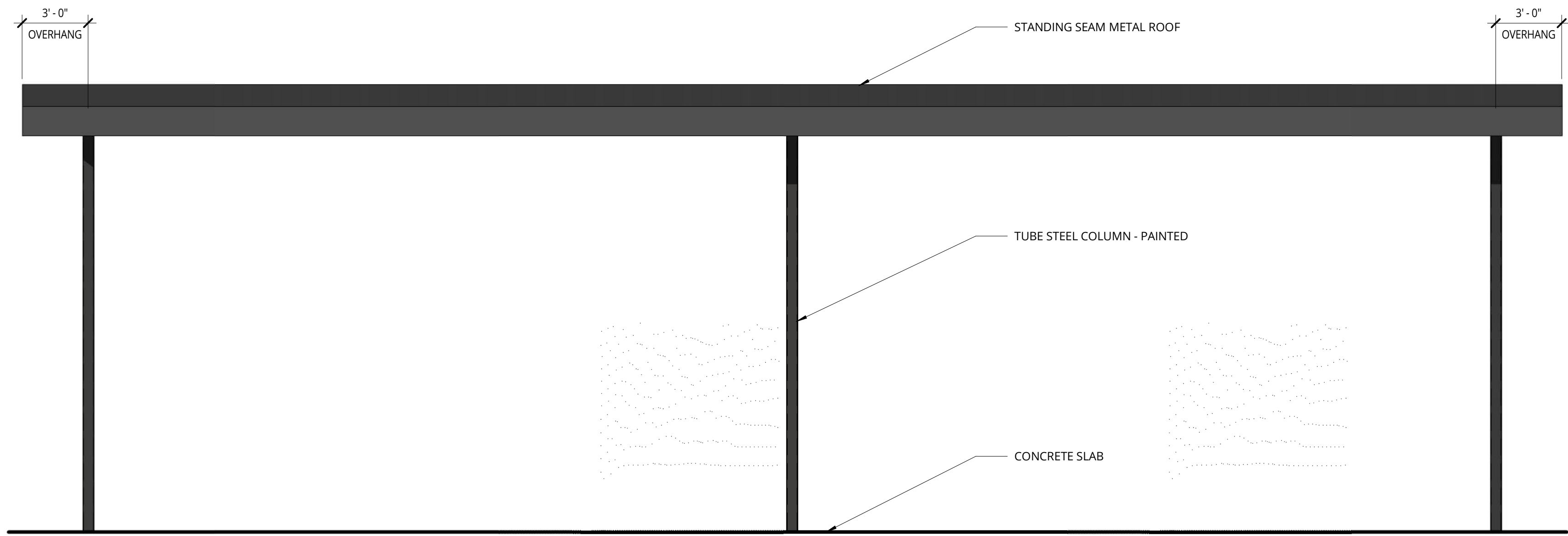
DATE
07-17-2020

PROJECT NUMBER
190120

SHEET NUMBER

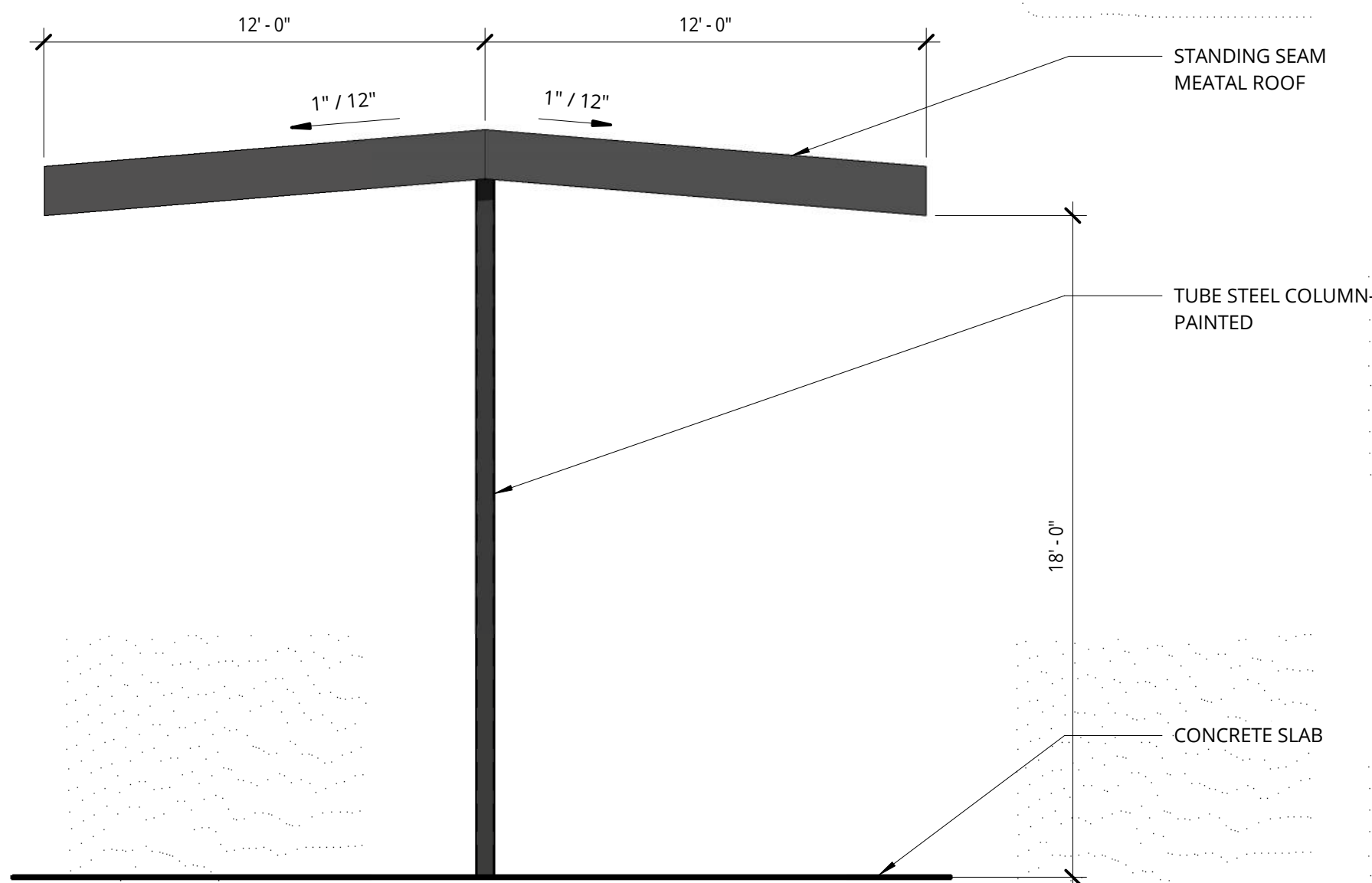
A3.31

7/17/2020 5:32:10 PM



1 T-RACK - NORTH ELEVATION (SOUTH ELEVATION MIRROR)

1/4" = 1'-0"



2 T-RACK - EAST ELEVATION (WEST ELEVATION MIRROR)

1/4" = 1'-0"

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REVISION	DATE	REASON FOR ISSUE
1	07/17/20	PERMIT REVISION

T-RACK EXTERIOR
ELEVATIONS

LAND USE PERMIT

DATE	PROJECT NUMBER
07-17-2020	190120

SHEET NUMBER

A3.41

SHEET NOTES

FOR PURPOSES OF PHOTOMETRICS, BUILDING-MOUNTED LIGHTING
CONTRIBUTES TO OVERALL CALCULATIONS



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P: 503.227.5280
Project Manager: Joshua Checkis
Job No: 201800248

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REVISION	DATE	REASON FOR ISSUE
1	07-16-20	PERMIT REVISION

LIGHTING SITE PLAN
- PHOTOMETRICS

LAND USE PERMIT

DATE
07-14-2020

PROJECT NUMBER
190120

SHEET NUMBER

EL1.01P

STATE HIGHWAY 212

S.E. SUNNYSIDE RD.

S.E. DAMASCUS LANE

S.E. FOSTER ROAD

PARCEL 5

PARCEL 2

PARCEL 4

SPRINKLERED
WHOLESALE/
OFFICE

SPRINKLERED WAREHOUSE

Tag	Description	Qty
SA1	GLEONAF-SH-LED-E1-T4W	14
SC1	GLEONAF-SH-LED-E1-SWQ-7030	1
SB1	WDE4 LED P4 70CRI RFT 30K	7
SD1	PGL8-SC-128L-110-3K7	13

Label	Avg	Max	Min
Parr Planar	2.48	16.9	0.1

1 SITE LIGHTING PLAN Photometrics

SCALE: 1" = 30'-0"