



## NOTICE OF HEARING

January 6, 2025

Brian Hill  
14569 SE Hemmen Ave.  
Clackamas, OR 97015

**RE::** County of Clackamas v. Brian Hill  
**File:** V0049822

**Hearing Date:** February 25, 2025

**Time:** This item will not begin before 10:00am however it may begin later depending on the length of preceding items.

**Location:** Hearing will be held by virtual Zoom meeting. Please see attached information regarding the process for the Zoom meeting.

Enclosed you will find the following:

1. Notice of Rights
2. Copy of Complaint and Request for Hearing

You **must** appear at the time set forth in this Notice of Hearing or the relief requested in the **Complaint** may be **granted against you by default**.

**You can access the complete hearing packet at <https://www.clackamas.us/codeenforcement/hearings>**

You may contact Shane Potter, Code Compliance Specialist for Clackamas County at (503) 742-4465, should you have any questions about the violation(s) in the **Complaint**. Do not call the Compliance Hearings Officer.

Enclosures  
CC: Carl Cox -Compliance Hearings Officer

## STATEMENT OF RIGHTS

1. **Prior to the Hearing.** You have the right to make the following requests:
  - (A) You can request the opportunity to review public records and to talk to County staff about the violations or request a subpoena for that purpose if the County does not allow you to do so.
  - (B) You can request that the Hearings Officer postpone the hearing for good cause by writing the Hearings Officer at least 7 calendar days prior to the scheduled hearing date.
  - (C) You can request that the Hearings Officer decide the matter based exclusively on written materials from the parties or conduct the hearing by phone.
2. **Procedure.** The hearing will be governed by general rules of procedure designed to allow you to hear and confront the evidence against you, and for you to present evidence favorable to you. You are not required to present any evidence, the burden is on the County to establish by a preponderance of the evidence that a violation exists, or existed. Either party may, at their own expense, obtain an attorney to represent them at the hearing. If you wish to be represented by an attorney they need only notify the County and the Hearings Officer in writing of their intent to appear on your behalf. The County will present evidence first, and then you may question that evidence. You may then present your own evidence, if you wish, and the County may question your evidence. Testimony by witnesses is evidence. The Hearings Officer may inquire into any facts that are relevant to the hearing and may question the parties or witnesses about the case. Evidence of a type commonly relied upon by reasonably prudent persons in the conduct of their serious affairs shall be admissible.
3. **Record of Proceedings.** An audio record will be made of the proceedings when a hearing is conducted. The audio record is available through the Clackamas County Code Enforcement Section and is available to you upon request.
4. **Hearings Officer.** The Hearings Officer is an independent contractor paid by the County to conduct hearings and render decisions. He/she is not a County employee. His/her function is to preside over the hearing, make a record of proceedings, consider admissible evidence, and interpret and apply the law. After the hearing is closed the Hearings Officer will enter written findings of fact, conclusions of law, and any Order deemed proper. If a violation is proven, then the Order may include civil penalties, fines, administrative fees, or may require the respondent to take certain actions, or refrain from certain actions. An Order issued by the Hearings Officer may be a Final Order or Continuing Order. The Hearings Officer's Order is the final decision of the County, and may be appealed pursuant to Oregon law. The Hearings Officer for Clackamas County is:

**Carl Cox**  
**Attorney at Law**  
**14725 NE 20<sup>th</sup> Street, #D-5**  
**Bellevue, WA 98007**
5. **Right to Recess.** If, during the course of the hearing, Respondent or the County requests a recess or postponement, or additional time to present crucial evidence, the Hearings Officer may allow a continuance of the hearing for good cause. The Respondent may also request that the proceeding be continued after the end of the hearing if the Respondent determines that additional evidence should be brought to the attention of the Hearings Officer.
6. **Right to Appeal.** The Final Order of the Hearings Officer shall set forth the right of the respondent to appeal any adverse Order. Appeal may be taken pursuant to Section 2.07.130 of the Clackamas County Hearings Officer Code, and Oregon Revised Statute 34.010-34.100. If appeal is taken, appellant is responsible for all costs of appeal including preparation of transcript.





You must have access to the internet or to a telephone line to use the Zoom platform, a copy of the link is provided below. Once you have joined the meeting, please allow the moderator to promote you to a panelist.

If you would like to present evidence at the Hearing please email or mail your evidence to Shane Potter at 150 Beaver Creek Rd, Oregon City, Oregon 97045, **no later than 4 working days prior to the hearing**. Staff will number your evidence for the hearing and provide the numbered documents to the Hearings Officer and send them back to you for reference.

If you are unable to participate in a hearing through the Zoom platform please contact Shane Potter at 503-742-4465 **within 3 calendar days of receipt of the Notice of Hearing**.

If you do not know how to use Zoom, please Google "how to use Zoom" and there are many interactive guides on the internet. **When joining the webinar please accept the request to join as a panelist.**

If you experience difficulties connecting to the Zoom hearing **before** your scheduled start time, please call 503-830-9960 for assistance.

#### Zoom invite

Join from PC, Mac, iPad, or Android:

<https://clackamascounty.zoom.us/j/81800417993?pwd=FGS2ZbPO9RrwcKvbISQ58oPZZADbaL.1>

Passcode:170188

Phone one-tap:

+12532050468,,81800417993# US

+12532158782,,81800417993# US (Tacoma)

Join via audio:

+1 253 205 0468 US

+1 253 215 8782 US (Tacoma)

+1 346 248 7799 US (Houston)

+1 408 638 0968 US (San Jose)

+1 669 444 9171 US

+1 669 900 6833 US (San Jose)

+1 719 359 4580 US

+1 312 626 6799 US (Chicago)

+1 386 347 5053 US

+1 507 473 4847 US

+1 564 217 2000 US

+1 646 876 9923 US (New York)

+1 646 931 3860 US

+1 689 278 1000 US

+1 301 715 8592 US (Washington DC)

+1 305 224 1968 US

+1 309 205 3325 US

Webinar ID: 818 0041 7993

## Department of Transportation and Development

### **Nondiscrimination Policy:**

The Department of Transportation and Development is committed to non-discrimination. For more information go to: [www.clackamas.us/transportation/nondiscrimination](http://www.clackamas.us/transportation/nondiscrimination), email [JKauppi@clackamas.us](mailto:JKauppi@clackamas.us) or call (503) 742-4452.

### **¡LE DAMOS LA BIENVENIDA!** Spanish

El Departamento de Transporte y Desarrollo está comprometido con la no discriminación. Para obtener más información, visite: [www.clackamas.us/transportation/nondiscrimination](http://www.clackamas.us/transportation/nondiscrimination), envíe un correo electrónico a [JKauppi@clackamas.us](mailto:JKauppi@clackamas.us) o llame al 503-742-4452.

### **ДОБРО ПОЖАЛОВАТЬ!** Russian

Департамент транспорта и развития инфраструктуры стремится к соблюдению политики недопущения дискриминации. Для получения дополнительной информации посетите веб-сайт: [www.clackamas.us/transportation/nondiscrimination](http://www.clackamas.us/transportation/nondiscrimination), отправьте письмо на адрес эл. почты [JKauppi@clackamas.us](mailto:JKauppi@clackamas.us) или позвоните по телефону 503-742-4452.

### **欢迎!** Chinese (Mandarin)

交通和发展部致力于实现非歧视。如需了解更多信息，请访问 [www.clackamas.us/transportation/nondiscrimination](http://www.clackamas.us/transportation/nondiscrimination)，发送电子邮件至 [JKauppi@clackamas.us](mailto:JKauppi@clackamas.us) 或致电 503-742-4452。

### **CHÀO MỪNG!** Vietnamese

Bộ Vận Tải và Phát Triển cam kết thực thi chính sách không phân biệt đối xử. Để biết thêm thông tin, vui lòng truy cập trang mạng: [www.clackamas.us/transportation/nondiscrimination](http://www.clackamas.us/transportation/nondiscrimination), gửi email đến [JKauppi@clackamas.us](mailto:JKauppi@clackamas.us) hoặc gọi điện thoại theo số 503-742-4452.

### **환영합니다.** Korean

운송개발부는 차별 금지를 위해 모든 노력을 기울이고 있습니다. 자세한 내용은 홈페이지 [www.clackamas.us/transportation/nondiscrimination](http://www.clackamas.us/transportation/nondiscrimination)을 참조하거나 이메일 [JKauppi@clackamas.us](mailto:JKauppi@clackamas.us), 또는 전화 503-742-4452번으로 연락 주십시오.

BEFORE THE COMPLIANCE HEARINGS OFFICER  
FOR THE COUNTY OF CLACKAMAS

CLACKAMAS COUNTY,

Petitioner,

v.

BRIAN HILL,

Respondent.

FILE NO: V0049822

COMPLAINT AND REQUEST FOR HEARING

I Shane Potter, Code Enforcement Specialist for Clackamas County, allege the following:

1.

Respondents' mailing address is: 14569 SE Hemmen Ave., Clackamas, OR 97015.

2.

The address or location of the violation(s) of law alleged in this complaint is: 14569 SE Hemmen Ave., Clackamas, OR 97015, also known as T2S, R2, Section 12BA, Tax Lot 00605, and is located in Clackamas County, Oregon.

3.

On or about the 3<sup>rd</sup> day of April, 2024, and on or about the 9<sup>th</sup> day of September, 2024, the Respondent violated the following laws, in the following ways:



Title 12 of the Clackamas County Zoning and Development Ordinance (ZDO) Code Section 315.03. The property is zoned Village Standard Lot Residential (VR-5/7). This violation is a Priority 2 violation pursuant to the Clackamas County Violation Priorities.

4.

The Department initiating this procedure is the Code Enforcement Section of the of the Department of Transportation and Development.

5.

Notice of the violation was given to Respondent in the following manner: Violation notice dated April 3, 2024 and Citation and Complaint NO.2200498-1 on September 9, 2024. A copy of the notice documents are attached to this Complaint as Exhibits G and I, and incorporated by this reference.

6.

Based on these allegations, petitioner requests that a hearing be set in this matter. Petitioner seeks an Order from the Hearings Officer granting the following relief:

1. Pursuant to Clackamas County Code Section 2.07.090, ordering Respondent to immediately abate the violations and bring the property at issue into compliance with all laws, and permanently enjoining Respondent from violating these laws in the future;
2. Pursuant to Clackamas County Code Section 2.07.090, imposing a civil penalty against Respondent for each violation, within the range established by the

Board of County Commissions. Said range for a Priority 2 for a Zoning Code violation being \$500.00 to \$2,500.00 per occurrence as provided by Appendix B to the Clackamas County Code;

3. Pursuant to Clackamas County Code Section 2.07.090, ordering Respondent to pay an administrative compliance fee as provided by Appendix A to the Clackamas County Code; and

4. Pursuant to Clackamas County Code Section 2.07.090, ordering Respondent to reimburse the County for any expense the County may incur in collection of any penalties, fines or fees that may be imposed.

5. Ordering any other relief deemed reasonably necessary to correct the violations.

DATED THIS 26<sup>th</sup> day of December, 2024

A handwritten signature in black ink that reads "Shane Potter". The signature is written in a cursive, flowing style.

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Shane Potter  
Code Enforcement Specialist  
FOR CLACKAMAS COUNTY

CLACKAMAS COUNTY,

Petitioner,

File No.: V0049822

v.

BRIAN HILL,

Respondent.

STATEMENT OF PROOF

History of Events and Exhibits:

- Exhibit A Respondents' mailing address is 14569 SE Hemmen Ave., Clackamas, OR 97015. Respondents' own property located at 14569 SE Hemmen Ave., Clackamas, OR 97015, also known as T2S, R2E, Section 12BA Tax Lot 00605, located within Clackamas County. The parcel is zoned Village Standard Lot Residential (VR-5/7). Exhibit A page 2 is an aerial map from November 2023 showing the vehicles on site.
- Exhibit B Land Use file Z0433-94-SS
- October 18, 2022 Clackamas County received a complaint about a street tree that had been removed and not replanted as required as condition of approval in land use file Z0433-94-SS.
- February 8, 2024 Exhibit C Code Enforcement Specialist (CES) Shane Potter and Clackamas County Planner (CCP) Roman Sierra performed a site visit and confirmed no street trees existed at this location.
- April 10, 2023 Exhibit D CES Potter and CCP Sierra researched the file and found the lot is an interior lot with a utility box behind the sidewalk and in the planter strip near the northern property line as seen in Exhibit C page 1. The plot plan for the subdivision shows the lot requires 2 street trees. However, due to new standards and setbacks established since the approval of the original land use decision from 1994 only 1 to 2 street trees (depending on the bloom size) would fit in the planter strip without further damage to utilities and/or the sidewalk. There is approximately 14' of space to plant a tree with these new setbacks.



April 10, 2023 Exhibit E	Prepared informational letter explaining the issue with this lot, the lack of a street tree and addressing the new requirements compared to the requirements that existed at the time of planting. The notice was mailed first class mail, and the mail was not returned.
September 11, 2023 Exhibit F	CES Potter performed a site visit and found no streets had been planted as discussed in the April 10, 2023 letter.
April 3, 2024 Exhibit G	Notice of Violation was mailed to the Respondents concerning a zoning violation for failure to comply with conditions of approval (street tree planting). The notice required abatement by June 14, 2024. Notice was mailed first class mail, and the mail was not returned.
August 8, 2024 Exhibit H	CES Kimberly Benthin performed a site visit and found no street trees have been planted.
September 9, 2024 Exhibit I	CES Potter issued Citation NO. 2200498-1 to Respondent for a zoning violation (failure to comply with conditions of approval – planting a street tree). The citation was mailed first class mail, the mail was not returned, and the citation has not been paid.
September 24, 2024 Exhibit J	CES Jennifer Kauppi received an email requesting a hearing. The request stated that a street tree has been planted and the Respondent would like to dispute the fees.
December 26, 2024	Clackamas County referred this matter to the Code Compliance Hearings Officer.

If the Hearings Officer affirms the County’s position that a violation of the Zoning and Development Ordinance exists on the subject property, the County would request a Final Order be issued requiring the Respondent:

- Payment of Citation #2200498-1 for \$400.00.
- The imposition of civil penalties of up to \$2,500.00.
- Imposition of administrative compliance fee to be imposed from April 2024. As of the date of the request from the Respondent for the hearing the administrative compliance fee was \$525.00. However, there was some inactivity during this period of 3 months for a reduction of \$225.00 for a total request of administrative compliance fee of \$300.00.
- The County requests the Hearing’s Officer to permanently enjoin the Respondent from violating these laws in the future.
- The County would also ask that reimbursement be ordered for any expense the County incurs in collection of these monies.

# 14569 SE Hemmen Ave



# 14569 SE Hemmen Ave







Property Account Summary  Barcode

**Account Number** 01743251 **Property Address** 14569 SE HEMMEN AVE , CLACKAMAS, OR 97015

**General Information**

Alternate Property #	22E12BA00605
Property Description	3301 ADDINGTON PL #2 LT 100
Property Category	Land &/or Buildings
Status	Active, Locally Assessed
Tax Code Area	012-073
Remarks	

**Tax Rate**

Description	Rate
Total Rate	18.7391

**Property Characteristics**

Neighborhood	11071: Sunnyside subdivisions 100, 101
Land Class Category	101: Residential land improved
Building Class Category	14: Single family res, class 4
Year Built	1997
Change property ratio	1XX

**Related Properties**

No Related Properties Found

**Parties**

Role	Percent	Name	Address
Taxpayer	100	HILL BRIAN	14569 SE HEMMEN AVE, CLACKAMAS, OR 97015
Owner	100	HILL BRIAN	14569 SE HEMMEN AVE, CLACKAMAS, OR 97015

**Property Values**

Value Type	Tax Year 2023	Tax Year 2022	Tax Year 2021	Tax Year 2020	Tax Year 2019
AVR Total	\$264,101	\$256,409	\$248,941	\$241,691	\$234,652
Exempt					
TVR Total	\$264,101	\$256,409	\$248,941	\$241,691	\$234,652
Real Mkt Land	\$206,503	\$202,737	\$171,982	\$153,780	\$149,386
Real Mkt Bldg	\$290,540	\$288,330	\$245,000	\$221,200	\$215,490
Real Mkt Total	\$497,043	\$491,067	\$416,982	\$374,980	\$364,876

M5 Mkt Land	\$206,503	\$202,737	\$171,982	\$153,780	\$149,386
M5 Mkt Bldg	\$290,540	\$288,330	\$245,000	\$221,200	\$215,490
M5 SAV					
SAVL (MAV Use Portion)					
MAV (Market Portion)	\$264,101	\$256,409	\$248,941	\$241,691	\$234,652
Mkt Exception					
AV Exception					

### Active Exemptions

No Exemptions Found

### Events

Effective Date	Entry Date-Time	Type	Remarks
12/19/2018	01/15/2019 07:33:00	Recording Processed	Property Transfer Filing No.: 346437, Warranty Deed, Recording No.: 2018-075999 12/19/2018 by NICOLEB
12/19/2018	01/15/2019 07:33:00	Taxpayer Changed	Property Transfer Filing No.: 346437 12/19/2018 by NICOLEB
12/01/2006	01/03/2007 10:16:00	Recording Processed	Property Transfer Filing No.: 152391, Bargain & Sale, Recording No.: 2006-111132 12/01/2006 by AMANDAOLS
04/24/2003	04/29/2003 16:18:00	Taxpayer Changed	Property Transfer Filing No.: 73916 04/24/2003 by LAURIEB
04/24/2003	04/29/2003 16:18:00	Recording Processed	Property Transfer Filing No.: 73916, Bargain & Sale, Recording No.: 2003-050683 04/24/2003 by LAURIEB
07/01/1999	07/01/1999 12:00:00	Ownership at Conversion	Warranty Deed: 97-80714, 4/1/97, \$ 172900

### Tax Balance

### Installments Payable

Tax Year	Category	TCA/District	Charged	Minimum	Balance Due	Due Date
No Records Found						
<a href="#">Installments Payable/Paid for Tax Year(Enter 4-digit Year, then Click-Here):</a>						2023

### Receipts

Date	Receipt No.	Amount Applied to Parcel	Total Amount Due	Receipt Total	Change
11/14/2023 00:00:00	<a href="#">5498359</a>	\$5,062.02	\$5,062.02	\$4,910.16	\$0.00
11/10/2022 00:00:00	<a href="#">5281371</a>	\$4,794.13	\$4,794.13	\$4,650.31	\$0.00
11/08/2021 00:00:00	<a href="#">5093987</a>	\$4,622.57	\$4,622.57	\$4,483.89	\$0.00
11/12/2020 00:00:00	<a href="#">4896633</a>	\$4,483.08	\$4,483.08	\$4,348.59	\$0.00
11/15/2019 00:00:00	<a href="#">4746769</a>	\$4,419.89	\$4,419.89	\$4,287.29	\$0.00

### Sales History

Sale Date	Entry Date	Recording Date	Recording Number	Sale Amount	Excise Number	Deed Type	Grantee(Buyer)	Other Parcels
12/07/2018	01/15/2019	12/19/2018	2018-075999	\$394,500.00	346437		DUNAWAY MARGARET LORRAINE	No
12/01/2006	01/03/2007	12/01/2006	2006-111132	\$0.00	152391		DUNAWAY MARGARET L	No

**Property Details**

Living Area Sq Ft	Manf Struct Size	Year Built	Improvement Grade	Stories	Bedrooms	Full Baths	Half Baths
1771	0 X 0	1997	45	2.0	3	2	1



5513007313  
OLD REPUBLIC TITLE

**RECORDING REQUESTED BY  
OLD REPUBLIC TITLE COMPANY OF OREGON**

Escrow No.: 5513007313  
APN: 01743251

**WHEN RECORDED MAIL TO**

Brian Hill  
14569 SE Hemmen Avenue  
Clackamas, OR 97015

**MAIL TAX STATEMENT TO**

Brian Hill  
14569 SE Hemmen Avenue  
Clackamas, OR 97015

Clackamas County Official Records Sherry Hall, County Clerk	<b>2018-075999</b>
	12/19/2018 11:48:00 AM
D-D                      Cnt=1 Stn=7 BARBARA	
\$15.00 \$16.00 \$10.00 \$62.00	<b>\$103.00</b>

SPACE ABOVE RESERVED FOR RECORDER'S USE

**WARRANTY DEED**

Margaret L. Dunaway, also known as Margaret Lorraine Dunaway, Grantor, conveys and warrants to Brian Hill, Grantee, the following described real property in the County of Clackamas, State of Oregon, described as follows:

See "Exhibit A" attached hereto and made a part hereof.

The described real property is free of all liens and encumbrances except (if none, so state):

See "Exhibit A" attached hereto and made a part hereof.

The true and actual consideration paid for this transfer, stated in terms of dollars is \$394,500.00.

**BEFORE SIGNING OR ACCEPTING THIS INSTRUMENT, THE PERSON TRANSFERRING FEE TITLE SHOULD INQUIRE ABOUT THE PERSONS RIGHTS, IF ANY, UNDER ORS 195.300, 195.301 AND 195.305 TO 195.336 AND SECTIONS 5 TO 11, CHAPTER 424, OREGON LAWS 2007, SECTIONS 2 TO 9 AND 17, CHAPTER 855, OREGON LAWS 2009, AND SECTIONS 2 TO 7, CHAPTER 8, OREGON LAWS 2010. THIS INSTRUMENT DOES NOT ALLOW USE OF THE PROPERTY DESCRIBED IN THIS INSTRUMENT IN VIOLATION OF APPLICABLE LAND USE LAWS AND REGULATIONS. BEFORE SIGNING OR ACCEPTING THIS INSTRUMENT, THE PERSON ACQUIRING FEE TITLE TO THE PROPERTY SHOULD CHECK WITH THE APPROPRIATE CITY OR COUNTY PLANNING DEPARTMENT TO VERIFY THAT THE UNIT OF LAND BEING TRANSFERRED IS A LAWFULLY ESTABLISHED LOT OR PARCEL, AS DEFINED IN ORS 92.010 OR 215.010, TO VERIFY THE APPROVED USES OF THE LOT OR PARCEL, TO DETERMINE ANY LIMITS ON LAWSUITS AGAINST FARMING OR FOREST PRACTICES, AS DEFINED IN ORS 30.930, AND TO INQUIRE ABOUT THE RIGHTS OF NEIGHBORING PROPERTY OWNERS, IF ANY, UNDER ORS 195.300, 195.301 AND 195.305 TO 195.336 AND SECTIONS 5 TO 11, CHAPTER 424, OREGON LAWS 2007, SECTIONS 2 TO 9 AND 17, CHAPTER 855, OREGON LAWS 2009, AND SECTIONS 2 TO 7, CHAPTER 8, OREGON LAWS 2010.**

Dated this 7 day of December, 2018.

Margaret L. Dunaway  
Margaret L. Dunaway

STATE OF OREGON  
County of Clackamas

This instrument was acknowledged before me on this 7 day of December, 2018 by Margaret L. Dunaway.

Cheri Ruth Breck  
Notary Public for Oregon  
My Commission Expires: 4-15-22



Order No.: 5513007313

## EXHIBIT A

Lot 100, ADDINGTON PLACE NO. 2, in the County of Clackamas and State of Oregon.

Exceptions:

1. The subject property lies within the boundaries of Clackamas County Service District No. 1 and is subject to the levies and assessments thereof.
2. Covenants, conditions, restrictions, easements, and/or setbacks, imposed by instrument, including the terms and provisions thereof,

Recorded: July 16, 1996 in Official Records under Document No.: 96-051519.

NOTE: This exception omits from said instrument any covenant, condition or restriction based on race, color, religion, sex, handicap, familial status or national origin as provided in 42 USC 3604, unless and only to the extent that the covenant (a) is not in violation of state or federal law, (b) is exempt under 42 USC 3607, or (c) relates to a handicap, but does not discriminate against handicapped people.

The herein described property was annexed to the above Covenants, Conditions and Restrictions by Declaration of Annexation,

Recorded : January 09, 1997 in Official Records under Document No. 97-002187

Modification thereof, but omitting any covenants or restrictions if any, based upon race, color, religion, sex, handicap, familial status, or national origin unless and only to the extent that said covenant (a) is exempt under Title 42, Section 3607 of the United States Code or (b) relates to handicap but does not discriminate against handicapped persons.

Recorded : April 16, 2001 in Official Records under Document No. 2001-026329

3. Said Covenants, Conditions and Restrictions set forth above contain, among other things, levies and assessments of Addington Place Homeowners Association.
4. All covenants, conditions, restrictions, easements or other servitudes, if any, disclosed by the recorded plat of Addington Place No. 2.
5. An easement affecting that portion of said land and for the purposes stated herein and incidental purposes as shown on the filed map.

For : Public Utility

For : Public Storm Drainage

6. Terms and provisions as contained in an instrument,

Entitled : Declaration and Maintenance Agreement for On-Site Stormwater Facilities  
Recorded : January 09, 1997 in Official Records under Document No. 97-002188

SUB-DIVISION FILES

FILE # Z 0433-94-55

LEGAL DESCRIPTION:

2 S 2 E SEC. 10 TAX LOT 2100.

PLAT #(S) 3147

MAP ✓

N-E ADS ZONE CHANGE/

Currently FV-10

---

left message wth Tom

Sigal 4 15-74 w EC

---

P10T # 3147



**FINAL PLAT ROUTING SLIP**

NAME OF PLAT: 20433-9455-00 NOT DETACH THIS FROM PLAT  
Sieben Creeks Estates 3  
 SPONSOR OR ENGINEER: Assoc. Land Surveyors  
656-9440  
 ADDRESS: \_\_\_\_\_  
 PHONE: \_\_\_\_\_

NOTE: Please notify the Planning Section immediately if any delays should occur in processing this plat (655-8521).

NOTE: Preliminary approval of the attached plat will expire on \_\_\_\_\_, 199\_\_ We request the office that retains the plat on the expiration date to notify the Planning Section.

ROUTE	SIGNATURE	DATE SIGNED
DEPT. OF TRANSPORTATION & DEVELOPMENT 902 Abernethy Road		
Planning Section		
Engineering Section		
Soils Section		
DEPT. OF UTILITIES 902 Abernethy Road		
* Sanitation Sewer Dist. #1		
* Surface Water Mgmt.		
ASSESSMENT & TAXATION 168 Warner Millne Road		
Identification		
Sign Off		
SURVEYOR 511 Main St., Harding Bldg.		
BOARD OF COUNTY COMMISSIONERS 906 Main Street		
CLERK Courthouse Room 104	Plat No. _____ Book _____ Page _____	Date Recorded _____

*Connie Mancini*

*Sept 1st, 1994*

\* Applicable Only When Plat is Within District Boundary

RETURN TO PLANNING DIVISION

Name: Sieben  
Creek 3

FOI  
Hand  
you

NOTICE OF DECISION ON  
SHORT SUBDIVISION - APPROVAL

CLACKAMAS COUNTY DEPARTMENT OF TRANSPORTATION AND DEVELOPMENT  
LAND USE AND ENVIRONMENTAL PLANNING DIVISION  
902 Abernethy Road, Oregon City, Oregon 97045  
Phone: 655-8521

FILE  
PLANS

TO: Applicant, Citizens Planning Organization, Agencies, and Property Owners within 300 feet of this application.

DATE: July 13, 1994

LAST DATE TO APPEAL:

FILE NO.: Z0433-94-SS

STAFF CONTACT: Ken Dauble

Ken,  
Please see  
comments.  
for

APPLICANT: Great American Development, Inc.; 12999 South Haven Road; Oregon City, OR 97045

OWNER OF PROPERTY: Donald and Cheryl Miller

LOCATION: West side of S.E. 152nd Drive, approximately 1/2 mile south of Sunnyside Road; Rock Creek area.

LEGAL DESCRIPTION: T2S, R2E, Section 1C, Tax Lot(s) 2100, W.M.

SITE ADDRESS: Not available.

TOTAL AREA INVOLVED: Approximately .60 acre

PRESENT ZONING: VR-5/7, Village Standard Lot

CITIZENS PLANNING ORGANIZATION FOR THE AREA: Rock Creek; Chris Utterback; P.O. Box 1112; Clackamas, OR 97015; 658-5338

PROPOSAL: Subdivision to divide the property into four lots.

DECISION: Approval

The Planning Division staff has reviewed this application for a Short Subdivision. This application is subject to Sections 1600, 1603, 1000, 1105 of the Clackamas County Zoning and Development Ordinance. The Planning Division staff has reviewed these sections in conjunction with this proposal and makes the following findings:

1. The request is consistent with the Zoning and Development Ordinance.
2. The request is consistent with the Comprehensive Plan.

Based on the above findings, it is the decision of the Clackamas County Planning Division staff to approve this request for a Short Subdivision subject to the following conditions:

1. Approval is based on the preliminary plan submitted with the application. Any change in design, including lot layout and access to lots, must be approved by the Planning Division prior to final plat approval. Changes in approved access locations may also require additional public notice.
2. All conditions of approval shall be guaranteed or completed prior to issuance of any building permits unless otherwise noted below.
3. Within two (2) years of the date of this decision, a final subdivision plat survey of the approved map must be submitted to this office for review. Once approved by the Planning Division, the approved subdivision plat will be sent to the County Surveyor for review. When approved by the Surveyor, the plat must then be filed and recorded by the County Clerk. Failure to submit the final survey will void this subdivision approval.
4. The subdivision plat survey shall include a statement of water rights. The statement shall indicate whether a water right or permit is appurtenant to the subject property. The water right certificate number or permit number shall appear in the statement. (Reference ORS 92.120(5)). A copy of the approved final plat must be submitted to the Oregon Water Resources Department if the plat indicates a water right, or permit if appurtenant.

5. The final subdivision plat shall conform to the East Sunnyside Village Plan.
6. The local street serving the site is an extension of Frontier Avenue which is planned within Pioneer Estates. The extension of this street must have sidewalks along both sides and meet the requirements ~~illustrated on either Figure x-3 or Figure x-4~~. The new street must be constructed ~~as close as possible~~ to the standards in the Sunnyside Village plan. Some adjustments will be needed to transition from the R-4028 standard for right of way and street improvements previously approved in Pioneer Estates. The adjustments will be as follows:
  - a. The right of way shall be 42 feet plus sufficient easement must be provided for sidewalk to accommodate transitions for sidewalk design and usable planter strips. The sidewalk shall align with the sidewalks in Pioneer Estates, shall be 5 feet in width and shall transition to provide usable planter strips as required in the Sunnyside Village plan. *w/ no obstructions* *4' wide*
  - b. Setbacks for structures located on lots in Sieben Creek III shall be measured from the combined width of right of way and easements needed for the construction of improvements. This will help to provide adequate on site parking without encroaching into pedestrian access and meet the intent of a 20 foot setback from the sidewalk. *4' wide*
  - c. The curb line shall taper between Pioneer Estates and the south end of Sieben Creek III (from 28 feet curb to curb to 24 feet curb to curb). This will eliminate the need for jogs in the curb which are unsightly, pose a traffic hazard, and a maintenance problem.
7. It will be necessary to furnish street and drainage improvement plans prepared and stamped by a registered engineer in the state of Oregon. These plans must address street improvements to the new streets. These plans must also address storm drainage improvements to accommodate water on or crossing the subdivision. As the engineer develops these plans, he/she must take into consideration the provisions for each and every building lot consistent with the requirements of the County Zoning and Development Ordinance Section number 1008 and Service District No. 1. The County's requirements for storm sewer detention is applicable in this proposed development. These plans must also include a site specific erosion control plan in accordance with Clackamas County's Technical Guidance Handbook.
8. Provisions must be made for roof and foundation drains from the newly developed homes within the subdivision and must be detailed on the street and drainage improvements plans.
9. Furnish storm sewer easements as deemed necessary for the above-mentioned drainage work. The following statement must be added to the dedication on the subdivision plat:
 

"The public is hereby granted the right to maintain, replace or enlarge storm sewer facilities along these easements and will not be in anyway responsible for replacing the landscaping, fencing or other structures, shrubs or trees that may exist or be placed within the storm drainage easements. The public is required to give adequate notice before such activities are commenced and shall limit activities to that necessary to achieve the purpose of maintaining the storm drainage features."
10. Street trees are a requirement for this subdivision. The type and location of street trees shall be submitted to and reviewed and approved by staff prior to approval of the final plat.
11. Street lights are a requirement for the subdivision. The developer must make arrangements for the installation of street lights with the power company and to pre-wire for acceptance of these street lights. The developer must also submit an application by letter to the County Department of Utilities for the installation of the street lights and annexation into the street light district.
12. All improvements must be constructed and inspected or bonded via DTD prior to final plat approval. Sidewalk construction within the plat may be coordinated with house construction. However, the sidewalk design must be completed with the design of the new street.
13. The street stub shall terminate in a 1' x 42' strip deeded to Clackamas County prior to final plat approval. The developer must contact DTD regarding deed format.
14. The street construction, storm sewer, and utilities work must be designed and built to be compatible with adjoining existing approved plats and accommodate future needs of adjoining property.

15. Prior to approval of the street and construction plans, a copy of an approved site grading plan and a grading permit shall be submitted. Said permit is available through the Clackamas County Development Services Section.
16. Furnish slope easements as required to encompass all fill slopes that will support the project roadways. The following statement must be added to the dedication on the subdivision plat:  
  
"The public is hereby granted the right to construct, reconstruct, maintain, repair or use the slope supporting the adjacent roadway, and will not in any way, be responsible for replacing the landscaping, fencing, or other structures, shrubs or trees that may exist or be placed within the slope easement. No buildings, footings, or excavations of any kind will be permitted within the slope easement. The public is required to give adequate notice before such activities are commenced and shall limit activities to that necessary to achieve the purpose of maintaining the slope supporting the adjoining roadway".
17. The developer is responsible for all applications, fees and coordination of Federal and State regulator offices with regards to fills and excavations in stream riparian zones and wetlands associated to the Clean Water Act and the Urban Stormwater National Pollutant Discharge Elimination System.
18. At completion of the initial paving/construction, the engineer shall submit one set of "As-Builts" on reproducible mylar.

**NOTICE TO MORTGAGEE, LIENHOLDER, VENDOR, OR SELLER: ORS CHAPTER 215 REQUIRES THAT IF YOU RECEIVE THIS NOTICE, IT MUST BE PROMPTLY FORWARDED TO THE PURCHASER.**

IF YOU HAVE ANY QUESTIONS ABOUT THIS APPLICATION, PLEASE CONTACT THE PLANNING DIVISION OFFICE. IF YOU DISAGREE WITH THESE FINDINGS OR CONDITIONS, YOU MAY APPEAL THIS DECISION TO THE CLACKAMAS COUNTY HEARINGS OFFICER. THE COST OF THE APPEAL IS \$100. YOUR APPEAL MUST BE RECEIVED IN THE PLANNING DIVISION OFFICE BY 5:00 ON THE LAST DATE TO APPEAL WHICH IS . THIS PERMIT WILL NOT BE ISSUED UNTIL THE DAY AFTER THE APPEAL DEADLINE.

0713/406A/td:mp

NOTICE OF DECISION ON  
SHORT SUBDIVISION - APPROVAL

CLACKAMAS COUNTY DEPARTMENT OF TRANSPORTATION AND DEVELOPMENT  
LAND USE AND ENVIRONMENTAL PLANNING DIVISION  
902 Abernethy Road, Oregon City, Oregon 97045  
Phone: 655-8521

TO: Applicant, Citizens Planning Organization, Agencies, and Property Owners within 300 feet of this application.

DATE: July 13, 1994

LAST DATE TO APPEAL: JUL 25 1994

FILE NO.: Z0433-94-SS

STAFF CONTACT: Ken Dauble

Date Mailed: 7-13-94  
Neighborhood Group   
Property owner: 7-13-94 300   
Applicant   
Attorney \_\_\_\_\_  
Others: N. Clark, SA #12  
(CFS #)

APPLICANT: Great American Development, Inc.; 12999 South Haven Road; Oregon City, OR 97045

OWNER OF PROPERTY: Donald and Cheryl Miller

LOCATION: West side of S.E. 152nd Drive, approximately 1/2 mile south of Sunnyside Road; Rock Creek area.

LEGAL DESCRIPTION: T2S, R2E, Section 1C, Tax Lot(s) 2100, W.M.

SITE ADDRESS: Not available.

TOTAL AREA INVOLVED: Approximately .60 acre

PRESENT ZONING: VR-5/7, Village Standard Lot

CITIZENS PLANNING ORGANIZATION FOR THE AREA: Rock Creek; Chris Utterback; P.O. Box 1112; Clackamas, OR 97015; 658-5338

PROPOSAL: Subdivision to divide the property into four lots.

DECISION: Approval

The Planning Division staff has reviewed this application for a Short Subdivision. This application is subject to Sections 1600, 1603, 1000, 1105 of the Clackamas County Zoning and Development Ordinance. The Planning Division staff has reviewed these sections in conjunction with this proposal and makes the following findings:

1. The request is consistent with the Zoning and Development Ordinance.
2. The request is consistent with the Comprehensive Plan.

Based on the above findings, it is the decision of the Clackamas County Planning Division staff to approve this request for a Short Subdivision subject to the following conditions:

1. Approval is based on the preliminary plan submitted with the application. Any change in design, including lot layout and access to lots, must be approved by the Planning Division prior to final plat approval. Changes in approved access locations may also require additional public notice.
2. All conditions of approval shall be guaranteed or completed prior to issuance of any building permits unless otherwise noted below.
3. Within two (2) years of the date of this decision, a final subdivision plat survey of the approved map must be submitted to this office for review. Once approved by the Planning Division, the approved subdivision plat will be sent to the County Surveyor for review. When approved by the Surveyor, the plat must then be filed and recorded by the County Clerk. Failure to submit the final survey will void this subdivision approval.
4. The subdivision plat survey shall include a statement of water rights. The statement shall indicate whether a water right or permit is appurtenant to the subject property. The water right certificate number or permit number shall appear in the statement. (Reference ORS 92.120(5)). A copy of the approved final plat must be submitted to the Oregon Water Resources Department if the plat indicates a water right, or permit if appurtenant.



5. The final subdivision plat shall conform to the East Sunnyside Village Plan.
6. The local street serving the site is an extension of Frontier Avenue which is planned within Pioneer Estates. The extension of this street must have sidewalks along both sides and meet the requirements illustrated on either Figure x-3 or Figure x-4. The new street must be constructed as close as possible to the standards in the Sunnyside Village plan. Some adjustments will be needed to transition from the R-4028 standard for right of way and street improvements previously approved in Pioneer Estates. The adjustments will be as follows:

a. The right of way shall be 42 feet plus sufficient easement must be provided for sidewalk to accommodate transitions for sidewalk design and usable planter strips. The sidewalk shall align with the sidewalks in Pioneer Estates, shall be 5 feet in width and shall transition to provide usable planter strips as required in the Sunnyside Village plan.

b. Setbacks for structures located on lots in Sieben Creek III shall be measured from the combined width of right of way and easements needed for the construction of improvements. This will help to provide adequate on site parking without encroaching into pedestrian access and meet the intent of a 20-foot setback from the sidewalk. \*

c. The curb line shall taper between Pioneer Estates and the south end of Sieben Creek III (from 28 feet curb to curb to 24 feet curb to curb). This will eliminate the need for jogs in the curb which are unsightly, pose a traffic hazard, and a maintenance problem.

7. It will be necessary to furnish street and drainage improvement plans prepared and stamped by a registered engineer in the state of Oregon. These plans must address street improvements to the new streets. These plans must also address storm drainage improvements to accommodate water on or crossing the subdivision. As the engineer develops these plans, he/she must take into consideration the provisions for each and every building lot consistent with the requirements of the County Zoning and Development Ordinance Section number 1008 and Service District No. 1. The County's requirements for storm sewer detention is applicable in this proposed development. These plans must also include a site specific erosion control plan in accordance with Clackamas County's Technical Guidance Handbook.

8. Provisions must be made for roof and foundation drains from the newly developed homes within the subdivision and must be detailed on the street and drainage improvements plans.

9. Furnish storm sewer easements as deemed necessary for the above-mentioned drainage work. The following statement must be added to the dedication on the subdivision plat:

"The public is hereby granted the right to maintain, replace or enlarge storm sewer facilities along these easements and will not be in anyway responsible for replacing the landscaping, fencing or other structures, shrubs or trees that may exist or be placed within the storm drainage easements. The public is required to give adequate notice before such activities are commenced and shall limit activities to that necessary to achieve the purpose of maintaining the storm drainage features."

10. Street trees are a requirement for this subdivision. The type and location of street trees shall be submitted to and reviewed and approved by staff prior to approval of the final plat.
11. Street lights are a requirement for the subdivision. The developer must make arrangements for the installation of street lights with the power company and to pre-wire for acceptance of these street lights. The developer must also submit an application by letter to the County Department of Utilities for the installation of the street lights and annexation into the street light district.
12. All improvements must be constructed and inspected or bonded via DTD prior to final plat approval. Sidewalk construction within the plat may be coordinated with house construction. However, the sidewalk design must be completed with the design of the new street.
13. The street stub shall terminate in a 1' x 42' strip deeded to Clackamas County prior to final plat approval. The developer must contact DTD regarding deed format.
14. The street construction, storm sewer, and utilities work must be designed and built to be compatible with adjoining existing approved plats and accommodate future needs of adjoining property.

NOTE:  
10' setback  
on w/ record  
stals \*

15. Prior to approval of the street and construction plans, a copy of an approved site grading plan and a grading permit shall be submitted. Said permit is available through the Clackamas County Development Services Section.
16. Furnish slope easements as required to encompass all fill slopes that will support the project roadways. The following statement must be added to the dedication on the subdivision plat:

"The public is hereby granted the right to construct, reconstruct, maintain, repair or use the slope supporting the adjacent roadway, and will not in any way, be responsible for replacing the landscaping, fencing, or other structures, shrubs or trees that may exist or be placed within the slope easement. No buildings, footings, or excavations or any kind will be permitted within the slope easement. The public is required to give adequate notice before such activities are commenced and shall limit activities to that necessary to achieve the purpose of maintaining the slope supporting the adjoining roadway".
17. The developer is responsible for all applications, fees and coordination of Federal and State regulator offices with regards to fills and excavations in stream riparian zones and wetlands associated to the Clean Water Act and the Urban Stormwater National Pollutant Discharge Elimination System.
18. At completion of the initial paving/construction, the engineer shall submit one set of "As-Builts" on reproducible mylar.

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IF YOU HAVE ANY QUESTIONS ABOUT THIS APPLICATION, PLEASE CONTACT THE PLANNING DIVISION OFFICE. IF YOU DISAGREE WITH THESE FINDINGS OR CONDITIONS, YOU MAY APPEAL THIS DECISION TO THE CLACKAMAS COUNTY HEARINGS OFFICER. THE COST OF THE APPEAL IS \$100. YOUR APPEAL MUST BE RECEIVED IN THE PLANNING DIVISION OFFICE BY 5:00 ON THE LAST DATE TO APPEAL WHICH IS <sup>JUL 25 1994</sup> . THIS PERMIT WILL NOT BE ISSUED UNTIL THE DAY AFTER THE APPEAL DEADLINE.

0713406A/Adtmp

S. E.

208

624'

20433

Sieba Curve #3

(expansion/beam proposal)

208

1320'

SEE PS 4466

HIDE

1070'

1070'

2201  
2.71 AC.

320'

2202

1.29 AC.  
14381

262.72'

450'

450'

295'

2200  
0.86 AC.

130.0  
14411

169.92'

94.20

484.95'

144.62

10.0

1155.38

40'

300  
18 AC.

1-PROVIDE

100  
65 AC.

2  
7 AC.



# CLACKAMAS COUNTY

Department of Transportation & Development

THOMAS J. VANDERZANDEN  
EXECUTIVE DIRECTOR

## MEMORANDUM

TO : KEN DAUBLE  
FROM: CONSTRUCTION AND DEVELOPMENT *WMS*  
DATE: JULY 7, 1994  
RE : Z0433-94-SS / SIEBEN CREEK ESTATES III

This office has the following comments pertaining to this proposal:

1. The new street must be constructed as close as possible to the standards in the Sunnyside Village plan. Some adjustments will be needed to transition from the R-4028 standard for right of way and street improvements previously approved in Pioneer Estates. The adjustments will be as follows:
  - a. The right of way shall be 42 feet plus sufficient easement must be provided for sidewalk to accommodate transitions for sidewalk design and usable planter strips. The sidewalk shall align with the sidewalks in Pioneer Estates, shall be 5 feet in width and shall transition to provide usable planter strips as required in the Sunnyside Village plan.
  - b. Setbacks for structures located on lots in Sieben Creek III shall be measured from the combined width of right of way and easements needed for the construction of improvements. This will help to provide adequate on site parking without encroaching into pedestrian access and meet the intent of a 20 foot setback from the sidewalk.
  - c. The curb line shall taper between Pioneer Estates and the south end of Sieben Creek III (from 28 feet curb to curb to 24 feet curb to curb). This will eliminate the need for jogs in the curb which are unsightly, pose a traffic hazard, and a maintenance problem.
2. It will be necessary to furnish street and drainage improvement plans prepared and stamped by a registered engineer in the state of Oregon. These plans must address street improvements to the new streets. These plans must also address storm drainage improvements to accommodate water on or crossing the subdivision. As the engineer

develops these plans, he/she must take into consideration the provisions for each and every building lot consistent with the requirements of the County Zoning and Development Ordinance Section number 1008 and Service District No. 1. The County's requirements for storm sewer detention is applicable in this proposed development. These plans must also include a site specific erosion control plan in accordance with Clackamas County's Technical Guidance Handbook.

With the respect to the above-mentioned plans, a cost estimate will be made from these plans to determine the amount of a performance bond and for an amount of the County's subdivision inspection fee. The subdivision inspection fee is four (4) percent of the street and drainage improvement cost.

3. Provisions must be made for roof and foundation drains from the newly developed homes within the subdivision and must be detailed on the street and drainage improvements plans.
4. Furnish storm sewer easements as deemed necessary for the above-mentioned drainage work. The following statement must be added to the dedication on the subdivision plat:

"The public is hereby granted the right to maintain, replace or enlarge storm sewer facilities along these easements and will not be in anyway responsible for replacing the landscaping, fencing or other structures, shrubs or trees that may exist or be placed within the storm drainage easements. The public is required to give adequate notice before such activities are commenced and shall limit activities to that necessary to achieve the purpose of maintaining the storm drainage features."

5. Street lights are a requirement for the subdivision. The developer must make arrangements for the installation of street lights with the power company and to pre-wire for acceptance of these street lights. The developer must also submit an application by letter to the County Department of Utilities for the installation of the street lights and annexation into the street light district.
6. All improvements must be constructed and inspected or bonded via DTD prior to final plat approval. Sidewalk construction within the plat may be coordinated with house construction. However, the sidewalk design must be completed with the design of the new street.
7. The street stub shall terminate in a 1' x 42' strip deeded to Clackamas County prior to final plat approval. The developer must contact DTD regarding deed format.
8. The street construction, storm sewer and utilities work must be designed and built to be compatible with adjoining existing approved plats and accommodate future needs of adjoining property.

9. Prior to approval of the street and construction plans, a copy of an approved site grading plan and a grading permit shall be submitted. Said permit is available through the Clackamas County Development Services Section.
10. Furnish slope easements as required to encompass all fill slopes that will support the project roadways. The following statement must be added to the dedication on the subdivision plat:

"The public is hereby granted the right to construct, reconstruct, maintain, repair or use the slope supporting the adjacent roadway, and will not in any way, be responsible for replacing the landscaping, fencing, or other structures, shrubs or trees that may exist or be placed within the slope easement. No buildings, footings, or excavations or any kind will be permitted within the slope easement. The public is required to give adequate notice before such activities are commenced and shall limit activities to that necessary to achieve the purpose of maintaining the slope supporting the adjoining roadway".

11. The developer is responsible for all applications, fees and coordination of Federal and State regulator offices with regards to fills and excavations in stream riparian zones and wetlands associated to the Clean Water Act and the Urban Stormwater National Pollutant Discharge Elimination System.
12. At completion of the initial paving/construction, the engineer shall submit one set of "As-Builts" on reproducible mylar.

NOTICE OF APPLICATION FOR  
ADMINISTRATIVE ACTION



TO: Rock Creek Community Planning Organization

DATE: April 5, 1994

FROM: Clackamas County Planning Division  
902 Abernethy Road  
Oregon City, Oregon 97045  
Phone No. 655-8521

FILE NUMBER & NAME: Z0433-94-SS - Sieben Creek Estates

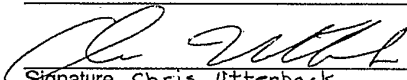
TYPE OF APPLICATION: Subdivision to divide the property into four lots.

ZONING: VR-5/7, Village Standard Lot

CONTACT PERSON: Greg Fritts

The Planning Division would like your comments on the attached application. The application is subject to Section(s) 1600; 1603; 1000; 1105 of the County Zoning and Development Ordinance. If you do not have a copy of the current ordinance, copies of specific sections are available at the Planning Division office. Please contact us if you need ordinance sections to review this application. Please indicate any information which would assist the county in acting on this application. Also, please identify the process of arriving at this recommendation such as a vote of the Executive Board or membership, and report numerically any vote taken. Comments received by April 20, 1994 will be included with the Planning Division decision on this application. If more information is needed, please call the Planning Division.

Recommendation: AT a regular RCCA meeting  
held 4-12-94, this application was  
discussed. The members voted 28 to 0  
to approve it as long as it conforms  
with neo-Traditional regulations.

  
Signature Chris Utterback  
president RCCA  
Position

Please return to address above  
Z0433-94-SS/2:db



NOTICE OF APPLICATION TO BE  
HEARD AT PUBLIC HEARING

TO: North Clackamas School District #12

DATE: April 5, 1994

FROM: Clackamas County Planning  
902 Abernethy Road  
Oregon City, Oregon 97045  
Phone No. 655-8521

FILE NUMBER & NAME: Z0433-94-SS

TYPE OF APPLICATION: Subdivision

ZONING: VR-5/7

CONTACT PERSON: Greg Fritts

The Planning Division would like your comments on the attached application. The application is subject to the County Zoning and Development Ordinance. If you do not have a copy of the current ordinance, copies of specific sections are available at the Planning Division office. Please contact us if you need ordinance information which would assist the county in acting on this application. If more information is needed, please call the Planning Division. PLEASE RETURN THIS FORM ONLY.

Recommendation:

This development could potentially add students in grades K-12. The impacted schools would be Oregon Trail Elementary, Sunrise Junior High, and Clackamas High School. At present, the District can not accommodate such growth, particularly at the high school level. However a bond issue is being proposed to construct facilities which would provide services for the students generated by this development. Approval of the bond on May 17 would allow the District to handle the students.

  
David F. Church  
Director of Physical Plant

Phone: 653-3645      Date: April 6, 1994

Please return to address above.

NOTICE OF APPLICATION TO BE  
HEARD AT PUBLIC HEARING

TO: North Clackamas School District #12

DATE: April 4, 1994

FROM: Clackamas County Planning  
902 Abernethy Road  
Oregon City, Oregon 97045  
Phone No. 655-8521

FILE NUMBER & NAME: Z0439-94-HO

TYPE OF APPLICATION: Home Occupation Permit


ZONING: RRRF-5

CONTACT PERSON: Greg Fritts

The Planning Division would like your comments on the attached application. The application is subject to the County Zoning and Development Ordinance. If you do not have a copy of the current ordinance, copies of specific sections are available at the Planning Division office. Please contact us if you need ordinance information which would assist the county in acting on this application. If more information is needed, please call the Planning Division. PLEASE RETURN THIS FORM ONLY.

Recommendation:

NO IMPACT ON THE SCHOOL DISTRICT

  
David F. Church  
Director of Physical Plant

Phone: 653-3645 Date: April 6, 1994

Please return to address above.

NOTICE OF APPLICATION TO BE  
HEARD AT PUBLIC HEARING

TO: North Clackamas School District #12

DATE: April 4, 1994

FROM: Clackamas County Planning  
902 Abernethy Road  
Oregon City, Oregon 97045  
Phone No. 655-8521

FILE NUMBER & NAME: Z0389-94-SS

TYPE OF APPLICATION: Subdivision

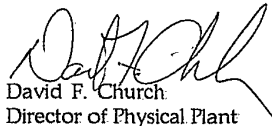
ZONING: VA, VCS, VTH, VR-4/5, VC

CONTACT PERSON: Greg Fritts

The Planning Division would like your comments on the attached application. The application is subject to the County Zoning and Development Ordinance. If you do not have a copy of the current ordinance, copies of specific sections are available at the Planning Division office. Please contact us if you need ordinance information which would assist the county in acting on this application. If more information is needed, please call the Planning Division. **PLEASE RETURN THIS FORM ONLY.**

Recommendation:

This development could potentially add students in grades K-12. The impacted schools would be Oregon Trail Elementary, Sunrise Junior High, and Clackamas High School. At present, the District can not accomodate such growth, particularly at the high school level. However a bond issue is being proposed to construct facilities which would provide services for the students generated by this development. Approval of the bond on May 17 would allow the District to handle the students.

  
David F. Church  
Director of Physical Plant

Phone: 653-3645      Date: April 6, 1994

Please return to address above.

NOTICE OF APPLICATION TO BE  
HEARD AT PUBLIC HEARING

TO: North Clackamas School District #12

DATE: April 1, 1994

FROM: Clackamas County Planning  
902 Abernethy Road  
Oregon City, Oregon 97045  
Phone No. 655-8521

FILE NUMBER & NAME: Z0388-94-M

TYPE OF APPLICATION: Partition

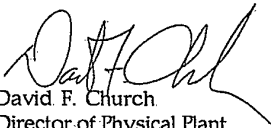
ZONING: R-10

CONTACT PERSON: Greg Fritts

The Planning Division would like your comments on the attached application. The application is subject to the County Zoning and Development Ordinance. If you do not have a copy of the current ordinance, copies of specific sections are available at the Planning Division office. Please contact us if you need ordinance information which would assist the county in acting on this application. If more information is needed, please call the Planning Division. PLEASE RETURN THIS FORM ONLY.

Recommendation:

This development could potentially add students in grades K-12. The impacted schools would be Milwaukie Elementary, Rowe Junior High, and Milwaukie High School. At present, the District can not accomodate such growth, particularly at the high school level. However a bond issue is being proposed to construct facilities which would provide services for the students generated by this development. Approval of the bond on May 17 would allow the District to handle the students.

  
David F. Church  
Director of Physical Plant

Phone: 653-3645      Date: April 6, 1994

Please return to address above.

NOTICE OF APPLICATION TO BE  
HEARD AT PUBLIC HEARING

TO: North Clackamas School District #12

DATE: March 28, 1994

FROM: Clackamas County Planning  
902 Abernethy Road  
Oregon City, Oregon 97045  
Phone No. 655-8521

FILE NUMBER & NAME: Z0300-94-SL/Z0301-94-SL

TYPE OF APPLICATION: Subdivision

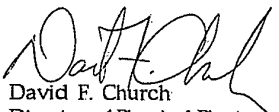
ZONING: FU-10

CONTACT PERSON: Gary Naylor

The Planning Division would like your comments on the attached application. The application is subject to the County Zoning and Development Ordinance. If you do not have a copy of the current ordinance, copies of specific sections are available at the Planning Division office. Please contact us if you need ordinance information which would assist the county in acting on this application. If more information is needed, please call the Planning Division. PLEASE RETURN THIS FORM ONLY.

Recommendation:

This development could potentially add students in grades K-12. The impacted schools would be Oregon Trail Elementary, Sunrise Junior High, and Clackamas High School. At present, the District can not accomodate such growth, particularly at the high school level. However a bond issue is being proposed to construct facilities which would provide services for the students generated by this development. Approval of the bond on May 17 would allow the District to handle the students.

  
David F. Church  
Director of Physical Plant

Phone: 653-3645      Date: April 6, 1994

Please return to address above.

NOTICE OF APPLICATION TO BE  
HEARD AT PUBLIC HEARING

TO: North Clackamas School District #12

DATE: March 24, 1994

FROM: Clackamas County Planning  
902 Abernethy Road  
Oregon City, Oregon 97045  
Phone No. 655-8521

FILE NUMBER & NAME: Z0398-94-V

TYPE OF APPLICATION: Variance

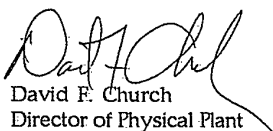
ZONING: R-10

CONTACT PERSON: Bob Schumacher

The Planning Division would like your comments on the attached application. The application is subject to the County Zoning and Development Ordinance. If you do not have a copy of the current ordinance, copies of specific sections are available at the Planning Division office. Please contact us if you need ordinance information which would assist the county in acting on this application. If more information is needed, please call the Planning Division. PLEASE RETURN THIS FORM ONLY.

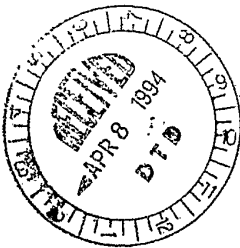
Recommendation:

NO IMPACT ON THE SCHOOL DISTRICT

  
David F. Church  
Director of Physical Plant

Phone: 653-3645 Date: April 6, 1994

Please return to address above.







# CLACKAMAS COUNTY

Department of Utilities  
*People serving people with PRIDE*

HELENE K. LICHTMAN  
DIRECTOR

## MEMORANDUM

**TO:** Planning Division  
**FROM:** Bill Sanders / Utilities  
**DATE:** April 20, 1984  
**SUBJECT:** Sieben Creek Estates No. 3  
File No. Z0433-94-SS

---

We have reviewed the above-noted application and our comments are as follows:

1. Subject to the Rules, Regulations, Policies, and Guidelines for Clackamas County Service District No. 1.
2. Sanitary sewers constructed by the developer shall be in accordance with service District No. 1 Standard Sanitary Sewer Specifications.
3. Cost of the sewer system shall be borne entirely by the developer.
4. All primary electrical service lines installed underground must have provisions for prewiring for street lighting approved by Service District No. 5.

/sh



# CLACKAMAS COUNTY

Department of Transportation & Development

THOMAS J. VANDERZANDEN  
EXECUTIVE DIRECTOR

TO: Greg Fritts  
FROM: Kay Pollack and Lori Mastrantonio-Meuser  
SUBJECT: Comments Regarding Sieben Creek Estates 3  
DATE: April 27, 1994 *20814-73-5L*

The following includes our comments regarding Sieben Creek Estates 3.

**STREET TREES:** We recommend that the type and location of street trees be submitted and reviewed and approved by staff prior to approval of the final plat. This would avoid adding an unnecessary step and layer of approval to projects within the Village.

**STREET REQUIREMENTS:** The local street serving the site is an extension of Frontier Avenue which is planned within Pioneer Estates. The extension of this street must have sidewalks along both sides and meet the requirements illustrated on either Figure X-3 or Figure X-4.

**MASTER PLAN FOR FUTURE DEVELOPMENT:** A Master Plan is required illustrating the future development of the remainder of Tax Lot 2100. It is not clear how future lots can be accessed beyond this development.

**ZONE CHANGE NEEDED:** The site is currently zoned FU-10, thus a zone change to VR-5/7 in compliance with the Village Plan Land Use Plan Map X-7 is necessary.

Z043394/SC3

NOTICE OF APPLICATION FOR  
ADMINISTRATIVE ACTION



TO: Clackamas County Fire District #1

DATE: April 5, 1994

FROM: Clackamas County Planning Division  
902 Abernethy Road  
Oregon City, Oregon 97045  
Phone No. 655-8521

FILE NUMBER & NAME: Z0433-94-SS - Sieben Creek Estates

TYPE OF APPLICATION: Subdivision to divide the property into four lots.

ZONING: VR-5/7, Village Standard Lot

CONTACT PERSON: Greg Fritts

The Planning Division would like your comments on the attached application. The application is subject to Section(s) 1600, 1603, 1000 and 1105 of the County Zoning and Development Ordinance. If you do not have a copy of the current ordinance, copies of specific sections are available at the Planning Division office. Please contact us if you need ordinance sections to review this application. Please indicate any information which would assist the county in acting on this application. Comments received by April 20, 1994 will be considered in the Planning Division on this application. If more information is needed, please call the Planning Division. **PLEASE RETURN THIS FORM ONLY.**

Recommendation: 1) Provide and maintain fire department access, grades and turnarounds, per County Fire District and U.F.C. Standards and requirements: 2) Provide approved address numbering, clearly visible from the street, which clearly identifies each residence site location: 3) Provide a fire hydrant to supply a minimum of 1,000 GPM for firefighting water supply.

---

---

Ernie Badeau

Signature

Deputy Fire Marshal \_\_\_\_\_

Position

Please return to address above  
Z0433-94-SS/3:db

NOTICE OF APPLICATION FOR  
ADMINISTRATIVE ACTION



TO: Mt. Scott Water District #3

DATE: April 5, 1994

FROM: Clackamas County Planning Division  
902 Abernethy Road  
Oregon City, Oregon 97045  
Phone No. 655-8521

FILE NUMBER & NAME: Z0433-94-SS - Sieben Creek Estates

TYPE OF APPLICATION: Subdivision to divide the property into four lots.


ZONING: VR-5/7, Village Standard Lot

CONTACT PERSON: Greg Fritts

The Planning Division would like your comments on the attached application. The application is subject to Section(s) 1600; 1603; 1000; 1105 of the County Zoning and Development Ordinance. If you do not have a copy of the current ordinance, copies of specific sections are available at the Planning Division office. Please contact us if you need ordinance sections to review this application. Please indicate any information which would assist the county in acting on this application. Comments received by April 20, 1994 will be considered in the Planning Division on this application. If more information is needed, please call the Planning Division. PLEASE RETURN THIS FORM ONLY.

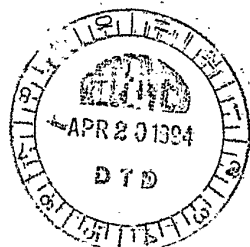
Recommendation: Mt. Scott Water District has adequate potable water supplies available in sufficient quantities to provide normal domestic and fire protection needs for this proposed subdivision, as required by the Oregon State Health Division. Extension of water mains will be necessary to provide service to the property; the extension must be in public Right-of-Way as required by District regulations.

April 18, 1994

  
\_\_\_\_\_  
Signature

\_\_\_\_\_  
Manager  
Position

Please return to address above  
Z0433-94-SS/3:db



NOTICE OF APPLICATION RECEIVED BY  
CLACKAMAS COUNTY PLANNING DIVISION

902 Abernethy Road, Oregon City, OR 97045  
Phone No.: 655-8521

This notice of application is being sent to you, as an adjacent or nearby property owner, for your information and possible comment prior to decision. A decision on this application will be made by County staff based on adopted County criteria. Copies of the decision on this application will also be mailed, and an opportunity given to appeal the decision to the County Hearings Officer.

TO: Property owners within 300 feet

DATE: April 7, 1994

Subject: Subdivision

File No.: Z0433-94-SS

Applicant: Great American Development, Inc.; 12999 South Haven Road; Oregon City, OR 97045

Owner of Property: Donald and Cheryl Miller

Proposal: Subdivision to divide the property into four lots.

Ordinance Criteria: Sections 1600; 1603; 1000; 1105

Location: West side of S.E. 152nd Drive, approximately 1/2 mile south of Sunnyside Road; Rock Creek area

Site Address: Not available

Legal Description: T 2 S, R 2 E, Section 1C, Tax Lot(s) 2100, W.M.

Total Area Involved: Approximately .60 acre

Zoning: VR-5/7; Village Standard Lot

Citizens Planning Organization For Area: Rock Creek; c/o Chris Utterback; PO Box 1112; Clackamas, OR 97015; 658-5338

This organization has been notified of this application. You are welcome to attend this organization's meeting.

Planning Division Staff Contact: Greg Fritts

ALL INTERESTED CITIZENS ARE INVITED TO RESPOND BY April 22, 1994  
WRITTEN COMMENTS ARE ENCOURAGED.

The ordinance criteria for evaluating this application and all documents and evidence submitted regarding this application are available for inspection and copies may be purchased at the Planning Division office during weekday office hours, 8:00 a.m. to 5 p.m.

Z0433-94-SS:db

NOTICE OF APPLICATION RECEIVED BY  
CLACKAMAS COUNTY PLANNING DIVISION

902 Abernethy Road, Oregon City, OR 97045  
Phone No.: 655-8521

This notice of application is being sent to you, as an adjacent or nearby property owner, for your information and possible comment prior to decision. A decision on this application will be made by County staff based on adopted County criteria. Copies of the decision on this application will also be mailed, and an opportunity given to appeal the decision to the County Hearings Officer.

TO: Property owners within 300 feet

DATE: April 5, 1994

Subject: Subdivision

File No.: Z0433-94-SS

Applicant: Great American Development, Inc.; 12999 South Haven Road; Oregon City, OR 97045

Owner of Property: Donald and Cheryl Miller

Proposal: Subdivision to divide the property into four lots.

Ordinance Criteria: Sections 1600; 1603; 1000; 1105

Location: West side of S.E. 152nd Drive, approximately 1/2 mile south of Sunnyside Road; Rock Creek area

Site Address: Not available

Legal Description: T 2 S, R 2 E, Section 1C, Tax Lot(s) 2100, W.M.

Total Area Involved: Approximately .60 acre

Zoning: VR-5/7; Village Standard Lot

Citizens Planning Organization For Area: Rock Creek; c/o Chris Utterback; PO Box 1112; Clackamas, OR 97015; 658-5338

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Planning Division Staff Contact: Greg Fritts

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The ordinance criteria for evaluating this application and all documents and evidence submitted regarding this application are available for inspection and copies may be purchased at the Planning Division office during weekday office hours, 8:00 a.m. to 5 p.m.

Z0433-94-SS:db

*need TRAIL dedication*



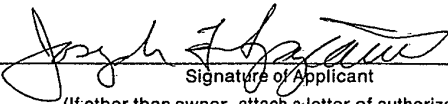
CLACKAMAS COUNTY PLANNING DIVISION  
 902 Abernethy Road  
 Oregon City, OR 97045  
 655-8521

**SUBDIVISION/SHORT  
 SUBDIVISION/MAJOR PARTITION APPLICATION**

FOR OFFICE USE:  
 File No. 203374455  
 Date Received 3/29/94  
 Present Zone VL5-7  
 Comp. Plan \_\_\_\_\_  
 Staff Member CG

NAME OF PLAT: <i>Sieben Creek Estates 3</i>		
ENGINEER/SURVEYOR'S NAME, ADDRESS, PHONE NUMBER: <i>Sisul Engineering 375 Portland Avenue Gladstone, OR 97027 (503) 657-0188</i>		
DEVELOPER'S NAME, ADDRESS, PHONE NUMBER: <i>Great American Development, Inc. 12999 South Haven Road Oregon City, OR 97045 (503) 655-6494</i>		
OWNER'S NAME, ADDRESS, PHONE NUMBER: <i>Same as above</i>		
LEGAL DESCRIPTION:		
SECTION: <i>1C</i>	T: <i>2S</i>	R: <i>2E</i> TAX LOT: <i>portion of 2100</i>
FEE: \$375.00 plus \$31.00 per lot <i>\$499.00</i>	GROSS ACRES: <i>0.60</i>	NUMBER OF LOTS: <i>4</i>

I hereby certify that the accompanying plat has been inspected by me and conforms to all applicable rules and regulations of the Subdivision and Partitioning Ordinance for Clackamas County to the best of my knowledge.

  
 \_\_\_\_\_  
 Signature of Applicant  
 (If other than owner, attach a letter of authorization.)

CCP-PL4 (Rev 2/92)

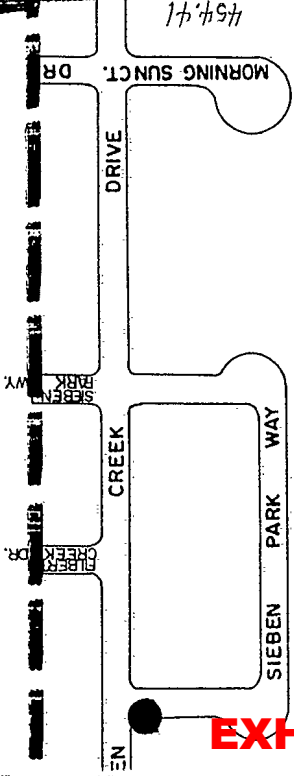
All applications shall include 20 copies of the preliminary plan drawn to a scale of not less than one inch equals 50 feet nor more than one inch equals 200 feet. The following information shall be provided on the plan or by separate cover.

- 1. The name, address and phone number of the property owner, applicant, and engineer or surveyor.
- 2. Source of domestic water.
- 3. Method of sewage disposal.
- 4. Existing zoning.
- 5. Proposed utilities.
- 6. Calculations justifying the proposed density, as per Section 1012.
- 7. Name of the major partition or subdivision.
- 8. Date the drawing was made.
- 9. Legal description, including Tax Lot, Section, Range, and Township.
- 10. North arrow.
- 11. Vicinity sketch showing location of the subdivision.
- 12. Identification of each lot or parcel and block by number.
- 13. Gross acreage of property being subdivided or partitioned.
- 14. Dimensions and acreage of each lot or parcel.
- 15. Streets abutting the plat, and their name, direction of drainage and approximate grade.
- 16. Streets proposed and their name, approximate grade, and radius of curves.
- 17. Legal access to subdivision or partition, other than public or County road.
- 18. Contour lines at two-foot interval of 10% slope or less, five-foot interval if exceeding 10% slope within the urban growth boundary, contour lines at ten-foot intervals in Rural and Natural Resource areas, and source of contour information.
- 19. Drainage channels, including their width, depth, and direction of flow.
- 20. Existing and proposed easement locations.
- 21. Location of all existing structures, driveways, and pedestrian walkways.
- 22. All area to be offered for public dedication.
- 23. Contiguous property under the same ownership.
- 24. Boundaries of restricted areas, as defined in Section 1012.03.
- 25. Significant vegetative areas, such as major wooded areas or specimen trees.

Any application involving property designated Open Space by the Clackamas County Comprehensive Plan shall also satisfy the submittal requirements stated in Section 1102.06.

SEE

MAP



1000  
4.92 AC.  
14001

1100  
2.97 AC.

1500  
5.96 AC.

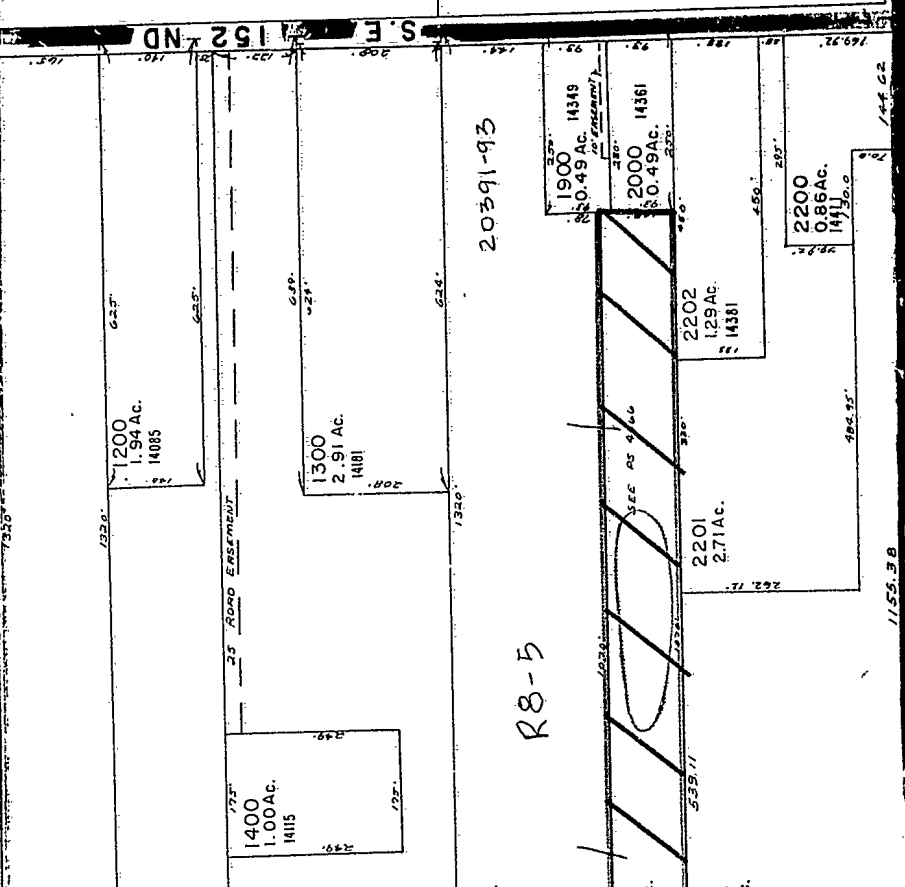
1400  
1.00 AC.  
MHS

1300  
2.91 AC.  
14181

1800  
6.18 AC.

2100  
2.65 AC.

2203  
5.11 AC.



1200  
1.94 AC.  
14085

1900  
0.49 AC.  
14349

2000  
0.49 AC.  
14361

2202  
1.29 AC.  
14381

2200  
0.86 AC.  
14411

2E ICC

12-60

SEE

MAP

2E 12B

DEC 10

2E  
BOOK 15

EXHIBIT A PAGE 31 OF 71

SEE MAP

12-159

1450

S.E. 152 ND

# SISUL ENGINEERING

*A Division of Sisul Enterprises, Inc.*

375 PORTLAND AVENUE, GLADSTONE, OREGON 97027  
(503) 657-0188  
FAX (503) 657-5779

March 24, 1994

Clackamas County Planning  
902. Abernethy Road  
Oregon City, OR 97045

ATTN: Planning Staff

RE: Sieben Creek Estates 3; J.O. 94-24

Dear Planning Staff:

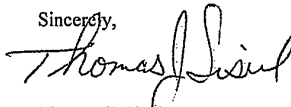
Enclosed are the application and preliminary plat maps for the proposed Sieben Creek Estates 3 subdivision. The site of this proposed subdivision is directly south of the proposed Pioneer Estates, and directly east of the southeasterly corner of the original Sieben Creek Estates. The proposed subdivision is a 4 lot subdivision which would have access from the southerly extension of the proposed Frontier Drive, a street that is under construction as part of the Frontier Estates and Pioneer Estates subdivisions.

The proposed subdivision is within the East Sunnyside Village large lot (VR-5/7) zoning. All the lots meet the zoning requirements of being at least 5,000 square feet and no greater than 7,000 square feet.

Due to the proposed street stub, as was approved for the Pioneer Estates subdivision, the lots within the proposed Sieben Creek Estates 3 subdivision will be oriented with the long axis in the east-west direction. Under the Solar Access section of the ordinance, an adjustment is allowed for reduction in the percentage of lots required to meet the solar access requirements. Due to the existing approved street configuration for the street stub in Pioneer Estates, we request that the solar access requirement be reduced to 0% of lots required to meet Solar Access approval.

If staff has any questions or concerns regarding this application, please give me a call.

Sincerely,



Thomas J. Sisul, P.E.

enc.  
TJS:pls

**SISUL ENGINEERING**  
 375 Portland Avenue  
 GLADSTONE, OR 97027-2450

**LETTER OF TRANSMITTAL**

(503) 657-0188  
 FAX (503) 657-5779

DATE	3-24-94	JOB NO.	94-24
ATTENTION:	Planning Staff		
RE:	Sieben Creek Estates 3		

TO Clackamas County Planning

WE ARE SENDING YOU  Attached  Under separate cover via \_\_\_\_\_ the following items:

Shop drawings     Prints     Plans     Samples     Specifications  
 Copy of letter     Change order     \_\_\_\_\_

COPIES	DATE	NO.	DESCRIPTION
1	3-23-94		check for \$499.00
1	3-23-94		short subdivision application
1	3-24-94		letter of application
20			preliminary plat blue lines

THESE ARE TRANSMITTED as checked below:

- For approval     Approved as submitted     Resubmit \_\_\_\_\_ copies for approval  
 For your use     Approved as noted     Submit \_\_\_\_\_ copies for distribution  
 As requested     Returned for corrections     Return \_\_\_\_\_ corrected prints  
 For review and comment     \_\_\_\_\_  
 FOR BIDS DUE \_\_\_\_\_ 19 \_\_\_\_\_  PRINTS RETURNED AFTER LOAN TO US

REMARKS \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

COPY TO \_\_\_\_\_

SIGNED: Reg Sisul

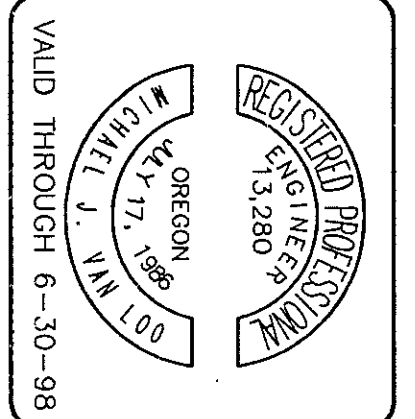
40% Pre-Consumer Content • 10% Post-Consumer Content

PRODUCT 210 Inc., Grafton, Mass. 01421

If enclosures are not as noted, kindly notify us at once.



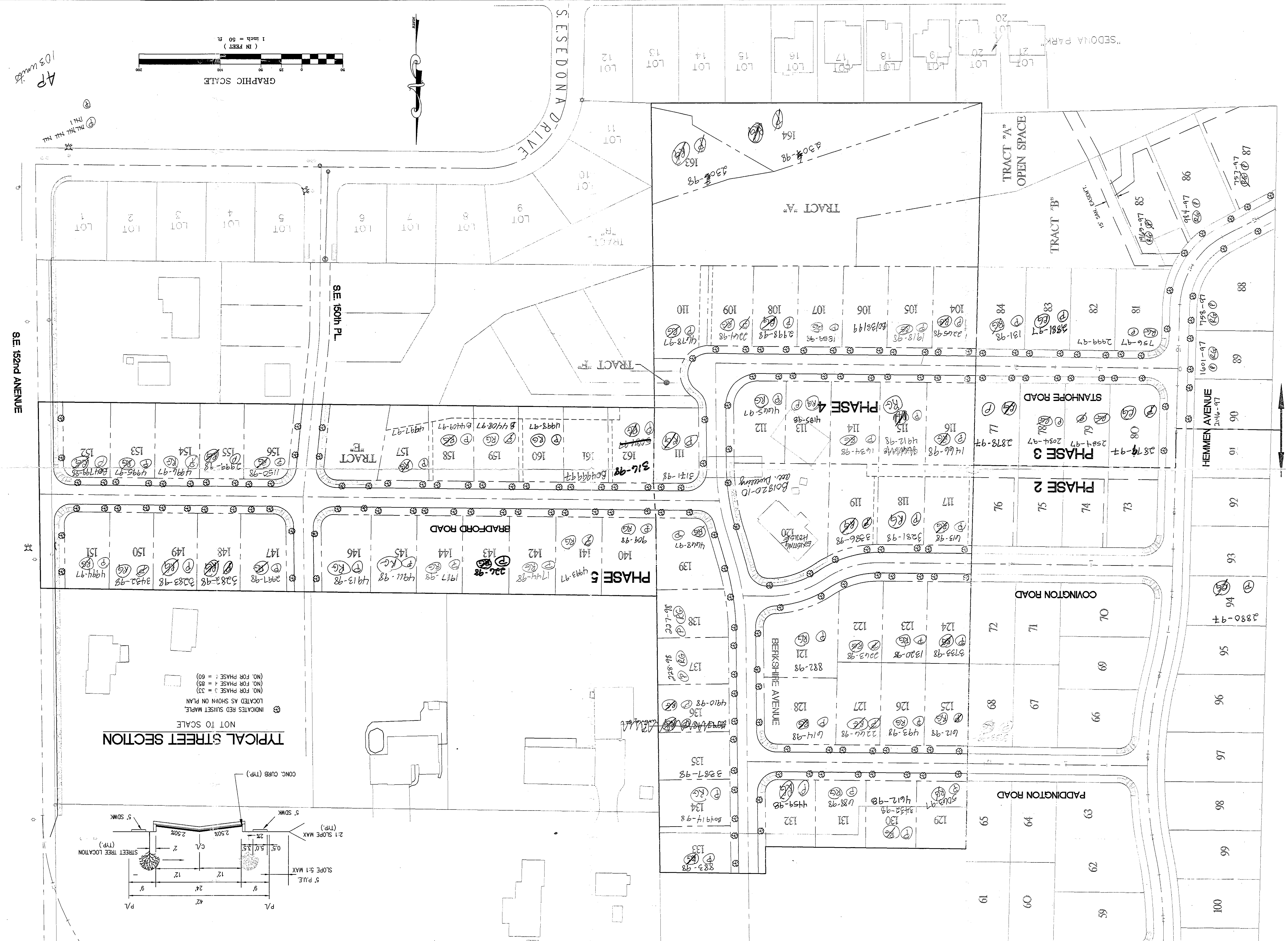
**TREE PLAN**  
 ADDINGTON PLACE III, IV & V



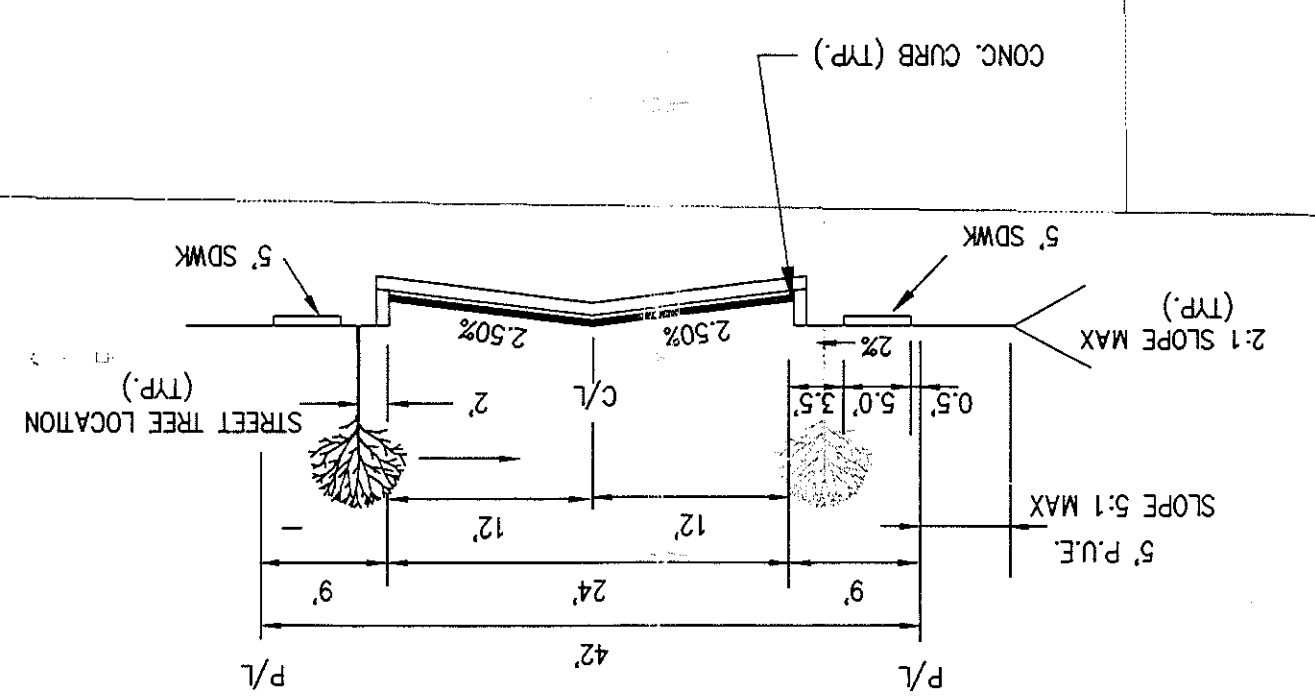
DESIGNED BY: WKH DATE: 7-97  
 DRAWN BY: WKH DATE: 7-97  
 REVIEWED BY: ML DATE:  
 PROJECT NO. 104-011 REF. 104-011  
 SCALE: HORIZ: 1"=50'-0"  
 VERT: 1"=10'-0"

NO.	DATE	REVISION	BY

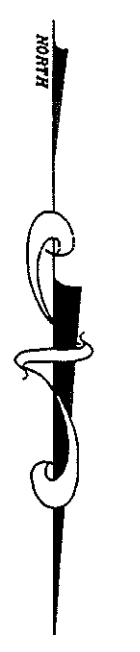
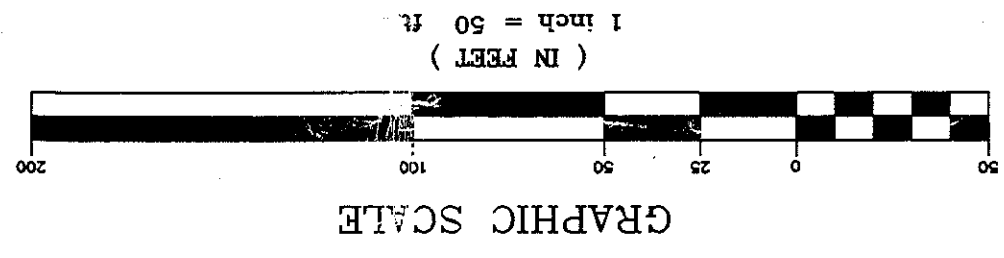
**ALPHA ENGINEERING INC.**  
 PLANNING • DEVELOPMENT SERVICES • SURVEYING  
 OFFICE: 608-462-0003 • FAX: 608-462-0004  
 1000 W. STATE ST. SUITE 200 • WISCONSIN, WI 53233



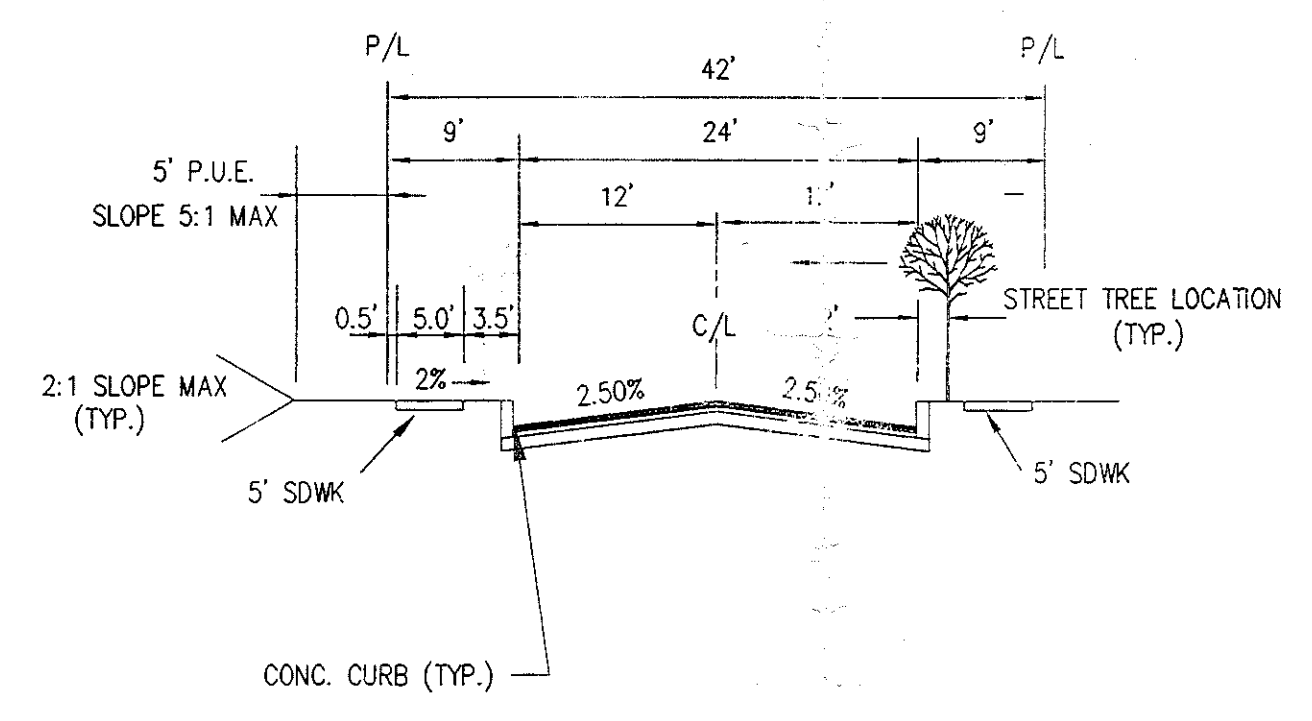
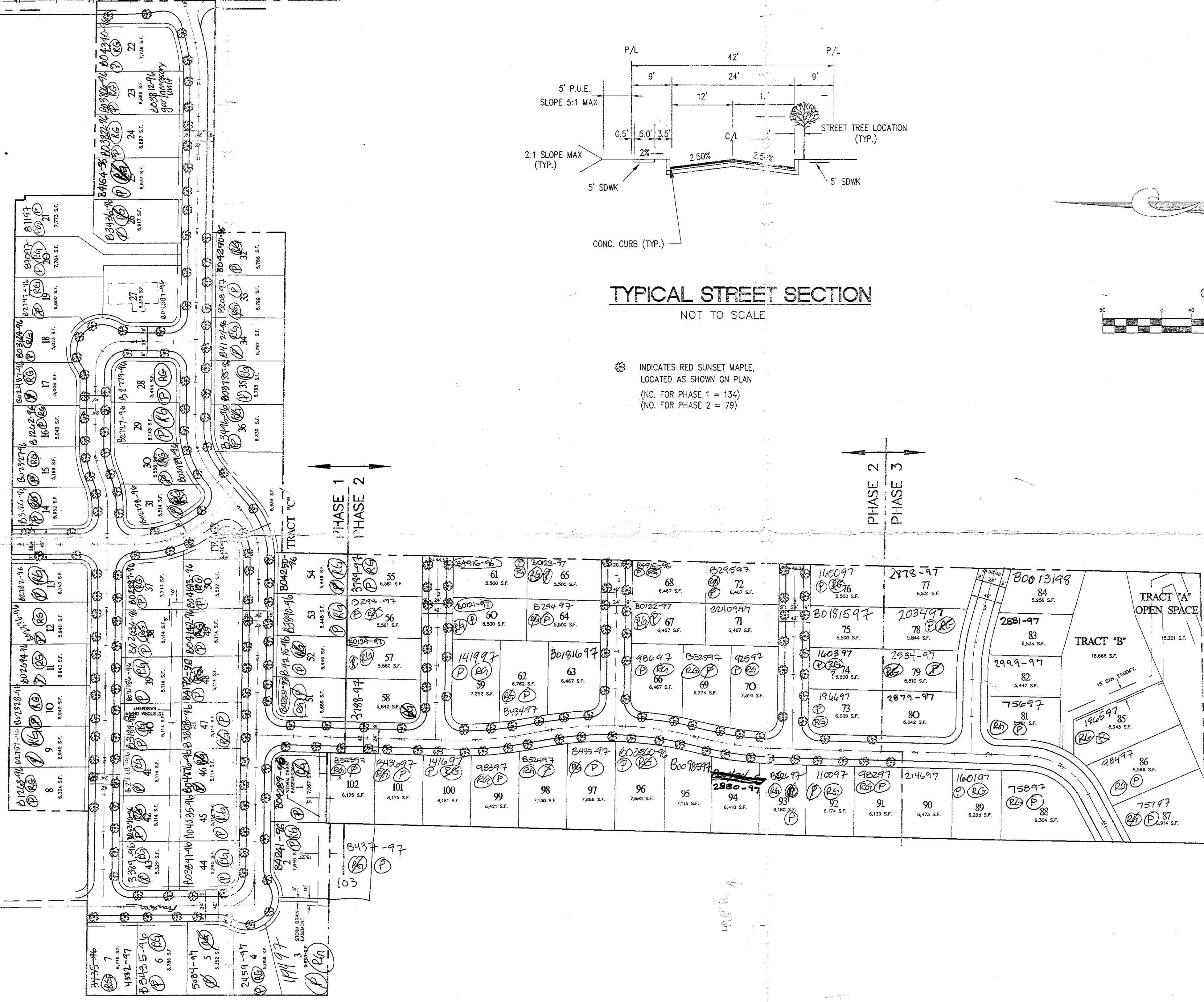
**TYPICAL STREET SECTION**  
 NOT TO SCALE



103 wtd  
 AP

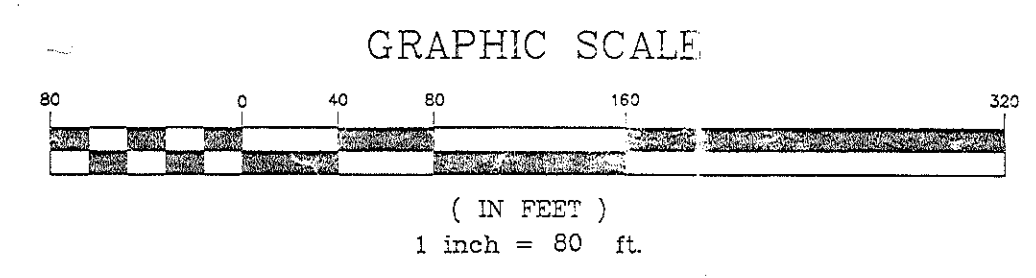
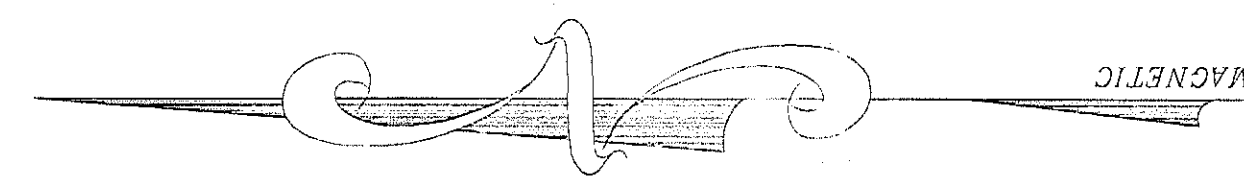






**TYPICAL STREET SECTION**  
NOT TO SCALE

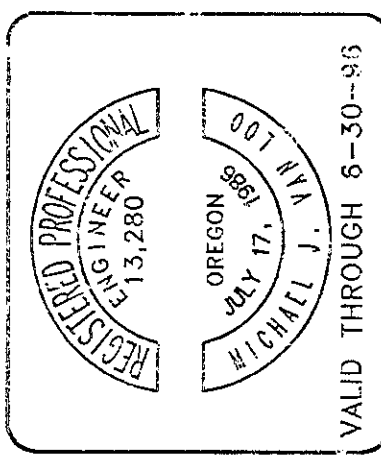
⊗ INDICATES RED SUNSET MAPLE,  
LOCATED AS SHOWN ON PLAN  
(NO. FOR PHASE 1 = 134)  
(NO. FOR PHASE 2 = 79)



Addington Place

NO.	DATE	REVISION	BY

DESIGNED BY	MD	DATE	4-4-98
DRAWN BY	JHC	DATE	4-4-98
REVIEWED BY		DATE	
PROJECT NO.	101-003	REF.	
SCALE	1/8" = 1'-0"		



**TREE PLAN**  
ADDINGTON PLACE

SHEET **1** OF **1**

PROJECT ADDINGTON PL.  
NO. 104-003  
TYPE CONSTRUCTION







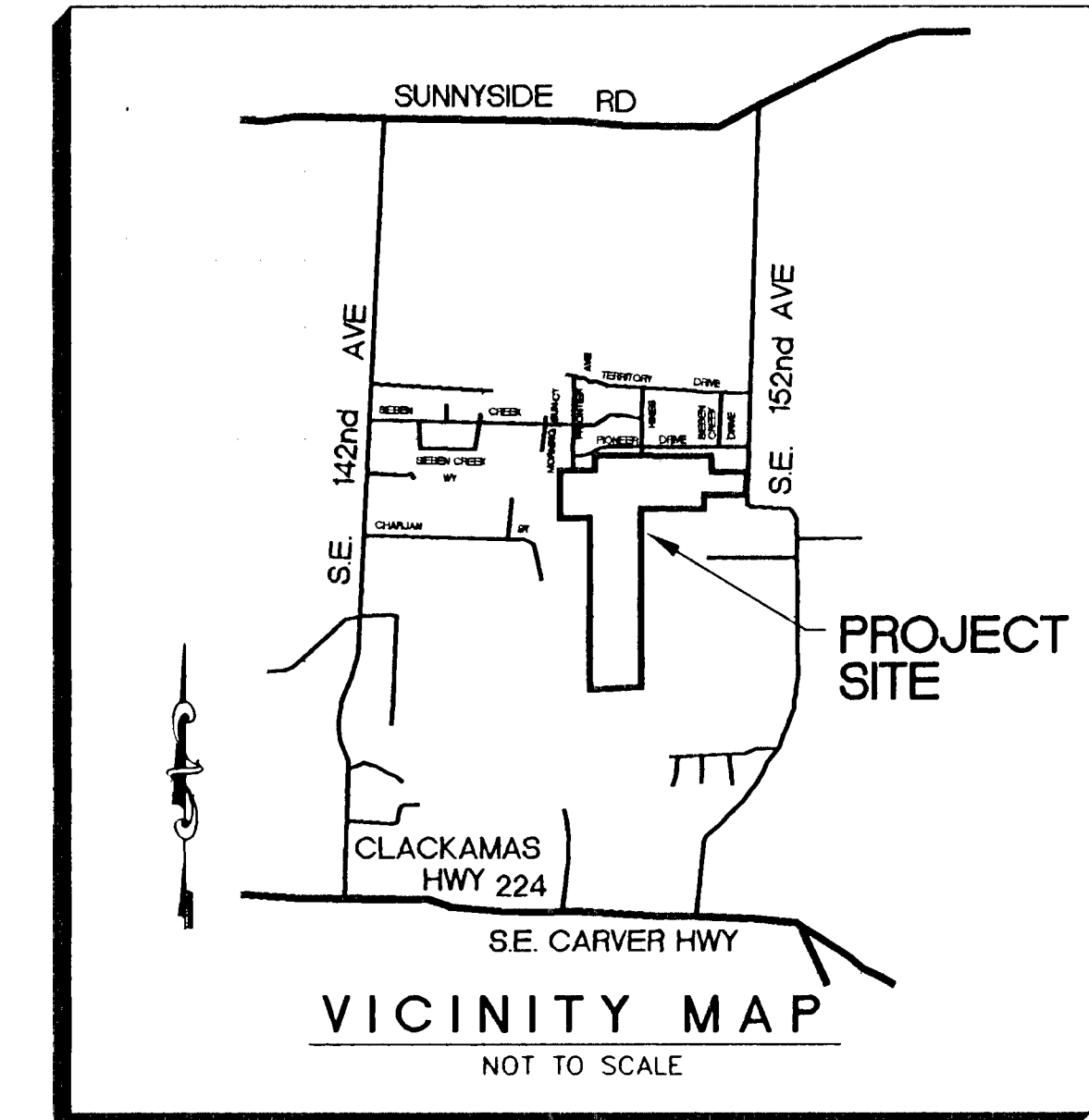
# ADDINGTON PLACE I IMPROVEMENT PLANS

CLACKAMAS COUNTY  
FILE NO. Z0738-95-Z / Z0739-95-SL

PREPARED FOR

**KEYSTONE  
ENTERPRISES**  
PO BOX 1082  
CLACKAMAS, OREGON 97015

503 / 655-6295  
FAX / 655-7263



SITUATED IN THE NORTHWEST 1/4 OF SECTION 12,  
TOWNSHIP 2 SOUTH, RANGE 2 EAST, OF THE WILLAMETTE  
MERIDIAN, CLACKAMAS COUNTY, OREGON

### UTILITY COMPANIES

- WATER - MT. SCOTT WATER DISTRICT
- SEWER - CLACKAMAS COUNTY SERVICE DISTRICT NO. 1
- GAS - NORTHWEST NATURAL GAS
- ELECTRIC - PORTLAND GENERAL ELECTRIC
- TELEPHONE - G.T.E.
- CABLE TV - PARAGON CABLE

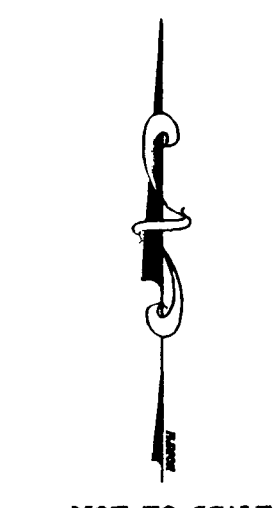
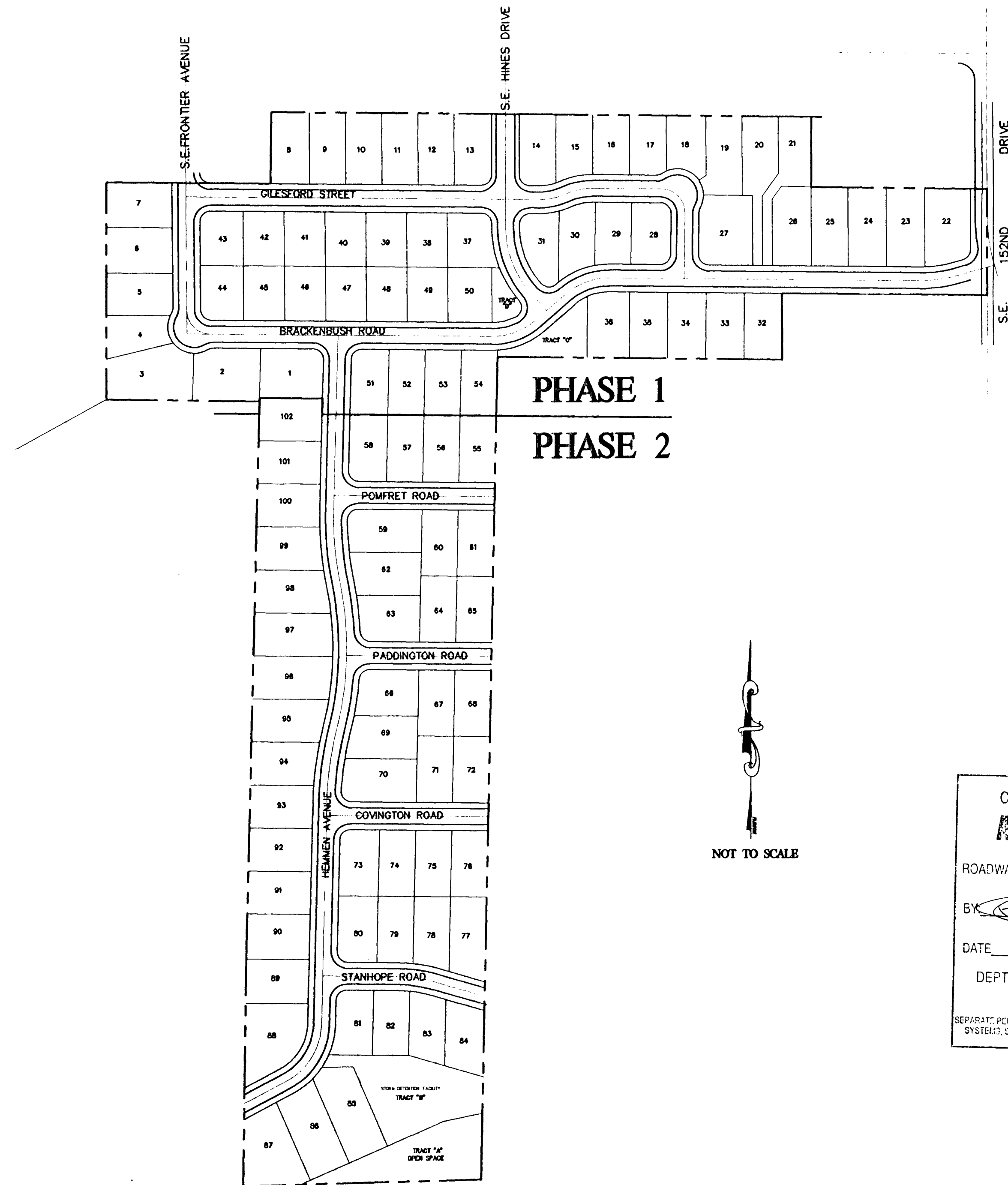
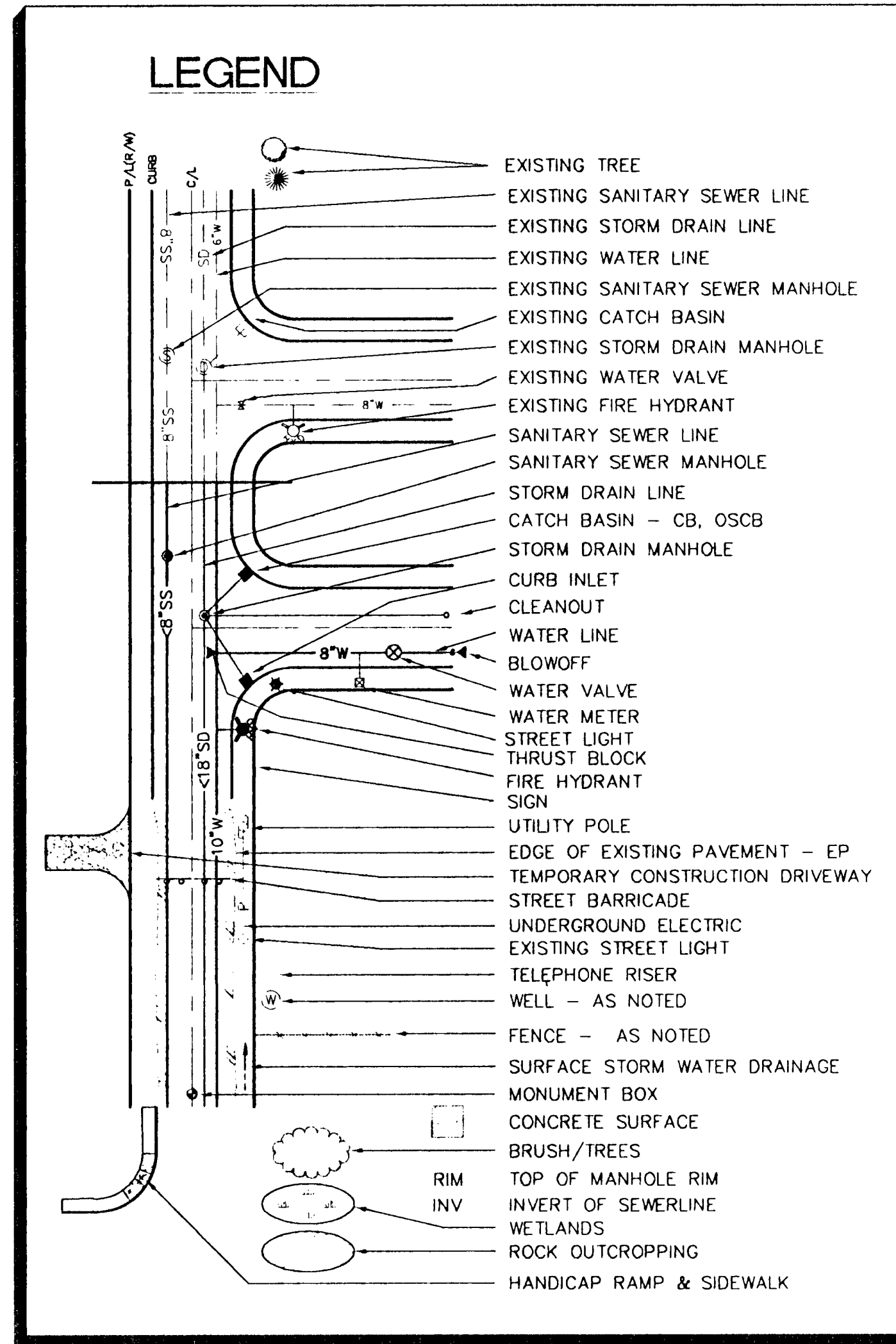
### LOCATES (48 HOURS NOTICE REQUIRED PRIOR TO EXCAVATION)

- ONE CALL SYSTEM (GENERAL TELEPHONE, NORTHWEST NATURAL GAS) - 246-6699
- PORTLAND GENERAL ELECTRIC - 246-6699
- CABLE TELEVISION - PARAGON - 667-2020

### REPAIR EMERGENCIES

- NORTHWEST NATURAL GAS - 220-2415
- GENERAL TELEPHONE - 800-628-2088
- PORTLAND GENERAL ELECTRIC - 464-7777
- PARAGON CABLE - 230-2020

THE CONTRACTOR, IN LOCATING AND PROTECTING UNDERGROUND UTILITIES, MUST COMPLY WITH THE REGULATIONS OF O.R.S. 757.541 TO 757.571.



CLACKAMAS COUNTY  
**APPROVED**  
ROADWAYS AND STORM DRAINS ONLY  
BY: *[Signature]*  
DATE: 3/20/96  
DEPT. OF TRANSPORTATION & DEVELOPMENT  
SEPARATE PERMITS ARE REQUIRED FOR GRADING, WATER SYSTEMS, SANITARY SEWER AND EROSION CONTROL.

ABBREVIATIONS		
AC	ASPHALT CONCRETE	PC
ACP	ASBESTOS CEMENT PIPE	PCC
AB	AGGREGATE BASE	PI
BCR	BEGIN CURB RETURN	P
BM	BENCH MARK	PRC
BVC	BEGIN VERTICAL CURVE	PT
CB	CATCH BASIN	PVC
CJ	CONTROL JOINT	R
CL	CLASS	RCP
CL	CENTERLINE	R/W
CMU	CORRUGATED METAL PIPE	S
CO	CONCRETE MASONRY UNIT	SD
CTV	CABLE TELEVISION	SL
DI	DUCTILE IRON PIPE	STA
DIP	ELECTRICAL	STD. DET.
E	END CURB RETURN	T
EJR	EXPANSION JOINT	TC
EL	ELEVATION	TLN
EVC	END VERTICAL CURVE	TD
EX	EXISTING	TF
FF	FINISH FLOOR	IG
FG	FINISH GRADE	TI
FH	FIRE HYDRANT	TL
FL	FLOWLINE	TP
FLG	FLANGE	TYP
G	GAS	TW
GM	GAS METER	VCP
GB	GRADE BREAK	VPI
GSP	GALVANIZED STEEL PIPE	W
HP	HIGH POINT	WM
L	CURVE LENGTH	WV
LF	LINEAL FEET	Δ
MH	MANHOLE	∠
MJ	MECHANICAL JOINT	∩
N.I.C.	NOT INCLUDED IN CONTRACT	<
OCEW	ON CENTER EACH WAY	>
		POINT OF CURVATURE
		POINT OF COMPOUND CURVATURE
		POINT OF INTERSECTION
		PROPERTY LINE
		POINT OF REVERSE CURVATURE
		POINT OF TANGENCY
		POLY-VINYL CHLORIDE
		RADIUS
		REINFORCED CONCRETE PIPE
		RIGHT-OF-WAY
		SEWER
		STORM DRAIN
		SEWER LATERAL
		STATION
		STANDARD DETAIL
		TELEPHONE
		THRUST BLOCK
		TOP OF CURB
		TOP OF CONCRETE
		TOP OF DIKE
		TOP OF FOOTING
		TOP OF GRADE
		TRAFFIC INDEX
		TRAFFIC LIGHT
		TOP OF PAVEMENT
		TYPICAL
		TOP OF WALL
		VITRIFIED CLAY PIPE
		VERTICAL POINT OF INTERSECTION
		WATER
		WATER METER
		WATER VALVE
		DELTA (CURVE CENTRAL ANGLE)
		APPROXIMATELY
		PERCENT
		LESS THAN
		GREATER THAN

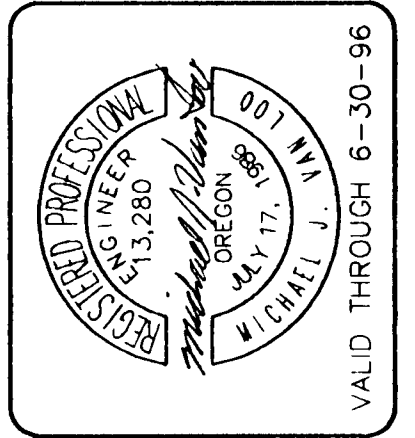
**BENCHMARK**  
TOP RIM SANITARY SEWER MANHOLE SL 105-6  
LOCATED 10 FEET NORTHWEST OF CENTERLINE  
INTERSECTIONS FOR FRONTIER AVENUE AND  
PIONEER DRIVE NORTH RIM, ELEVATION = 320.48

SHEET INDEX	
1	TITLE SHEET
2	CONSTRUCTION NOTES
3	SITE PLAN
4-5	GRADING AND EROSION CONTROL PLAN
6	STREET PLAN
7-9	STREET PROFILES
10-11	STORM DRAIN PLAN
12-13	STORM DRAIN PROFILES
14-16	SANITARY SEWER PLAN & PROFILES
17	WATER PLAN
18-19	COMPOSITE UTILITY PLAN
20	SANITARY SEWER DETAILS
21-24	CONSTRUCTION DETAILS

**ALPHA ENGINEERING INC.**  
ENGINEERING • DEVELOPMENT SERVICES • SURVEYING  
OFFICE 650-450-8000 FAX 650-450-8005  
PLAZA WEST SUITE 200-8000 SW OAK - PORTLAND, OR 97223

NO.	DATE	REVISION	BY

DESIGNED BY: WJG/LUR/DATE: 10/95  
DRAWN BY: WJG/LUR/DATE: 10/95  
REVIEWED BY: [Signature] DATE: 1/1/96  
PROJECT NO. 104-009 REF. AS NOTED  
SCALE AS NOTED  
1049711.DWG



TITLE SHEET  
ADDINGTON PLACE

SHEET 1 OF 24

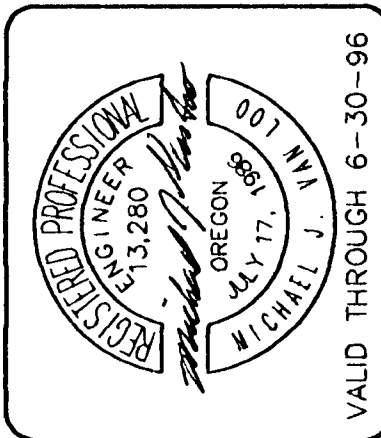
PROJECT: ADDINGTON PL  
NO. 104-009  
TYPE: CONSTRUCTION

EXHIBIT A PAGE 37 OF 71



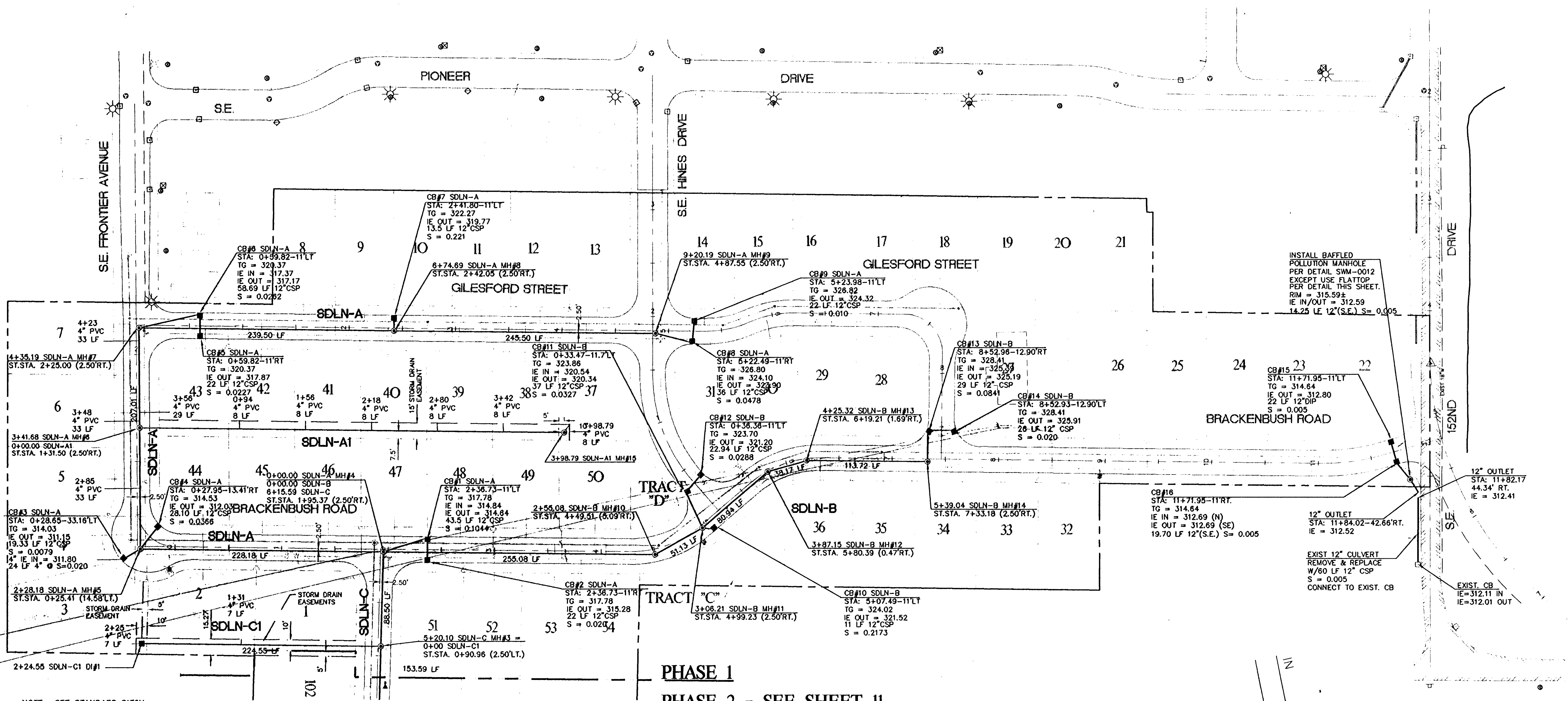
NO.	DATE	REVISION	BY
1	1-26-96	REVISED RAIN LINES LOTS 2-5 LOTS 17-18, 27	JRC

DESIGNED BY: WKS/GAR/DATE: 10/95  
 DRAWN BY: WKS/GAR/DATE: 10/95  
 REVISION BY: JRC/DATE: 3/1/96  
 PROJECT NO.: 04-009 REF.  
 SCALE: HORIZ 1"=50'  
 10/85/10/96



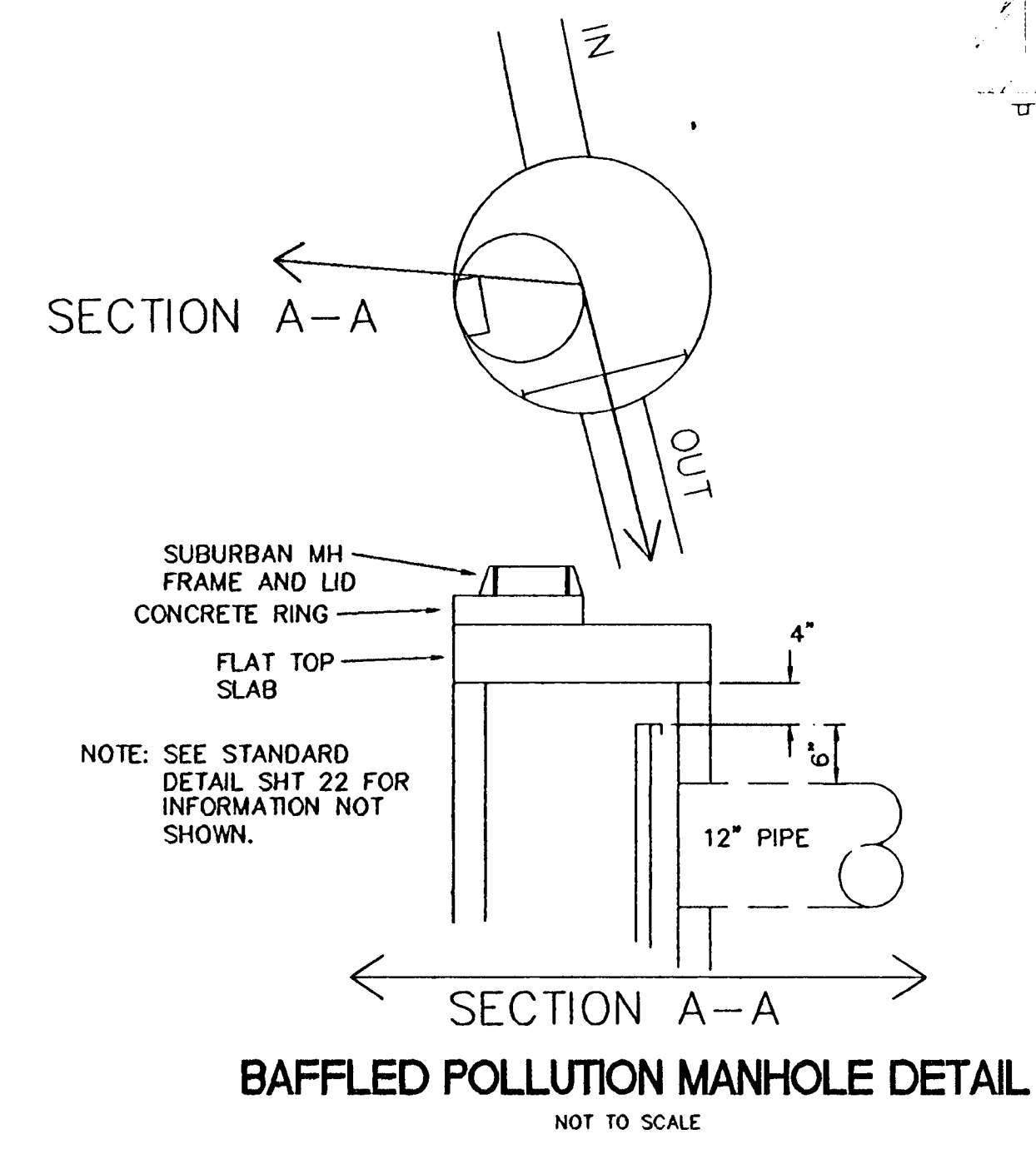
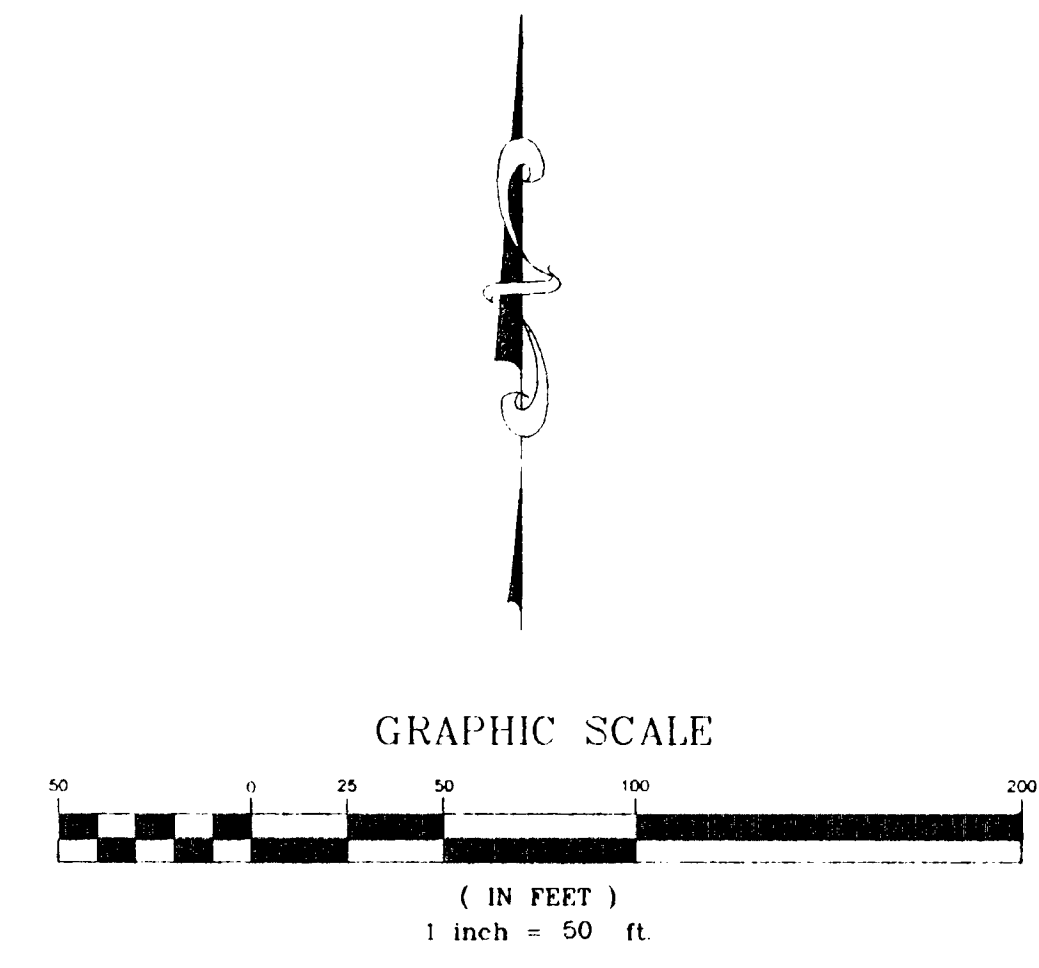
**STORM DRAIN PLAN**  
 ADDINGTON PLACE

SHEET **10** OF **24**  
 PROJECT **ADDINGTON PL.**  
 NO. **104-009**  
 TYPE **CONSTRUCTION**



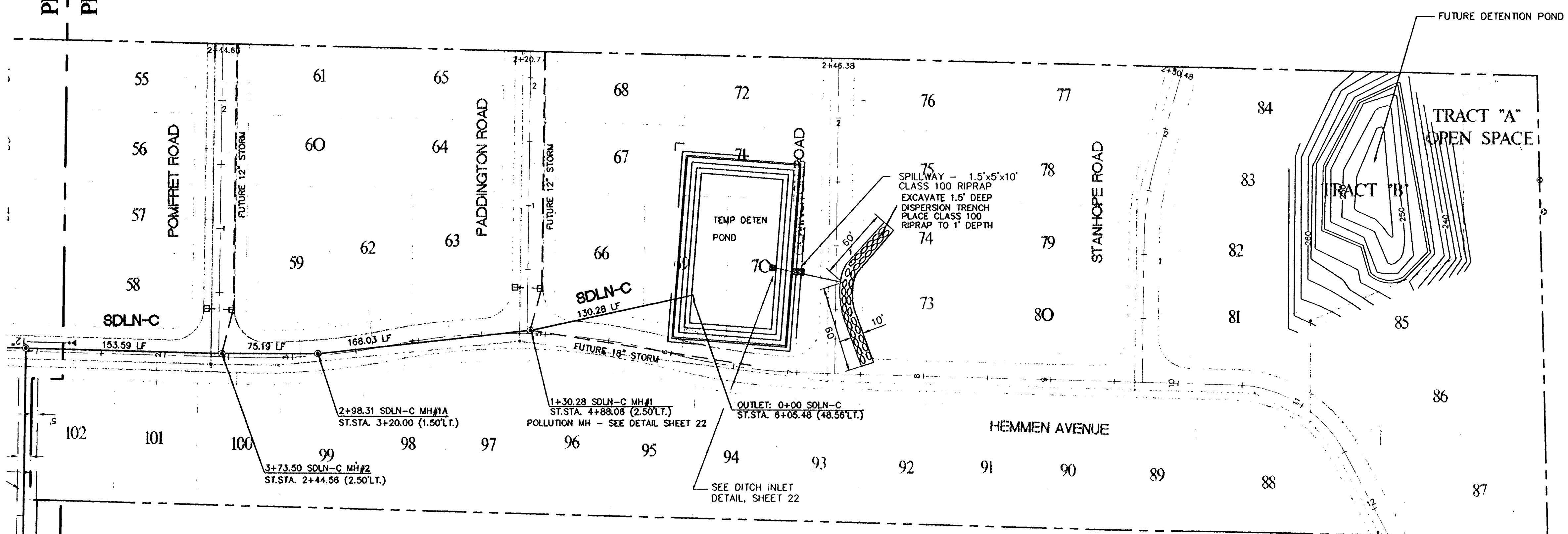
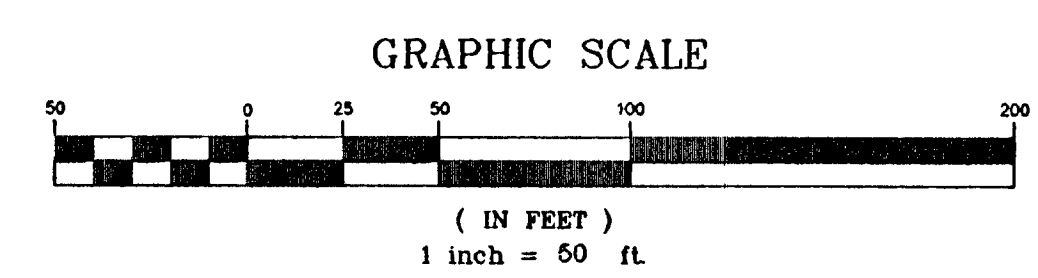
NOTE: SEE STANDARD INLET DETAIL, SHT 22. INSTALL D.I. PER DETAIL, EXCEPT WITHOUT ORIFICE PLATE AND PROVIDE LEVEL GRATE.

**PHASE 1**  
**PHASE 2 - SEE SHEET 11**





PHASE 1 - SEE SHEET 10  
PHASE 2

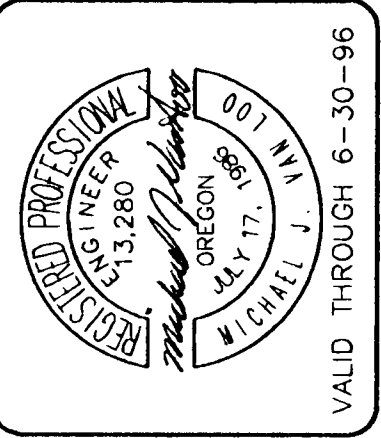


NOTE: PROVIDE 10' WIDE ACCESS ROAD ALONG STORM DRAIN PIPE BETWEEN PHASE 1-2 BOUNDARY AND POND. PROVIDE 15' TURN-AROUND AT POND.

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OFFICE 503-452-8003 • FAX 503-452-8043  
PLAZA WEST • SUITE 230 • 9600 SW OAK • PORTLAND, OR 97223

NO.	DATE	REVISION	BY

DESIGNED BY: MKG/JBC/DATE: 10/95  
DRAWN BY: MKG/JBC/DATE: 10/95  
REVIEWED BY: JKL/DATE: 1/18/96  
PROJECT NO. 104-009 REF. \_\_\_\_\_  
SCALE: HORIZ 1"=50'  
10495102.DWG



**STORM DRAIN PLAN**  
ADDINGTON PLACE

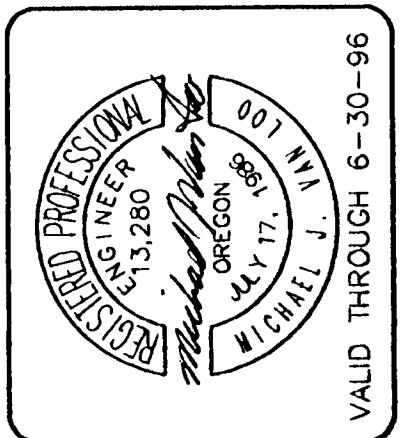
SHEET **11** OF **24**

PROJECT: ADDINGTON PL  
NO. 104-009  
TYPE: CONSTRUCTION

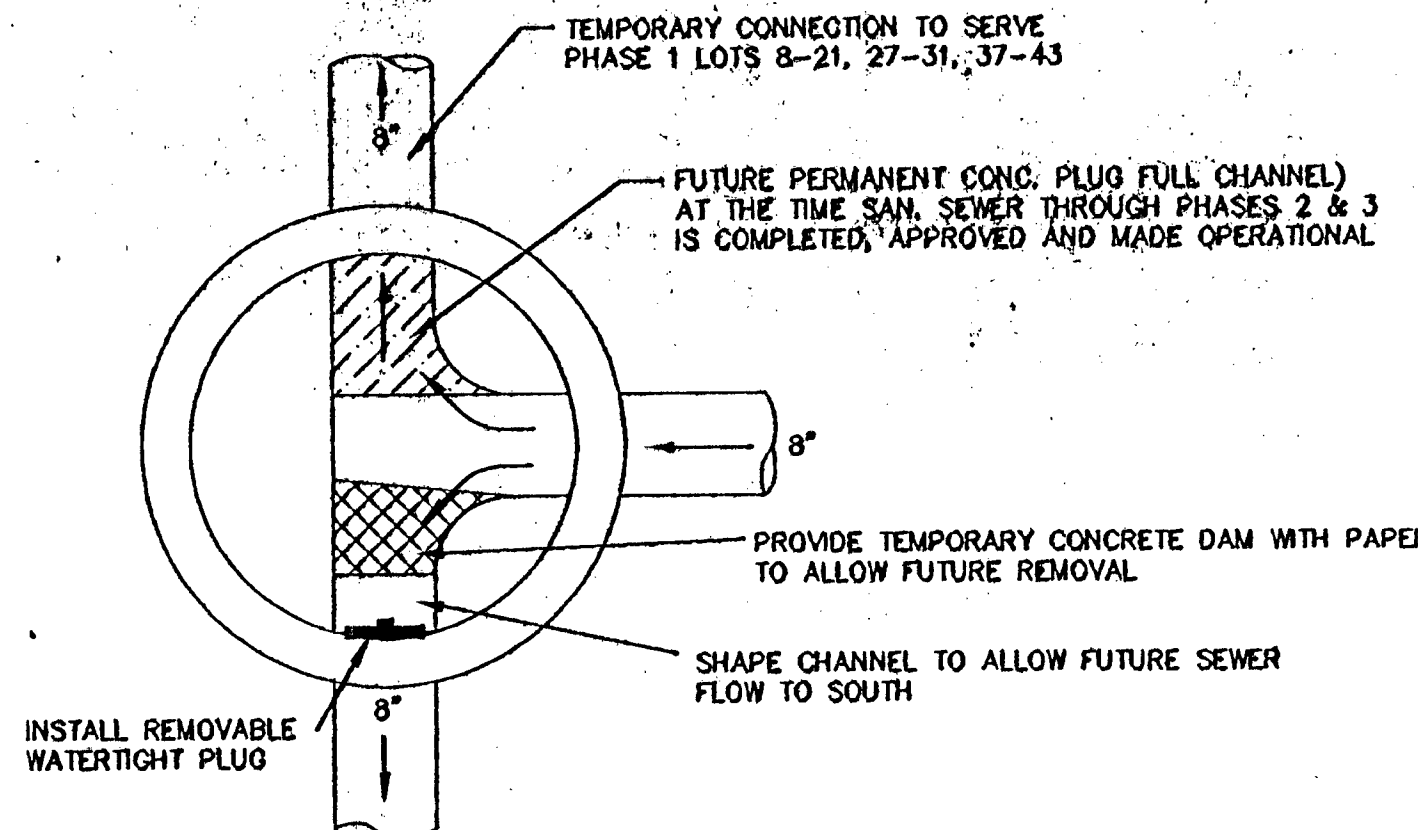


NO.	DATE	REVISION	BY
1	1/23/06	CCSDM	WHH
2	1-26-06	REVISED R/W LINES LOTS 2-5 LOTS 17-18-27	JHC

DESIGNED BY	MKS/GURDATE	10/05
DRAWN BY	MKS/GURDATE	10/05
REVIEWED BY	JPL	DATE 2/16/06
PROJECT NO.	04-009	REF.
SCALE	HORIZ 1"=50'	VERT 1"=5'
	1048594.DWG	1048594.DWG



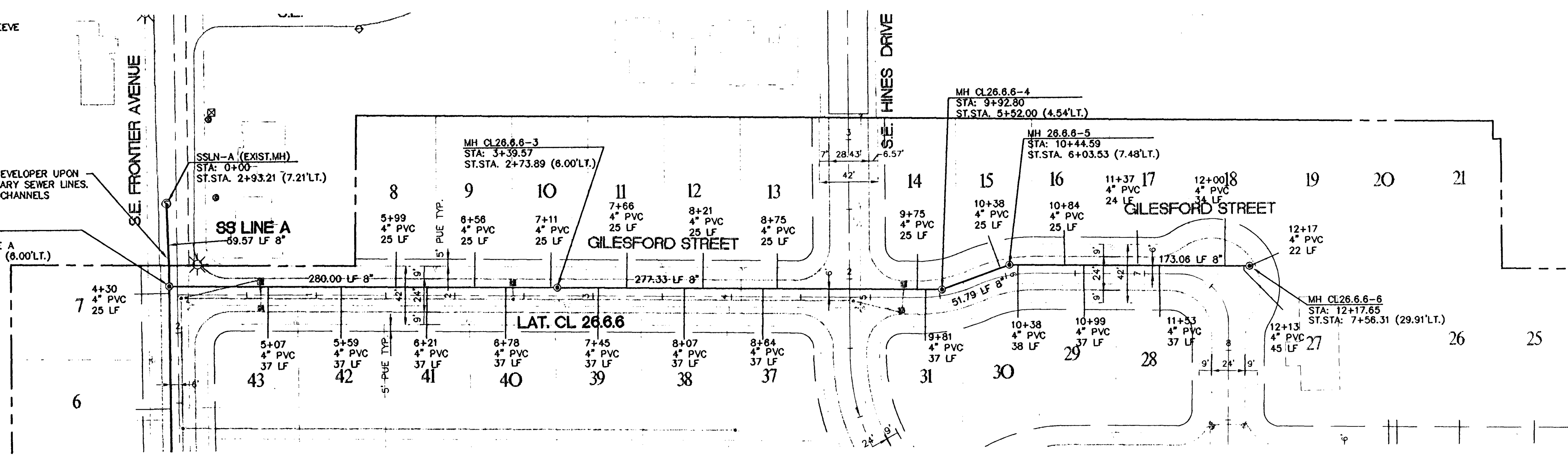
**SANITARY SEWER PLAN & PROFILE**  
 ADDINGTON PLACE



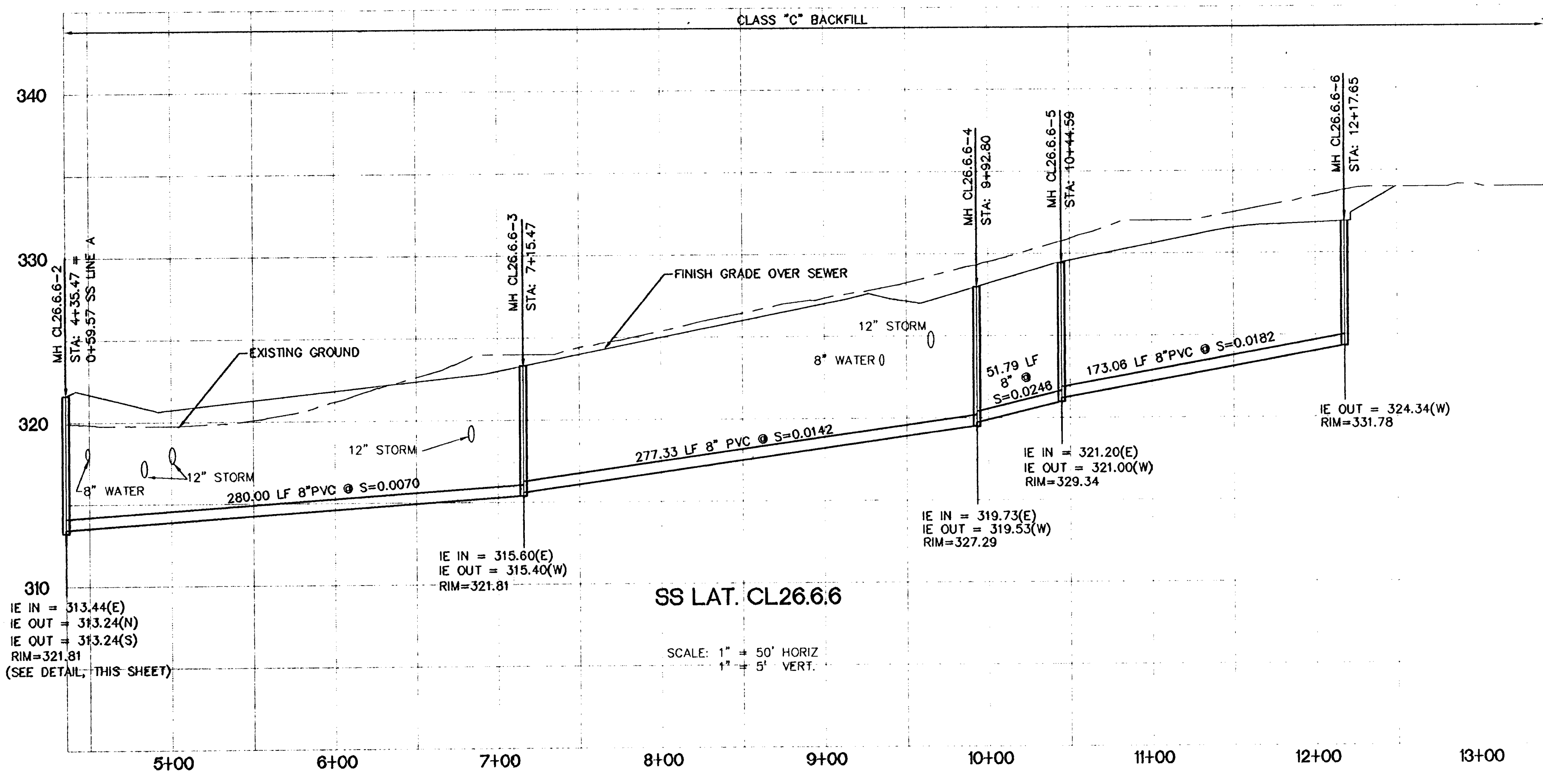
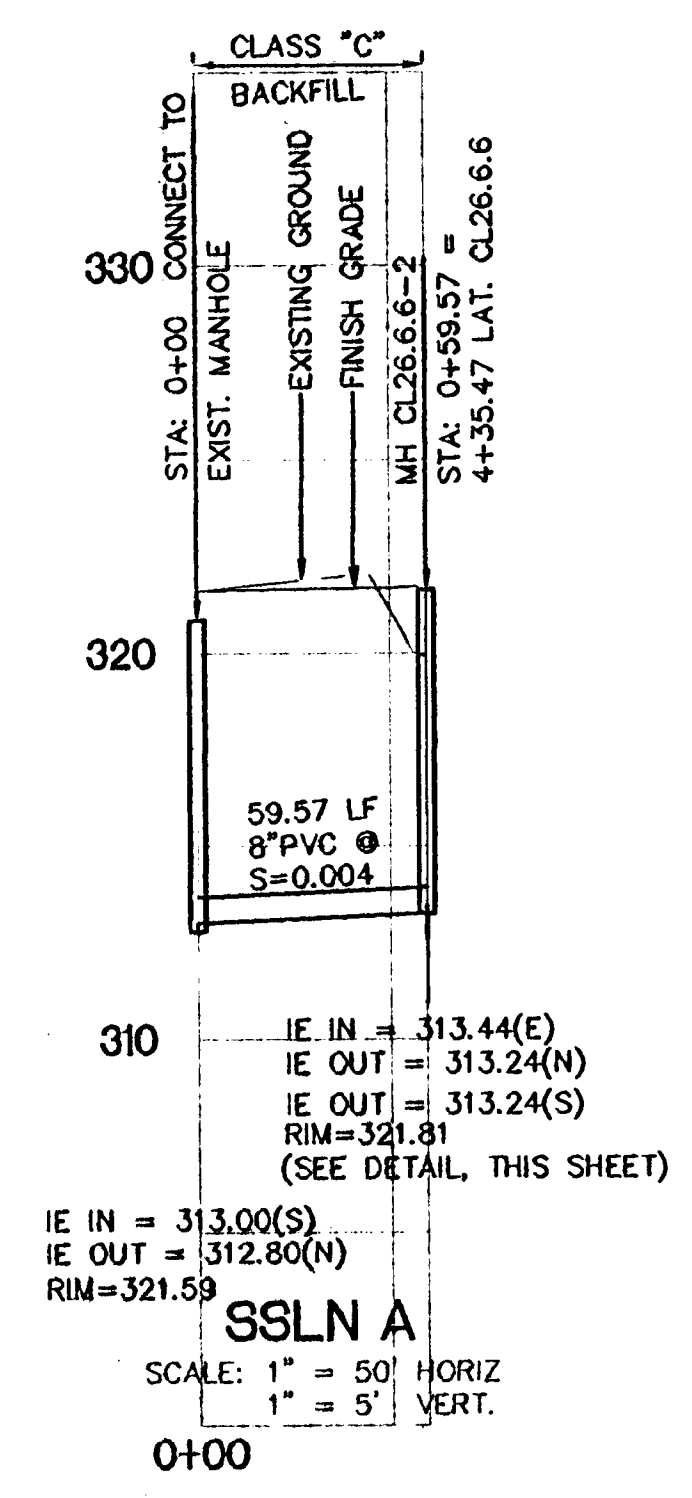
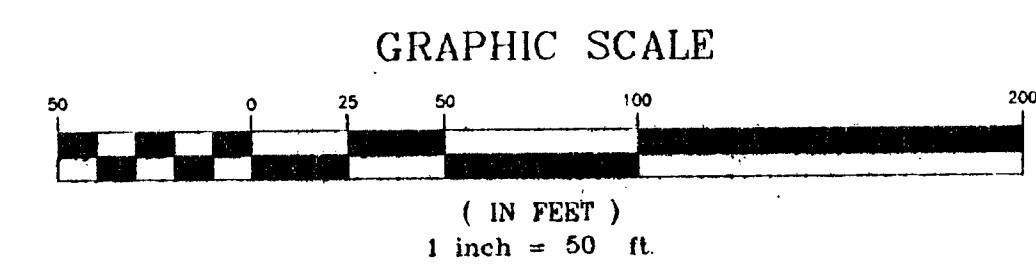
**MH CL 26.6.6-2 DETAIL**  
 N.T.S.

LINE TO BE ABANDONED BY DEVELOPER UPON APPROVAL OF PHASE II SANITARY SEWER LINES. PLUG LINE IN MANHOLE; FILL CHANNELS

MH CL26.6.6-2  
 STA: 4+35.47 =  
 0+59.57 SS LINE A  
 ST. STA. 2+33.66 (8.00'L.T.)

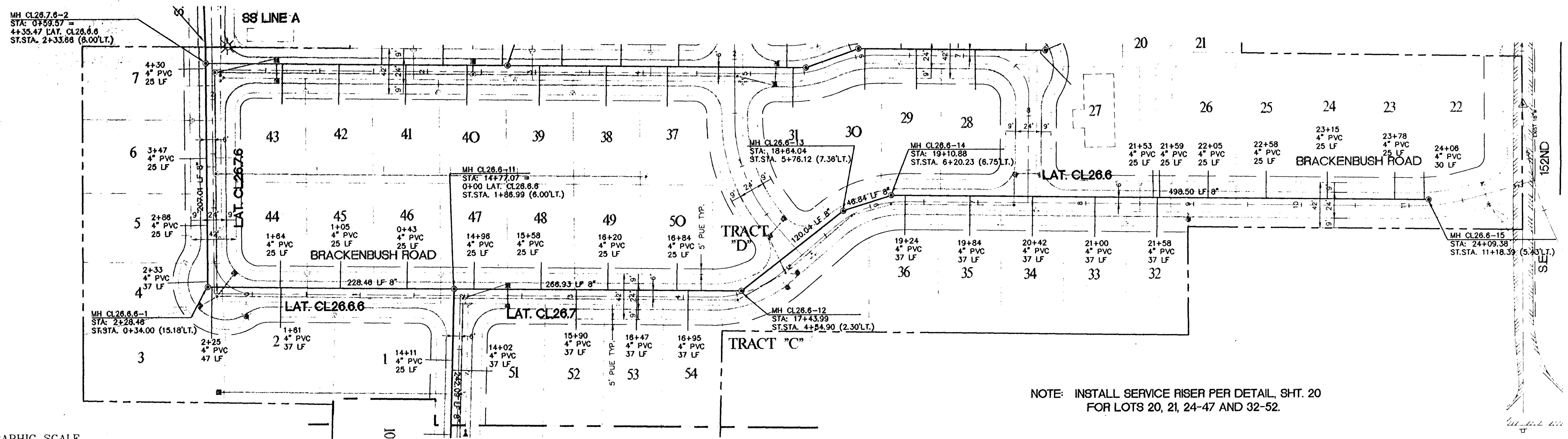


• NOTE: ROTATE ALL MANHOLE CONES POSITION LID TOWARD CURB, TYP., OR WHERE THERE ARE NO INCOMING OR OUTGOING LINES

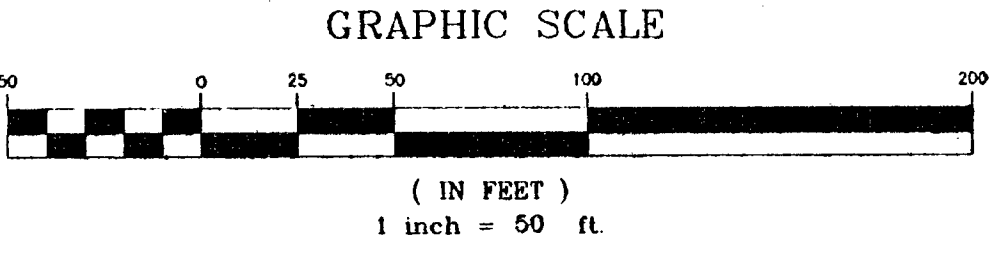


SCALE: 1" = 50' HORIZ  
 1" = 5' VERT.



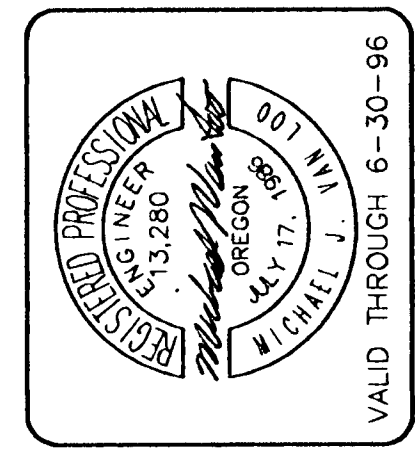


NOTE: INSTALL SERVICE RISER PER DETAIL, SHT. 20 FOR LOTS 20, 21, 24-47 AND 32-52.

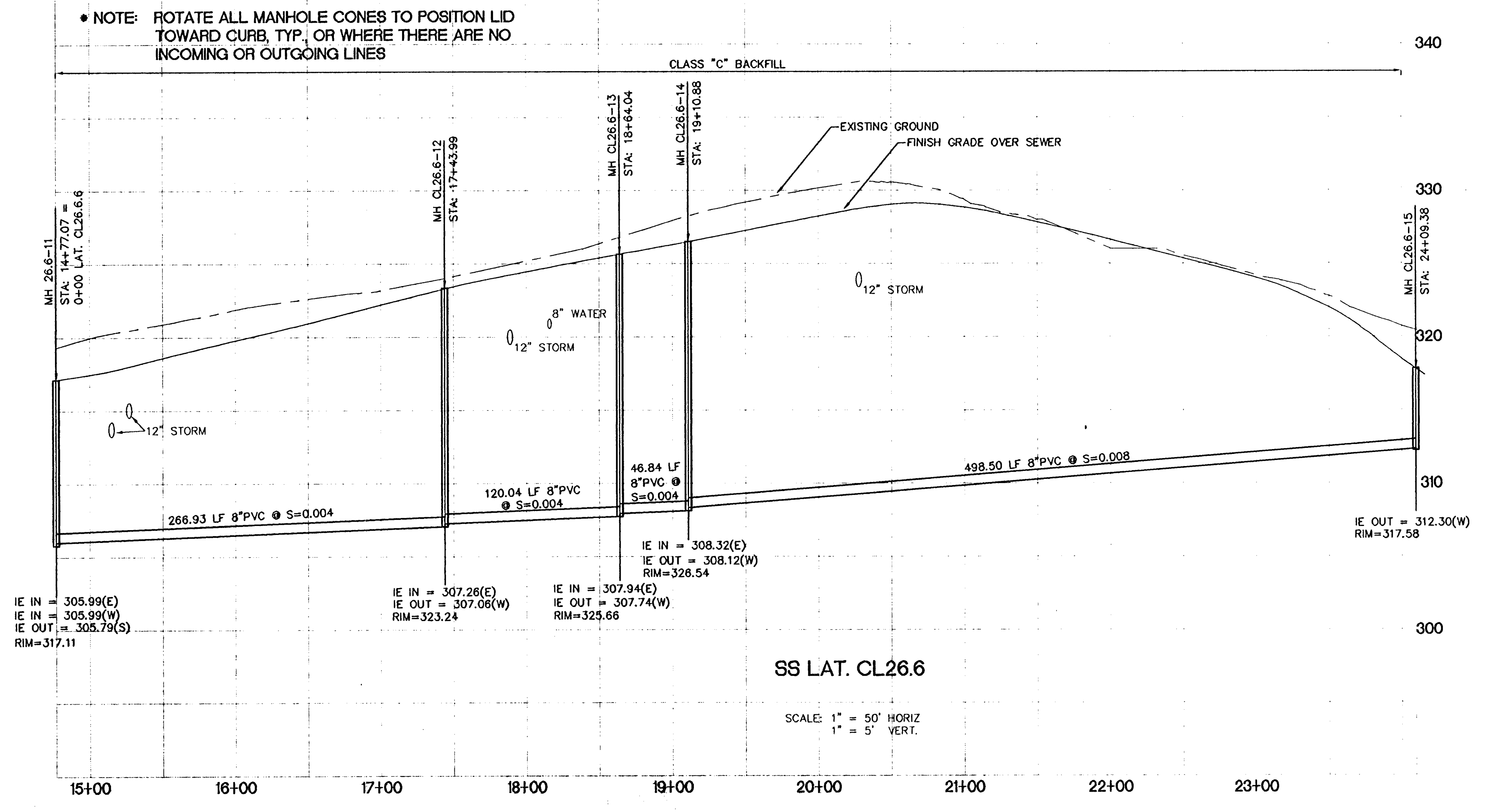
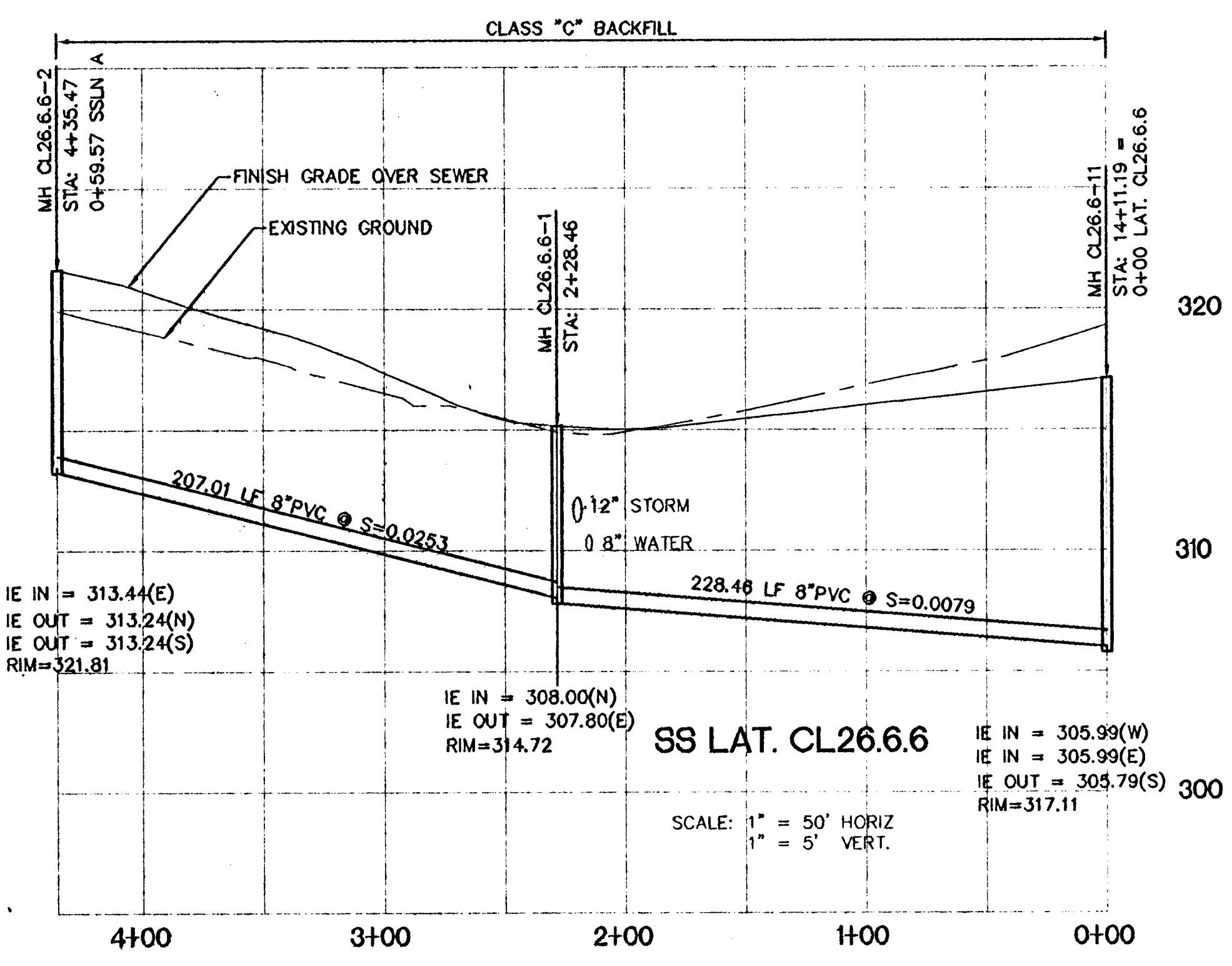


NO.	DATE	REVISION	BY
1	1/26/06	CC-SHOW	WHH
REVISION: REVISED R/W LINES LOTS 2-5			
REVISION: LOTS 17-18-27			
JPC			

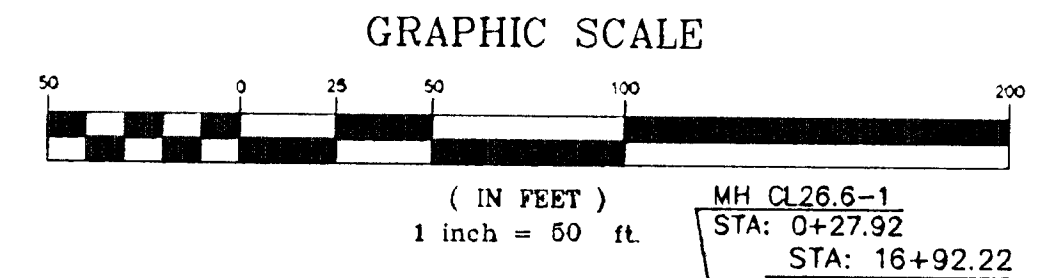
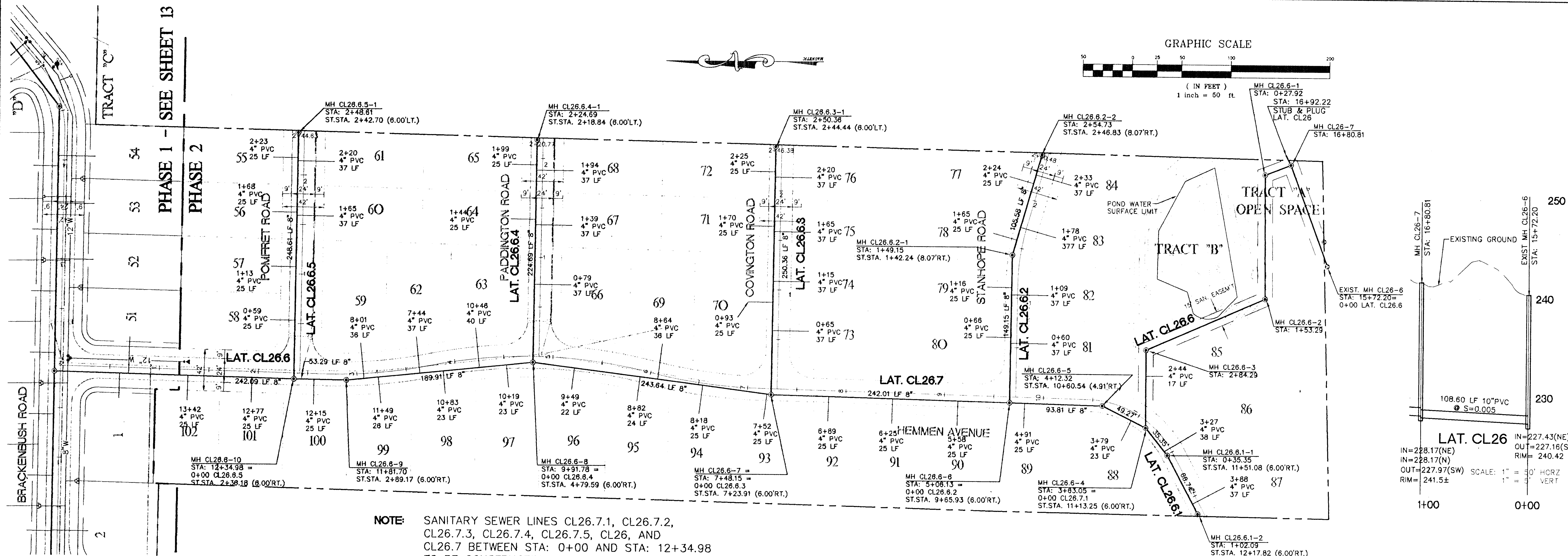
DESIGNED BY: MKG/JAR/DATE: 10/06  
 DRAWN BY: MKG/JAR/DATE: 10/06  
 REVIEWED BY: JPC/DATE: 1/26/06  
 PROJECT NO: 04-009 REF.  
 SCALE: HORIZ 1"=50'  
 VERT 1"=5'  
 10468520W



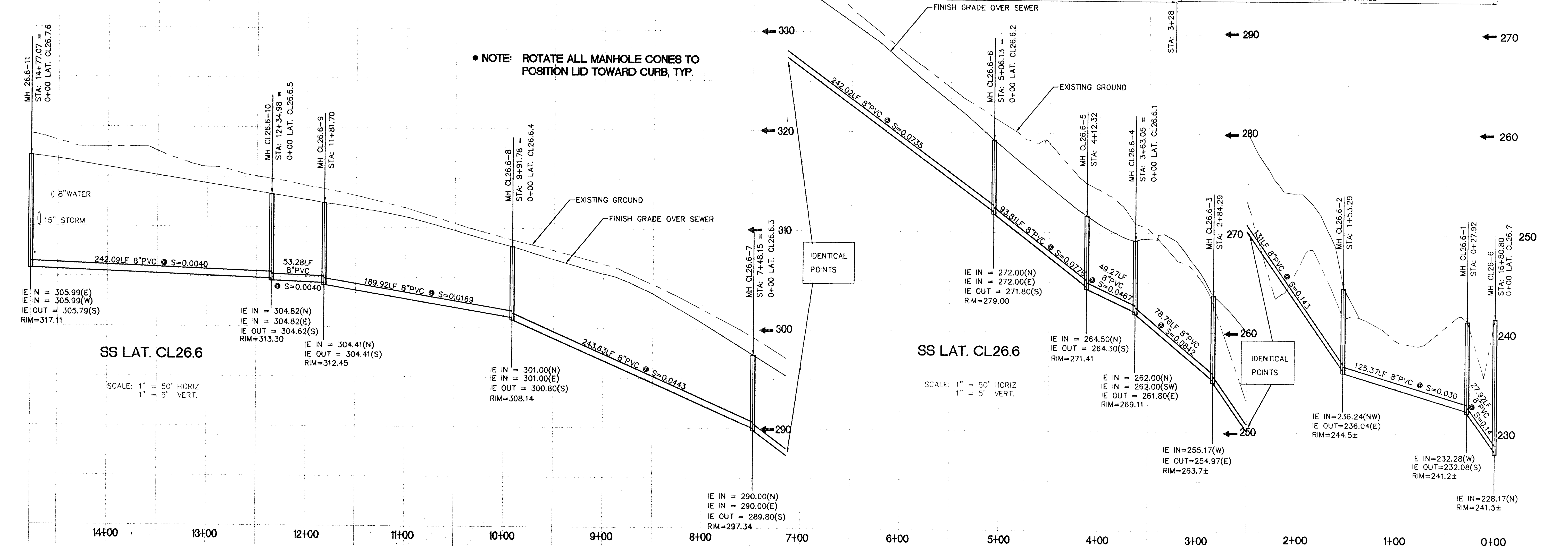
**SANITARY SEWER PLAN & PROFILE**  
 ADDINGTON PLACE







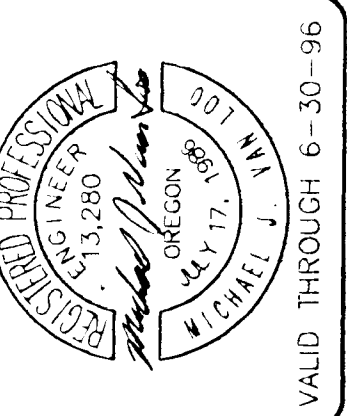
**NOTE:** SANITARY SEWER LINES CL26.7.1, CL26.7.2, CL26.7.3, CL26.7.4, CL26.7.5, CL26, AND CL26.7 BETWEEN STA: 0+00 AND STA: 12+34.98 TO BE CONSTRUCTED UNDER PHASE 2. CLASS "C" BACKFILL



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OFFICE: 450-450-8000 FAX: 450-450-8040  
PLAZA WEST • SUITE 240 • 8600 SW 31st • PORTLAND, OR 97223

NO.	DATE	REVISION	BY
1	10/96	CCSDM	WKH

DESIGNED BY: WKL/CLC/DATE: 10/96  
DRAWN BY: WKL/CLC/DATE: 10/96  
REVIEWED BY: WKL/CLC/DATE: 10/96  
PROJECT NO.: 104-009 REF.  
SCALE: HORIZ: 1" = 50'  
VERT: 1" = 5'

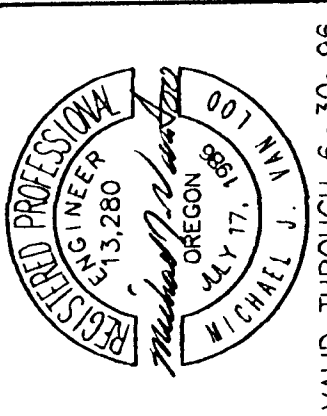


**SANITARY SEWER PLAN & PROFILES**  
ADDINGTON PLACE



NO.	DATE	REVISION	BY
1	1/26/96	REVISION PER WATER DISTRICT	WH
2	1/26/96	REVISION SERVICES LOTS 3-5.	JRC
3		REVISION FIRE HYDRANT AT LOT 2	

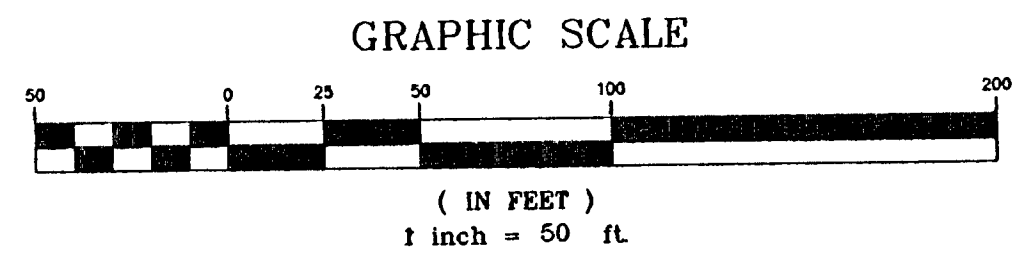
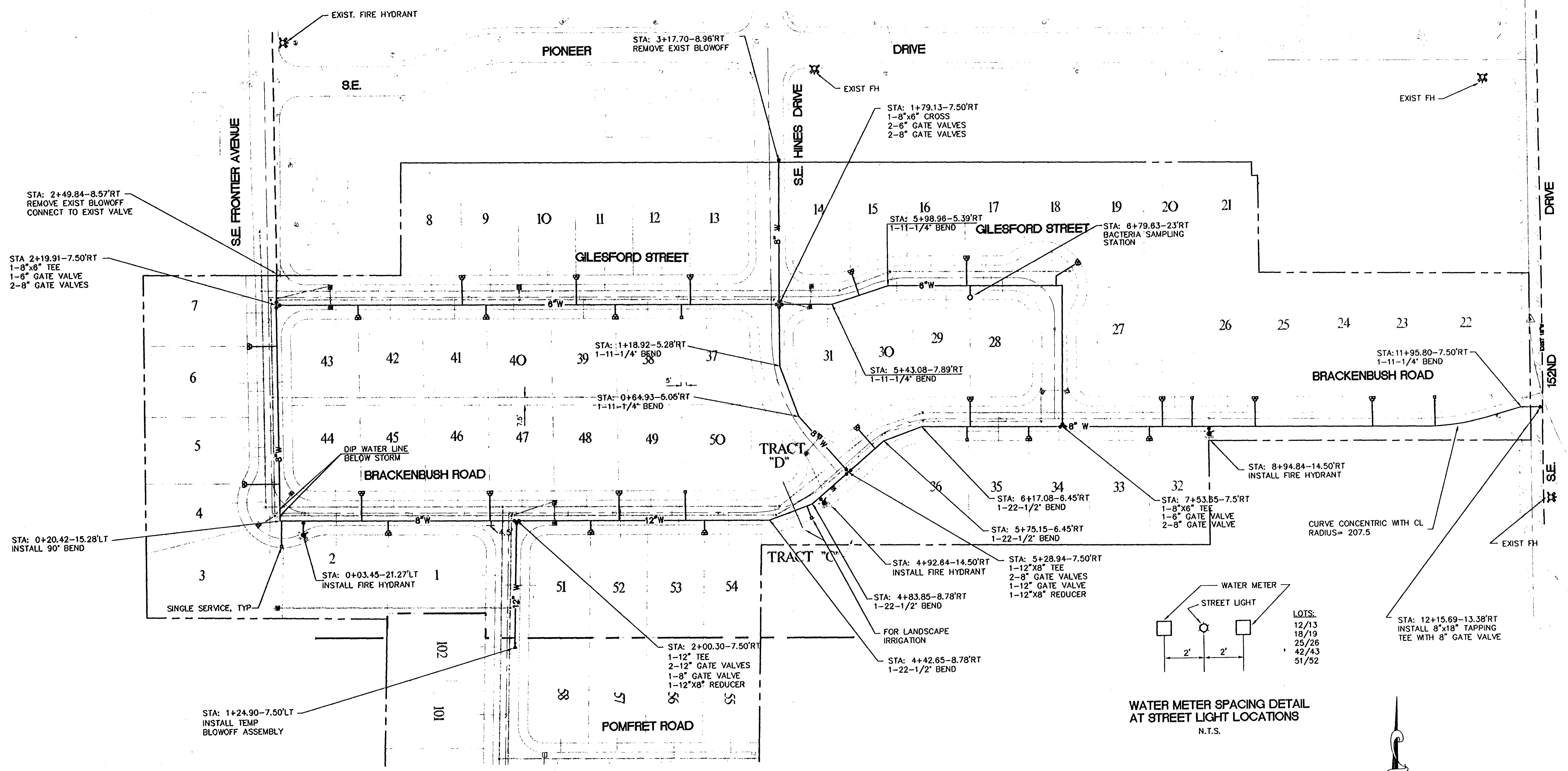
DESIGNED BY: WKS/JRC/DATE: 10/95	DATE: 3/1/96
DRAWN BY: WKS/JRC/DATE: 10/95	DATE: 3/1/96
REVIEWED BY: JRC/DATE: 3/1/96	DATE: 3/1/96
PROJECT NO. 104-009	REF. HOSE 1-50'
SCALE: 1" = 50'	



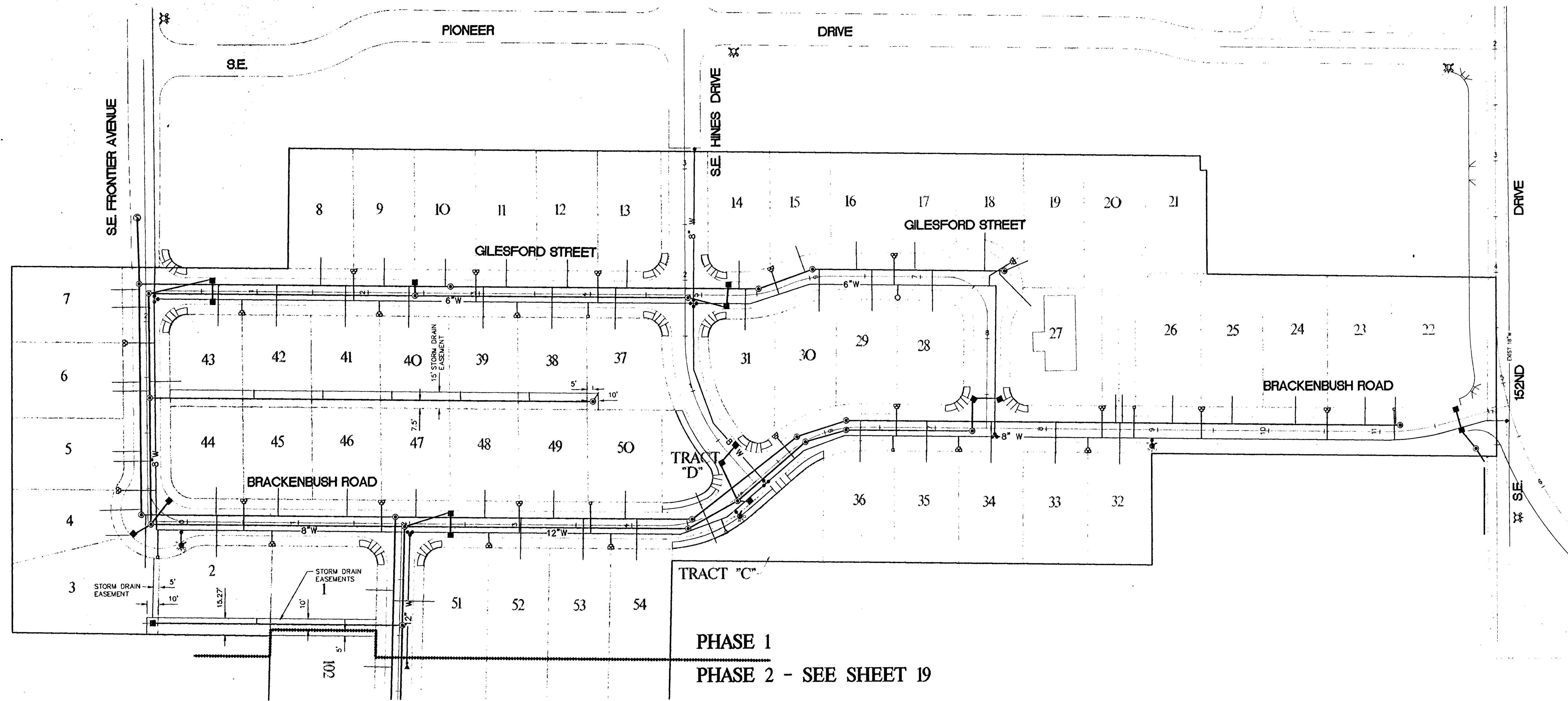
**WATER PLAN**  
 ADDINGTON PLACE

SHEET **17** OF **24**

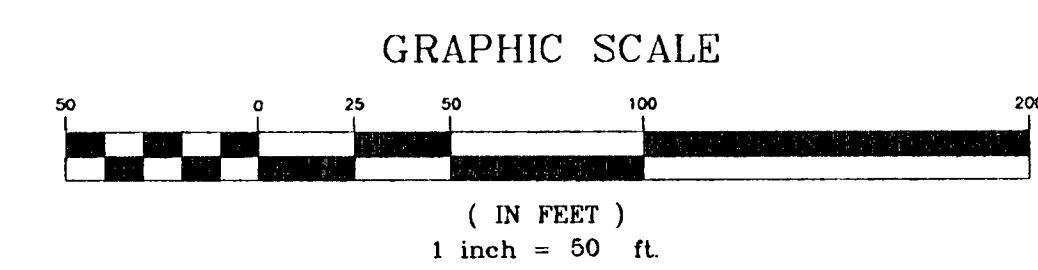
PROJECT: ADDINGTON PL  
 NO. 104-009  
 TYPE: CONSTRUCTION







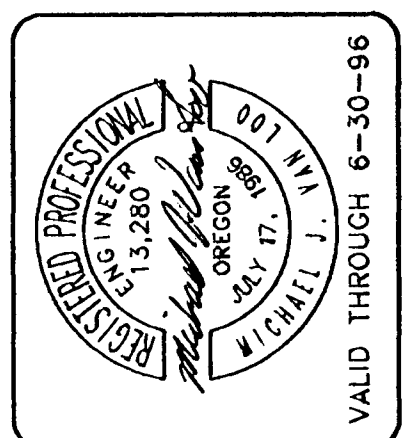
PHASE 1  
 PHASE 2 - SEE SHEET 19



**ALPHA ENGINEERING INC.**  
 ENGINEERING • DEVELOPMENT SERVICES • SURVEYING  
 OFFICE: 503-452-8000 • FAX: 503-452-8003  
 PLAZA WEST • SUITE 230 • 9800 SW OAK • PORTLAND, OR 97233

NO.	DATE	REVISION	BY
1	1-28-96	REVISED R/W LINES LOTS 2-5	JPC
2		LOTS 17-18-27	

DESIGNED BY: MKG/JPC DATE: 10/95  
 DRAWN BY: MKG/JPC DATE: 9/21/96  
 REVIEWED BY: JPC DATE: 5/1/96  
 PROJECT NO. 04-009 REF.  
 SCALE: HORIZ 1"=50'  
 1480001200

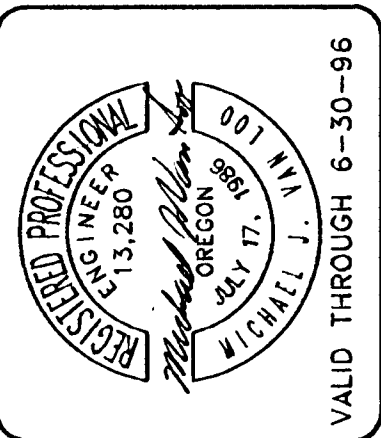


**COMPOSITE UTILITY PLAN**  
 ADDINGTON PLACE

SHEET **18** OF **24**  
 PROJECT: ADDINGTON PL  
 NO.: 04-009  
 TYPE: CONSTRUCTION

NO.	DATE	REVISION	BY

DESIGNED BY: WKL/URC/DATE: 10/06	DRAWN BY: JRC/DATE: 10/06
REVIEWED BY: JRC/DATE: 10/06	PROJECT NO: 104-009 REF: 10/06
SCALE: HORIZ 1"=50'	DATE: 10/06
P:\000000\104-009\DWG	

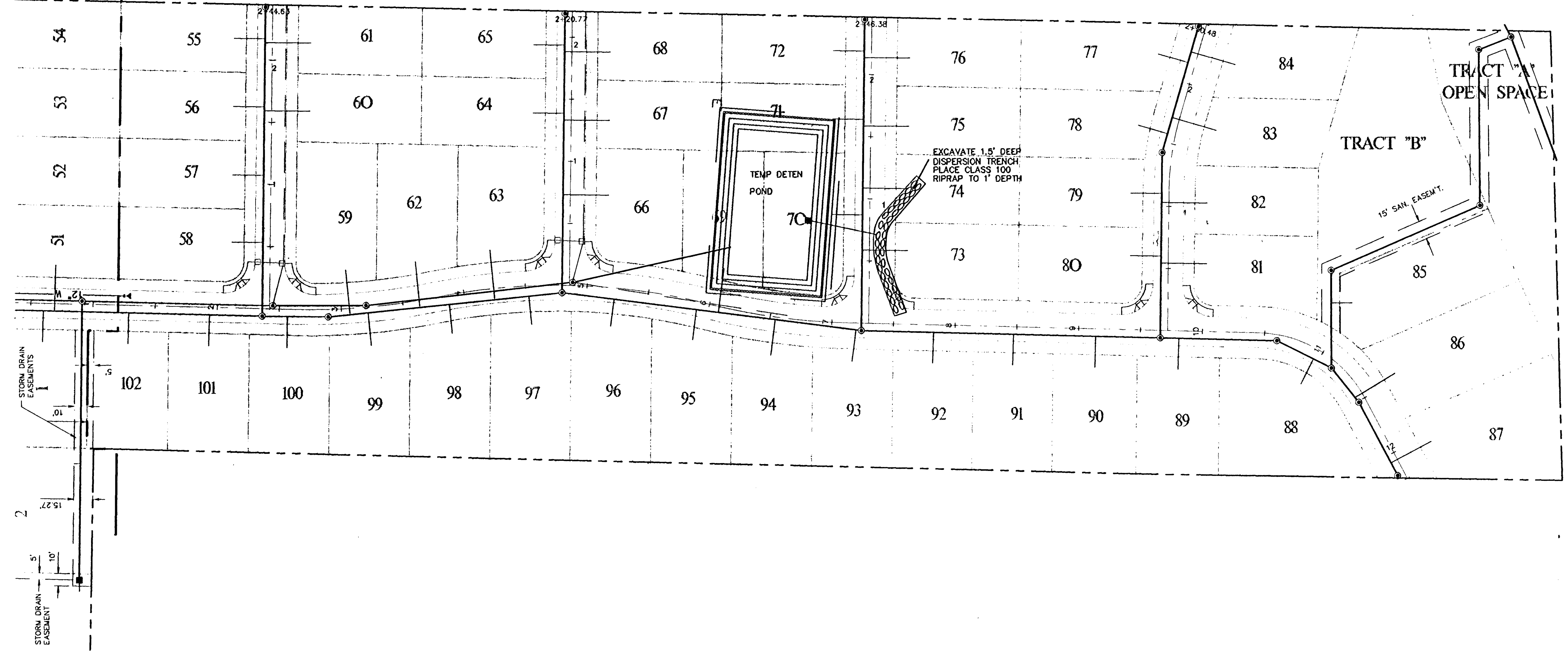
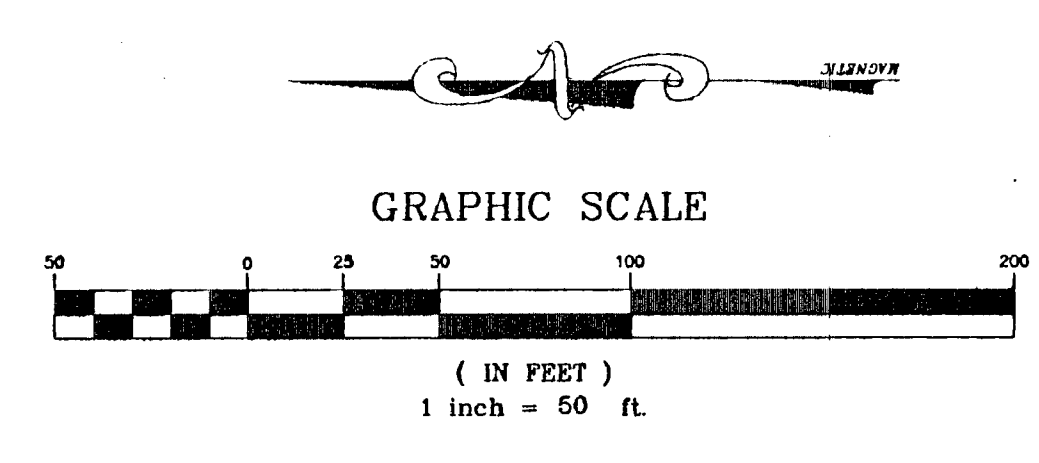


**COMPOSITE UTILITY PLAN**  
 ADDINGTON PLACE

SHEET **19** OF **24**

PROJECT ADDINGTON  
 NO. 104-009  
 TYPE CONSTRUCTION

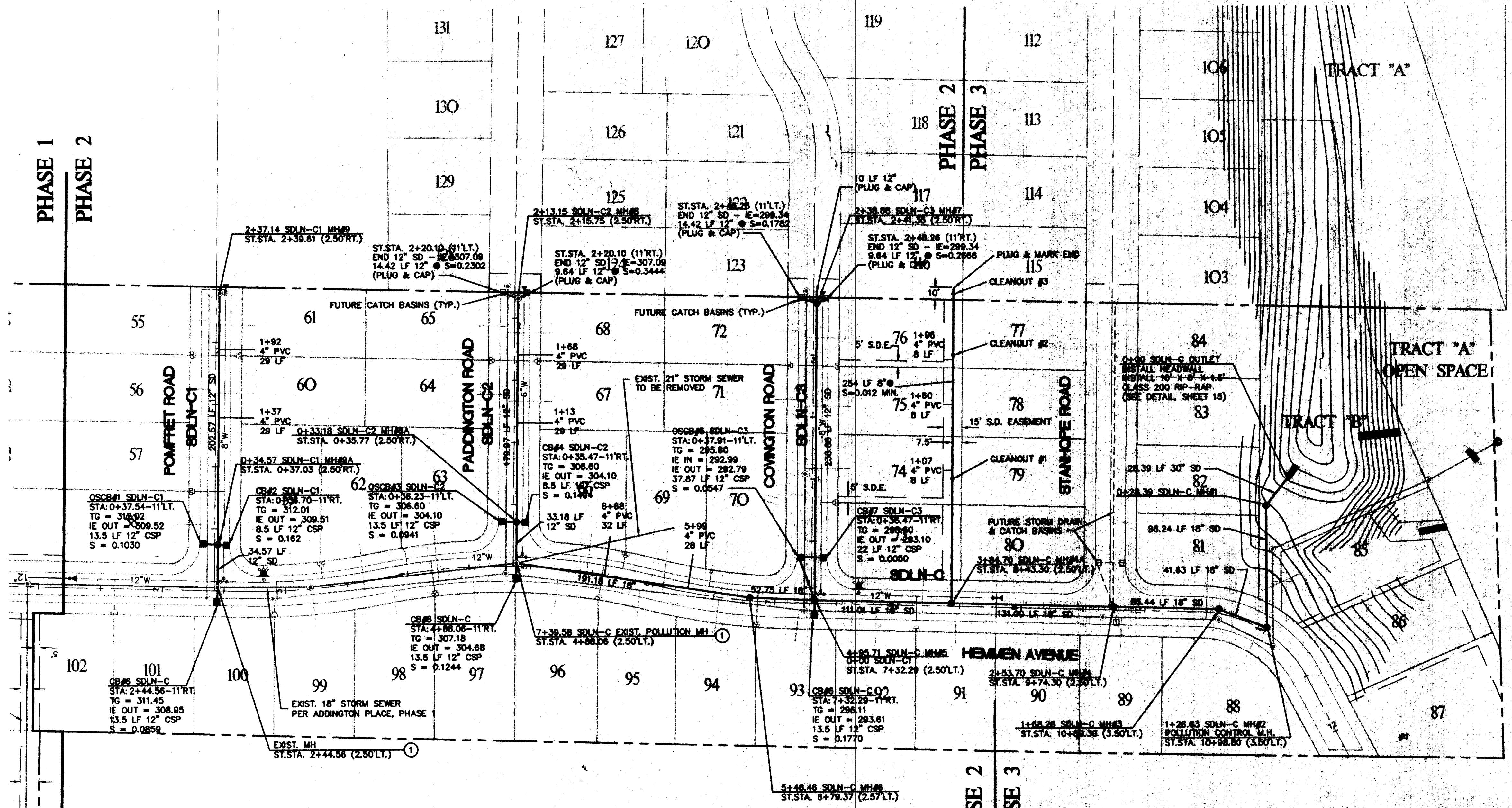
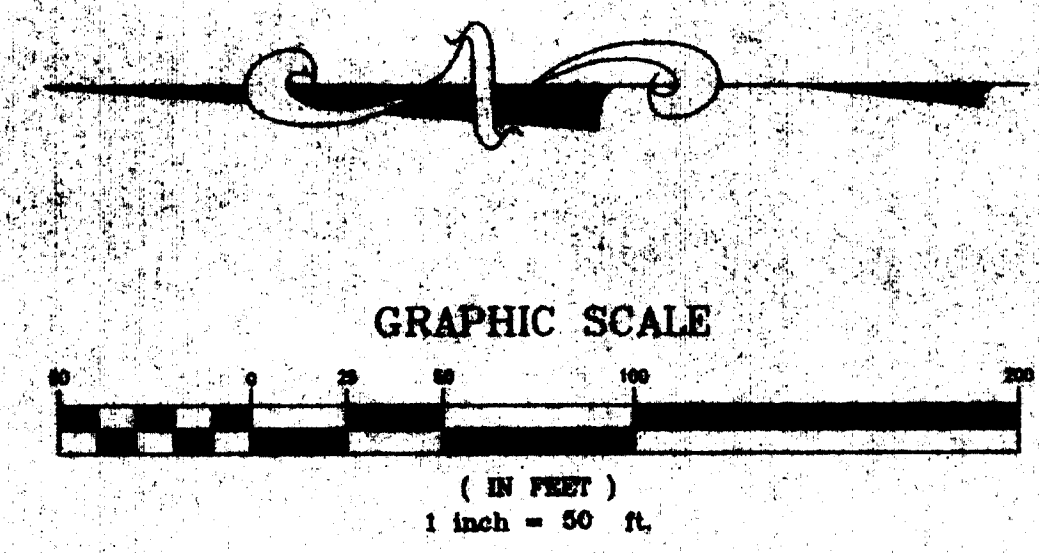
TRACT  
 PHASE 1 - SEE SHEET 18  
 PHASE 2







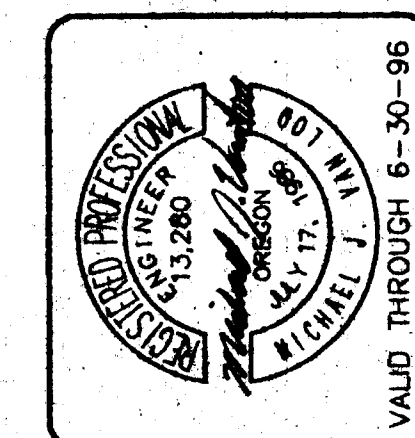




① NOTE: BREAK NEAT HOLE IN EXIST. MANHOLE WALL TO ACCOMMODATE C.B. PIPE CONNECTIONS TO WEST.

NO.	DATE	REVISION	BY
1	6-11-98	REVISED PER CLACKAMAS COUNTY COMMENTS	JRC

DESIGNED BY	JRC	DATE	4-98
DRAWN BY	JRC	DATE	4-98
REVIEWED BY		DATE	
PROJECT NO.	04-009	REF.	
SCALE	AS SHOWN		

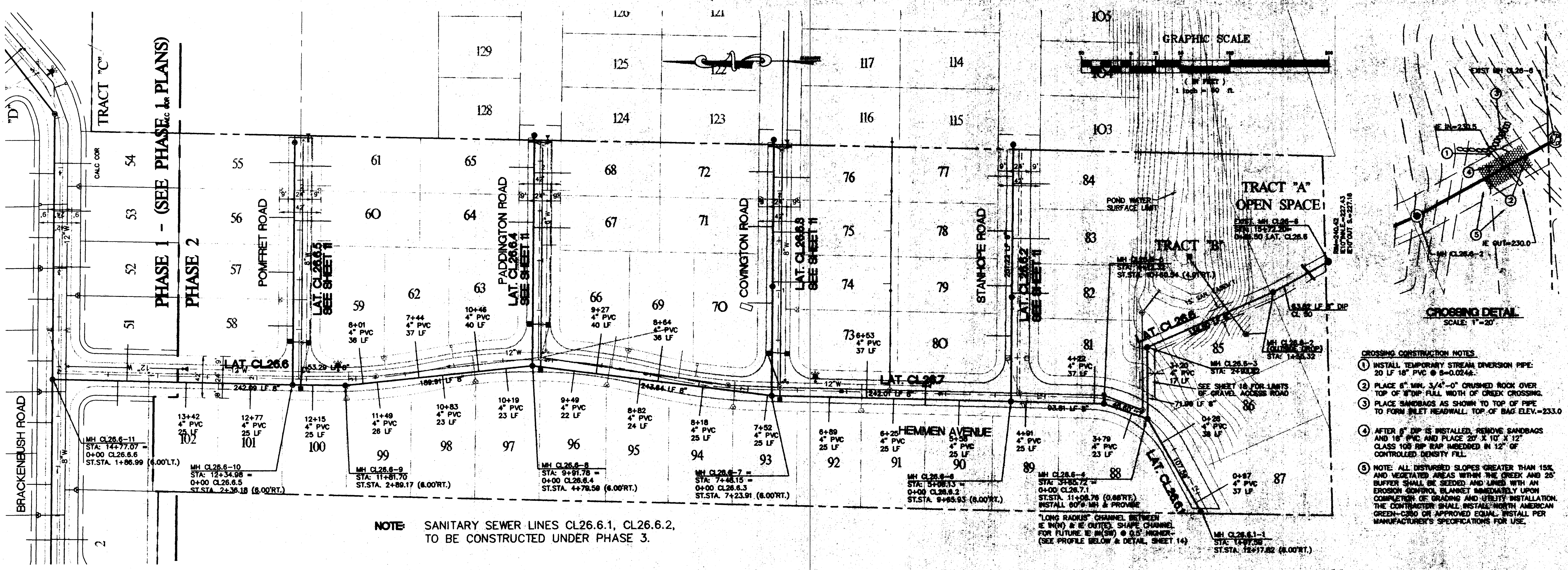


**STORM DRAIN PLAN**  
ADDINGTON PLACE II

SHEET 8 OF 18

PROJECT ADDINGTON I  
NO. 104-009  
TYPE CONSTRUCTION





NOTE: SANITARY SEWER LINES CL26.6.1, CL26.6.2, TO BE CONSTRUCTED UNDER PHASE 3.

- CROSSING CONSTRUCTION NOTES**
- INSTALL TEMPORARY STREAM DIVERSION PIPE: 20 LF 18" PVC @ 0-0.024%.
  - PLACE 6" MIN. 3/4"-0" CRUSHED ROCK OVER TOP OF #10P FULL WIDTH OF CREEK CROSSING.
  - PLACE SANDBAGS AS SHOWN TO TOP OF PIPE TO FORM INLET HEADWALL. TOP OF BAG ELEV. = 233.0
  - AFTER 6" DIP IS INSTALLED, REMOVE SANDBAGS AND 16" PVC AND PLACE 20" X 10" X 12" CLASS 100 RCP BAP IMBEDDED IN 12" OF CONTROLLED DENSITY FILL.
  - NOTE: ALL DISTURBED SLOPES GREATER THAN 15% AND VEGETATED AREAS WITHIN THE CREEK AND 25' BUFFER SHALL BE SEEDED AND LINED WITH AN EROSION CONTROL BLANKET IMMEDIATELY UPON COMPLETION OF GRADING AND UTILITY INSTALLATION. THE CONTRACTOR SHALL INSTALL NORTH AMERICAN GREEN-CORO OR APPROVED EQUAL. INSTALL PER MANUFACTURER'S SPECIFICATIONS FOR USE.

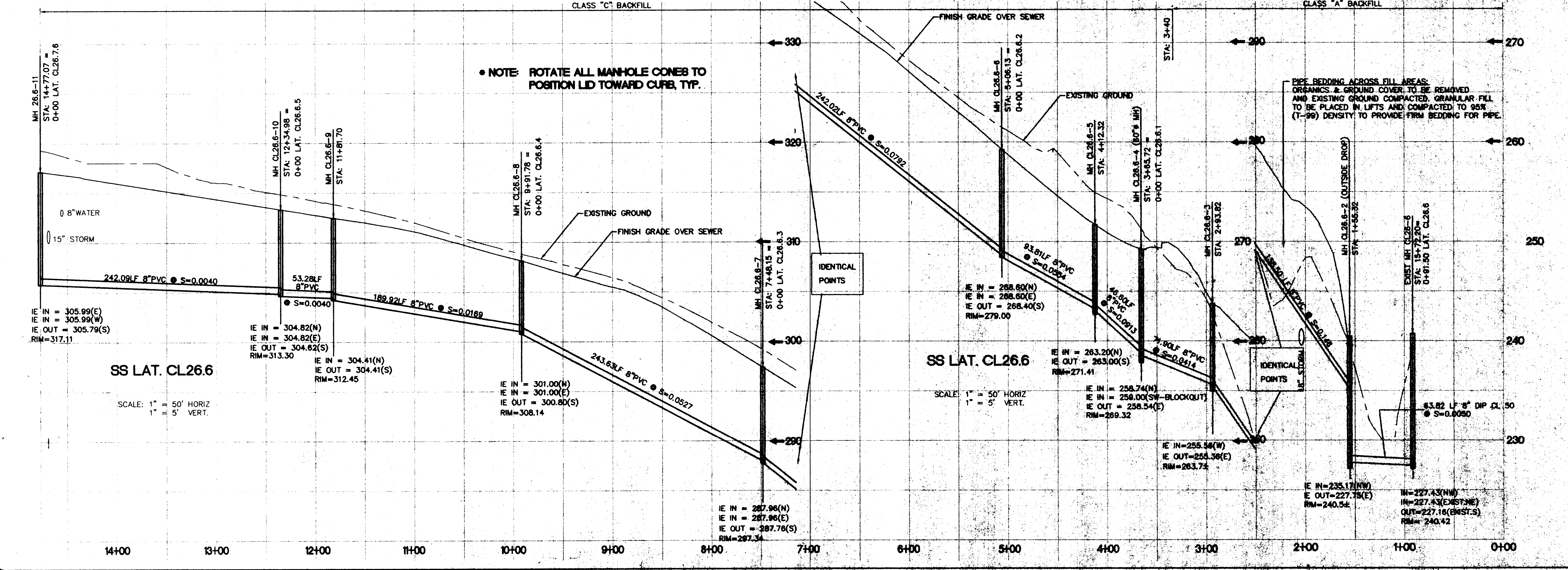
**ALPHA ENGINEERING INC.**  
 ENGINEERING & DEVELOPMENT SERVICES • SURVEYING  
 OFFICE: 900-880-8800 1775 1st Ave. S.W.  
 PLAZA WEST - SUITE 800 - 9800 97 Ave. S.W. - PORTLAND, OR 97209

NO.	DATE	REVISION	BY
1	02/08	COORDIN	WJC
2	07/06	COORDIN	WJC
3	02/06	SMALLS MODIFIED/REMOVED	WJC

DESIGNED BY: WJC DATE: 4-00  
 DRAWN BY: WJC DATE: 4-00  
 REVIEWED BY: WJC DATE: 4-00  
 PROJECT NO.: 99-008 REF.  
 SCALE: 1" = 40' HORIZ. 1" = 4' VERT.

PROFESSIONAL SEAL  
 W. J. COCHRAN  
 LICENSE NO. 13,286  
 EXPIRES 12/31/07  
 VALID THROUGH 6-30-06

**SANITARY SEWER PLAN & PROFILES**  
 ADDITION PHASE II



NOTE: ROTATE ALL MANHOLE CONES TO POSITION LID TOWARD CURB, TYP.

PIPE BEDDING ACROSS FILL AREAS: EXISTING GROUND COVER TO BE REMOVED AND EXISTING GROUND COMPACTED GRANULAR FILL TO BE PLACED IN LIFTS AND COMPACTED TO 95% (T-99) DENSITY TO PROVIDE FIRM BEDDING FOR PIPE.

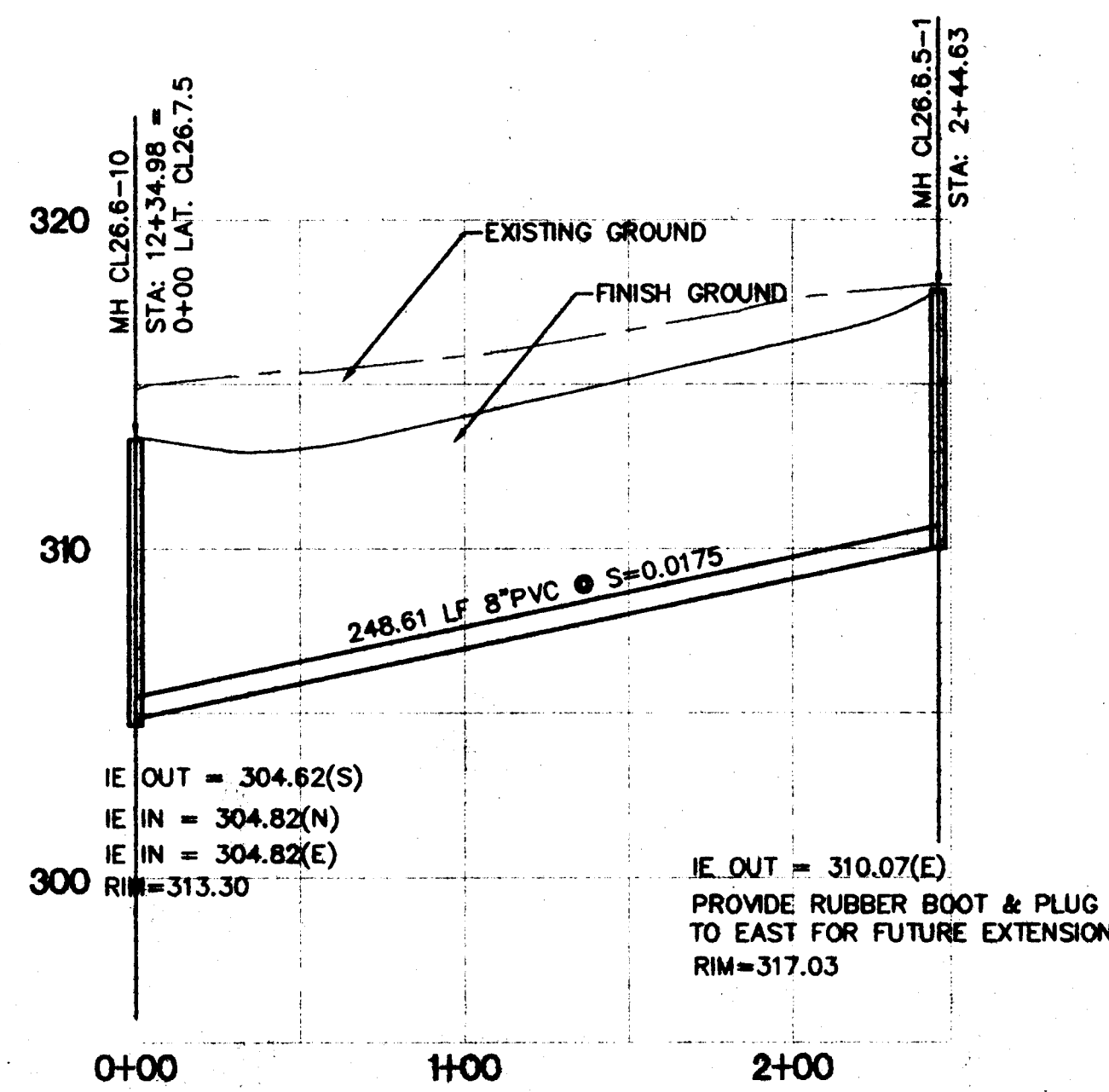
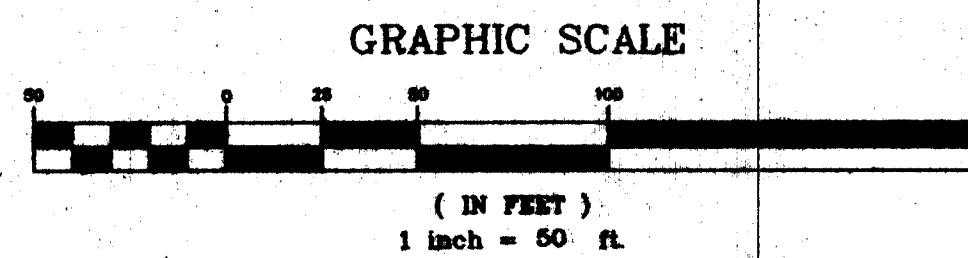
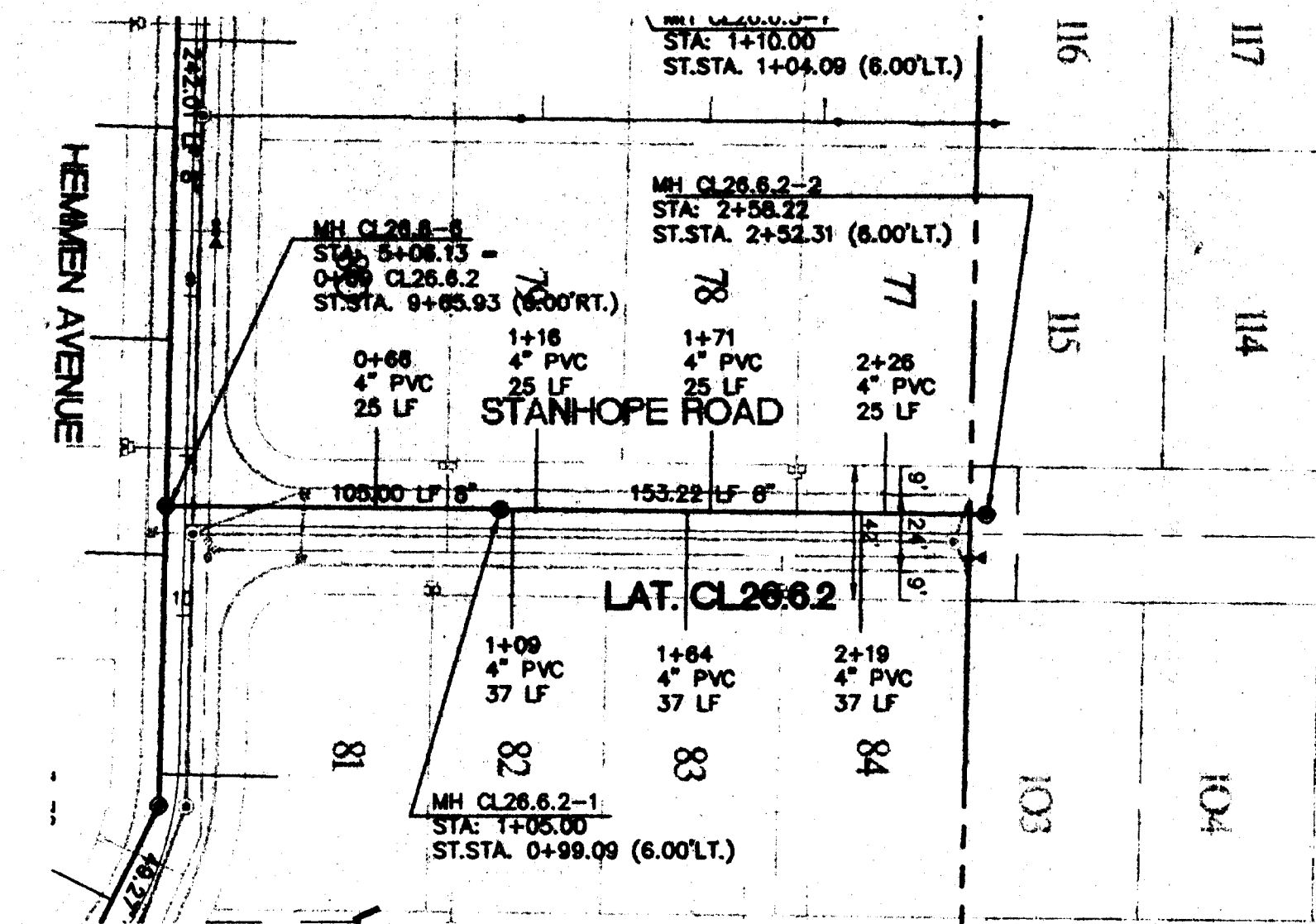
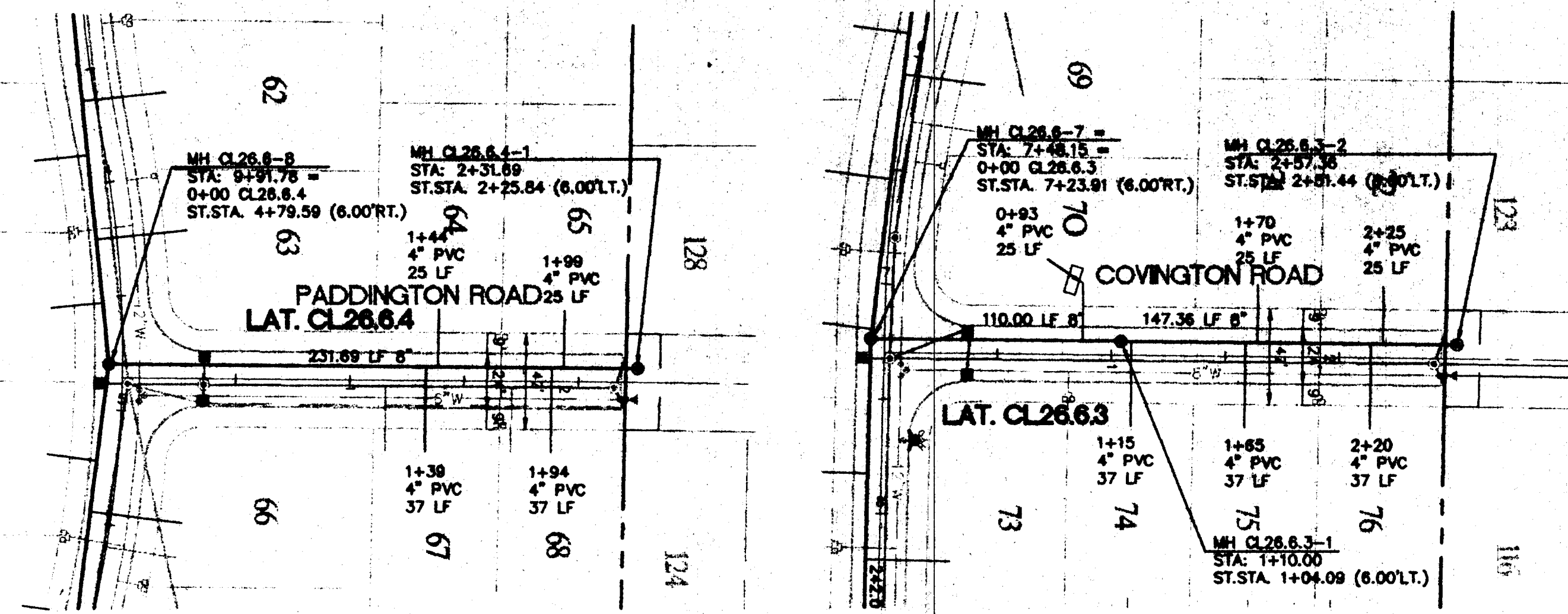
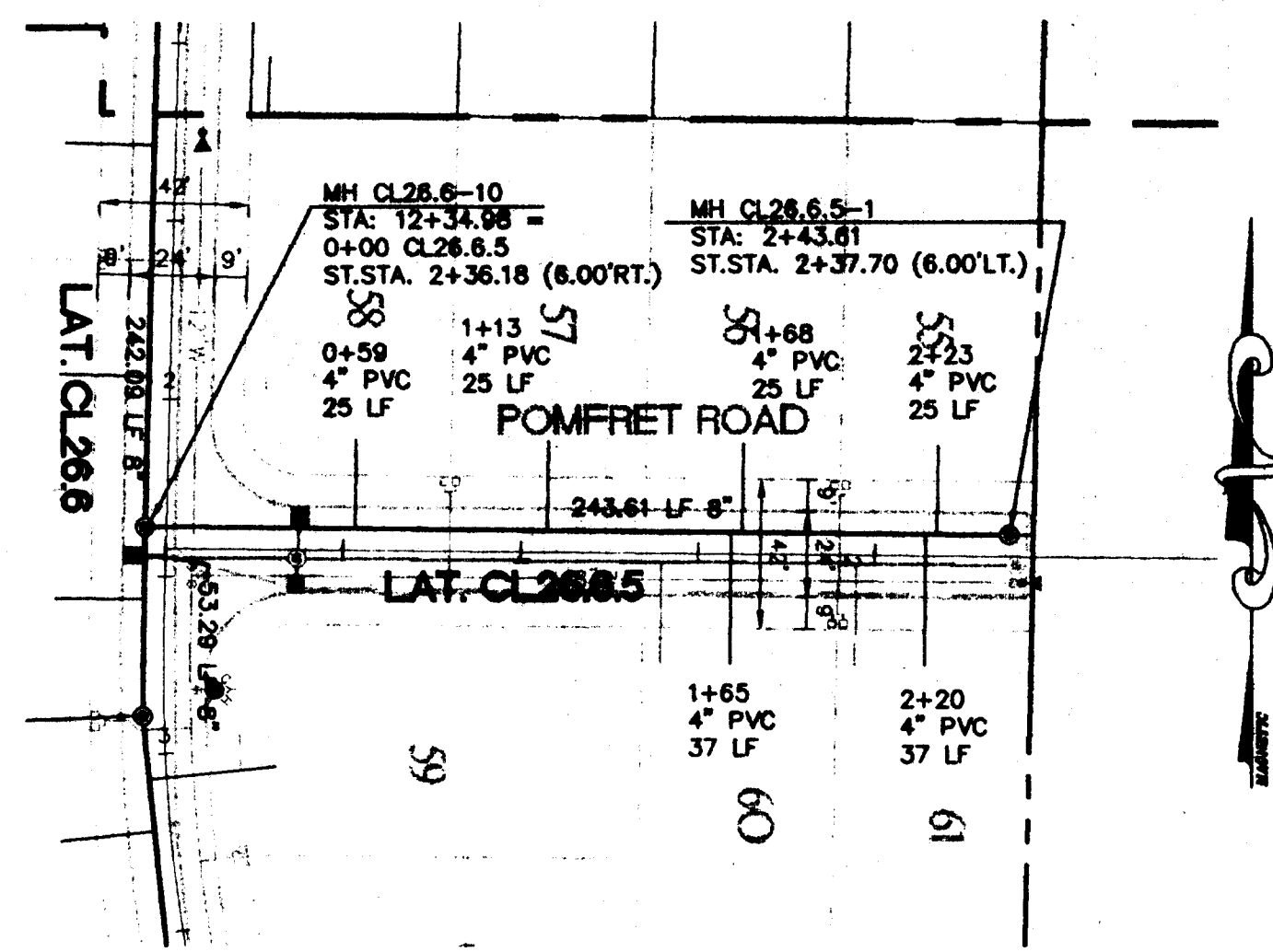
SCALE: 1" = 50' HORIZ. 1" = 5' VERT.

SCALE: 1" = 50' HORIZ. 1" = 5' VERT.

SHEET 10 OF 18

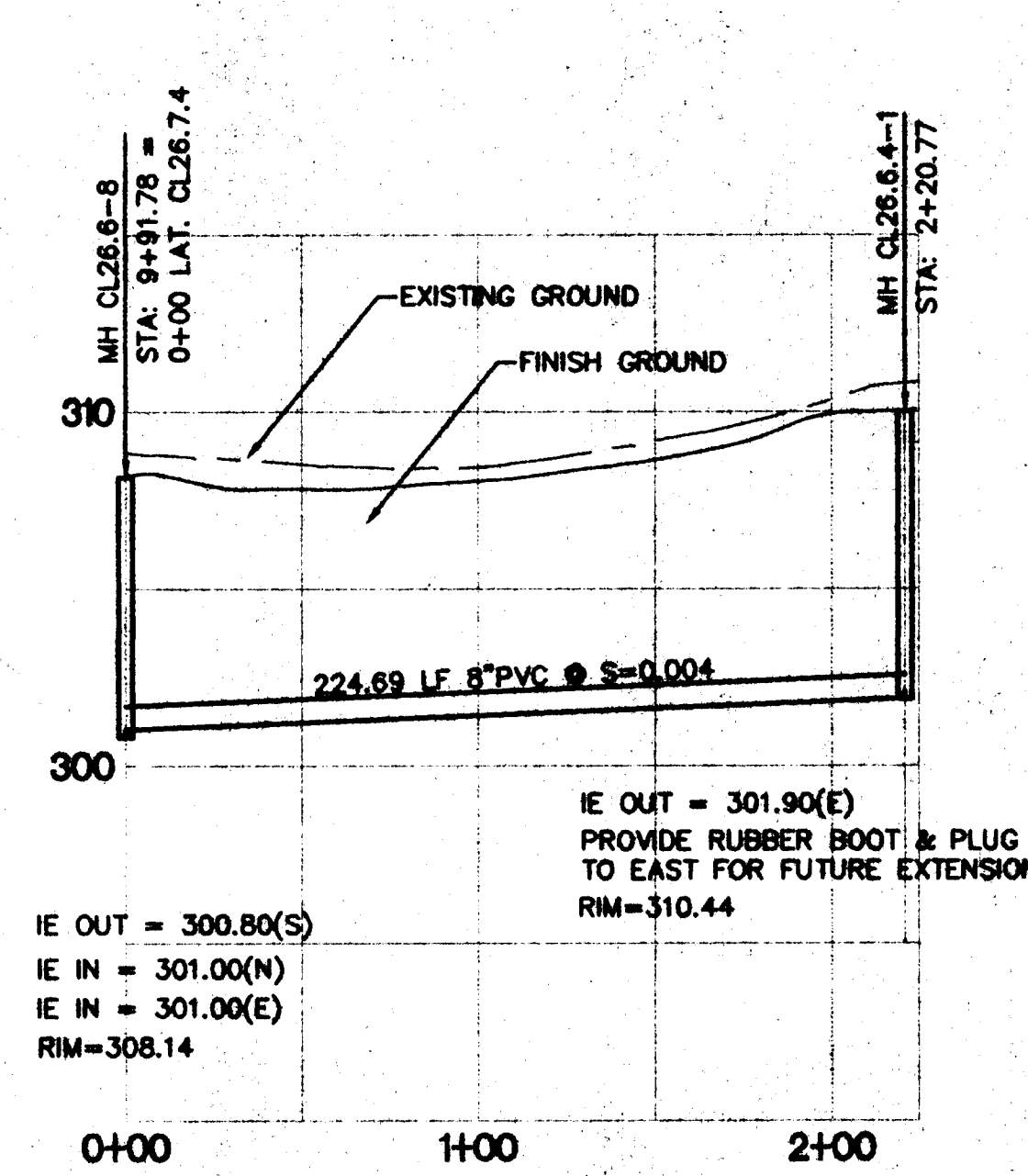
PROJECT	ADDITION II
NO.	99-008
TYPE	CONSTRUCTION





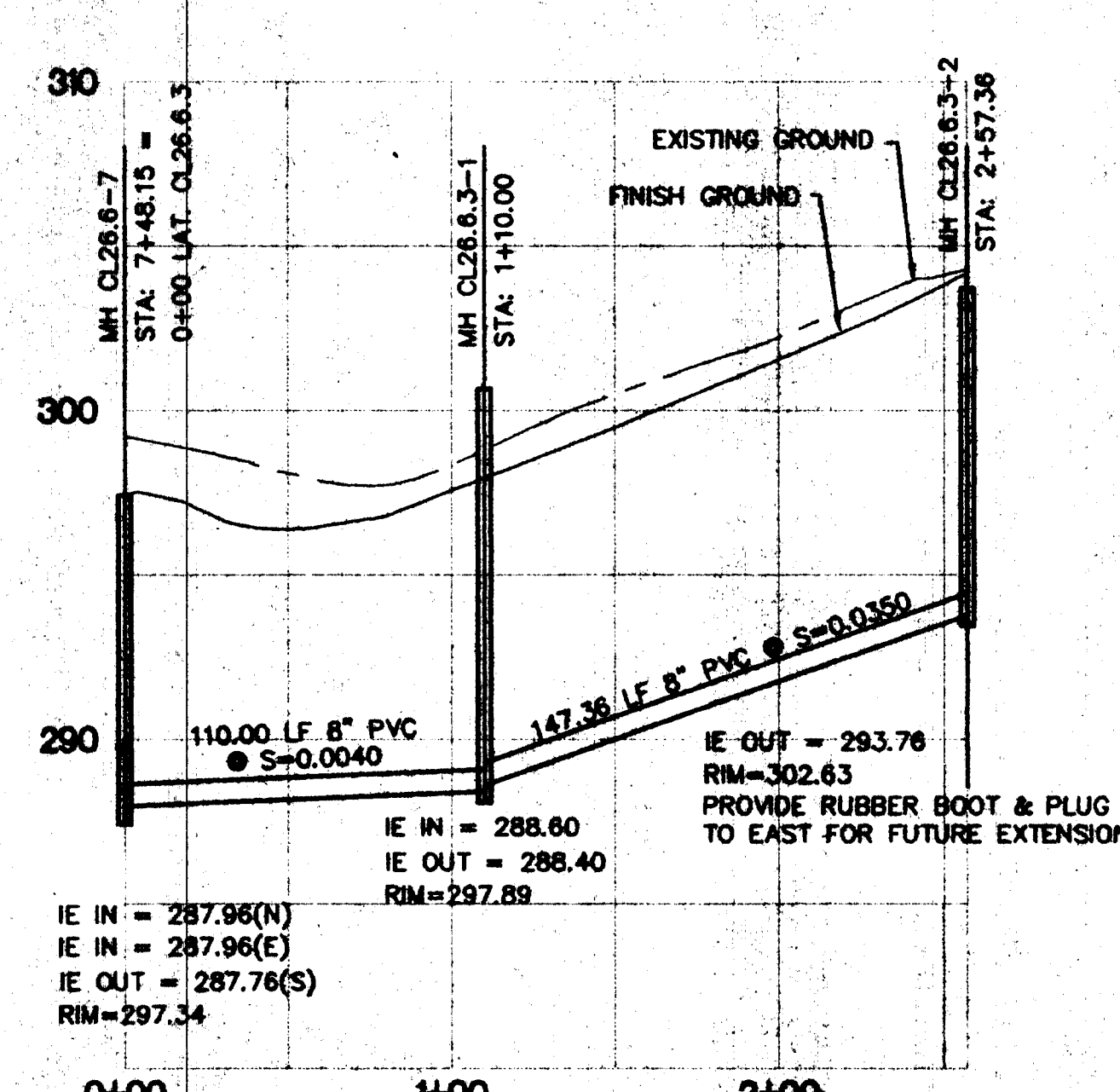
LAT. CL26.6.5

SCALE: 1" = 50' HORIZ  
 1" = 5' VERT.



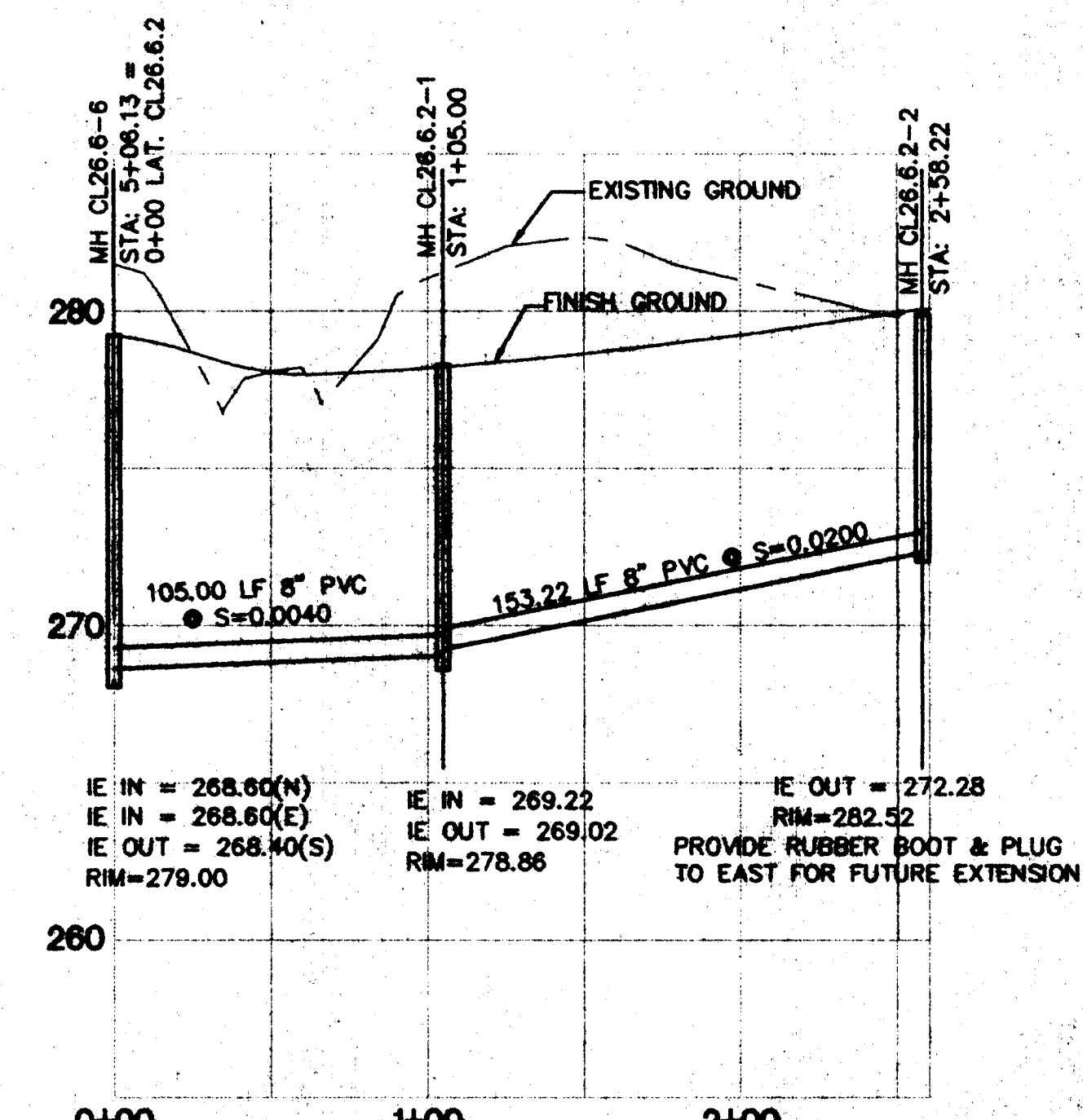
LAT. CL26.6.4

SCALE: 1" = 50' HORIZ  
 1" = 5' VERT.



LAT. CL26.6.3

SCALE: 1" = 50' HORIZ  
 1" = 5' VERT.

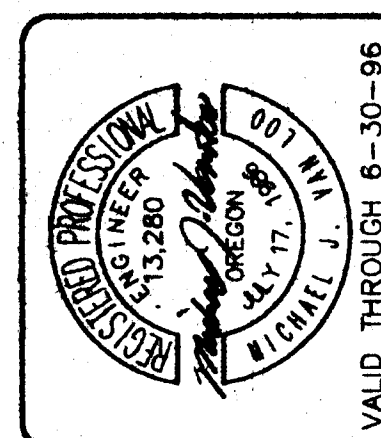


LAT. CL26.6.2

SCALE: 1" = 50' HORIZ  
 1" = 5' VERT.

NO.	DATE	REVISION	BY
1	1/19/06	CONSON	JRC
2	6/19/06	CONSON	JRC

DESIGNED BY	JRC	DATE	4-98
DRAWN BY	JRC	DATE	4-98
REVIEWED BY		DATE	
PROJECT NO.	04-000	REVISION/ISSUE	
SCALE	HORIZ 1"=50'	VERT 1"=5'	
ADDRESSING			

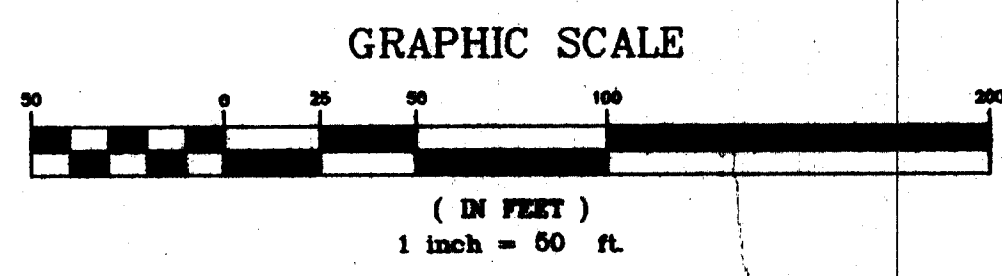
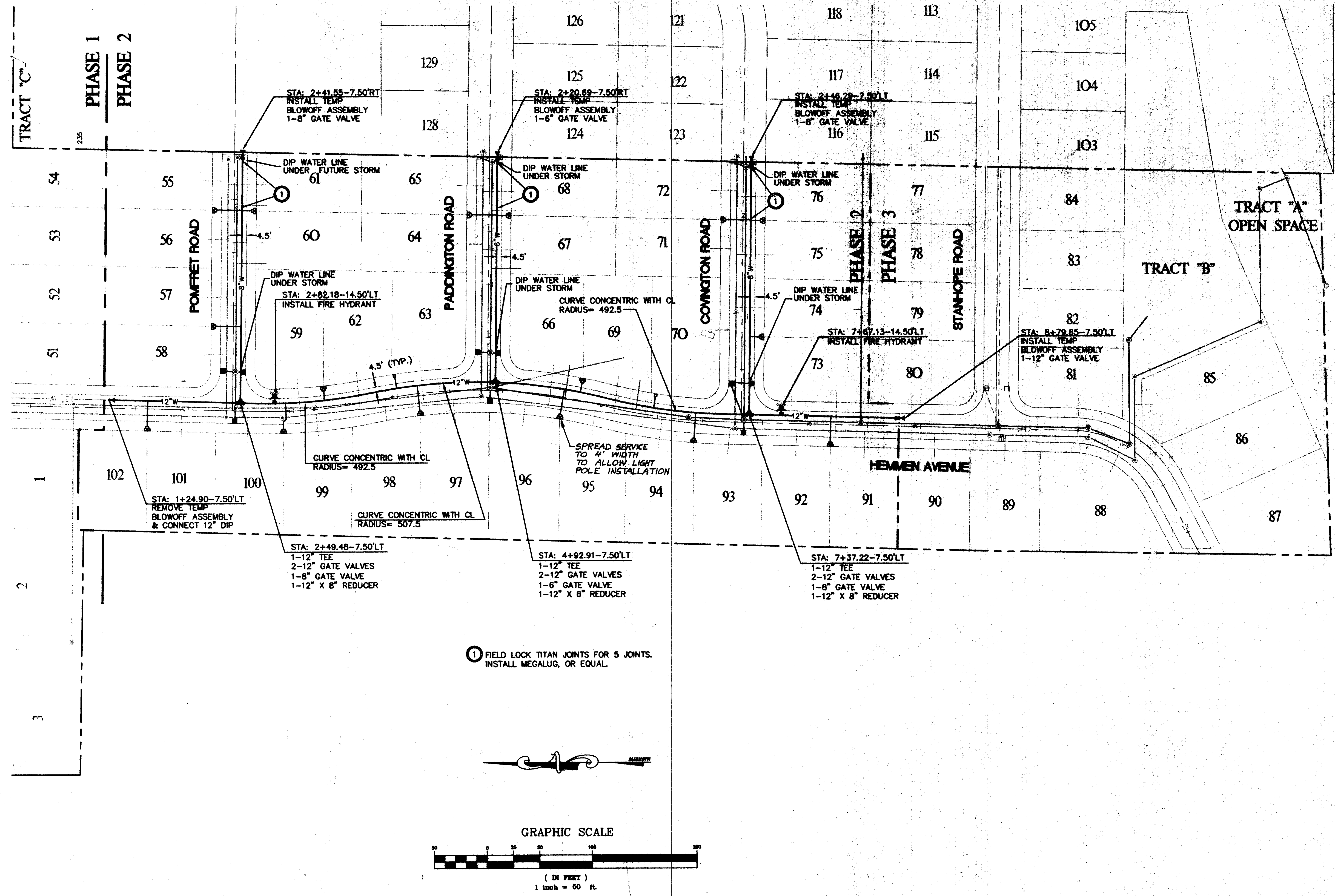


**SANITARY SEWER PLAN & PROFILES**  
 ADDINGTON PLACE II

SHEET 11 OF 18

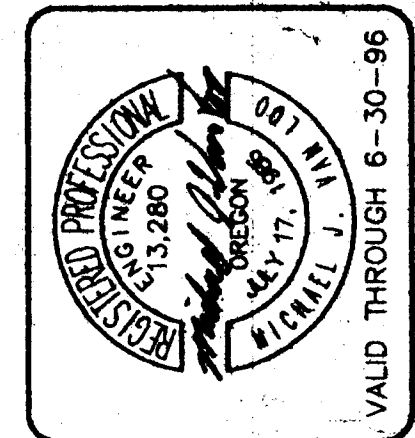
PROJECT ADDINGTON II  
 NO. 04-000  
 TYPE CONSTRUCTION





NO.	DATE	REVISION	BY
1	8-10-96	REVISED PER COUNTY COMMENTS	JRC

DESIGNED BY	JRC	DATE	4-96
DRAWN BY	JRC	DATE	4-96
REVIEWED BY	JML	DATE	
PROJECT NO.	04-009	REF.	
SCALE	AS SHOWN		



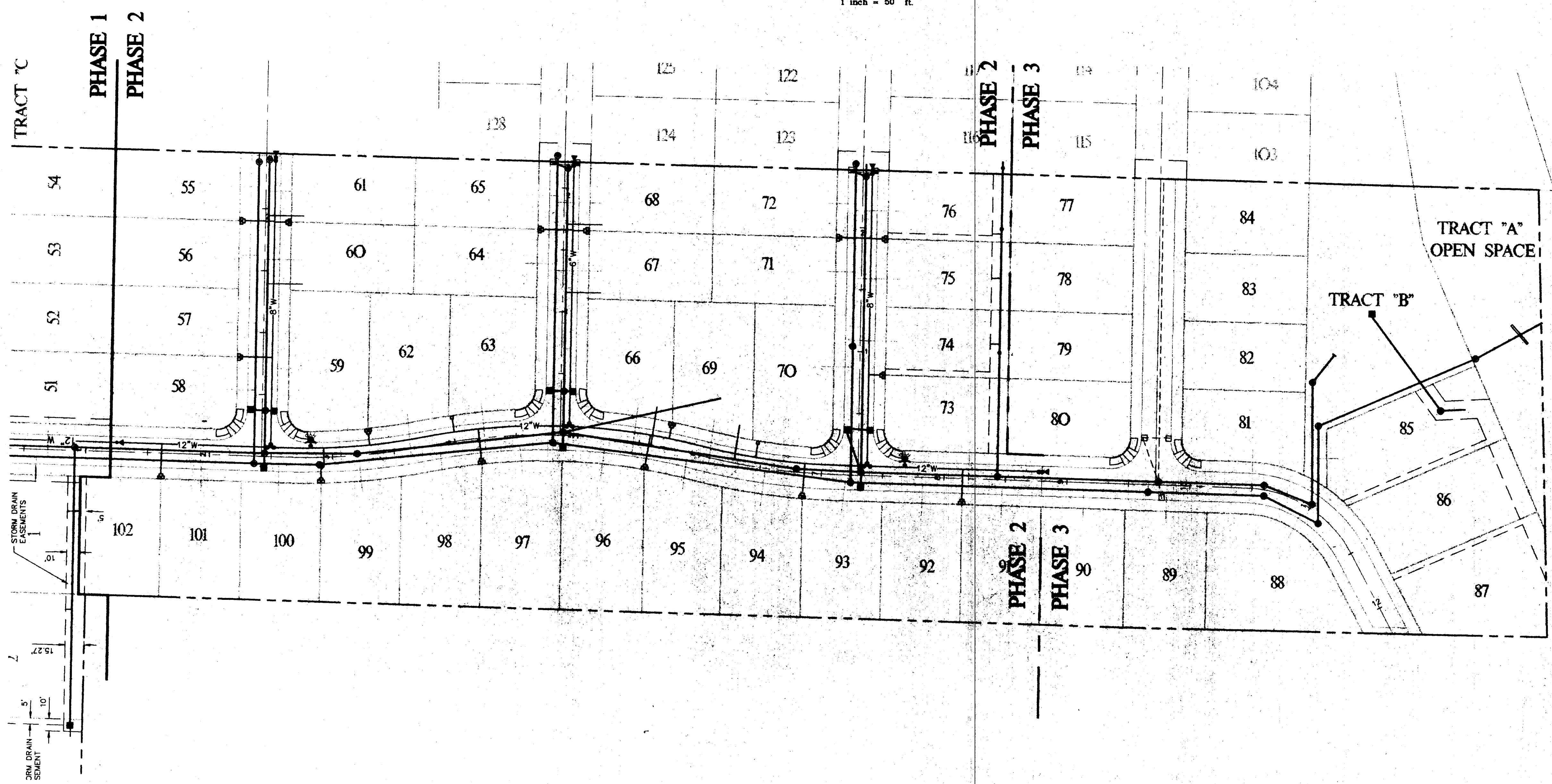
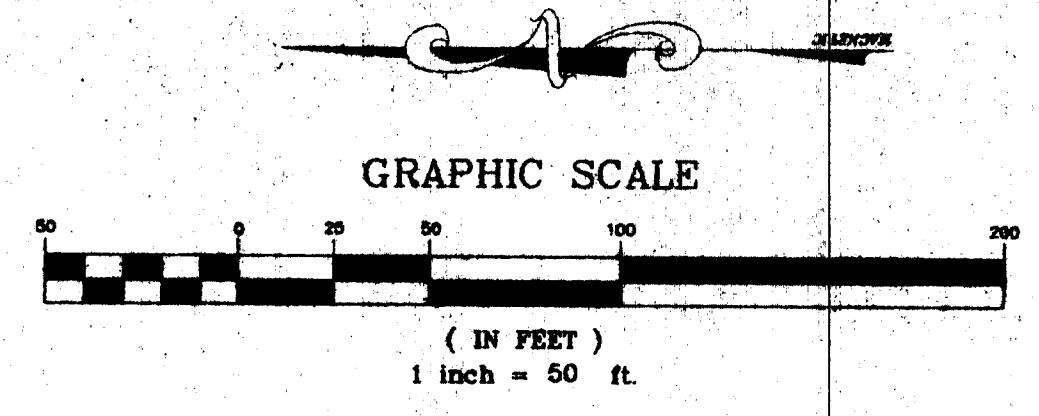
**WATER PLAN**  
 ADDINGTON PLACE II

SHEET **12** OF **18**

PROJECT **ADDINGTON I**  
 NO. **04-009**  
 TYPE **CONSTRUCTION**

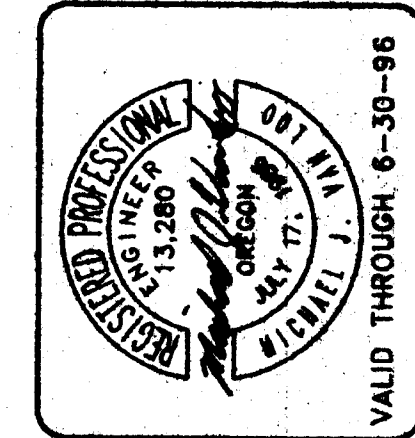
I:\04-009\ACD\WATER\WATER Jun 10 16:34:03 1996 .JRC





NO.	DATE	REVISION	BY
1	6/12/96	REVISED PER CLACKAMAS COUNTY COMMENTS	JRC

DESIGNED BY	JRC	DATE	4-96
DRAWN BY	JRC	DATE	4-96
REVIEWED BY	MLL	DATE	
PROJECT NO.	84-000	REF.	
SCALE	HORIZ 1"=60'		
ADDRESS	COMPTON		



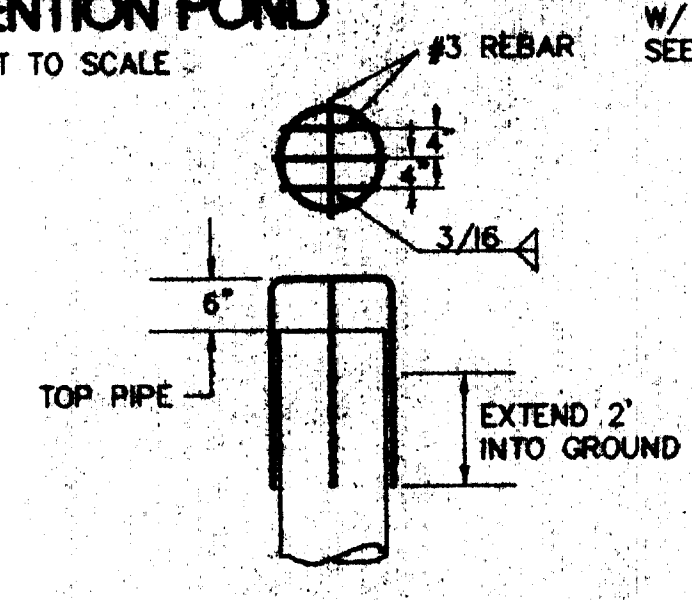
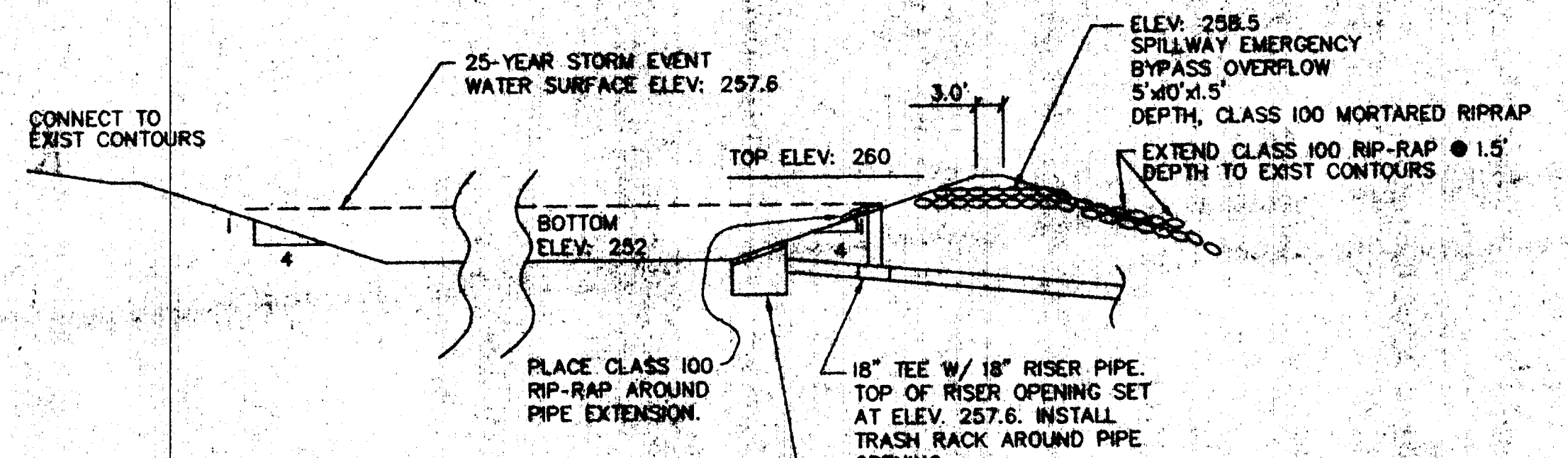
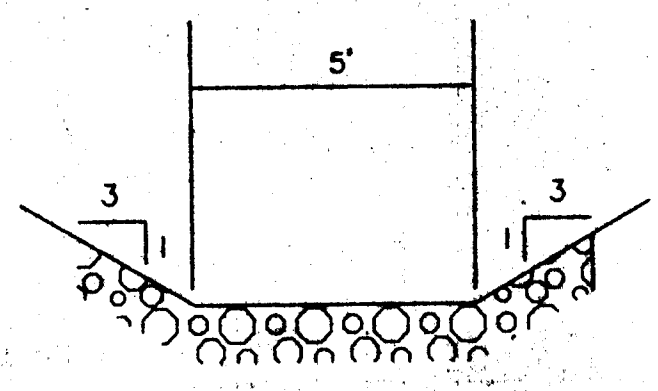
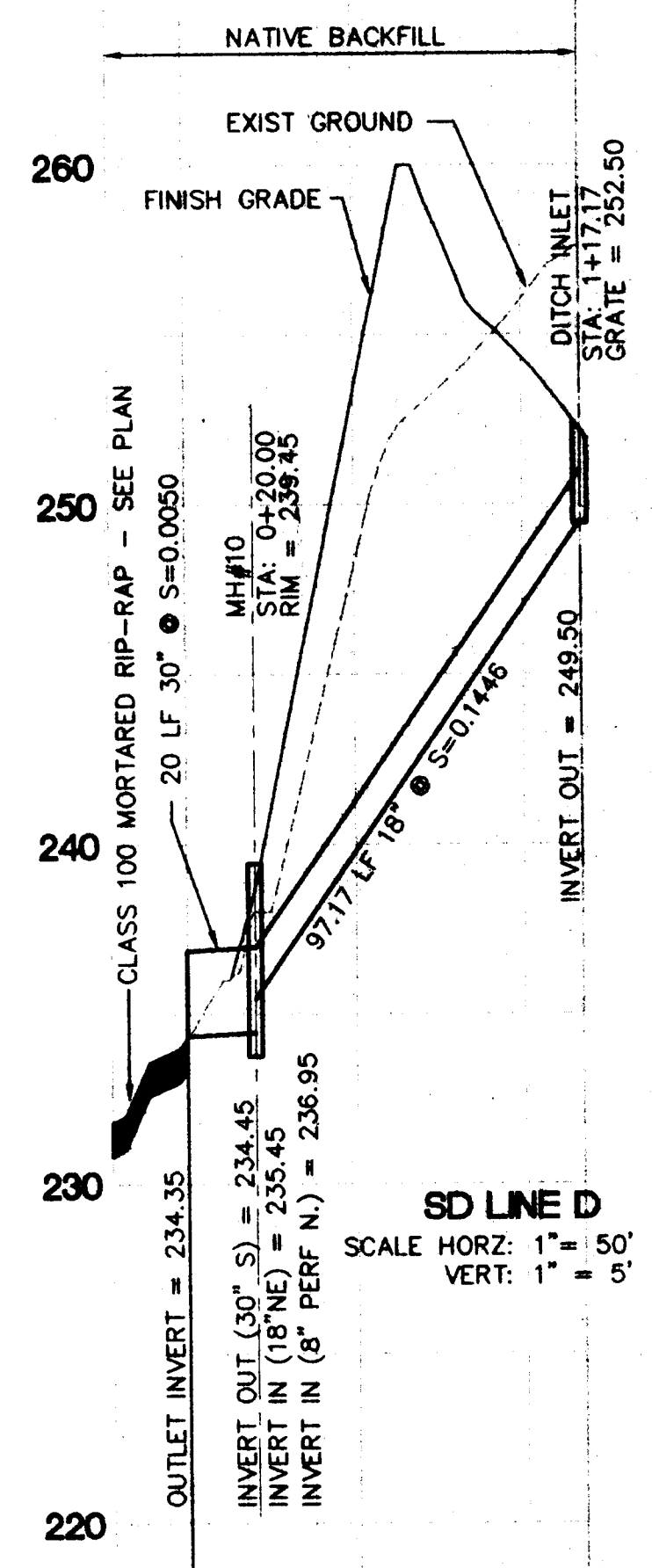
**COMPOSITE UTILITY PLAN**  
 ADDINGTON PLACE II

SHEET **13** OF **18**

PROJECT NO.	ADDINGTON I
NO.	84-000
TYPE	CONSTRUCTION

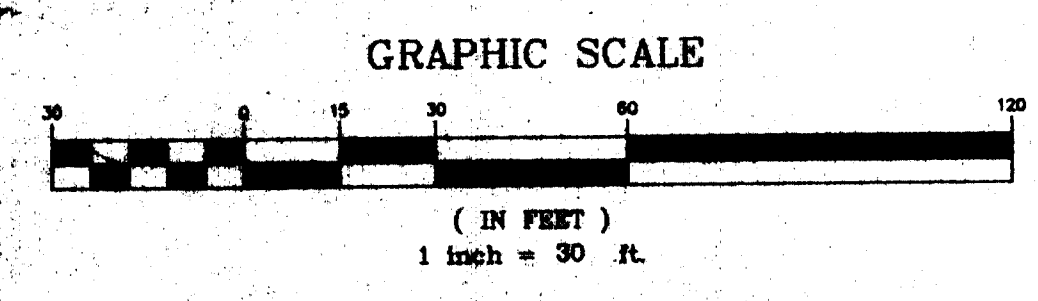
I:\104-000\ACAD\MDCR00P.WBT Jun 12 12:52:14 1996 JRC





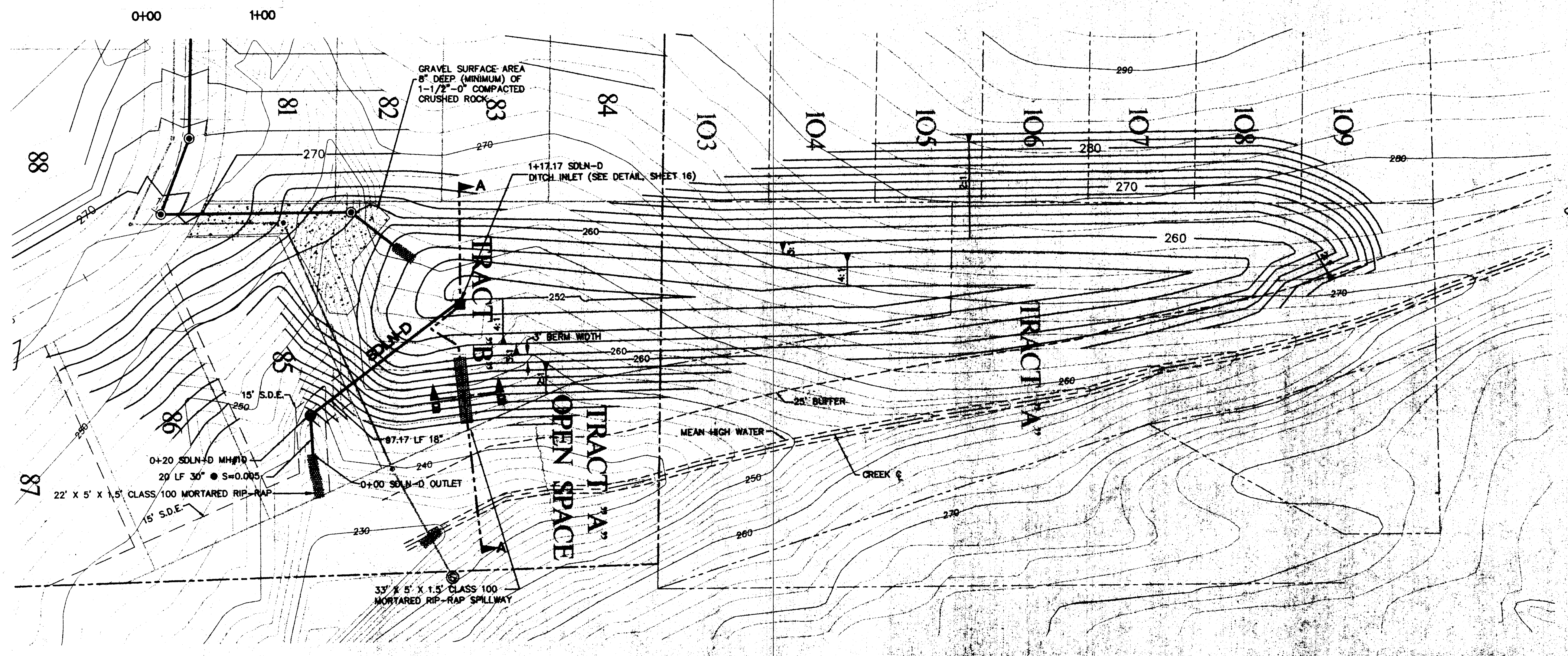
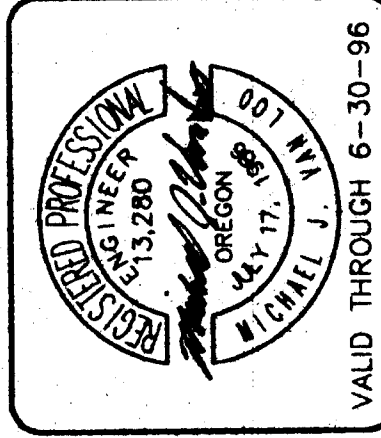
NOTE: FILL WITHIN THE POND CONSTRUCTION SHALL BE STRUCTURAL FILL & COMPACTED FOR STABILITY PER THE DESIGN ENGINEER'S RECOMMENDATION.

NOTE: ALL DISTURBED VEGETATION WITHIN THE CREEK AND 25' BUFFER SHALL BE SEEDED AND LINED WITH EROSION CONTROL BLANKET (NORTH AMERICAN GREEN C-350 OR APPROVED EQUAL). INSTALL PER MANUFACTURER'S SPECIFICATIONS FOR USE.



NO.	DATE	REVISION	BY
1	6-12-96	REVISED PER CLACKAMAS COUNTY COMMENTS	JRC

DESIGNED BY	JRC	DATE	4-98
DRAWN BY	JRC	DATE	4-98
REVIEWED BY	ML	DATE	
PROJECT NO.	04-000	REF.	SHARMS
SCALE	HORIZ 1"=30'		
APPROVED			



**DETENTION POND & DETAILS**  
 ADDINGTON PLACE II

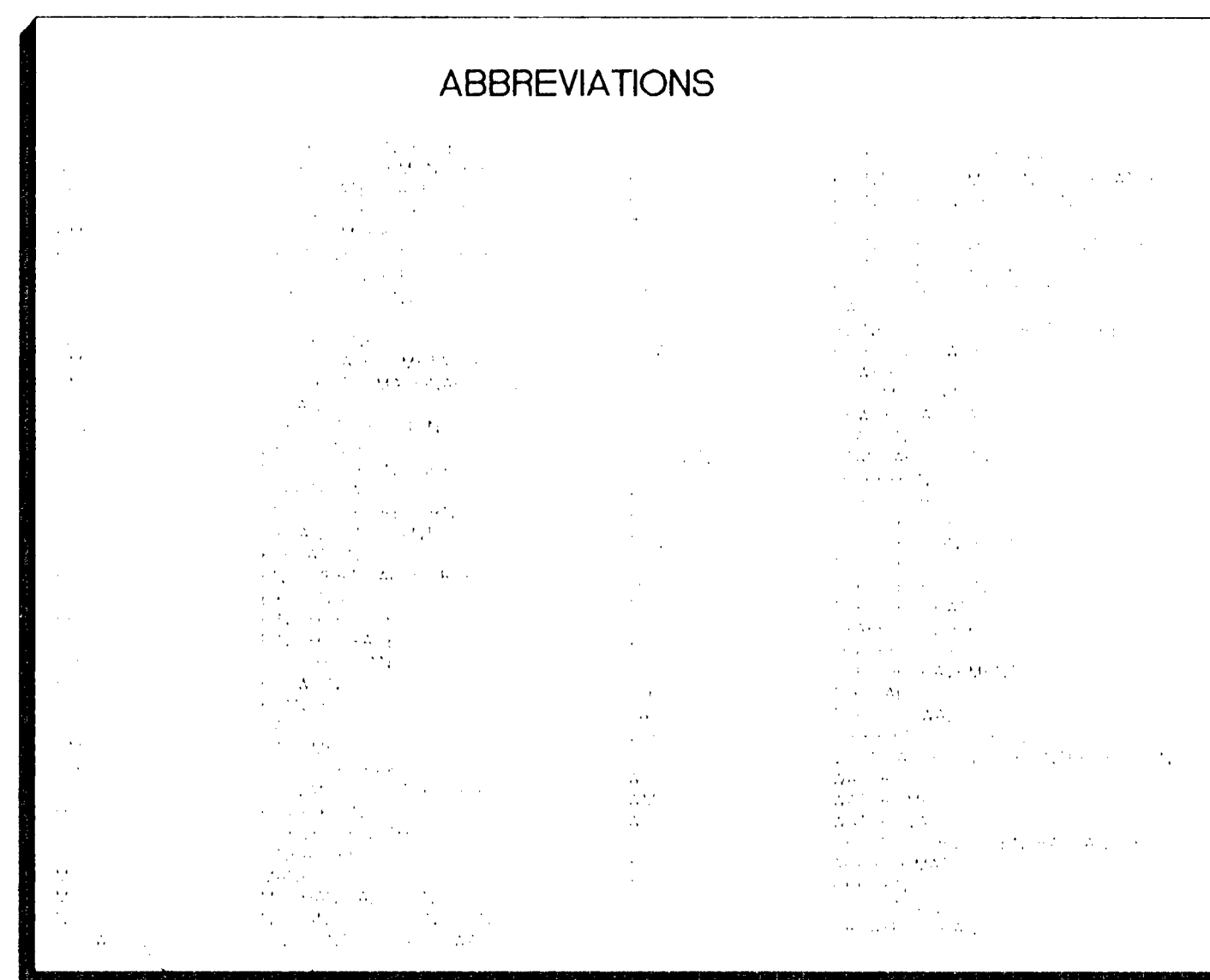
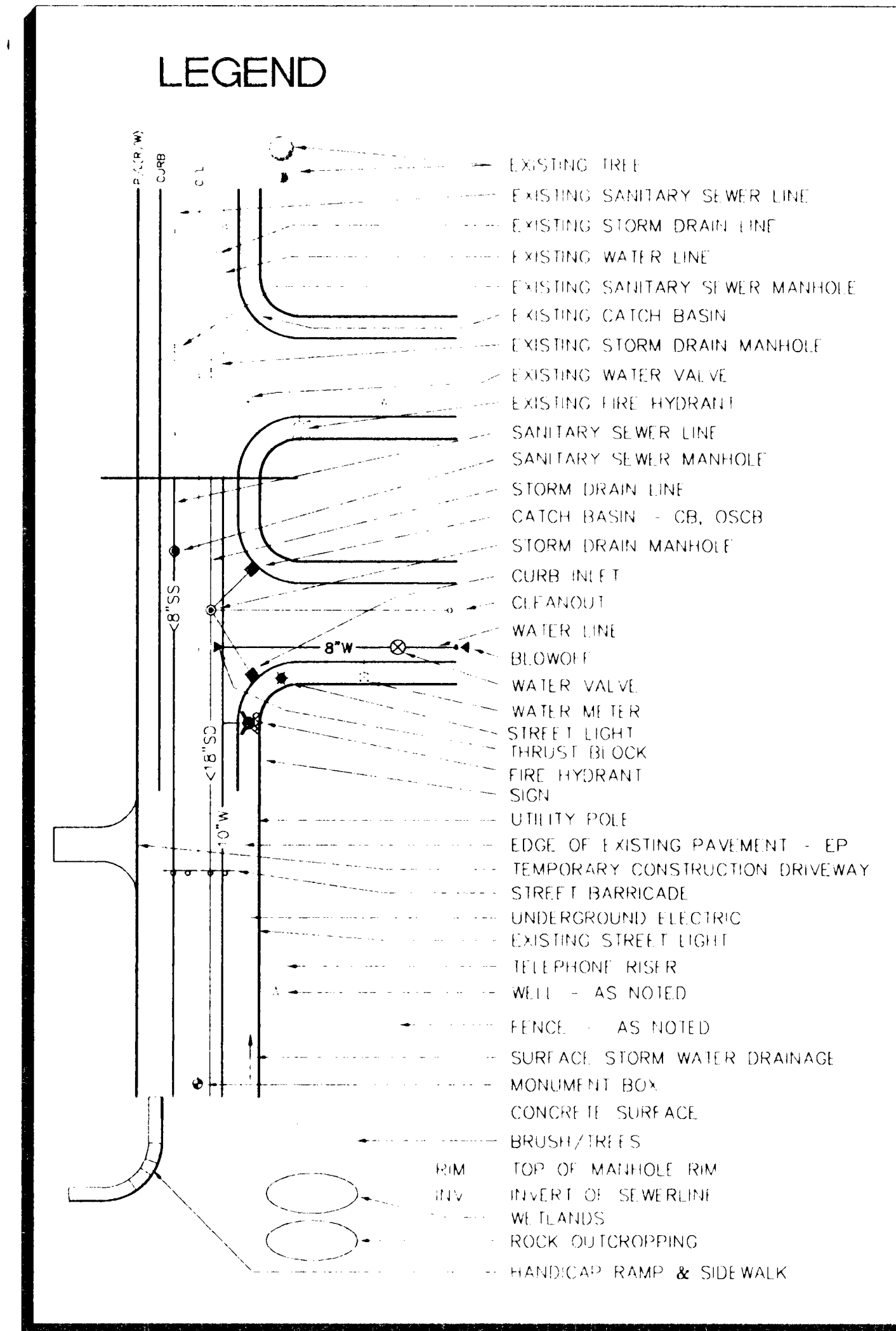
SHEET 18 OF 18  
 PROJECT ADDINGTON I  
 NO. 04-000  
 TYPE CONSTRUCTION



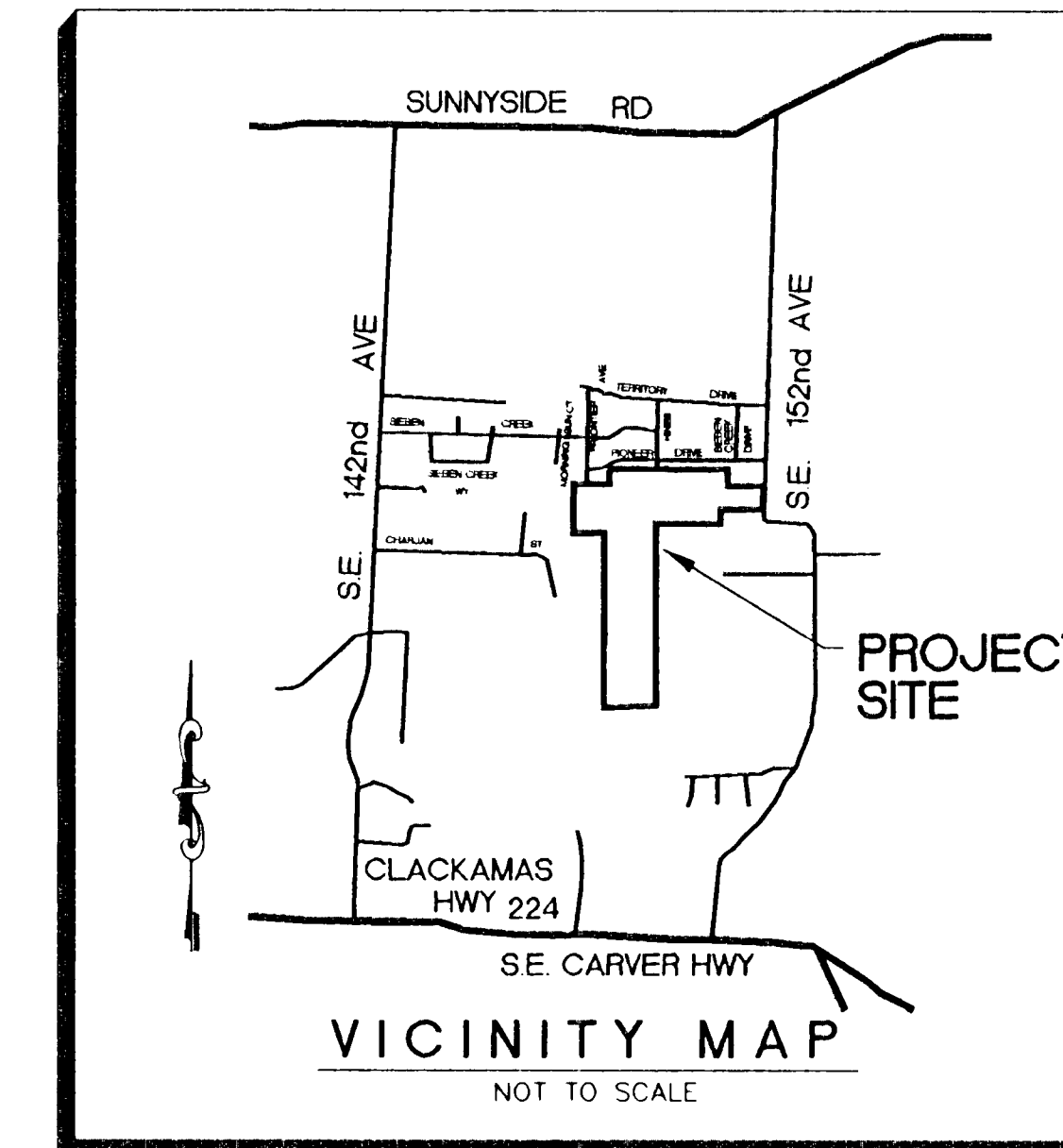
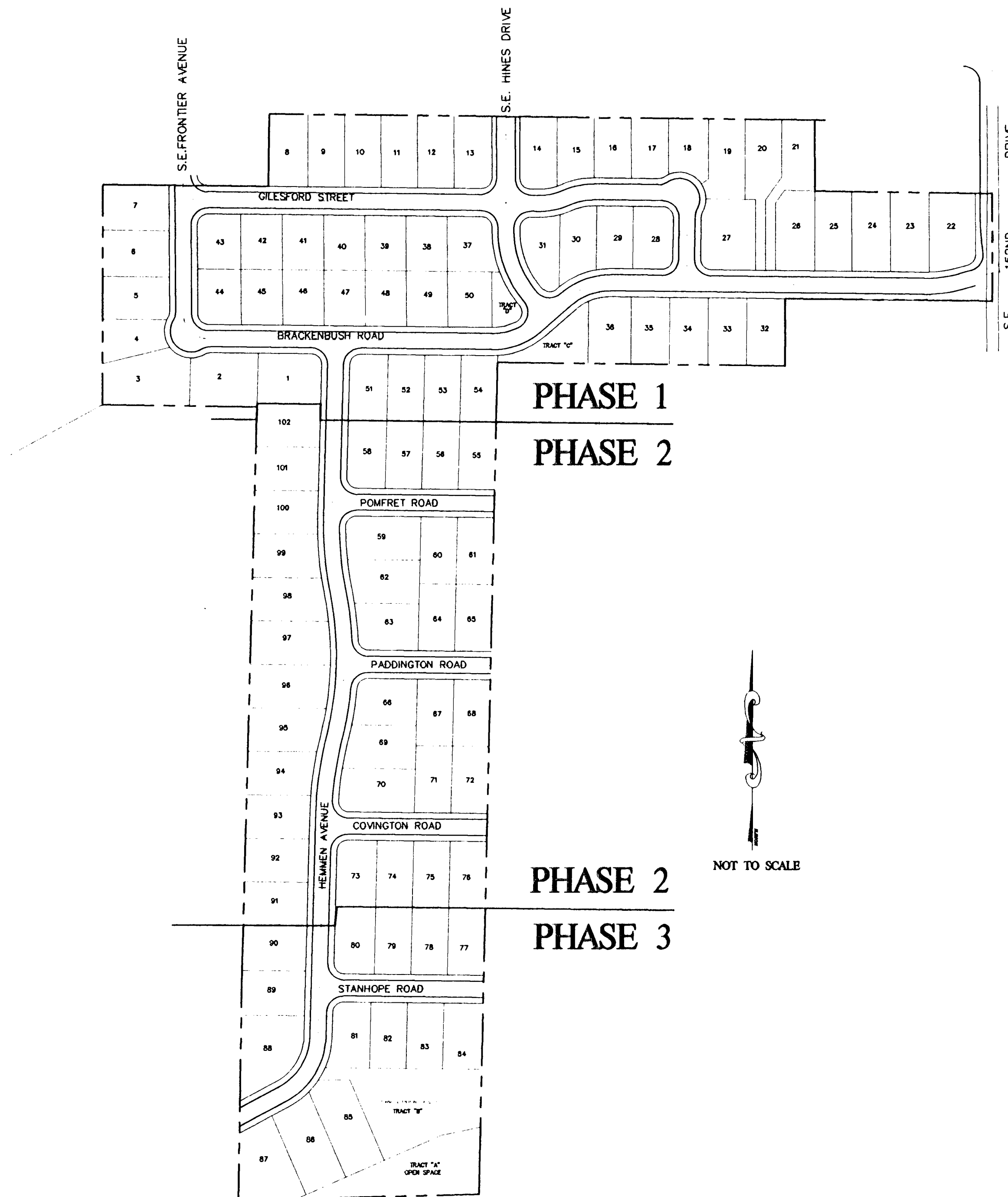
# ADDINGTON PLACE III IMPROVEMENT PLANS

CLACKAMAS COUNTY  
FILE NO. Z0738-95-Z / Z0739-95-SL

PREPARED FOR  
**KEYSTONE ENTERPRISES**  
PO BOX 1082  
CLACKAMAS, OREGON 97015  
503 / 655-6295  
FAX / 655-7263



**BENCHMARK**  
TOP RIM SANITARY SEWER MANHOLE SL 105-6  
LOCATED 10 FEET NORTHWEST OF CENTERLINE  
INTERSECTIONS FOR FRONTIER AVENUE AND  
PIONEER DRIVE. NORTH RIM ELEVATION = 320.48



SITUATED IN THE NORTHWEST 1/4 OF SECTION 12,  
TOWNSHIP 2 SOUTH, RANGE 2 EAST, OF THE WILLAMETTE  
MERIDIAN, CLACKAMAS COUNTY, OREGON

### UTILITY COMPANIES

- WATER - MT. SCOTT WATER DISTRICT
- SEWER - CLACKAMAS COUNTY SERVICE DISTRICT NO. 1
- GAS - NORTHWEST NATURAL GAS
- ELECTRIC - PORTLAND GENERAL ELECTRIC
- TELEPHONE - G.T.E.
- CABLE TV - PARAGON CABLE

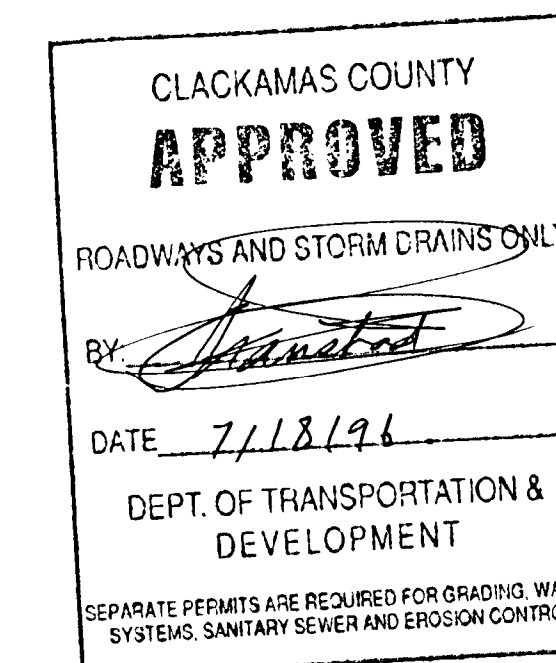
### LOCATES (48 HOURS NOTICE REQUIRED PRIOR TO EXCAVATION)

- ONE CALL SYSTEM (GENERAL TELEPHONE, NORTHWEST NATURAL GAS) - 246-6699
- PORTLAND GENERAL ELECTRIC - 246-6699
- CABLE TELEVISION - PARAGON - 667-2020

### REPAIR EMERGENCIES

- NORTHWEST NATURAL GAS - 220-2415
- GENERAL TELEPHONE - 800-628-2088
- PORTLAND GENERAL ELECTRIC - 464-7777
- PARAGON CABLE - 230-2020

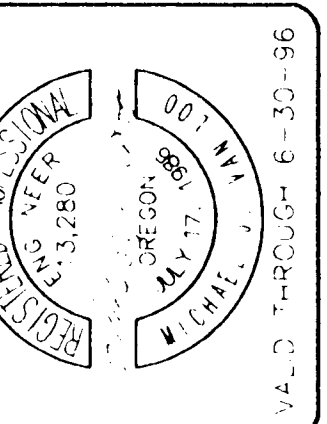
THE CONTRACTOR, IN LOCATING AND PROTECTING UNDERGROUND UTILITIES, MUST COMPLY WITH THE REGULATIONS OF O.R.S. 757.541 TO 757.571.



SHEET INDEX	
1	TITLE SHEET
2	CONSTRUCTION NOTES
3	SITE PLAN
4	GRADING AND EROSION CONTROL PLAN
5	STREET PLAN
6	STREET PROFILES
7	STORM DRAIN PLAN & PROFILES
8	SANITARY SEWER PLAN & PROFILES
9	WATER PLAN
10	COMPOSITE UTILITY PLAN
11	SANITARY SEWER DETAILS
12-14	CONSTRUCTION DETAILS

NO.	DATE	REVISION	BY

DESIGNED BY: JRC	DATE: 5-96
DRAWN BY: JRC	DATE: 5-96
REVIEWED BY: ML	DATE:
PROJECT NO: 04-009	REF:
SCALE: AS NOTED	
ADDITL DWG:	

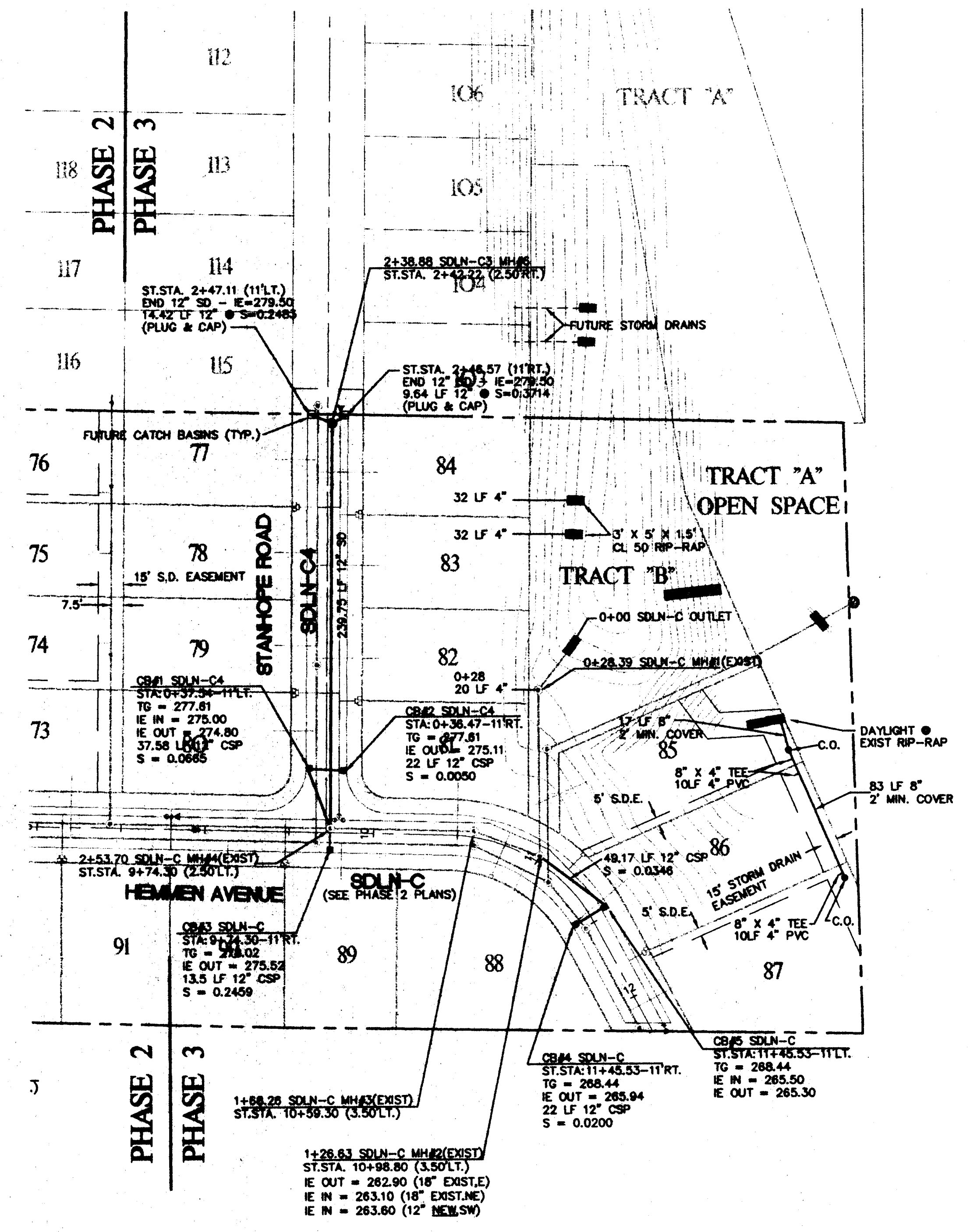
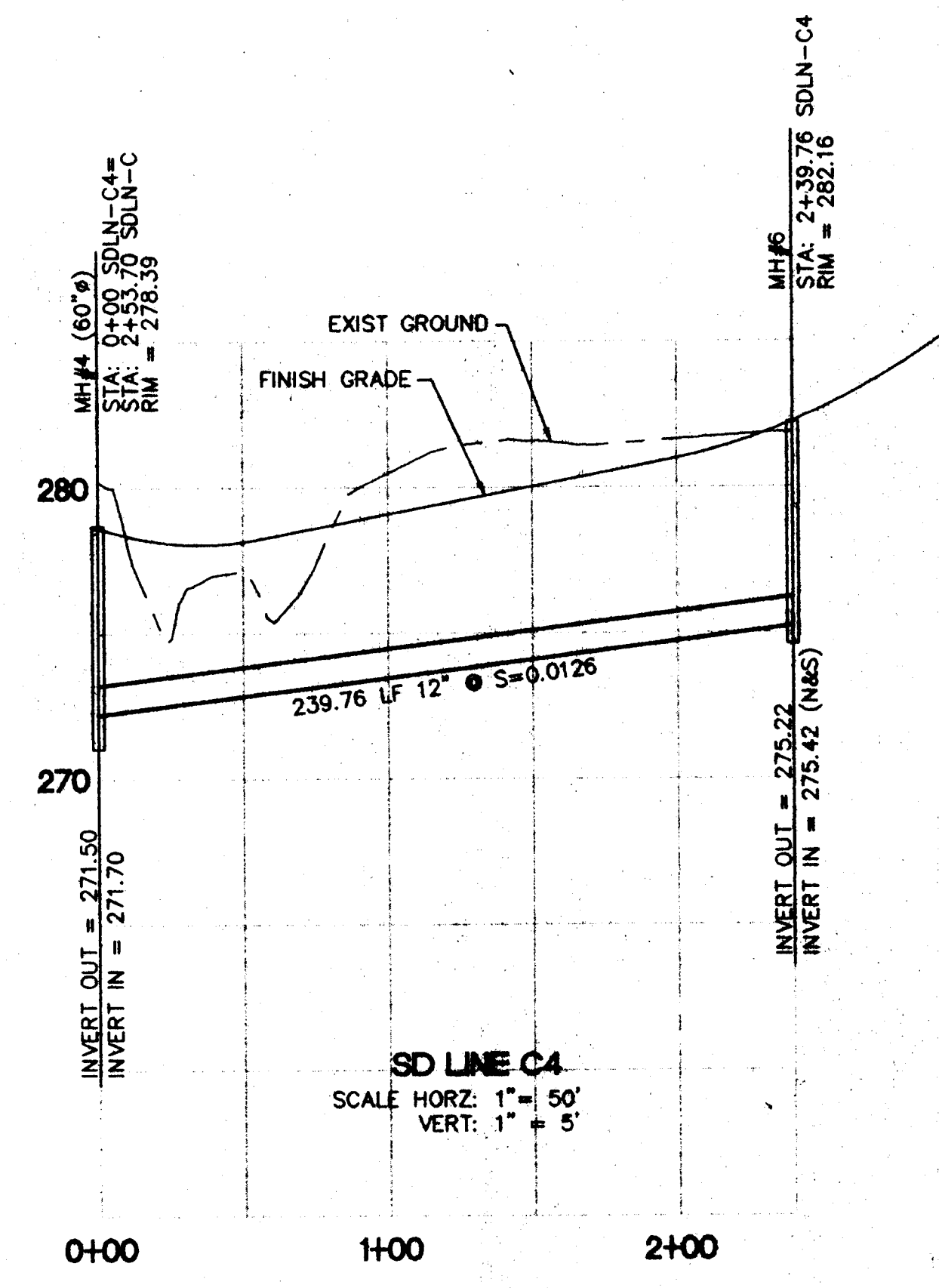
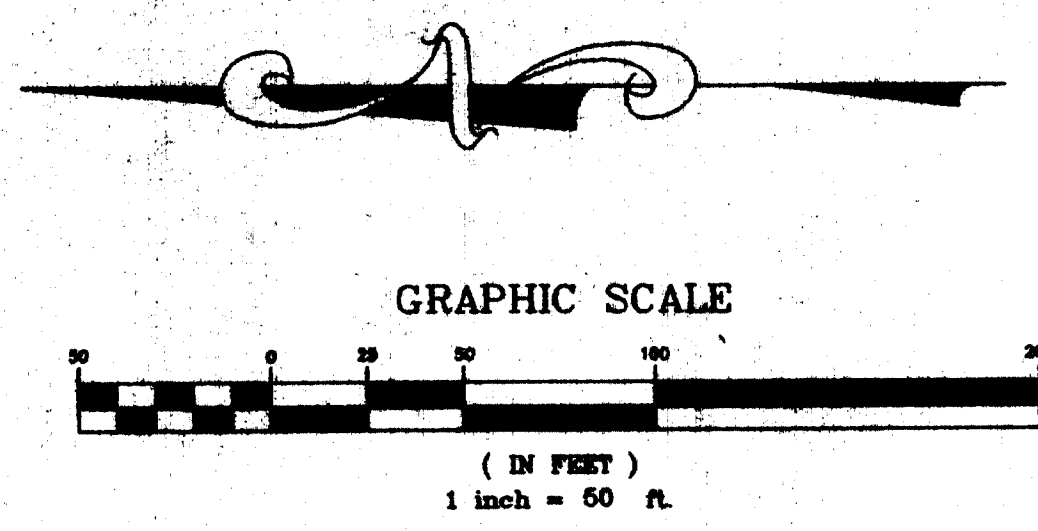


**TITLE SHEET**  
ADDINGTON PLACE III

SHEET	1	OF	14
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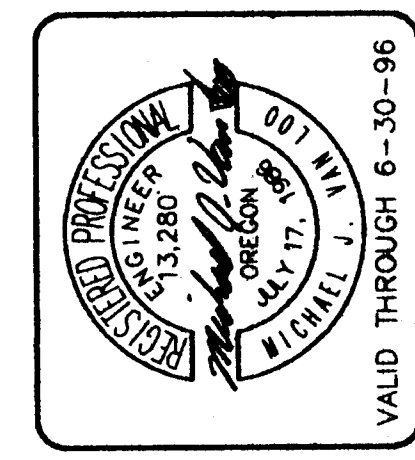
PROJECT	ADDINGTON PL. III
NO.	04-009
TYPE	CONSTRUCTION





NO.	DATE	REVISION	BY

DESIGNED BY	JRC	DATE	5-98
DRAWN BY	JRC	DATE	5-98
REVIEWED BY		DATE	
PROJECT NO.	04-009	REF.	
SCALE	HORIZ. 1" = 50'	VERT. 1" = 5'	
ADDITIONAL			

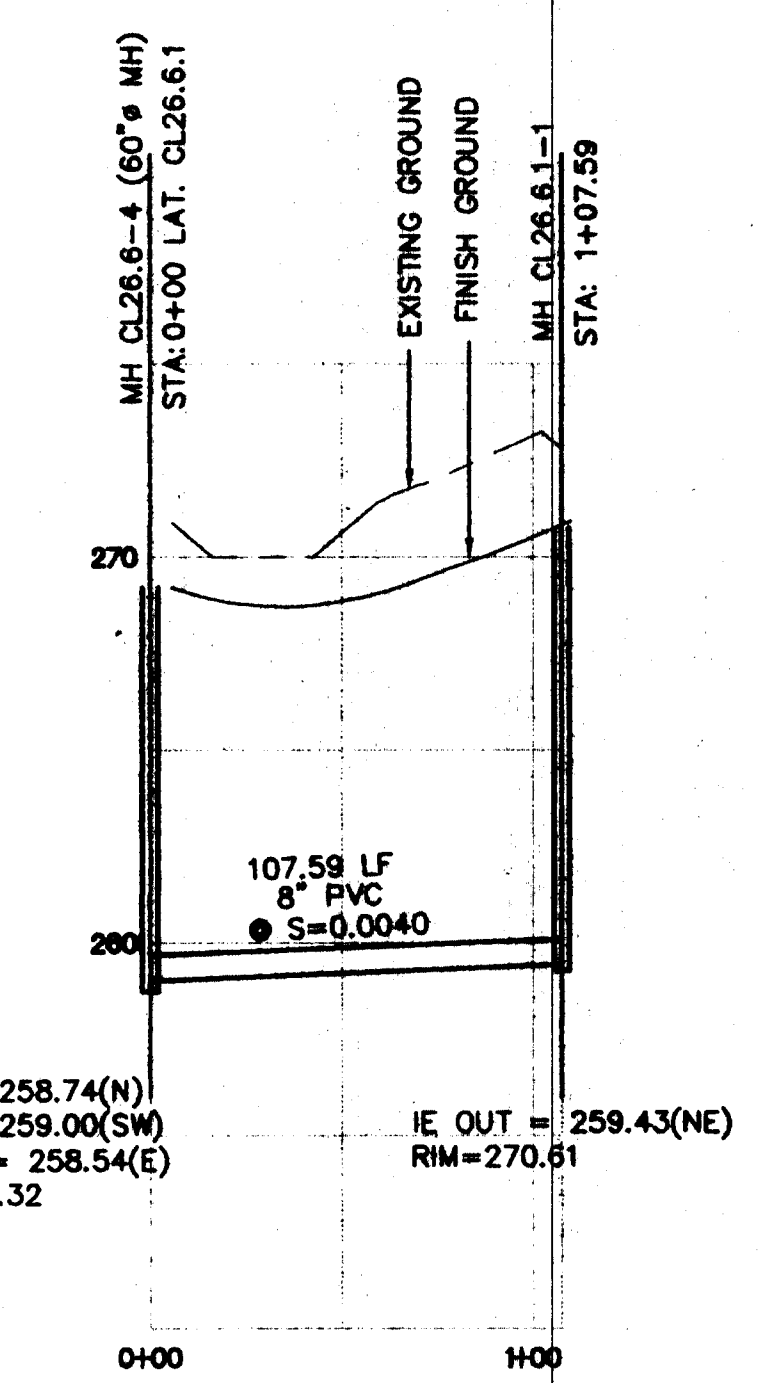
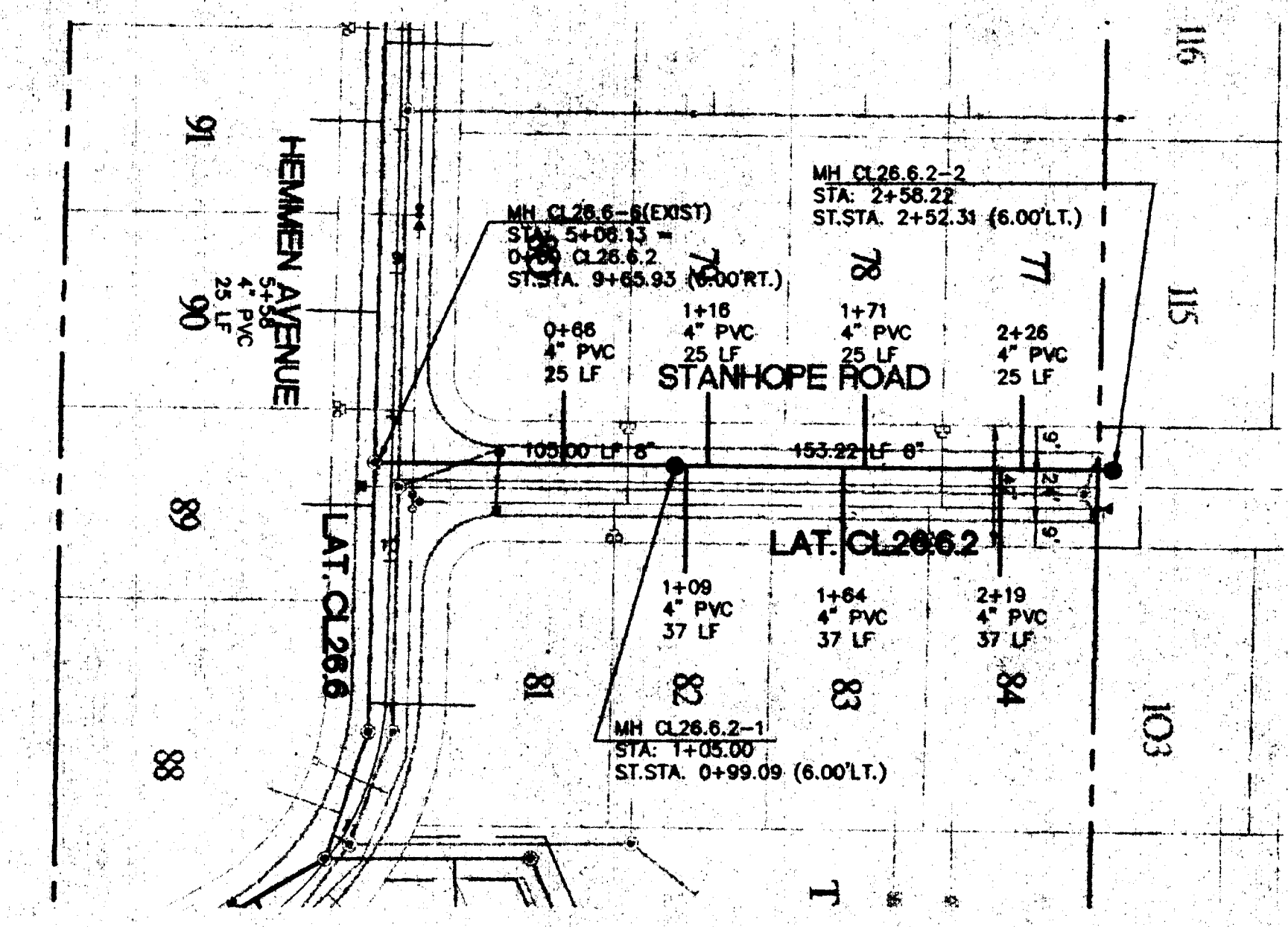
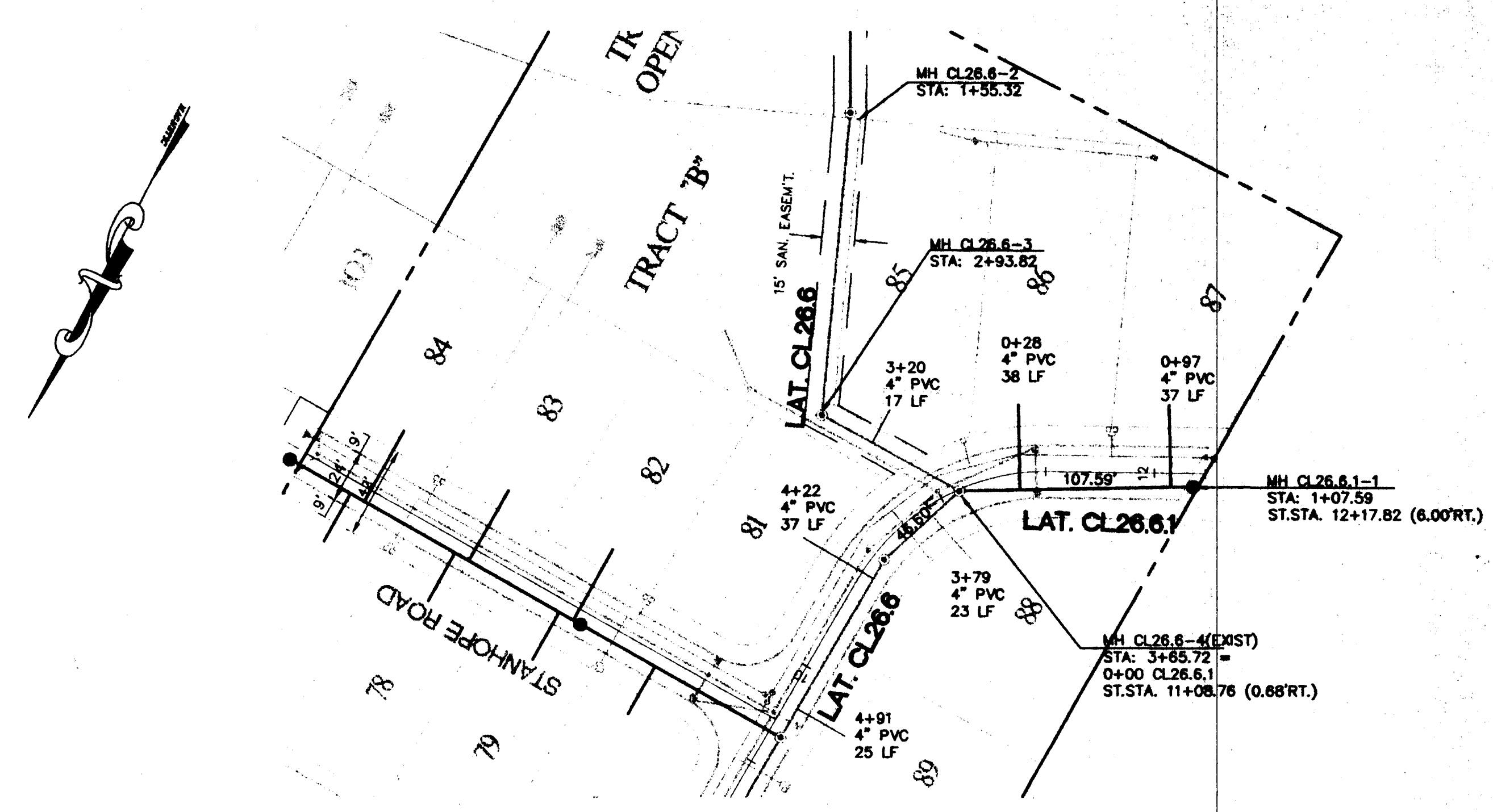
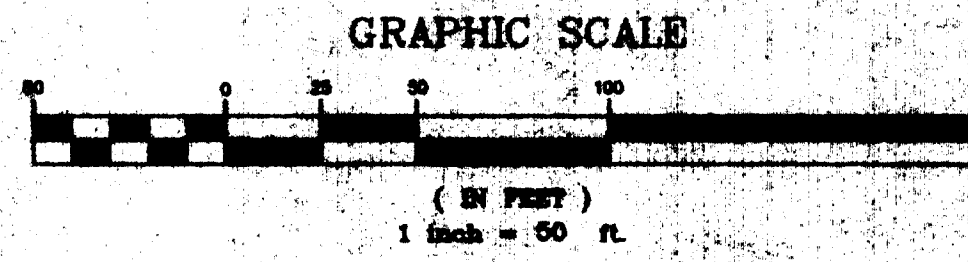


**STORM DRAIN PLAN & PROFILE**  
 ADDINGTON PLACE III

SHEET 7 OF 14

PROJECT	ADDINGTON III
NO.	04-009
TYPE	CONSTRUCTION

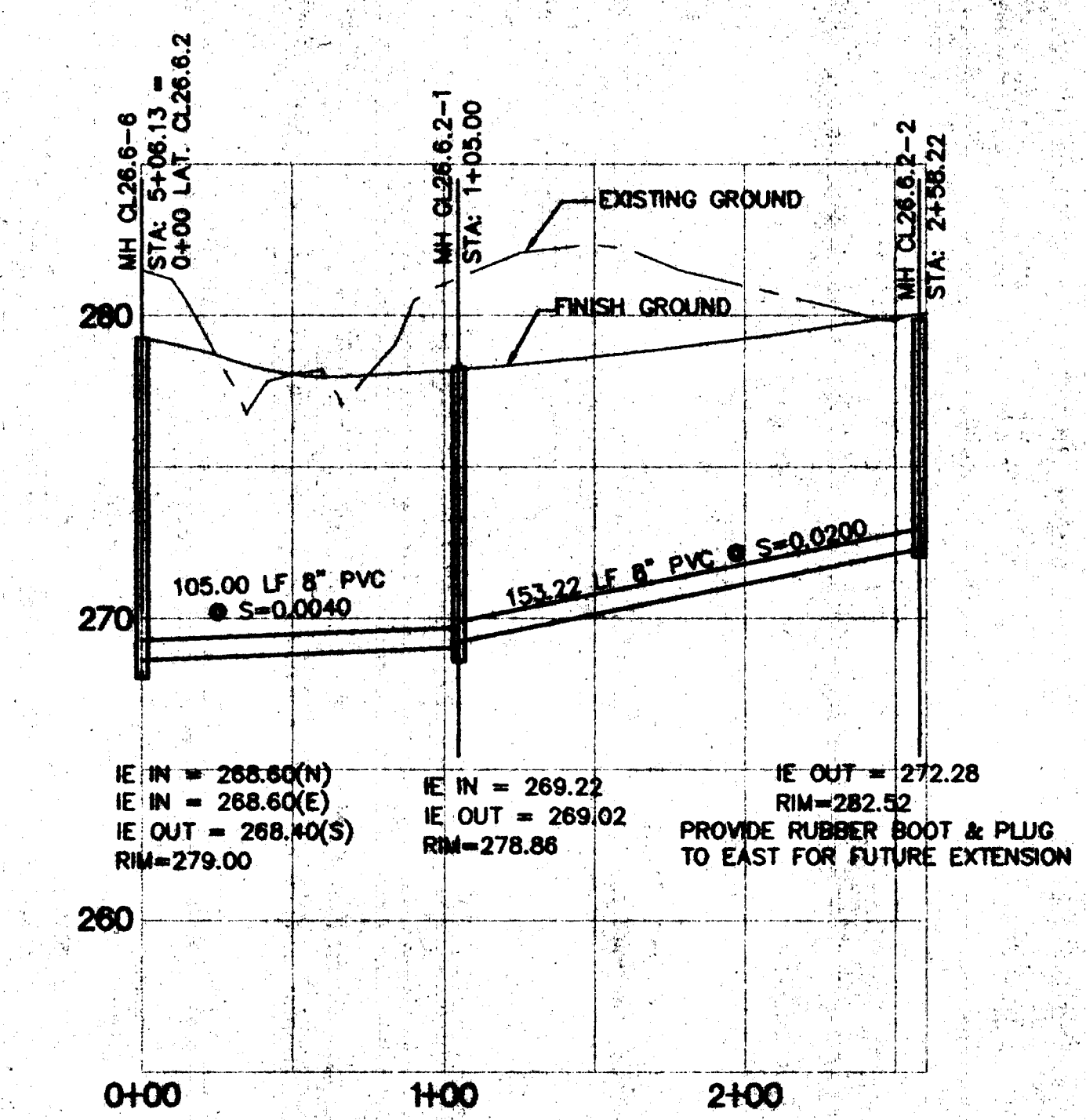




IE IN = 258.74(N)  
 IE IN = 259.00(SW)  
 IE OUT = 258.54(E)  
 RIM=269.32

IE OUT = 259.43(NE)  
 RIM=270.61

LAT. CL26.6.1  
 SCALE: 1" = 50' HORIZ  
 1" = 5' VERT.



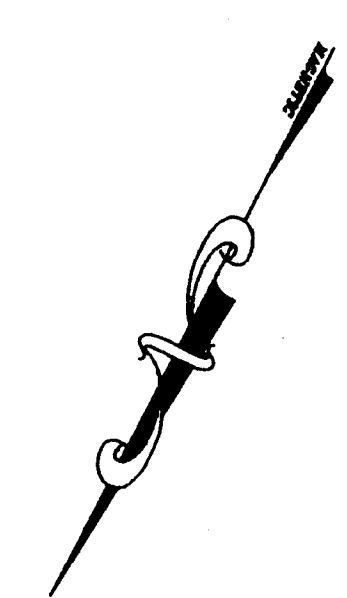
IE IN = 268.60(N)  
 IE IN = 268.60(E)  
 IE OUT = 268.40(S)  
 RIM=279.00

IE IN = 269.22  
 IE OUT = 269.02  
 RIM=278.86

IE OUT = 272.28  
 RIM=282.52

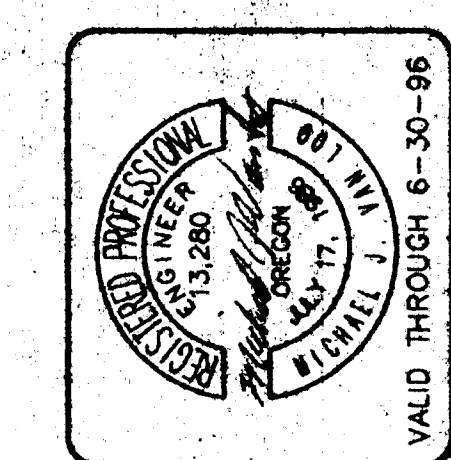
PROVIDE RUBBER BOOT & PLUG TO EAST FOR FUTURE EXTENSION

LAT. CL26.6.2  
 SCALE: 1" = 50' HORIZ  
 1" = 5' VERT.



NO.	DATE	REVISION	BY
1	1/2/98	CONTR	WCH
2	9/25/98	REVISIONS INCORPORATED	WCH

DESIGNED BY	JRC	DATE	5-98
DRAWN BY	JRC	DATE	5-98
REVIEWED BY		DATE	
PROJECT NO.	04-00	RETURNS/REVISED	
SCALE	HORIZ 1"=50'	VERTIC 1"=5'	
ADDRESSING			



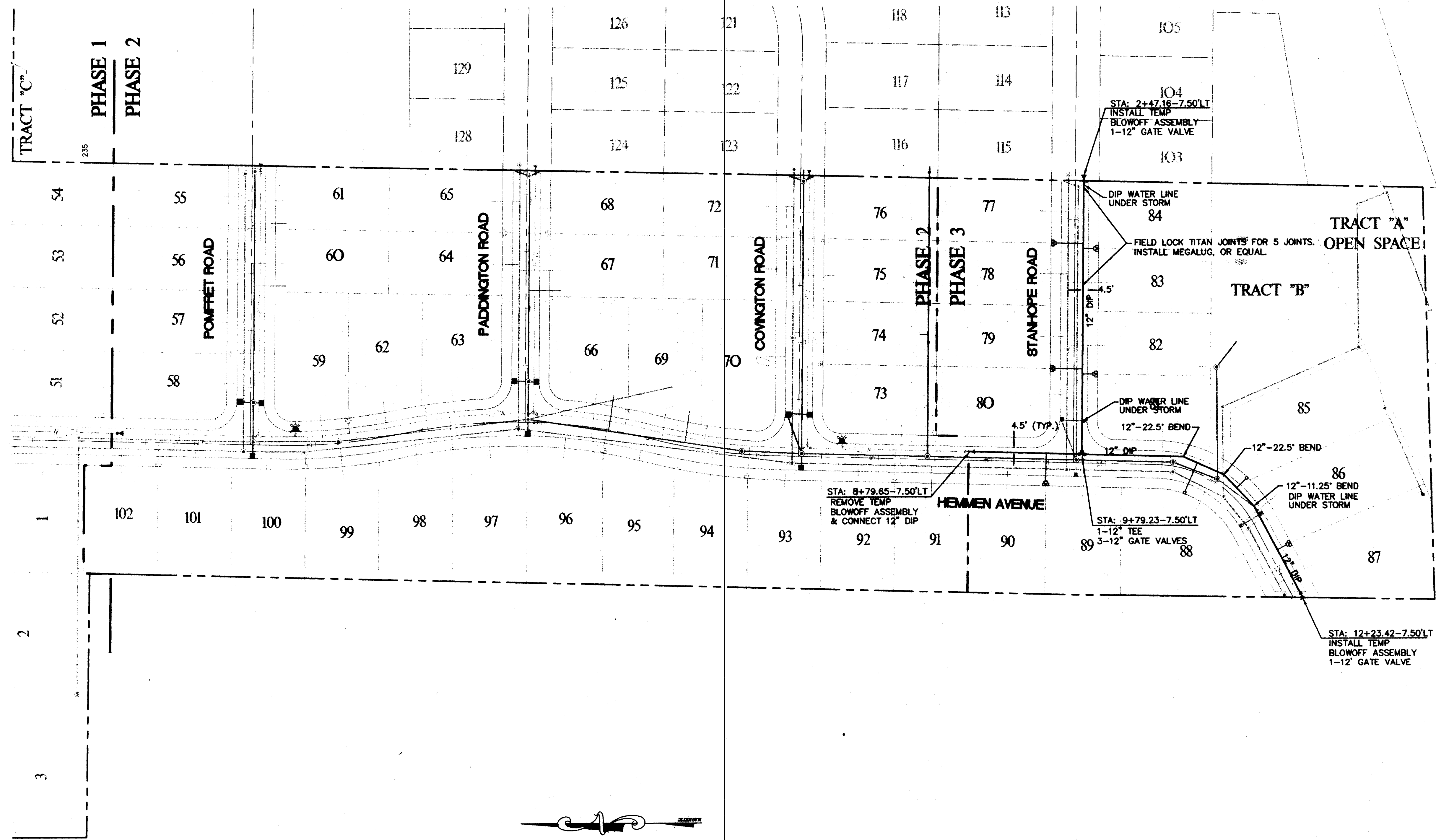
**SANITARY SEWER PLAN & PROFILES**  
 ADDINGTON PLACE III

SHEET **8** OF **14**

PROJECT	ADDINGTON III
NO.	04-00
TYPE	CONSTRUCTION

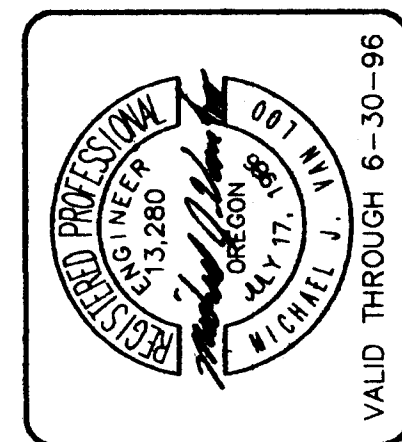
**ALPHA ENGINEERING INC.**  
 ENGINEERING • DEVELOPMENT SERVICES • SURVEYING  
 OFFICE 503-688-8003 • FAX 503-688-8043  
 PLAZA WEST • SUITE 200 • 8000 SW OAK • PORTLAND, OR 97268





NO.	DATE	REVISION	BY
1	6-10-96	REVISED PER COUNTY COMMENTS	JRC

DESIGNED BY: JRC DATE: 5-96  
 DRAWN BY: JRC DATE: 5-96  
 REVIEWED BY: MML DATE: \_\_\_\_\_  
 PROJECT NO. 104-009 REF. \_\_\_\_\_  
 SCALE: HORIZONTAL  
 ADDITIONAL WORK

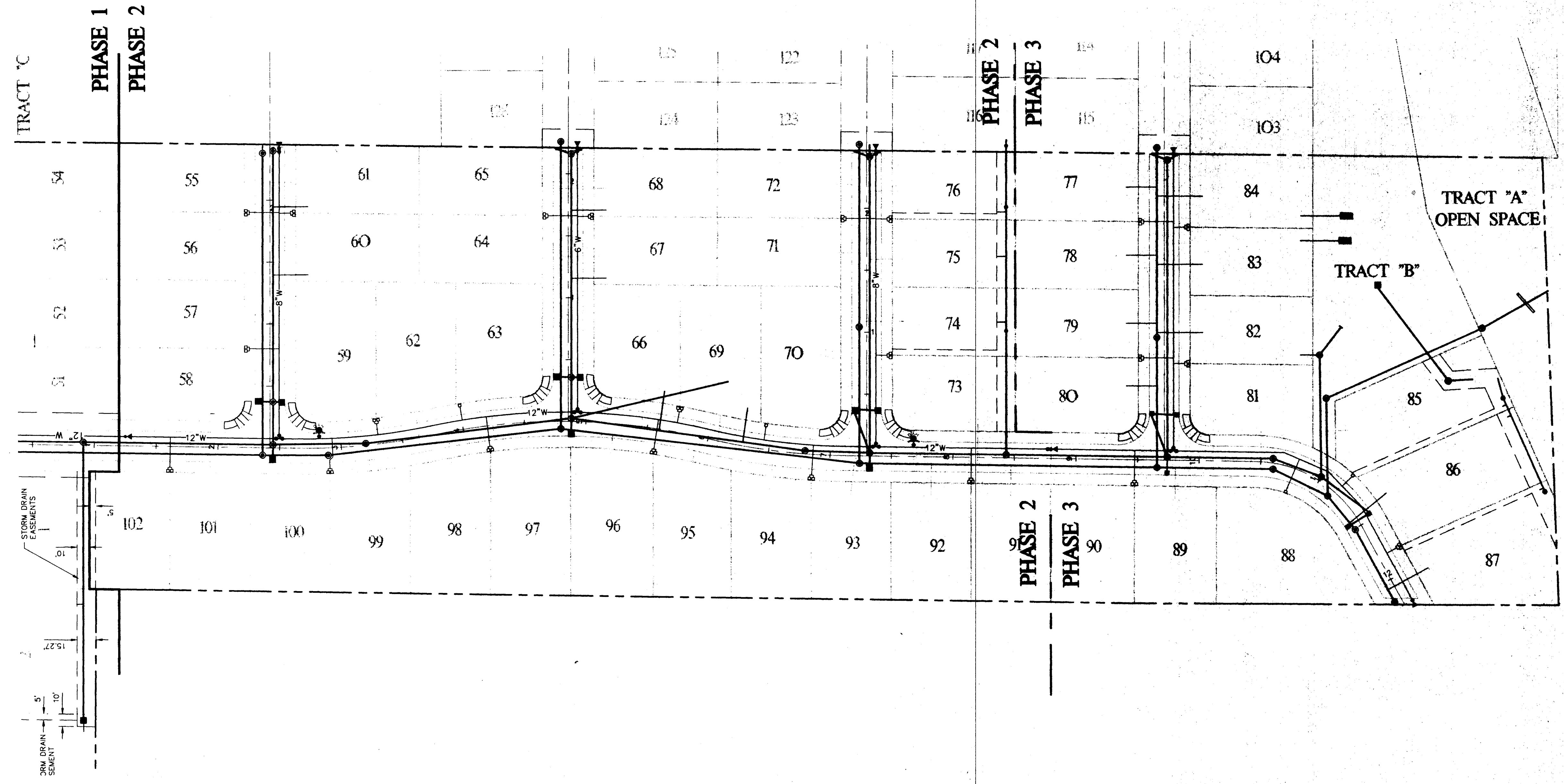
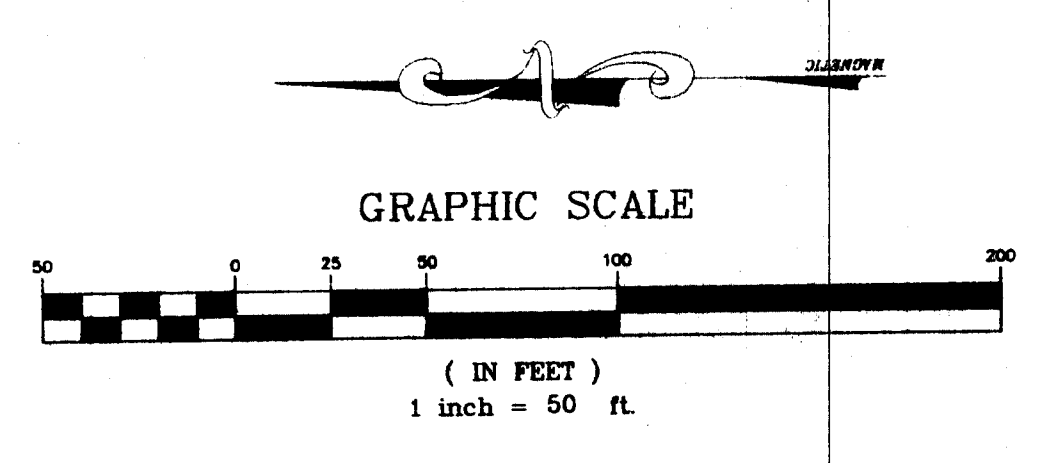


**WATER PLAN**  
 ADDINGTON PLACE III

SHEET **9** OF **14**  
 PROJECT ADDINGTON III  
 NO. 104-009  
 TYPE CONSTRUCTION

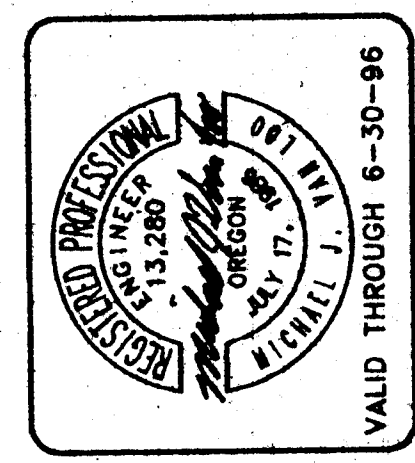
I:\104-009\ACAD\ADD3.WATR Mod Jun 10 16:38:35 1996 JRC





NO.	DATE	REVISION	BY
1	6-12-96	REVISED PER CLACKAMAS COUNTY COMMENTS	JRC

DESIGNED BY	JRC	DATE	5-96
DRAWN BY	JRC	DATE	5-96
REVIEWED BY	MML	DATE	
PROJECT NO.	104-008	REF.	
SCALE	1"=50'		
ADDRESS/COMPANY			



**COMPOSITE UTILITY PLAN**  
 ADDINGTON PLACE III

SHEET **10** OF **14**

PROJECT	ADDINGTON II
NO.	104-008
TYPE	CONSTRUCTION

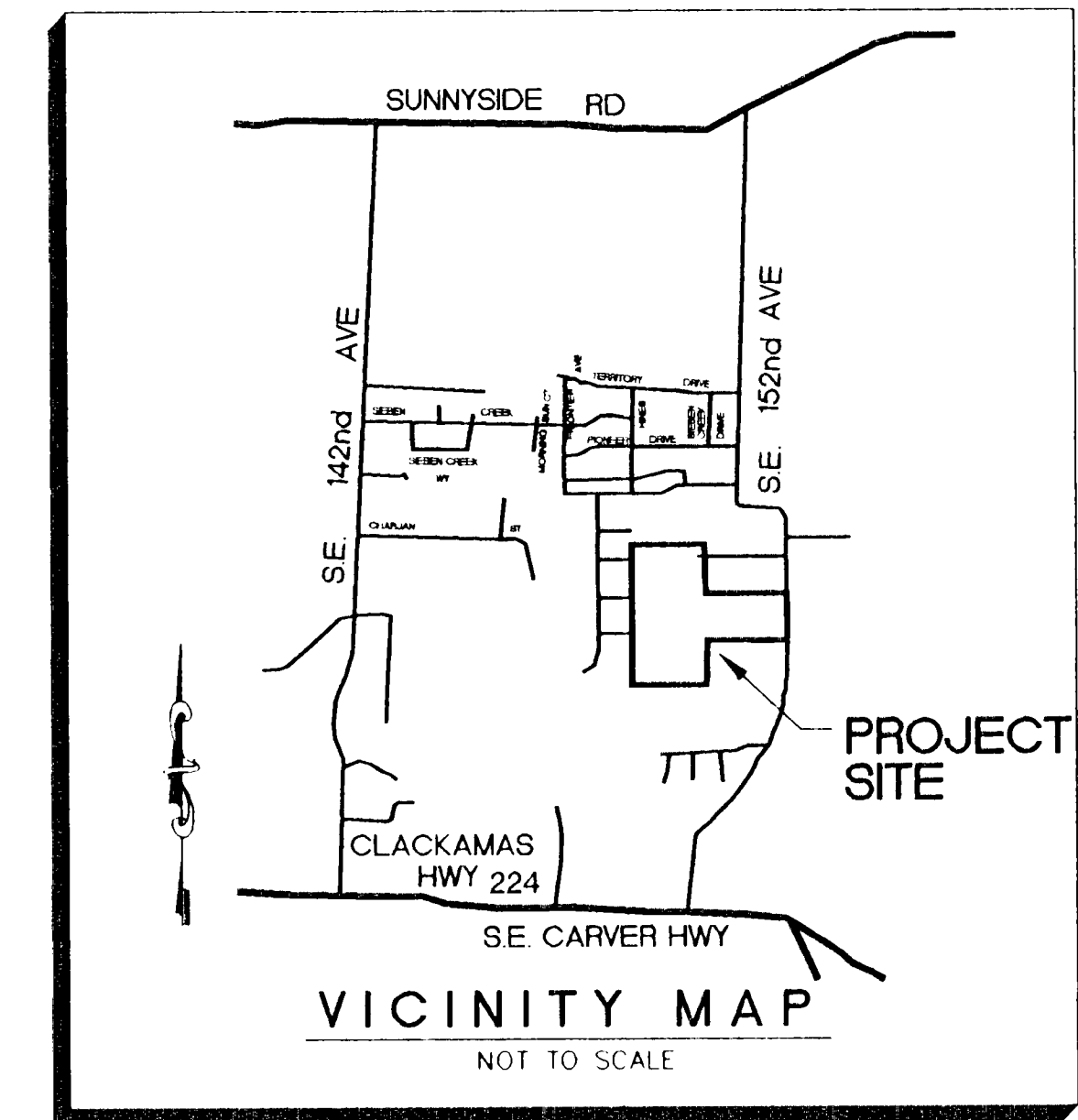
JUL 13 1996



# ADDINGTON PLACE IV & V IMPROVEMENT PLANS

CLACKAMAS COUNTY  
FILE NO. Z0153-96-Z / Z0154-96-SL

PREPARED FOR  
**KEYSTONE ENTERPRISES**  
PO BOX 1082  
CLACKAMAS, OREGON 97015  
503 / 655-6295  
FAX / 655-7263



SITUATED IN THE NORTHWEST 1/4 OF SECTION 12,  
TOWNSHIP 2 SOUTH, RANGE 2 EAST, OF THE WILLAMETTE  
MERIDIAN, CLACKAMAS COUNTY, OREGON

### UTILITY COMPANIES

- WATER - MT. SCOTT WATER DISTRICT
- SEWER - CLACKAMAS COUNTY SERVICE DISTRICT NO. 1
- GAS - NORTHWEST NATURAL GAS
- ELECTRIC - PORTLAND GENERAL ELECTRIC
- TELEPHONE - G.T.E.
- CABLE TV - PARAGON CABLE

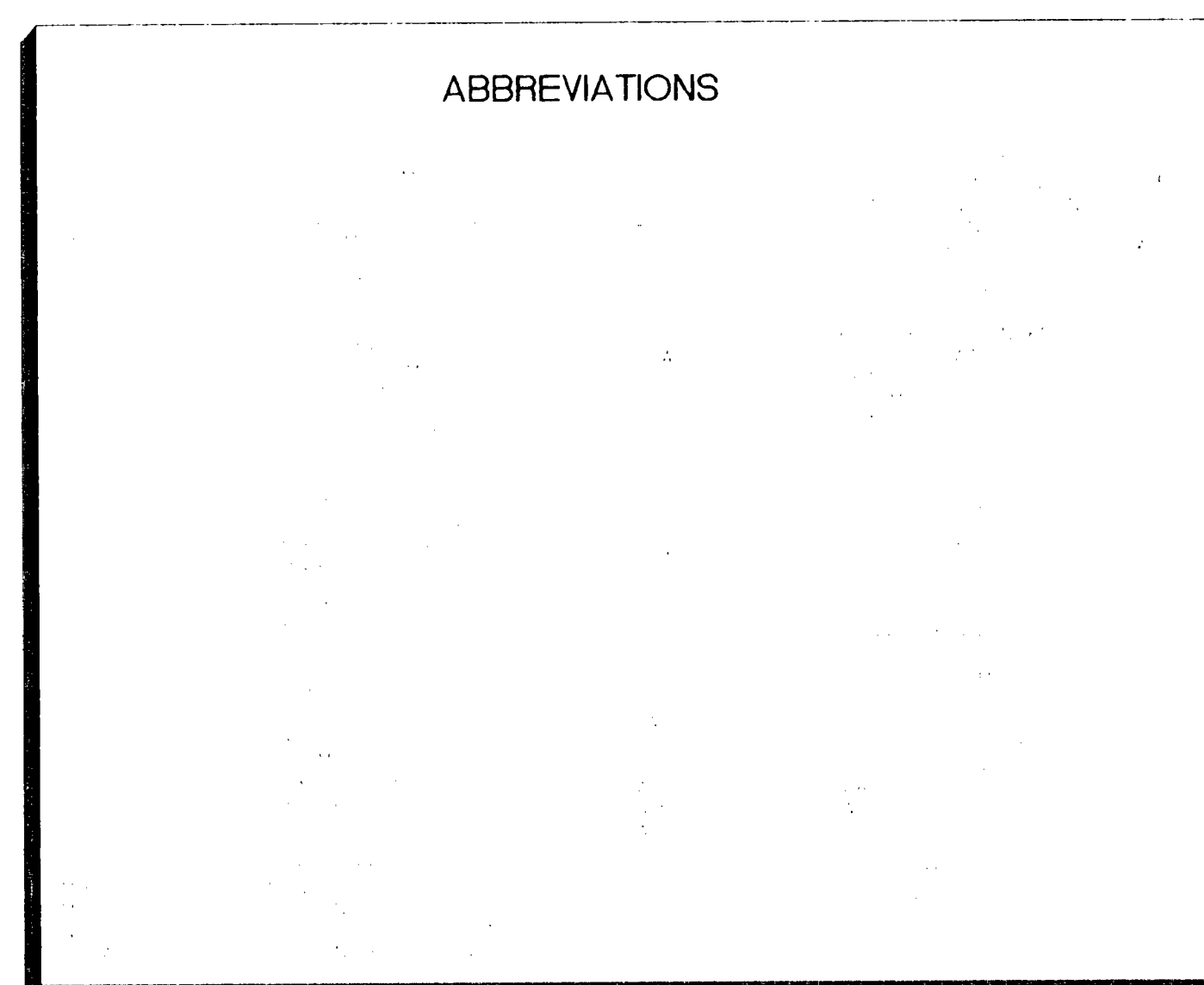
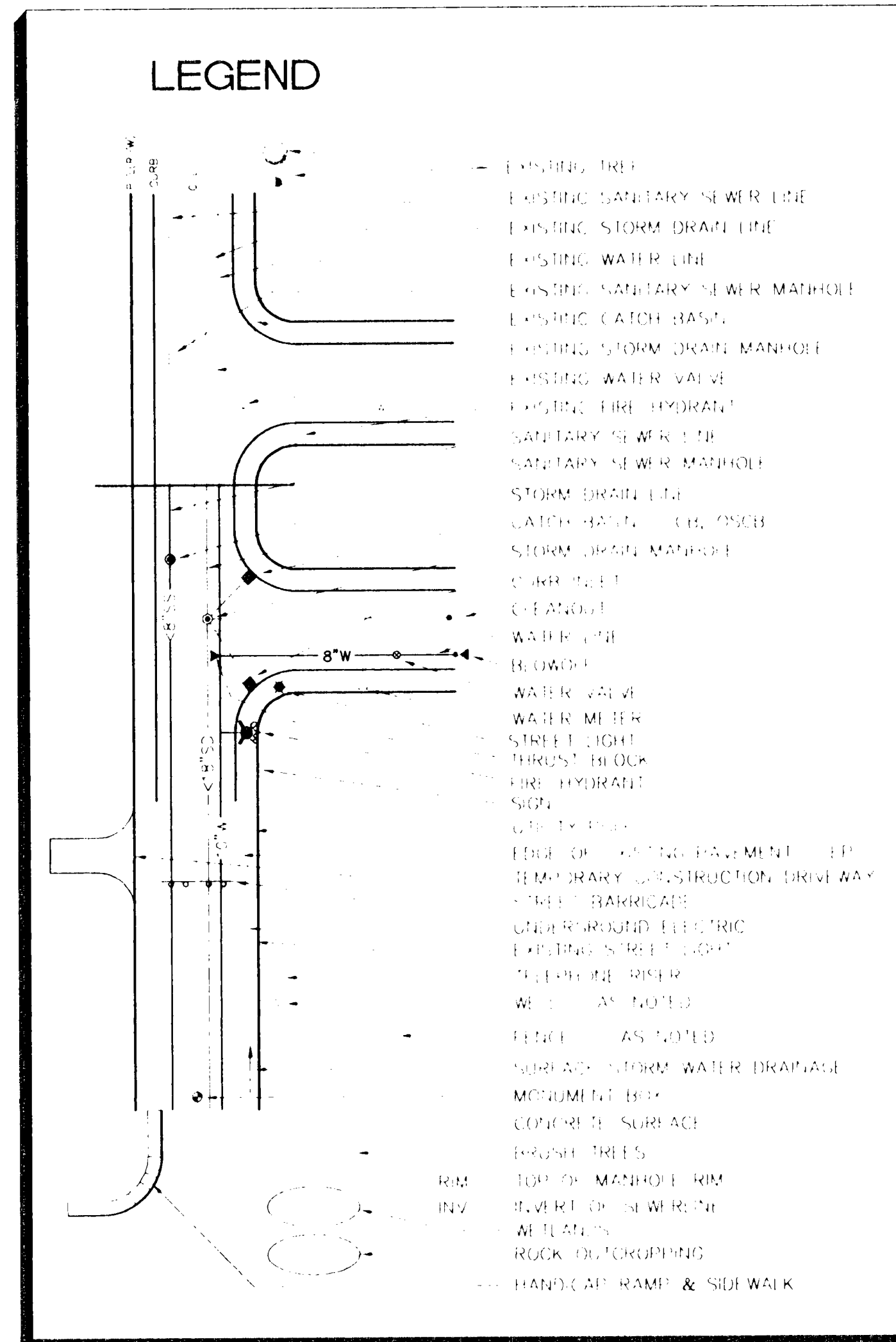
### LOCATES (48 HOURS NOTICE REQUIRED PRIOR TO EXCAVATION)

- ONE CALL SYSTEM (GENERAL TELEPHONE, NORTHWEST NATURAL GAS) - 246-6699
- PORTLAND GENERAL ELECTRIC - 246-6699
- CABLE TELEVISION - PARAGON - 667-2020

### REPAIR EMERGENCIES

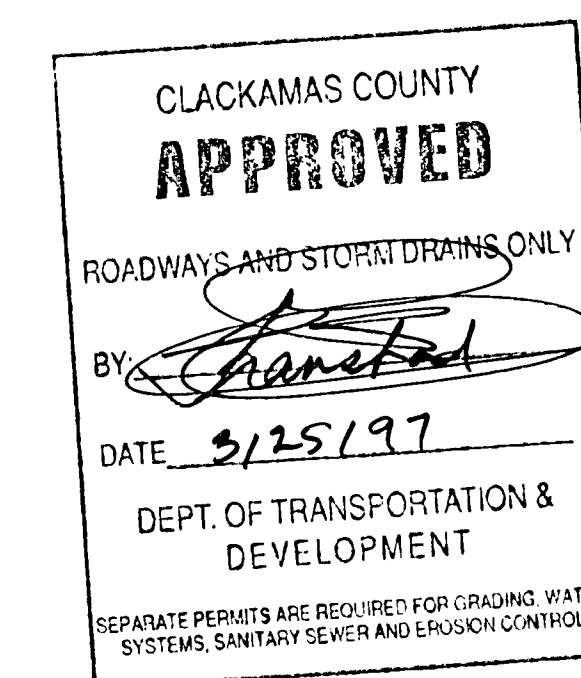
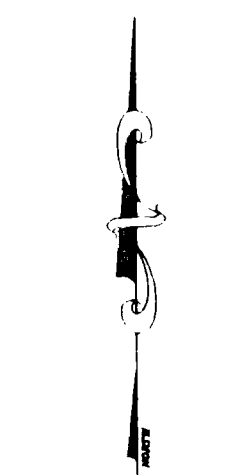
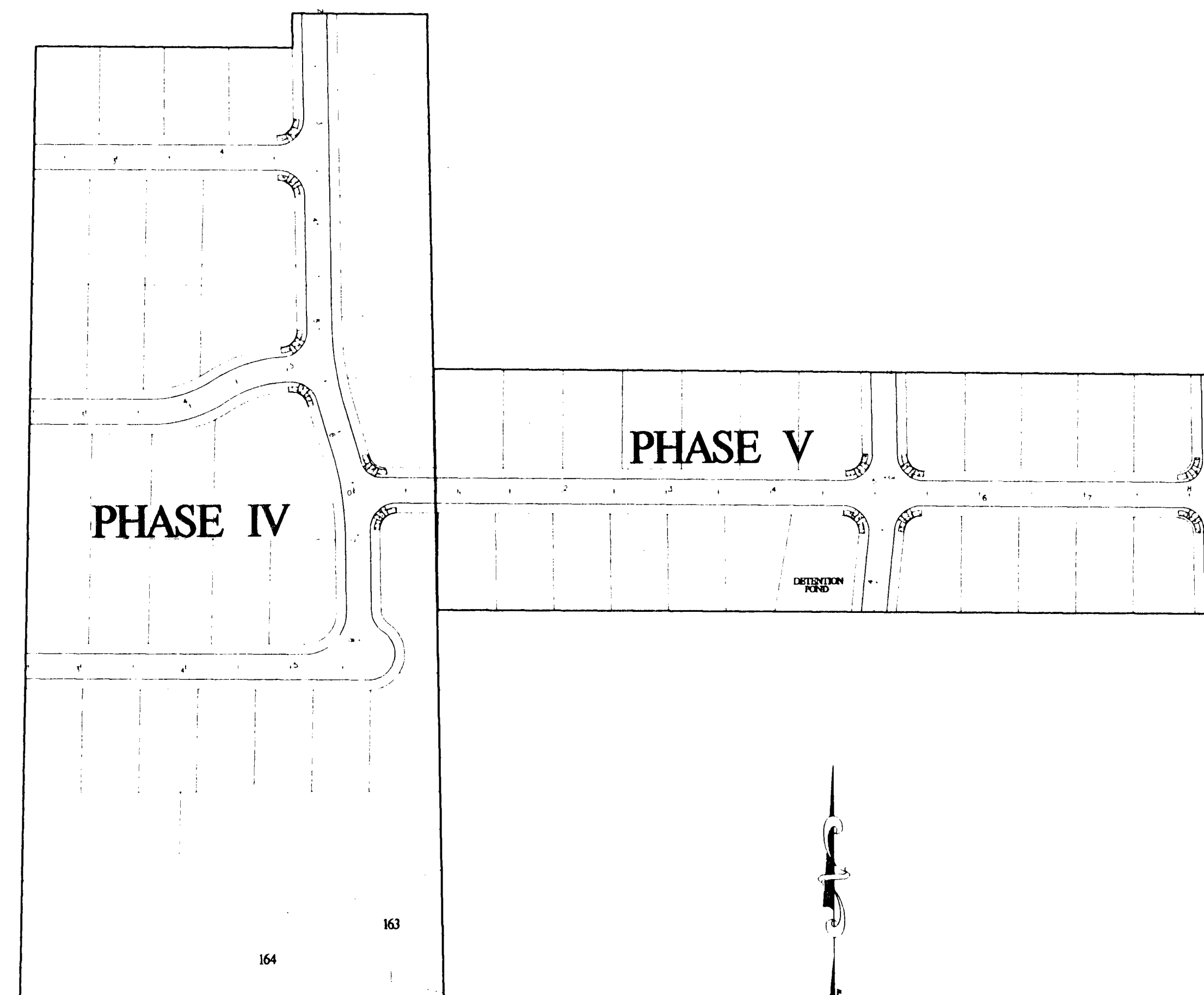
- NORTHWEST NATURAL GAS - 220-2415
- GENERAL TELEPHONE - 800-628-2088
- PORTLAND GENERAL ELECTRIC - 464-7777
- PARAGON CABLE - 230-2020

THE CONTRACTOR, IN LOCATING AND PROTECTING UNDERGROUND UTILITIES, MUST COMPLY WITH THE REGULATIONS OF O.R.S. 757.541 TO 757.571.



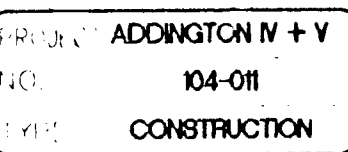
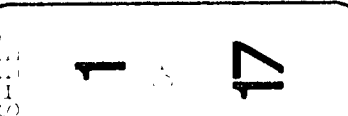
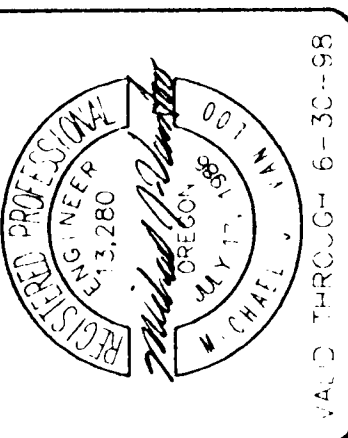
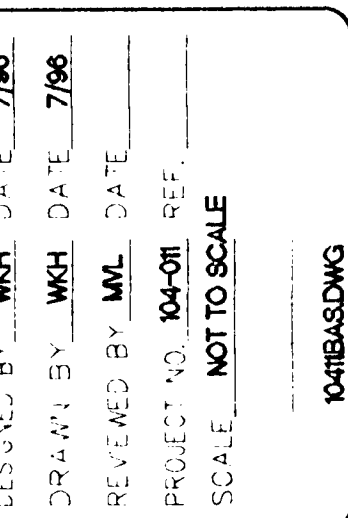
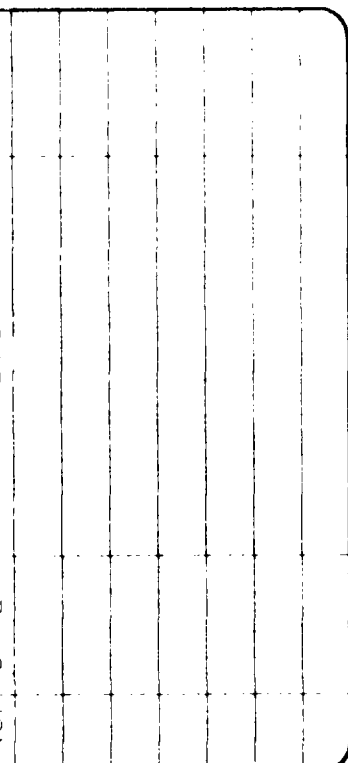
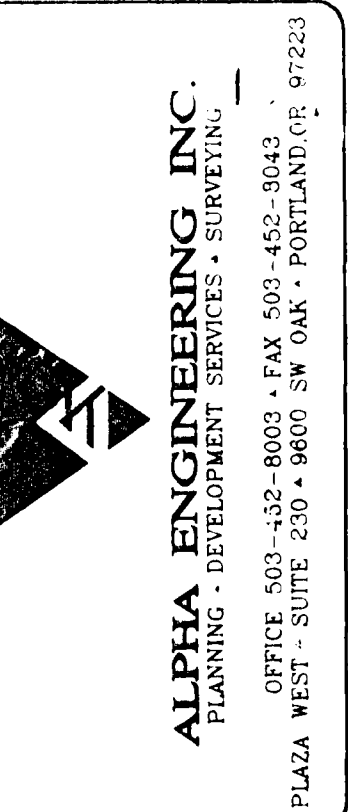
### BENCHMARK

TOP RIM SANITARY SEWER MANHOLE SL 105-6  
LOCATED 10 FEET NORTHWEST OF CENTERLINE  
INTERSECTIONS FOR FRONTIER AVENUE AND  
PIONEER DRIVE. NORTH RIM ELEVATION = 320.48



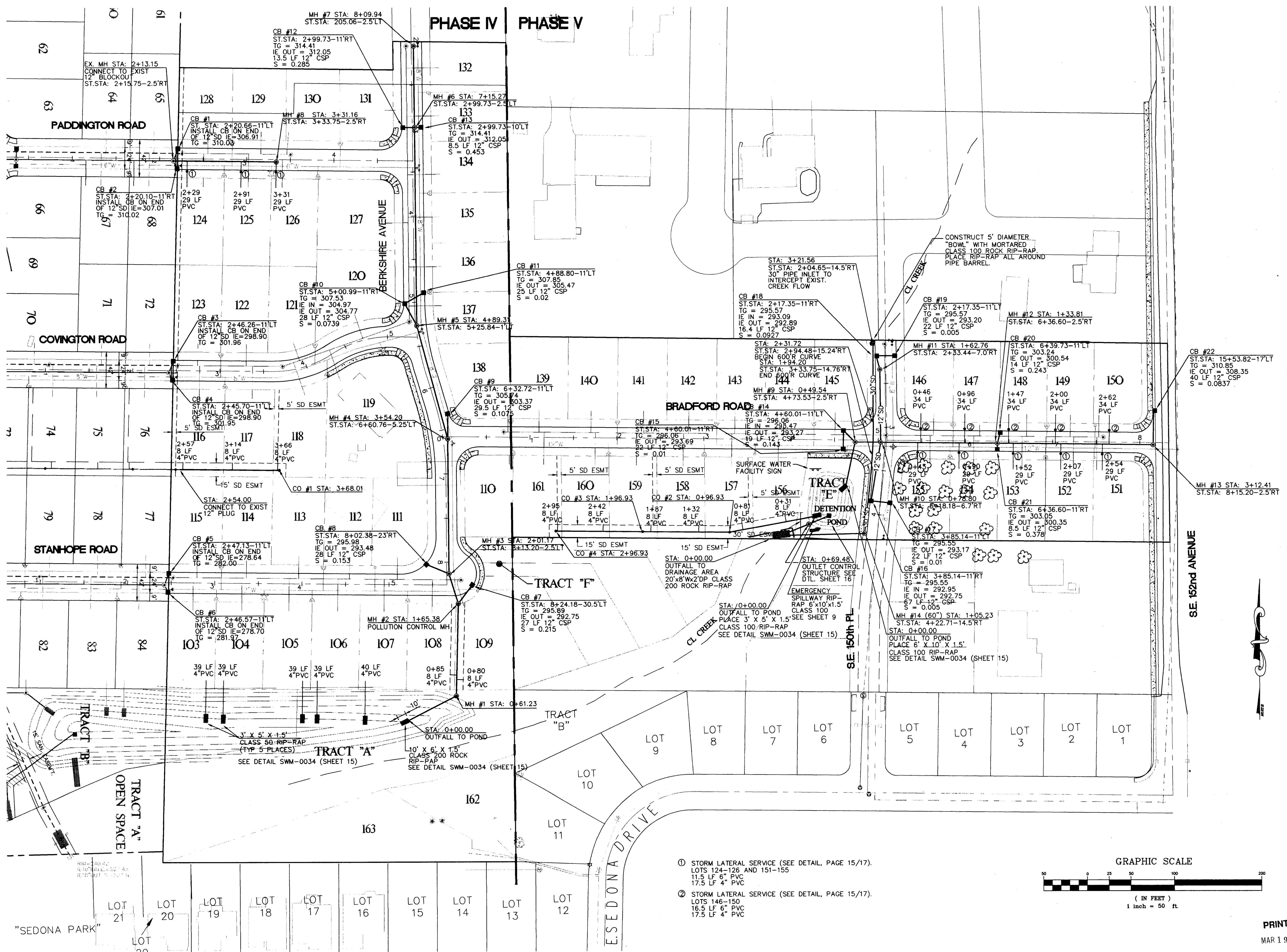
### SHEET INDEX

- 1 TITLE SHEET
- 2 CONSTRUCTION NOTES
- 3 SITE PLAN
- 4 GRADING AND EROSION CONTROL PLAN
- 5 STREET PLAN
- 6-7 STREET PROFILES
- 8 STORM DRAIN PLAN
- 9 STORM DRAIN PROFILES
- 10-11 SANITARY SEWER PLAN & PROFILES
- 12 WATER PLAN
- 13 COMPOSITE UTILITY PLAN
- 14 SANITARY SEWER DETAILS
- 15-17 CONSTRUCTION DETAILS



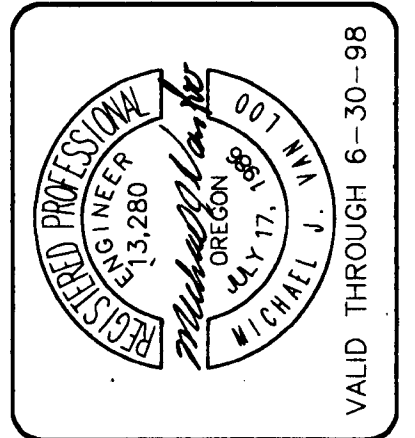
633





NO.	DATE	REVISION	BY

DESIGNED BY: WKH DATE: 7/96  
 DRAWN BY: WKH DATE: 7/96  
 REVIEWED BY: MML DATE:    
 PROJECT NO. 104-011 REF. 104EAS  
 SCALE: HOPE 1"=50'  
 KAHSTEN



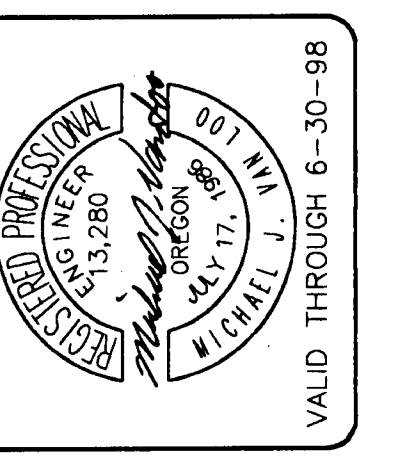
**STORM DRAIN PLAN**  
 ADDINGTON PLACE IV & V

SHEET **8** OF **17**  
 PRINTED  
 MAR 19 1997  
 PROJECT ADDINGTON IV & V  
 NO. 104-011  
 TYPE CONSTRUCTION



NO.	DATE	REVISION	BY

DESIGNED BY	WKH	DATE	7/06
DRAWN BY	WKH	DATE	7/06
REVIEWED BY	MLL	DATE	
PROJECT NO.	104-01	REF.	JWB/EAS
SCALE	HORIZ: 1"=50'	VERT: 1"=5'	DATE/PROF

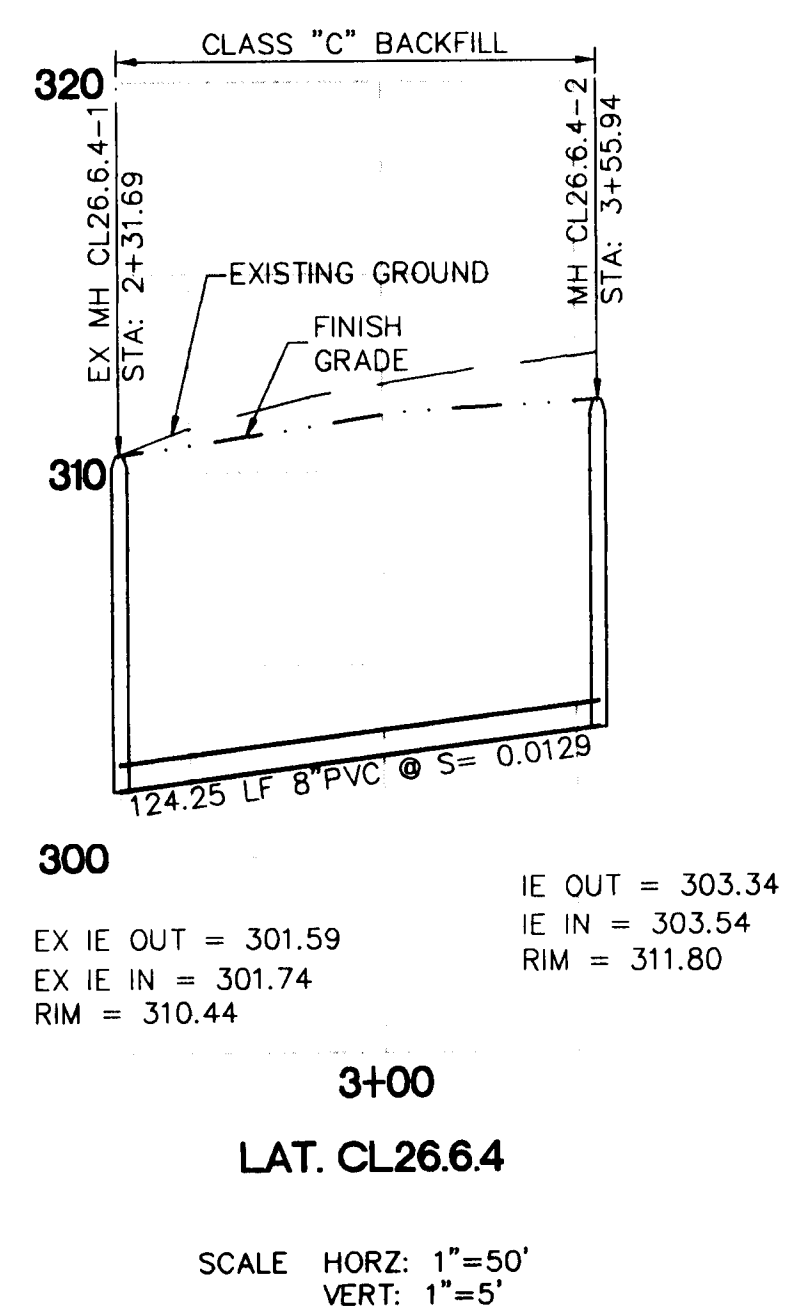
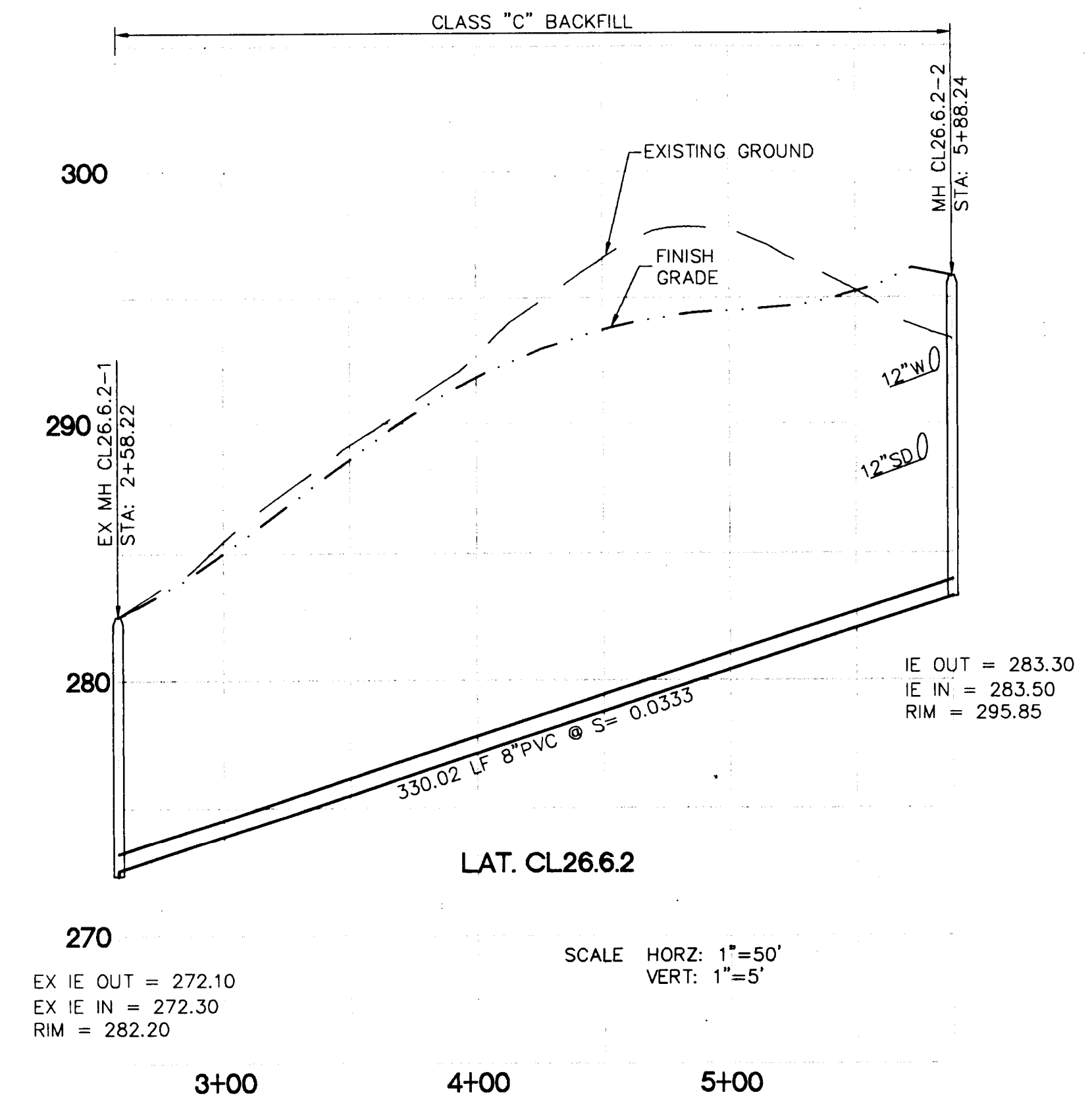
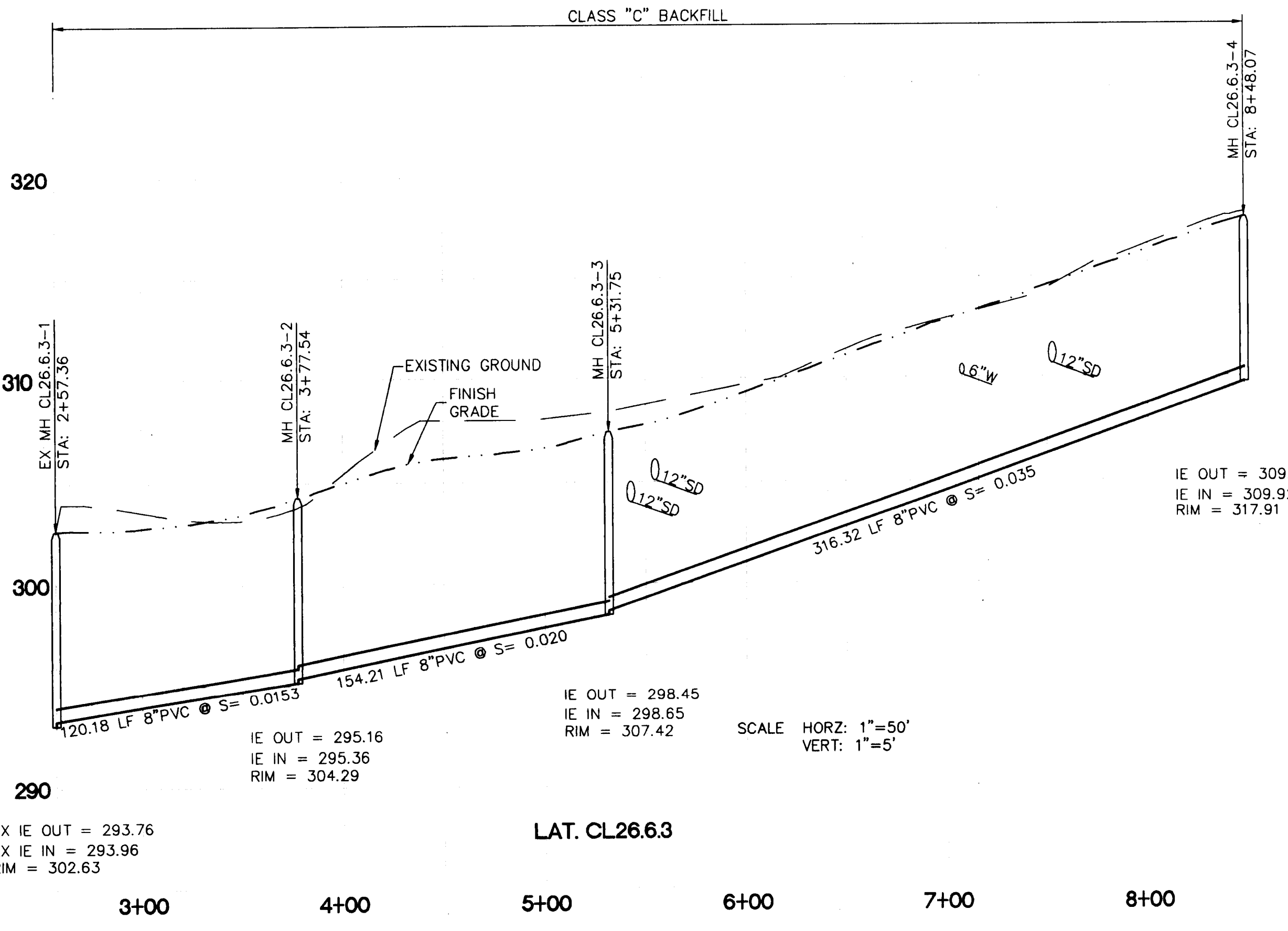
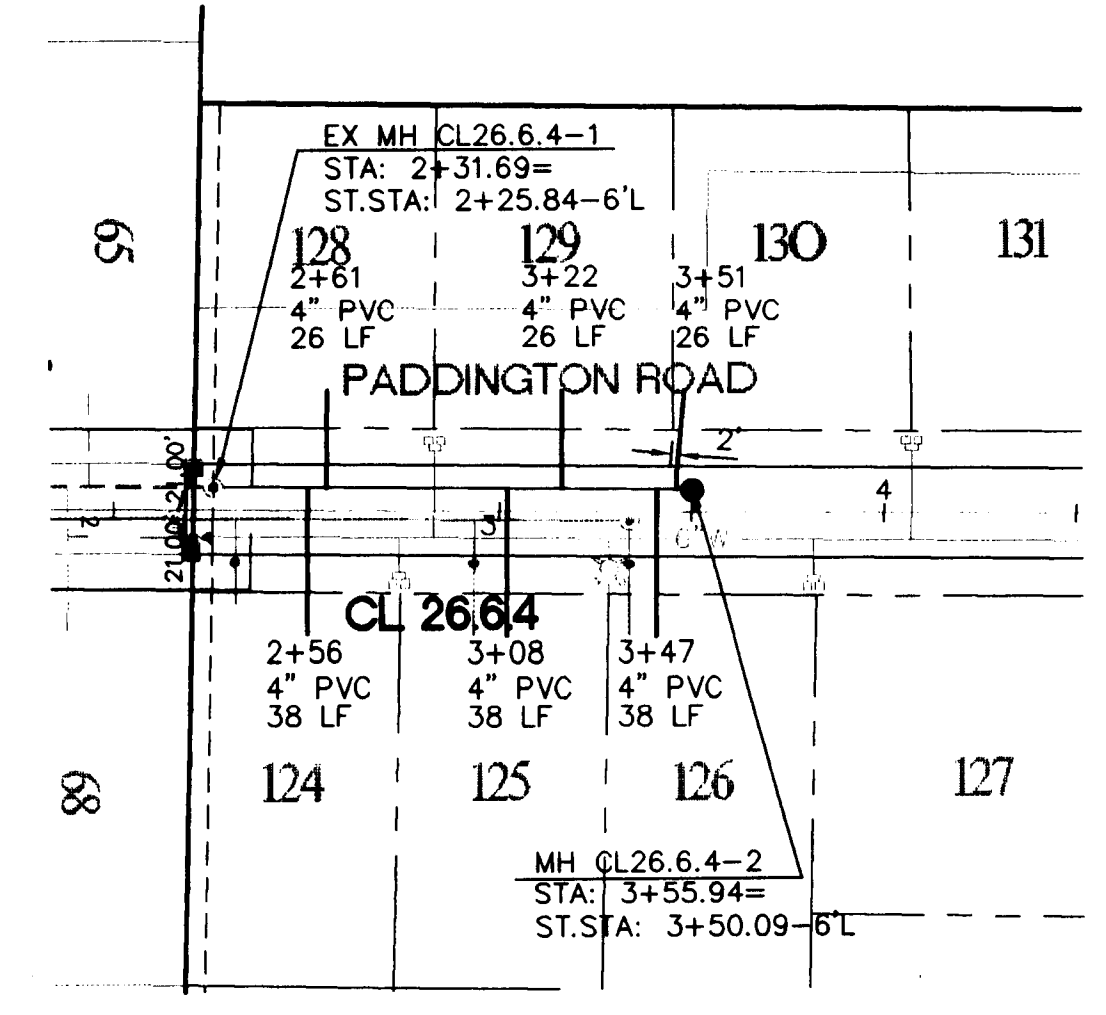
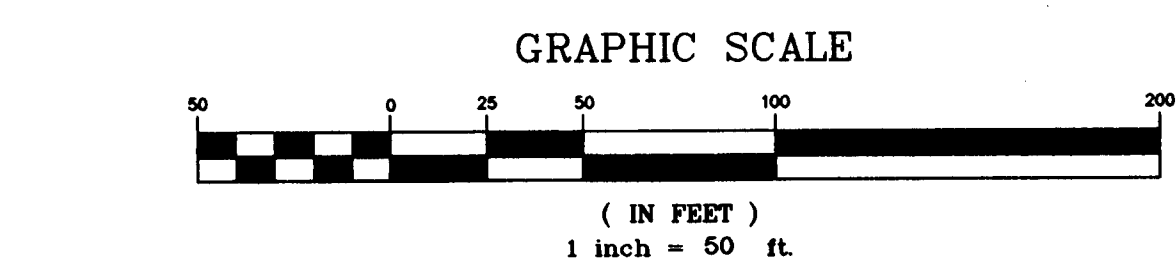
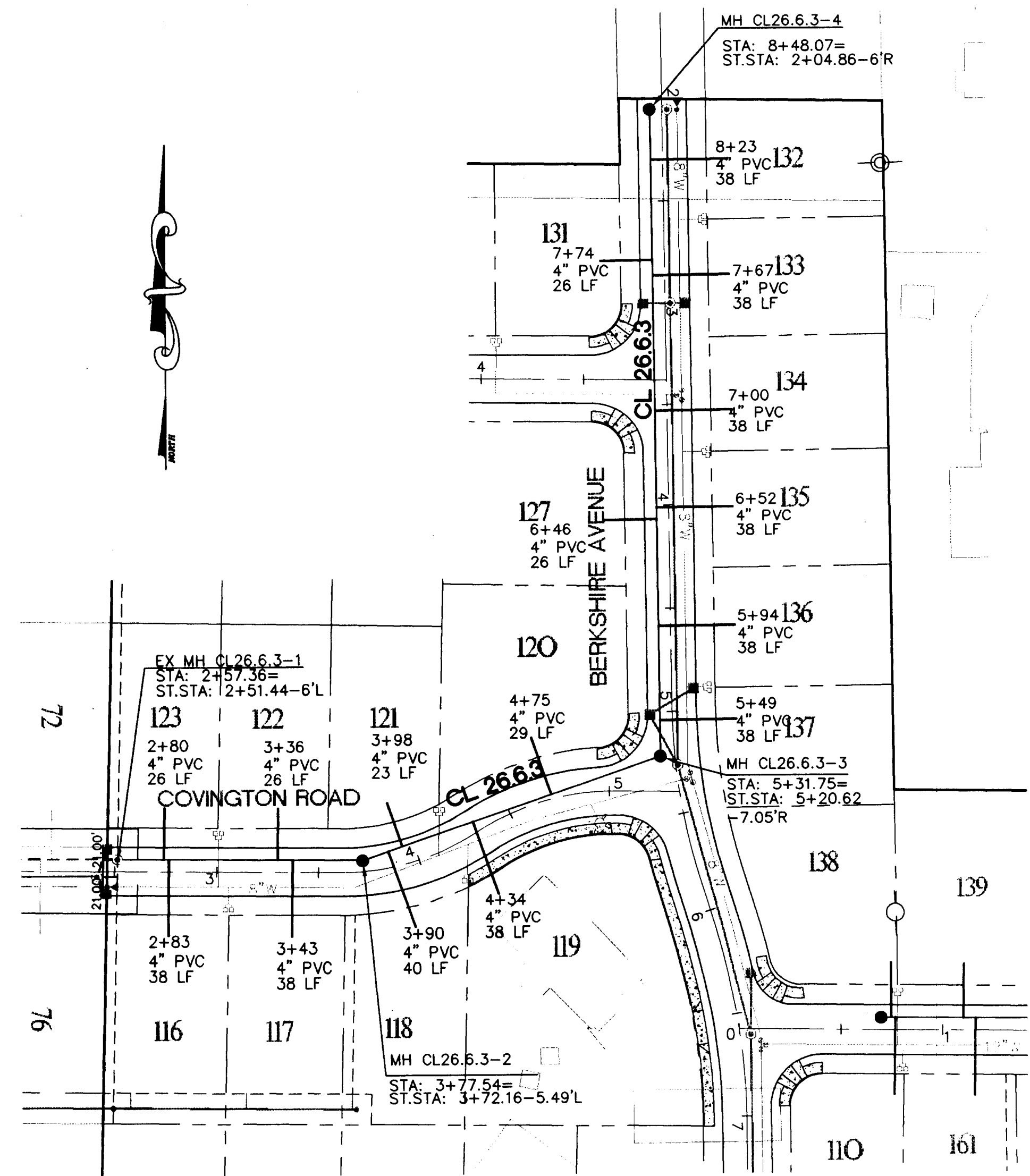
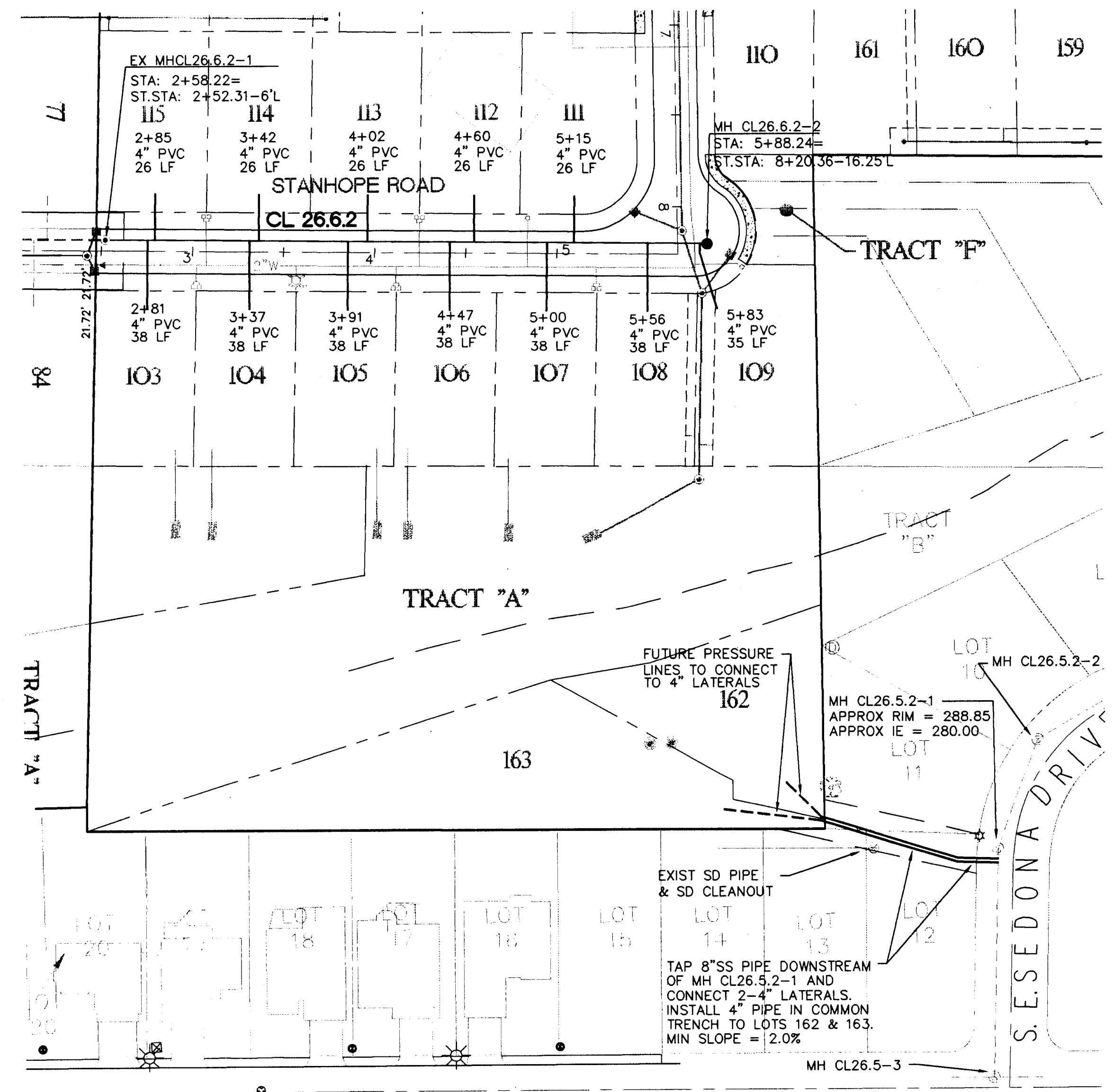


**SANITARY SEWER SHEET 1**  
 ADDINGTON PLACE IV & V

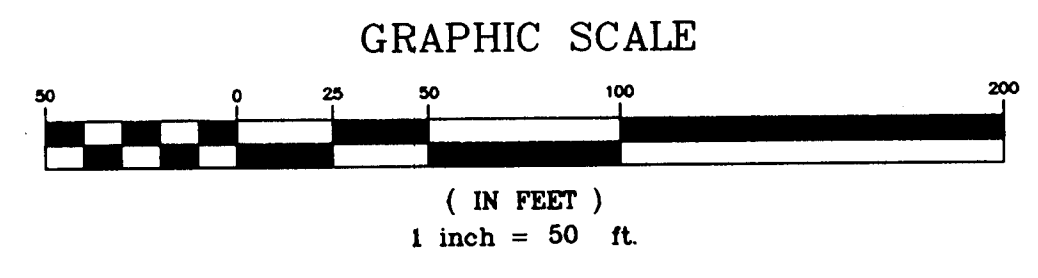
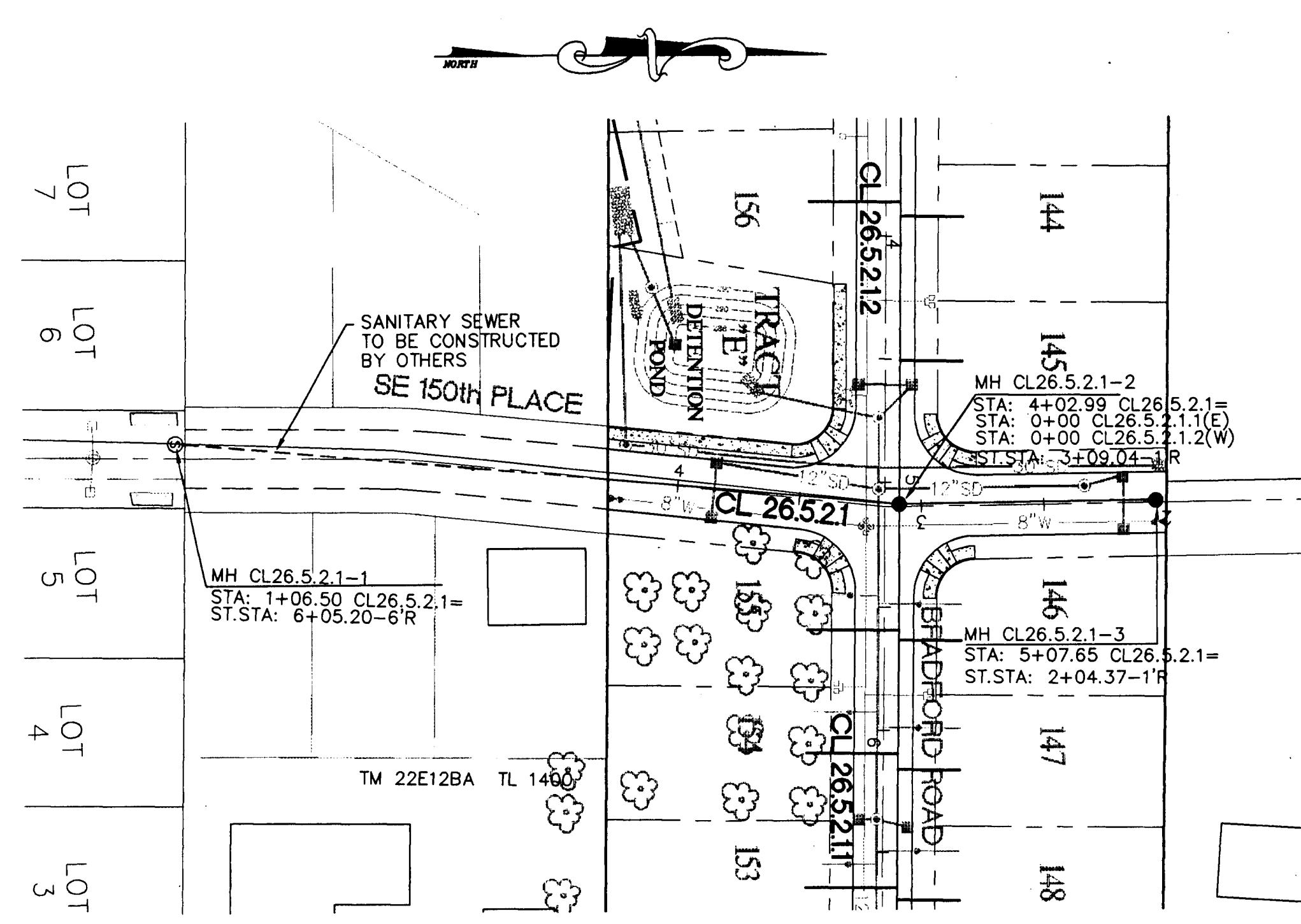
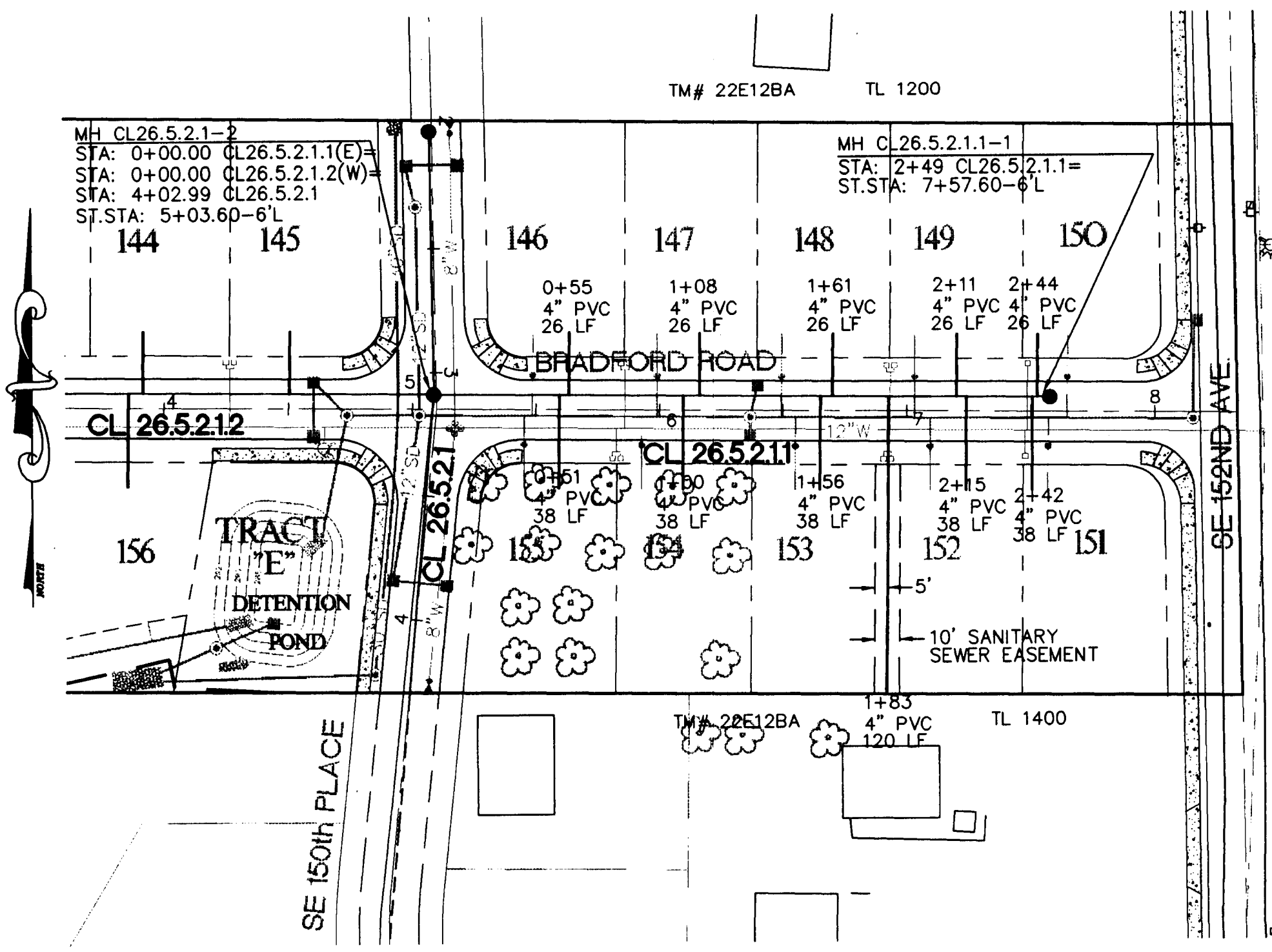
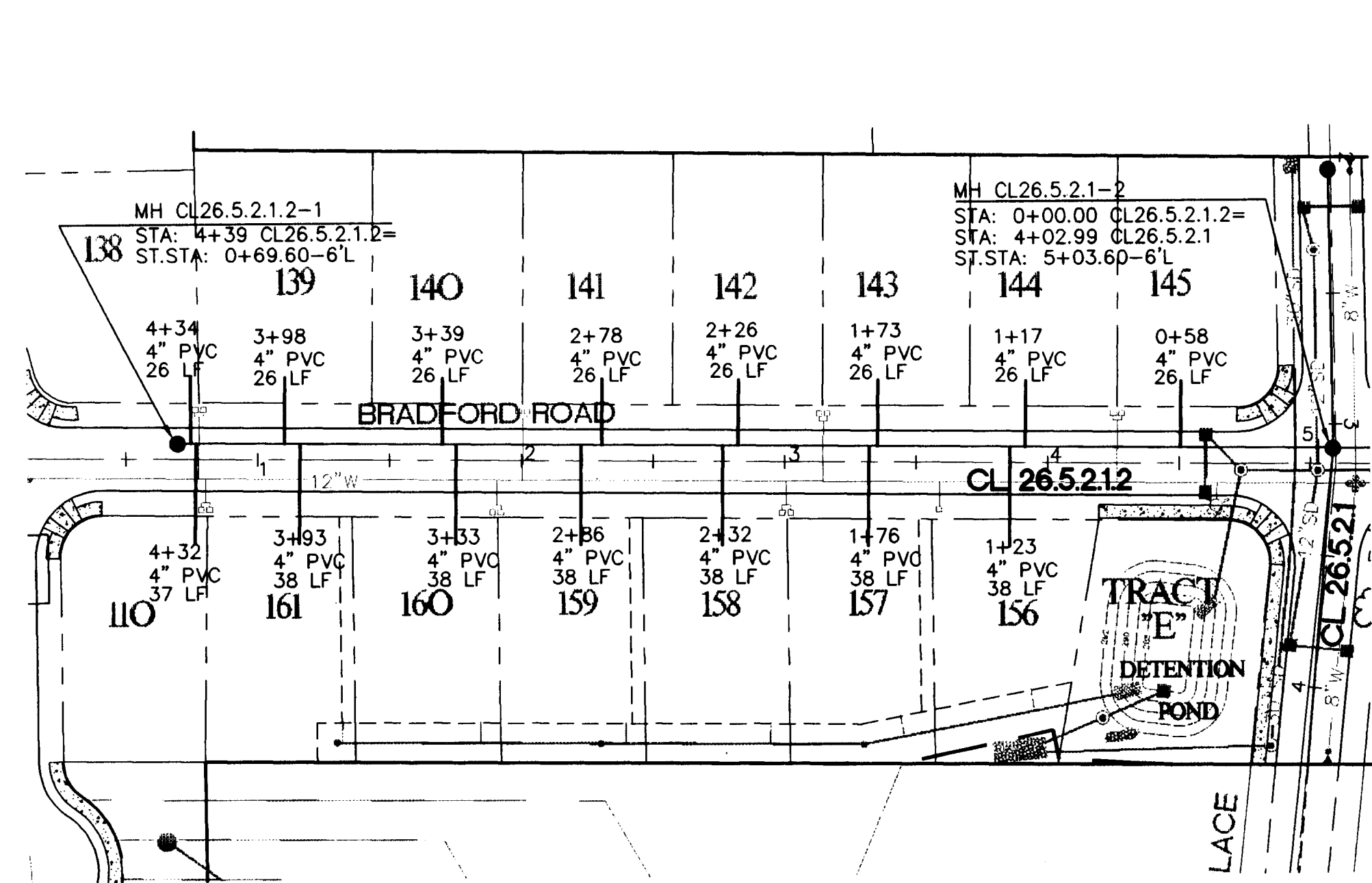
SHEET **10** OF **17**

PROJECT **ADDINGTON IV & V**  
 NO. **104-01**  
 TYPE **CONSTRUCTION**

PRINTED  
 MAR 19 1997

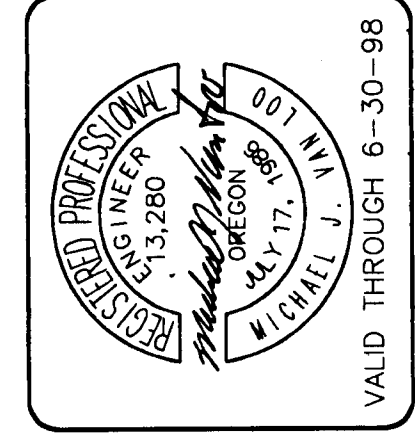




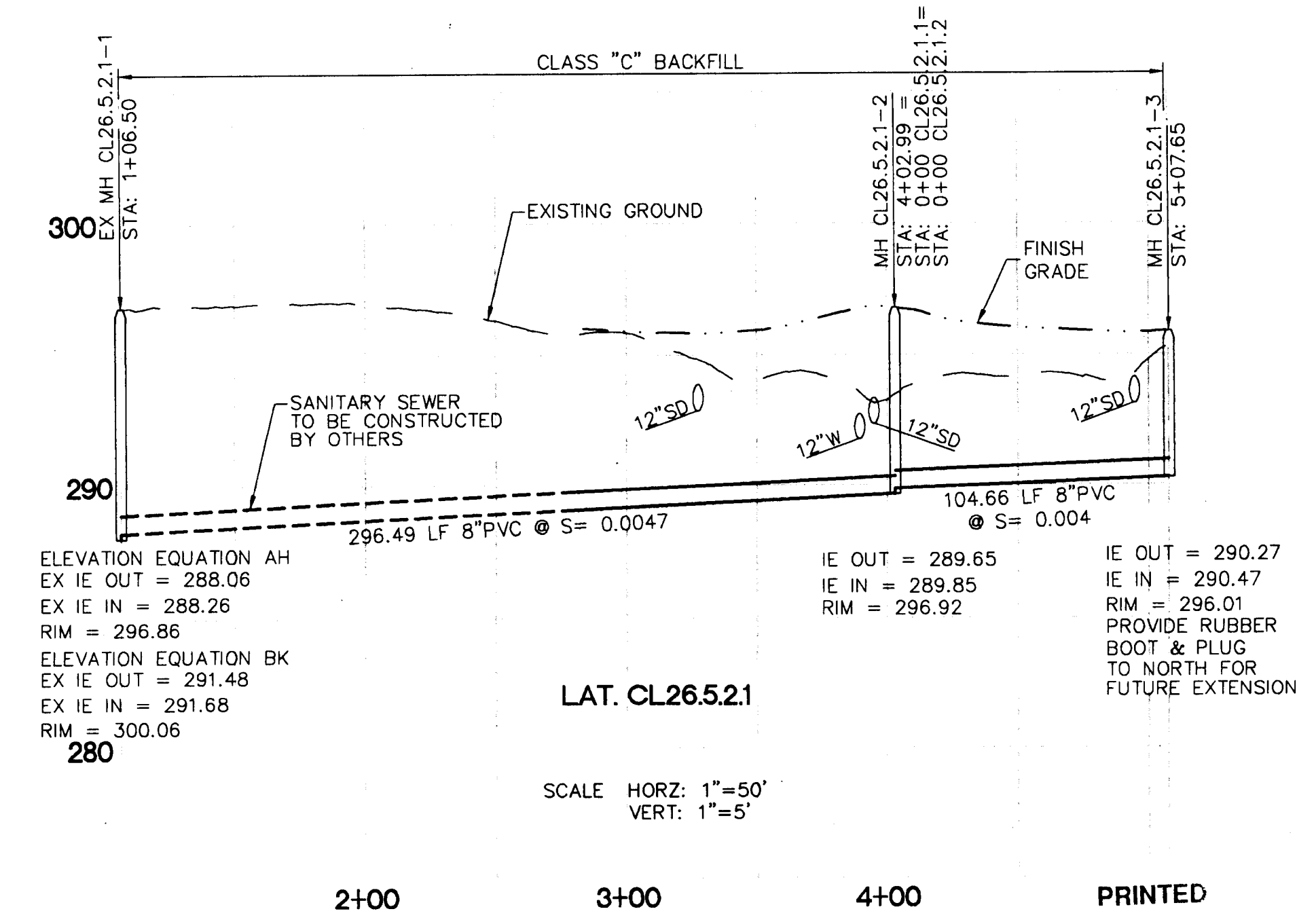
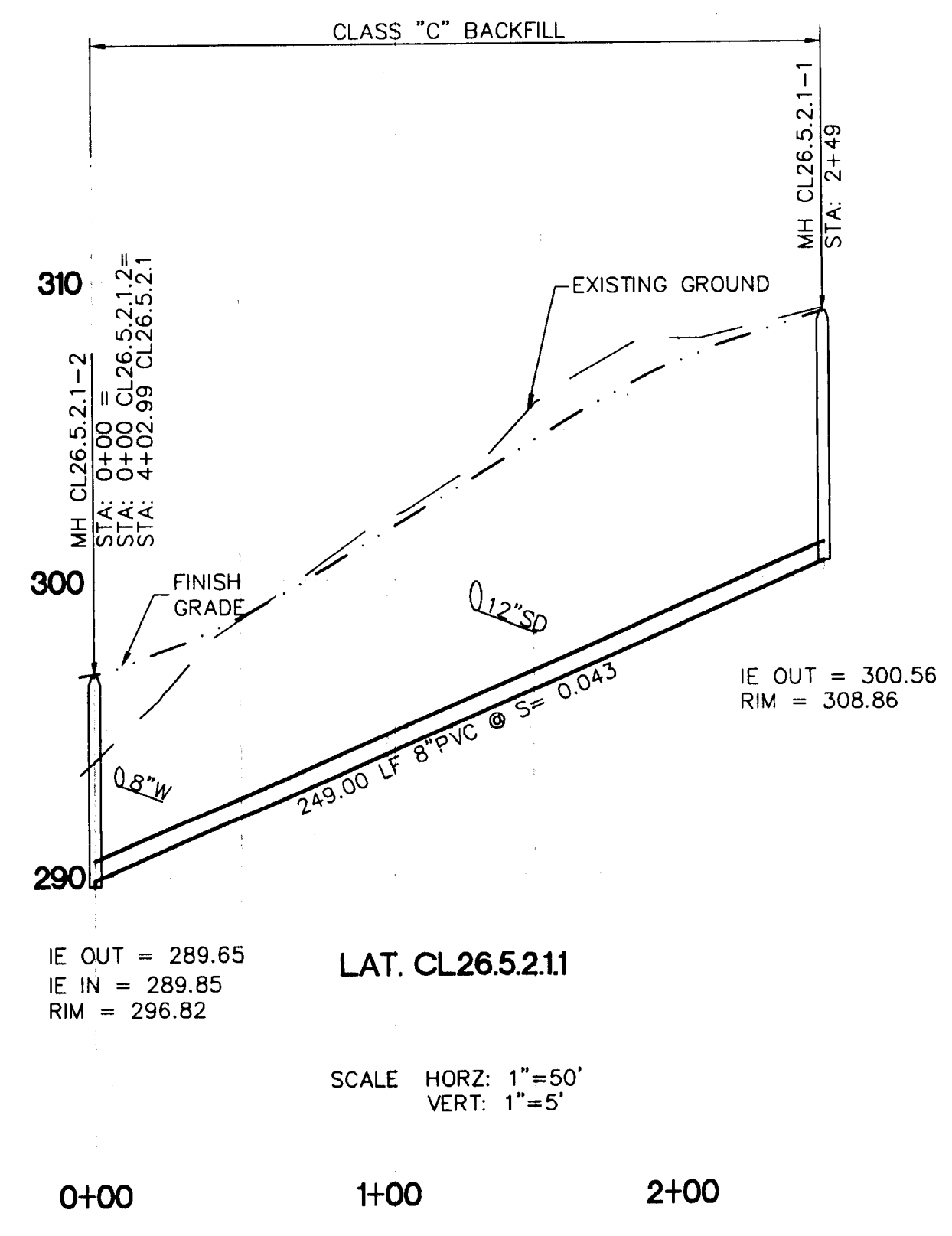
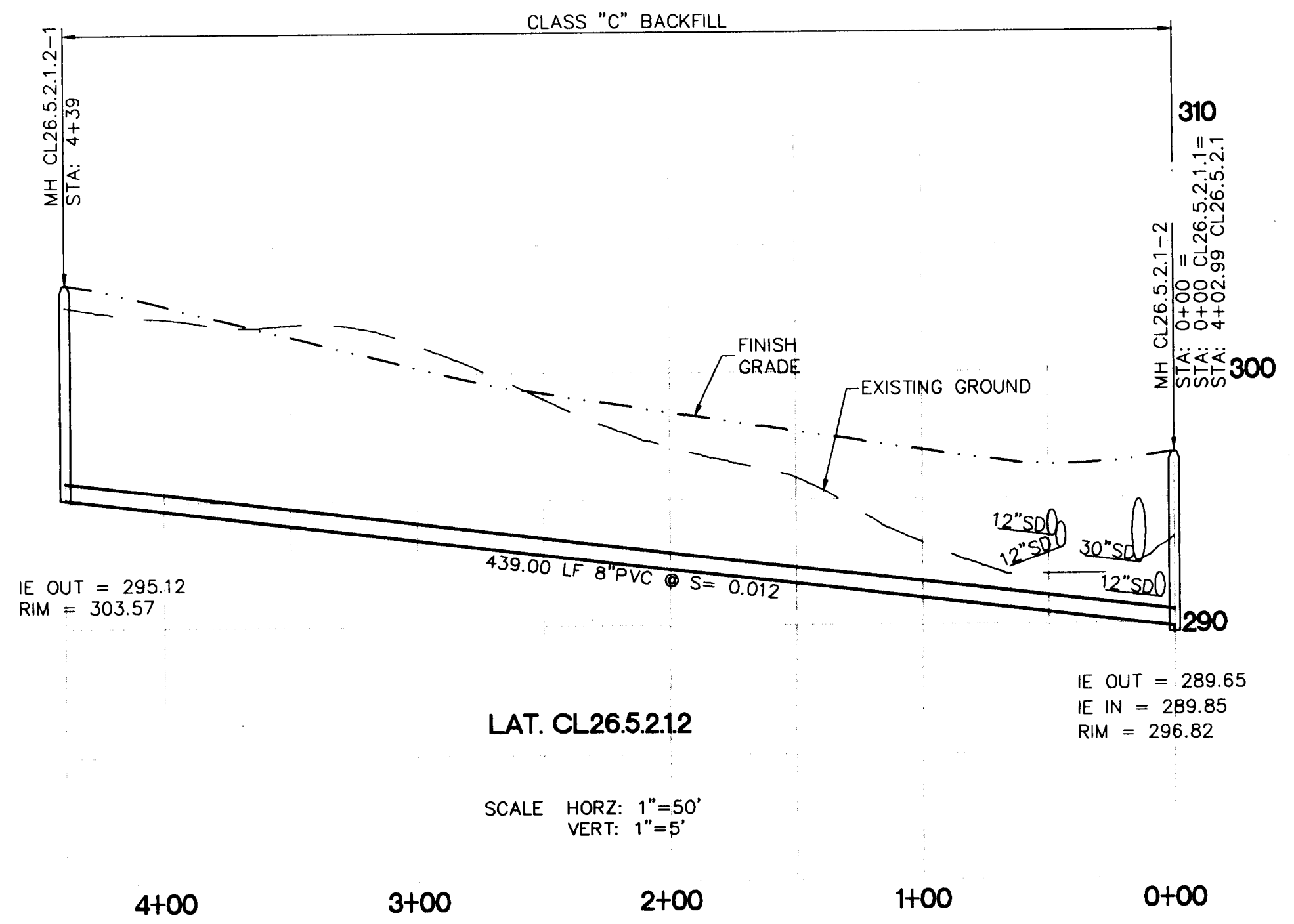


NO.	DATE	REVISION	BY

DESIGNED BY: WKH DATE: 7/96  
 DRAWN BY: WKH DATE: 7/96  
 REVIEWED BY: MML DATE: 7/96  
 PROJECT NO. 04-01 REF. SHEETS  
 SCALE: HORIZ: 1"=50' VERT: 1"=5'  
 PAGES: 5  
 PAGES: 2



**NOTE:**  
 ADDINGTON PLACE IMPROVEMENTS ARE BASED UPON DATUM INDICATED ON SHEET 1 OF THESE PLANS. THE SEDONA PARK IMPROVEMENTS WERE CONSTRUCTED UTILIZING A DIFFERENT DATUM. THE SEDONA PARK DATUM IS ± 3.2' HIGHER THAN ADDINGTON PLACE DATUM.



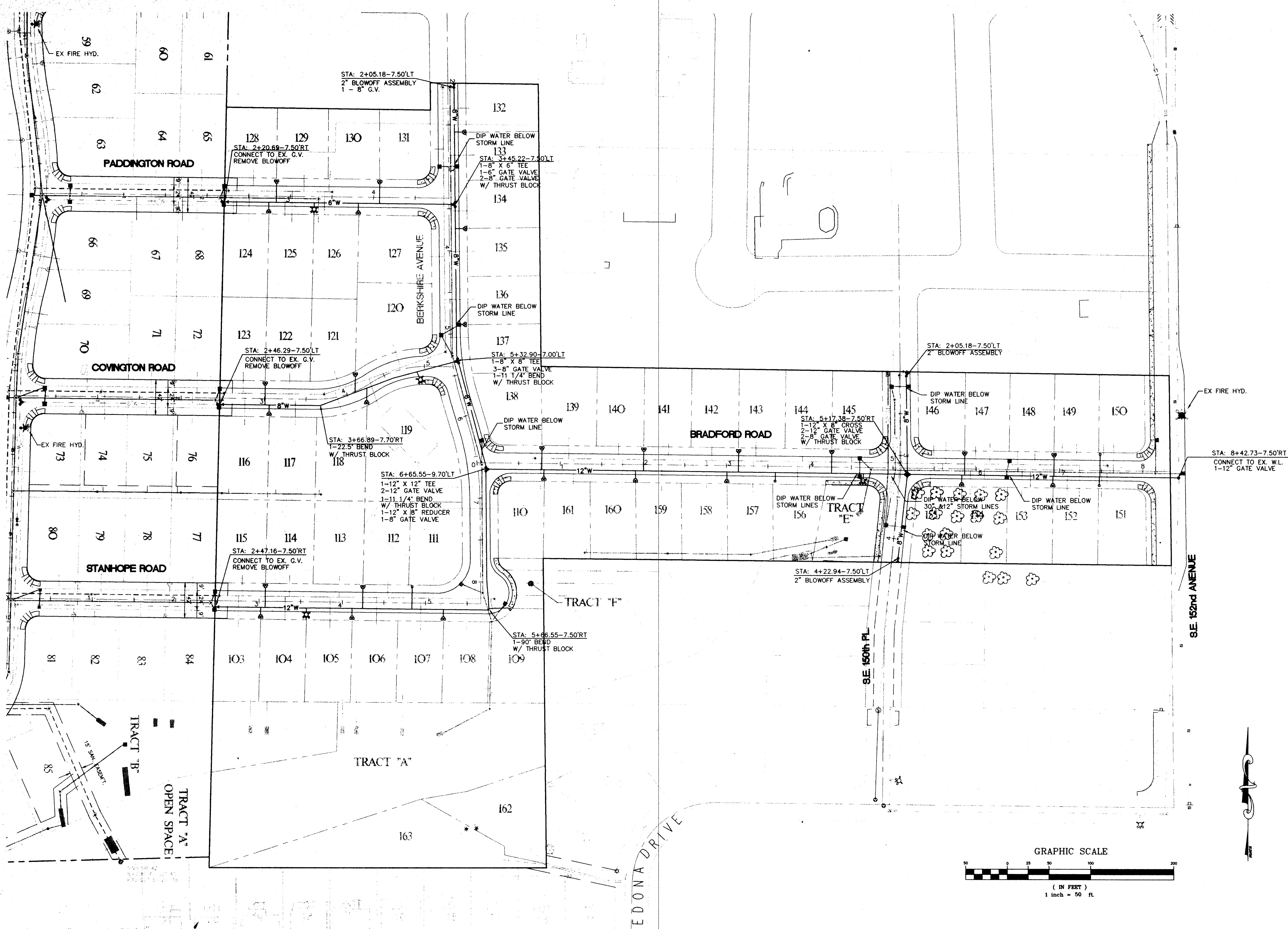
**SANITARY SEWER SHEET 2**  
 ADDINGTON PLACE IV & V

SHEET 11 OF 17

PROJECT: ADDINGTON IV + V  
 NO. 104-011  
 TYPE: CONSTRUCTION

PRINTED  
 MAR 19 1997

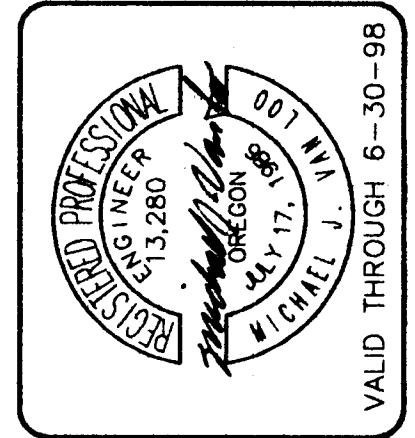




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NO.	DATE	REVISION	BY
1	11/26/96	WATER VALVE ADDITIONS FOR MKH MT. SCOTT WATER APPROVAL	

DESIGNED BY	MLK	DATE	7/96
DRAWN BY	MLK	DATE	7/96
REVIEWED BY	ML	DATE	
PROJECT NO.	DA-01	REF.	3488AS
SCALE	AS SHOWN		

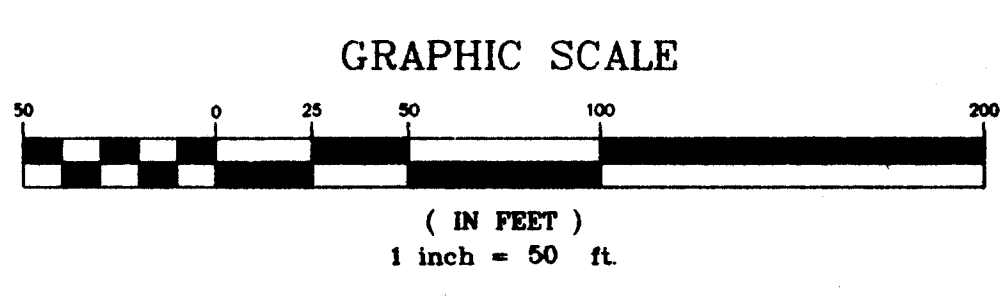
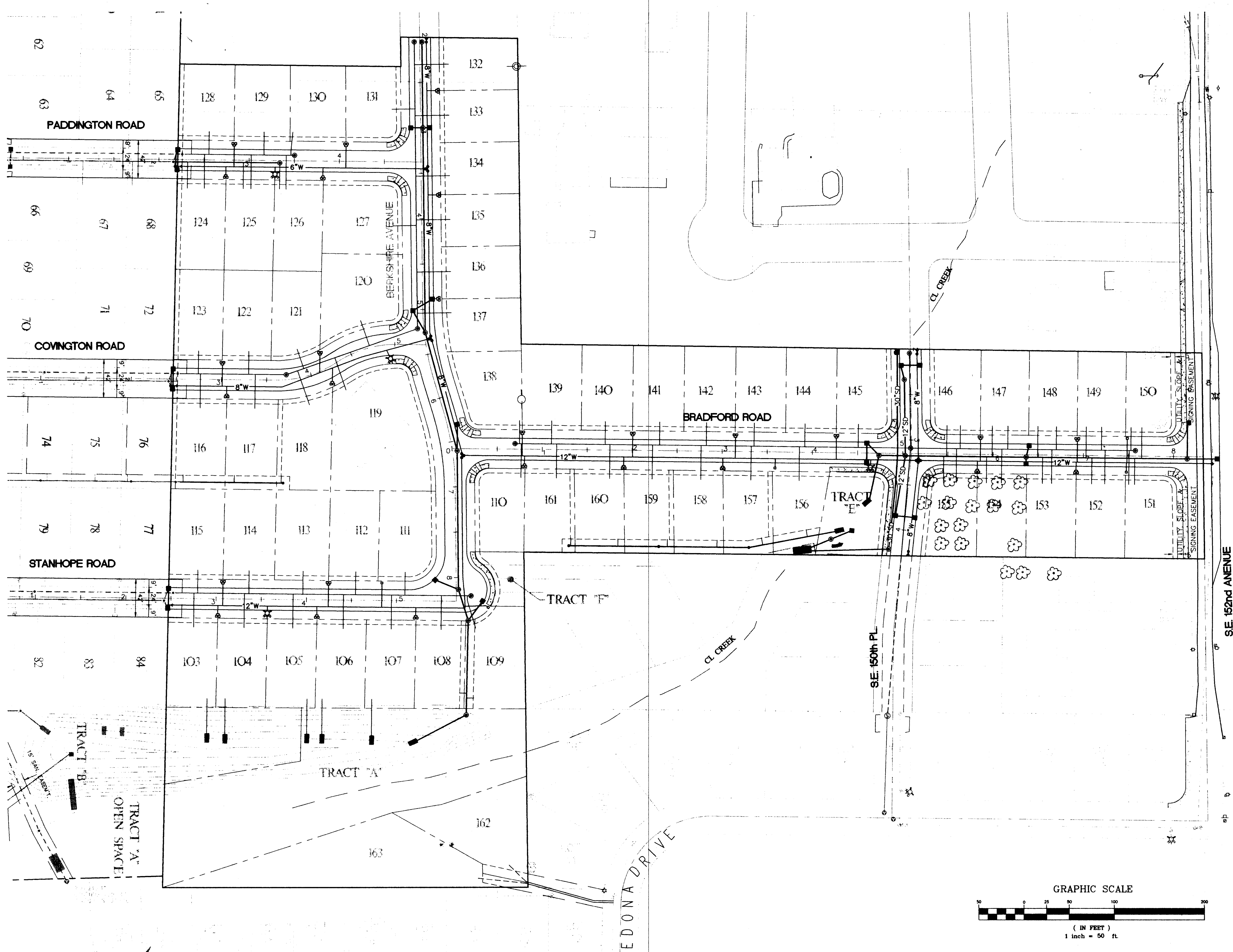


**WATER PLAN**  
 ADDINGTON PLACE IV & V

SHEET **12** OF **17**

PROJECT ADDINGTON IV & V  
 NO. 104-01  
 TYPE CONSTRUCTION

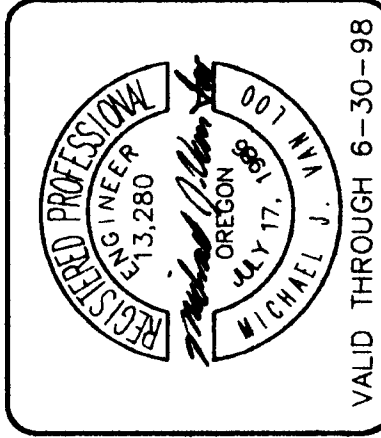




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NO.	DATE	REVISION	BY

DESIGNED BY: WGH DATE: 7/98  
 DRAWN BY: WGH DATE: 7/98  
 REVIEWED BY: ML DATE:    
 PROJECT NO.: 04-01 REF.:    
 SCALE: 1/8" = 1'-0"  
 PARACALMING



**COMPOSITE UTILITY PLAN**  
 ADDINGTON PLACE IV & V

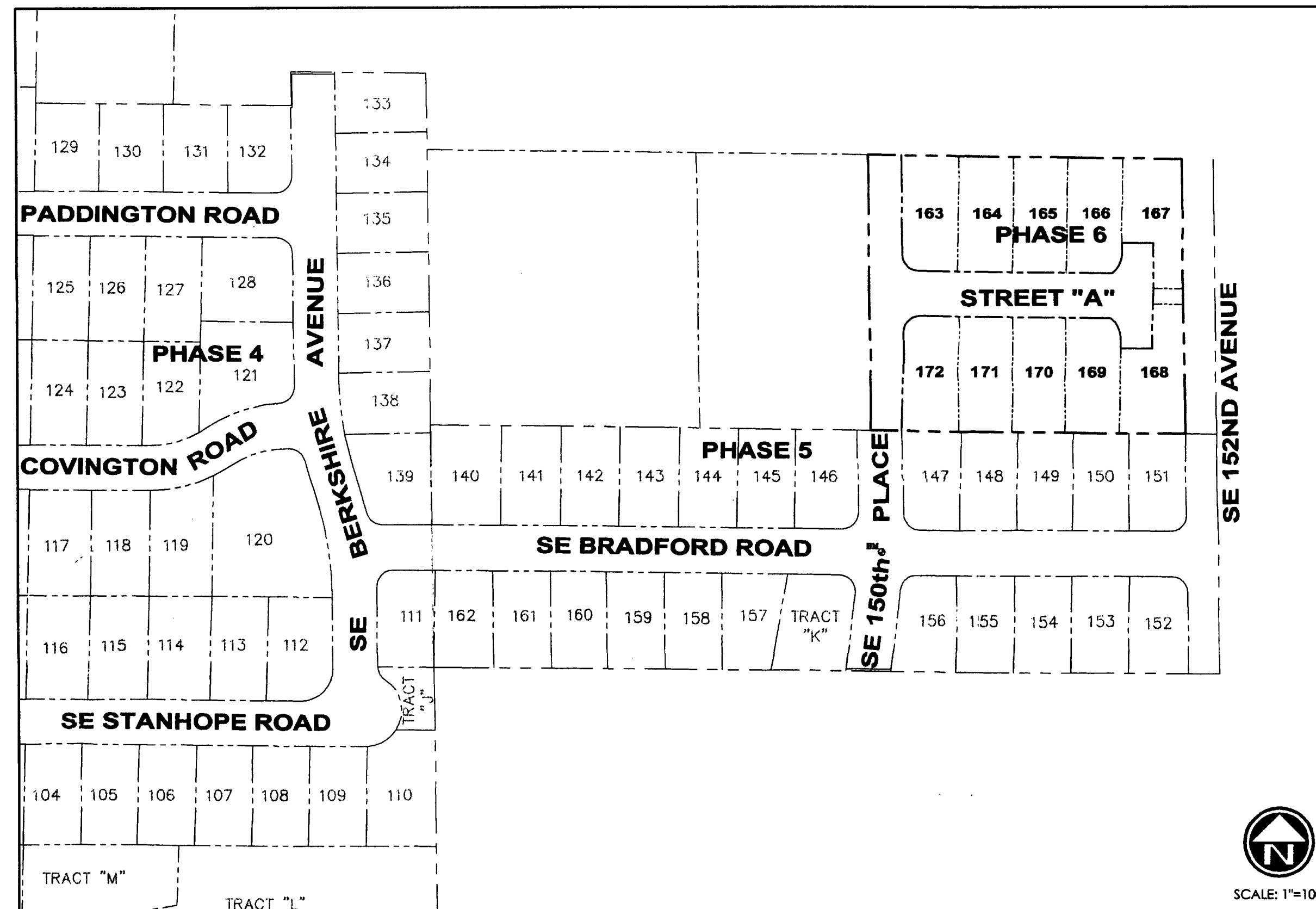
SHEET **13** OF **17**

PROJECT ADDINGTON IV + V  
 NO. 04-01  
 TYPE CONSTRUCTION

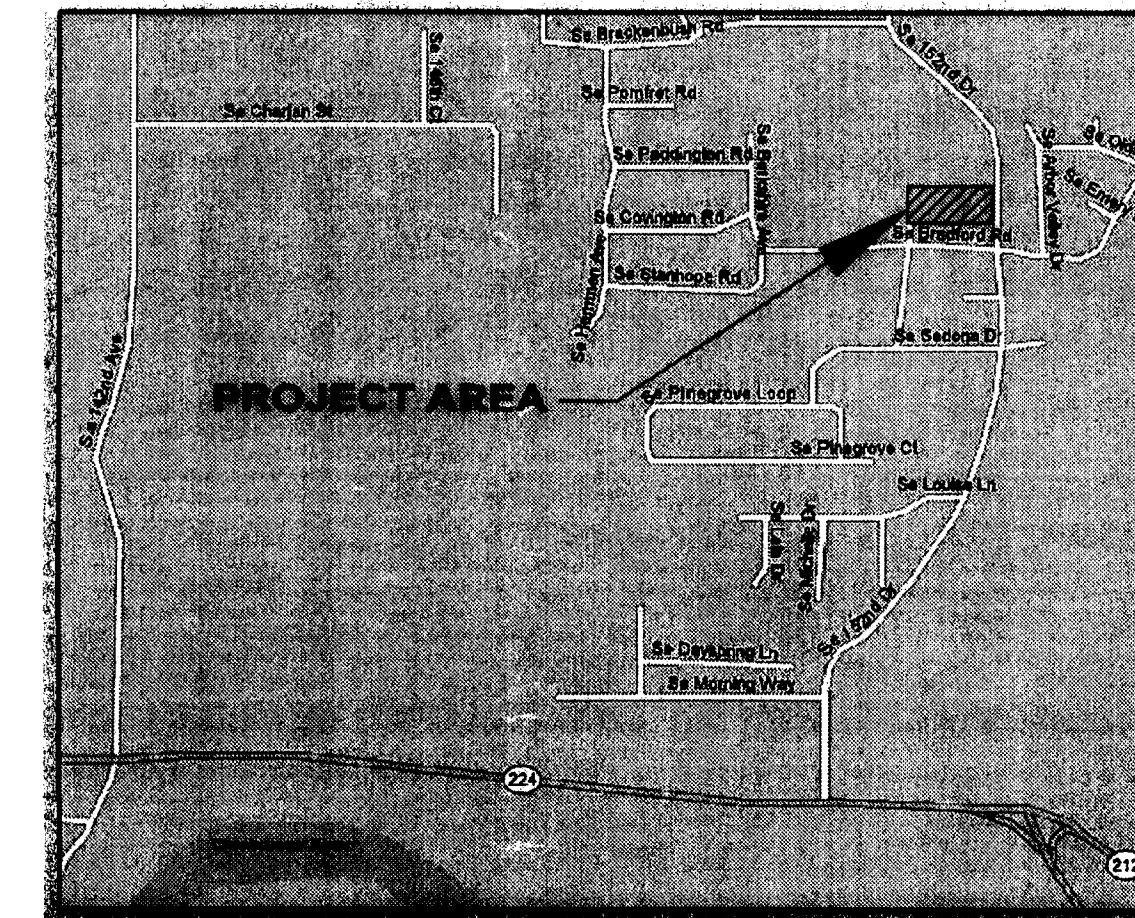


# ADDINGTON PLACE - PHASE 6 CONSTRUCTION PLANS

TOWNSHIP 2 SOUTH, RANGE 2 EAST, NE 1/4, NW 1/4, SECTION 12, W.M.,  
CLACKAMAS COUNTY, OREGON



VICINITY MAP



SHEET INDEX:

- 1 TITLE SHEET
- 2 CONSTRUCTION NOTES
- 3 EROSION CONTROL NOTES & DETAILS
- 4 EXISTING CONDITIONS/DEMOLITION PLAN
- 5 GRADING/EROSION CONTROL PLAN
- 6 SITE PLAN
- 7 SE 150TH PLACE & STORM DRAIN PLAN/PROFILE
- 8 STREET A & STORM DRAIN PLAN/PROFILE
- 9 EXISTING CREEK PIPING PLAN/PROFILE
- 10 SANITARY SEWER PLAN/PROFILE
- 11 WATER PLAN
- 12 SANITARY SEWER & WATER DETAILS
- 13 STORM DRAIN DETAILS
- 14 STREET DETAILS

**PROJECT TEAM:**

**OWNER**

KARL WALTER-KEYSTONE ENTERPRISES  
PO BOX 1082  
CLACKAMAS, OR 97015  
PH: (503) 655-6295  
FAX: (503) 655-7263

**APPLICANT**

KARL WALTER-KEYSTONE ENTERPRISES  
PO BOX 1082  
CLACKAMAS, OR 97015  
PH: (503) 655-6295  
FAX: (503) 655-7263

**APPLICANT'S REP., PLANNER,  
SURVEYOR, CIVIL ENGINEER,  
LANDSCAPE ARCHITECT**

ALPHA COMMUNITY DEVELOPMENT  
JEFF VANDERDASSON  
9600 SW OAK, SUITE 230  
PORTLAND, OR 97223  
PH: (503) 452-8003

**UTILITIES & SERVICES**

WATER: SUNRISE WATER AUTHORITY  
STORM: CLACKAMAS COUNTY  
SEWER: CLACKAMAS COUNTY SERVICE DISTRICT No. 1  
POWER: PORTLAND GENERAL ELECTRIC  
GAS: NORTHWEST NATURAL GAS  
FIRE: CLACKAMAS COUNTY  
POLICE: CLACKAMAS COUNTY  
SCHOOL: NORTH CLACKAMAS DISTRICT 12  
PARKS: CLACKAMAS COUNTY

**NOTES**

SITE AREA: 1.79 ACRES  
EXISTING ZONING: VILLAGE STANDARD LOT  
RESIDENTIAL DISTRICT (VR5/7)  
TAX MAP: 2S2E 12 BA  
TAX LOT: 1200  
NUMBER OF LOTS: 10  
AVERAGE LOT SIZE: 5818 SF  
EX. IMPERVIOUS AREA: 0.09 ACRES  
NEW IMPERVIOUS AREA: 0.42 ACRES

**BENCHMARK**

ALUMINUM CAP IN MONUMENT BOX  
LOCATED AT THE CENTERLINE INTERSECTION OF  
SE BRADFORD ROAD AND SE 150TH PLACE.  
ELEVATION = 296.84

**LOCATES**

(48 HOURS NOTICE REQUIRED PRIOR TO EXCAVATION)  
ONE CALL SYSTEM  
(VERIZON, NW NATURAL GAS, PORTLAND GENERAL  
ELECTRIC, COMCAST CABLE)



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**REVISIONS**  
NO. DATE DESCRIPTION



RENEWAL DATE: 06/30/08

**ADDINGTON  
PLACE  
PHASE - 6**

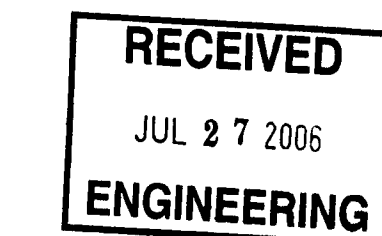
**FILE COPY**

WATER ENVIRONMENT SERVICES  
**TITLE SHEET**  
9101 SE SUNNYBROOK BLVD  
CLACKAMAS, OREGON 97015  
(503) 452-8007  
APPROVED BY: *Jeff A. Vanderdasson* DATE: 8/1/06  
SANITARY SEWER, SURFACE WATER & EROSION CONTROL

CLACKAMAS COUNTY  
DEPARTMENT OF TRANSPORTATION & DEVELOPMENT  
9101 SE SUNNYBROOK BLVD  
CLACKAMAS OR 97015  
(503) 452-4400  
APPROVED BY: *Paul D. Wang* DATE: 8-1-06  
ROADWAYS & STORM DRAINS ONLY  
SEPARATE PERMITS ARE REQUIRED FOR GRADING,  
STREET OPENINGS, SANITARY SEWER AND EROSION CONTROL



PROJECT NO.: 104-013  
TYPE: CONSTRUCTION  
DATE: 6/16/06



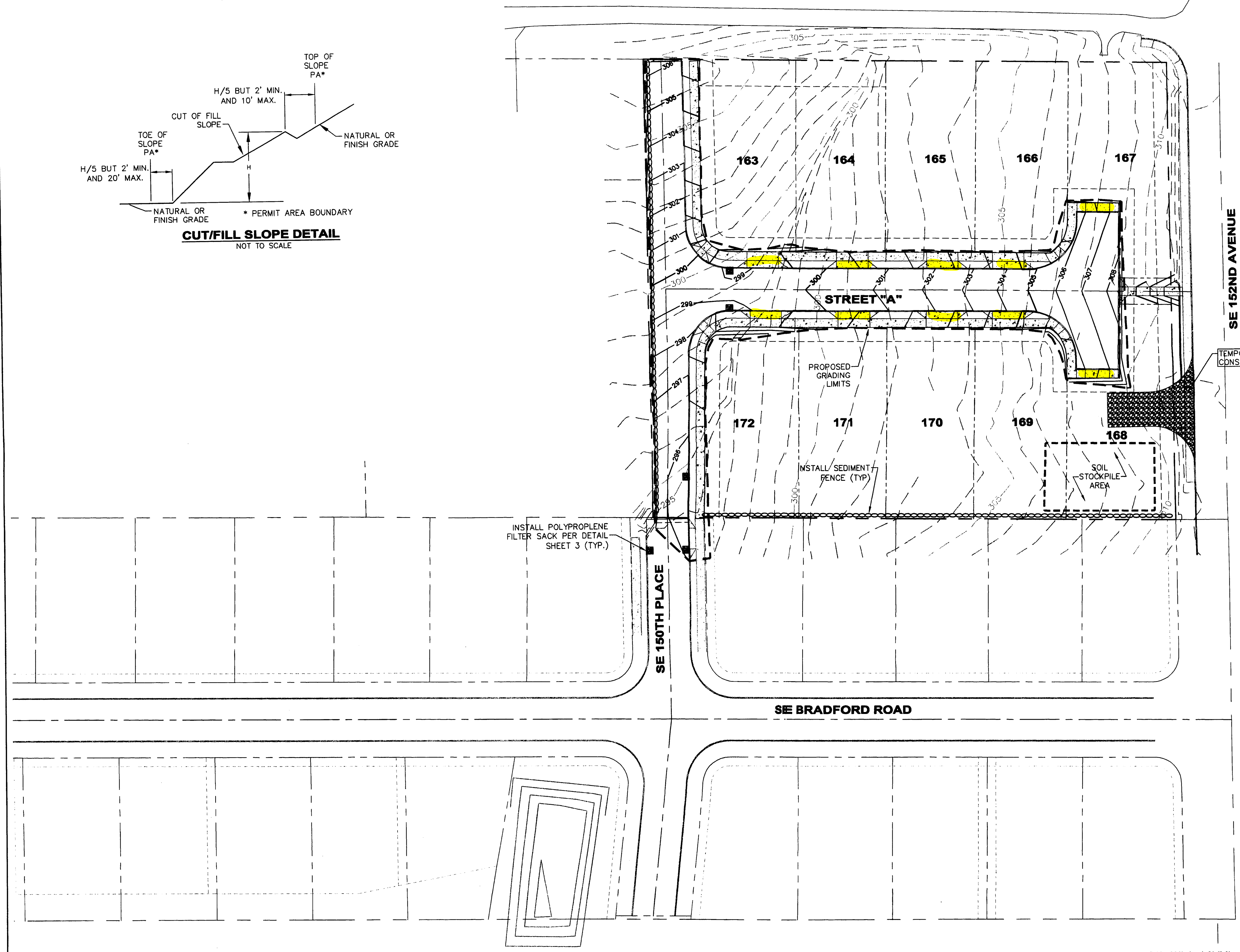
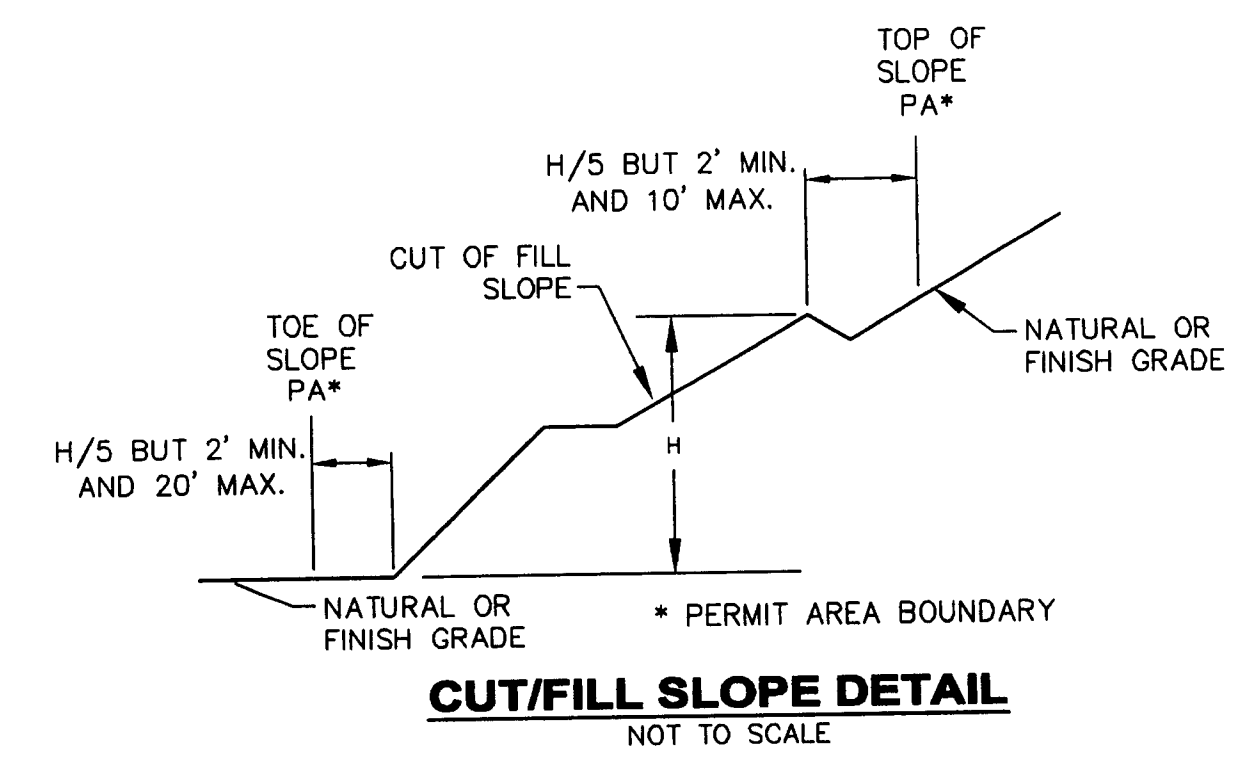
1



THIS IS THE FIRST PHASE TO SHOW  
PROPOSED DRIVEWAY LOCATIONS.  
THOSE MAY HAVE CHANGED WHEN  
BUILDING PERMITS WERE SUBMITTED.

**LEGEND**

- 324--- EX 2-FT CONTOUR
- 320--- EX 10-FT CONTOUR
- 324--- FG 2-FT CONTOUR
- 320--- FG 10-FT CONTOUR
- ===== WATER QUALITY FENCE
- ORANGE CONSTRUCTION FENCE
- ☀ EX TREES TO REMAIN
- ☒ EX TREES TO BE REMOVED



TEMPORARY GRAVEL CONSTRUCTION ENTRANCE



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**REVISIONS**

NO.	DATE	DESCRIPTION

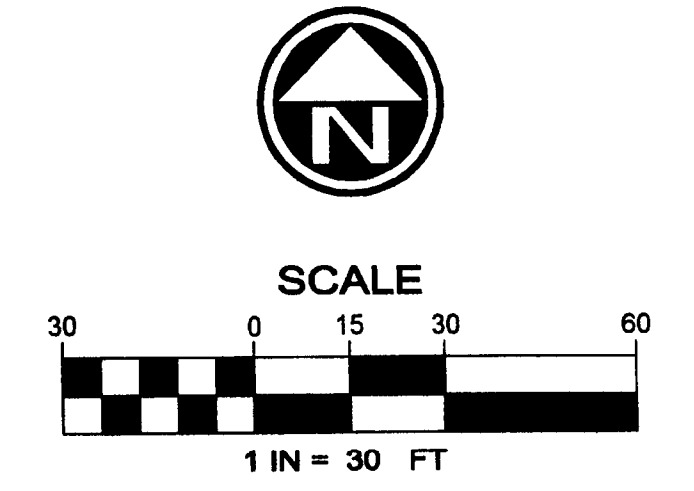


ADDINGTON  
PLACE  
PHASE - 6

GRADING  
& EROSION  
CONTROL  
PLAN



PROJECT NO.: 104-013  
TYPE: CONSTRUCTION  
DATE: 6/16/06



5

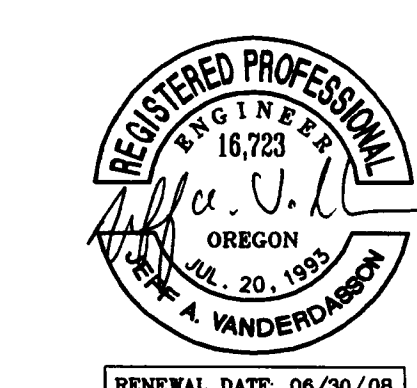
N:\proj\104-013\dwg\Civil\Sheets\104013-GRAD.dwg - SHEET: GRAD Jul 26, 2006 - 4:29pm mak



**REVISIONS**  
NO. DATE DESCRIPTION

- STREET NOTES:**
- ① SAWCUT EXISTING PAVEMENT, PROVIDE OIL AND SAND SEAL.
  - ② REMOVE EXISTING PAVEMENT.
  - ③ INSTALL CURB PER DETAIL, SHEET 14. ENTIRE CONCRETE CURB WITHIN PHASE 6 TO BE PAINTED YELLOW EXCEPT THE NORTH SIDE OF STREET "A". ALL FOUR (4) CURB RETURNS SHALL ALSO BE PAINTED YELLOW.
  - ④ 4' WIDE PLANTER STRIP.
  - ⑤ INSTALL 5.0' WIDE SIDEWALK PER DETAIL, SHEET 14.
  - ⑥ 8.0' WIDE PUBLIC UTILITY EASEMENT.
  - ⑦ INSTALL TYPE III STREET BARRICADE.
  - ⑧ BEGIN 2' TAPER.
  - ⑨ END 2' TAPER.
  - ⑩ BEGIN 3' RETAINING WALL, SEE DETAIL SHEET 14. STA: 10+00.00 OFF: 6.00 L
  - ⑪ END 3' RETAINING WALL, SEE DETAIL SHEET 14. STA: 10+34.00 OFF: 6.85 L
  - ⑫ POINT OF CURVATURE.
  - ⑬ POINT OF TANGENT.

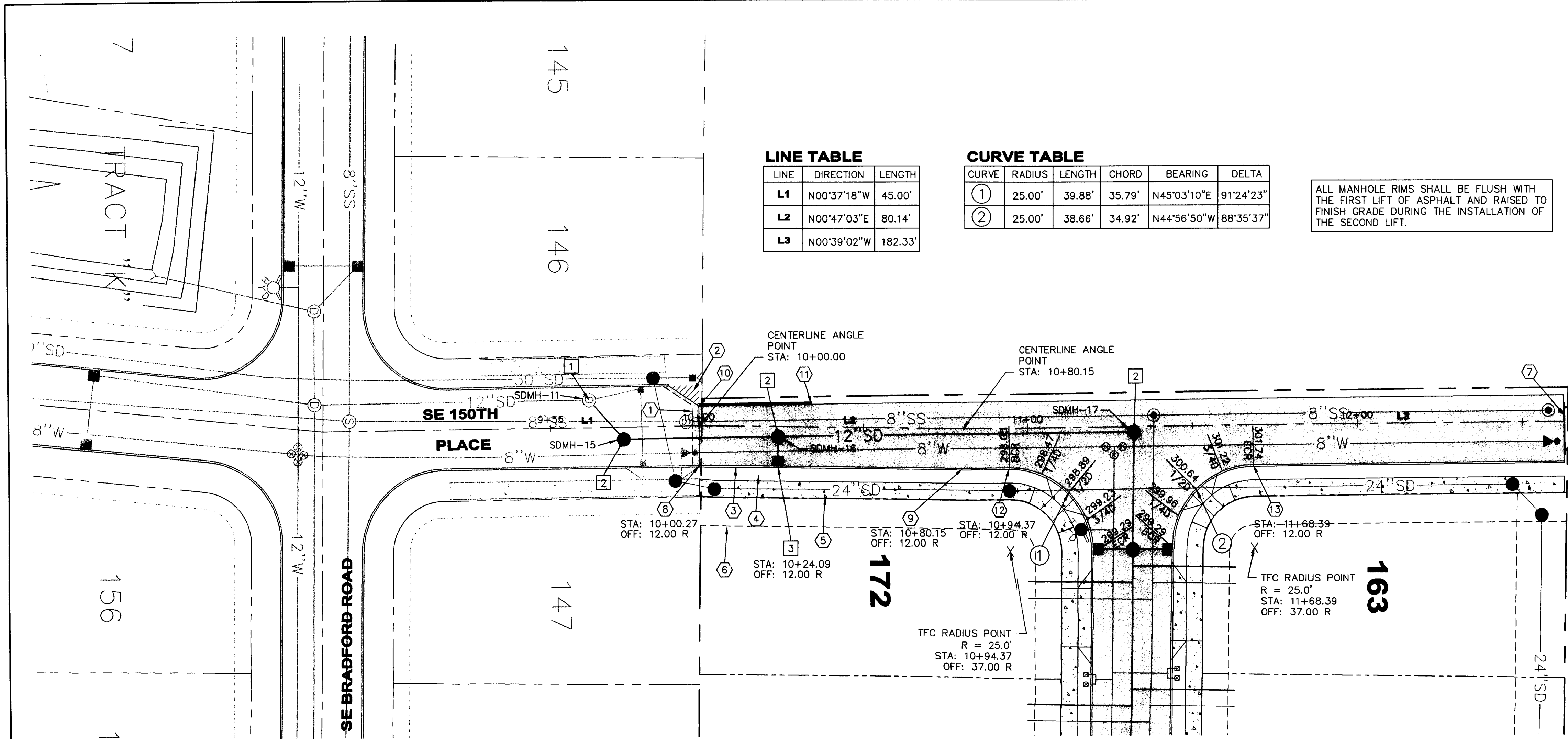
- STORM NOTES:**
- ① CONNECT 12" STORM PIPE TO EXISTING MANHOLE.
  - ② INSTALL STANDARD MANHOLE PER DETAIL, SHEET 13.
  - ③ INSTALL CATCH BASIN PER DETAIL, SHEET 13. GRATE ELV. = 295.92 12" IE OUT = 292.92 (W) SUMP = 291.42



**ADDINGTON PLACE PHASE - 6**

**SE 150TH PLACE AND STORM DRAIN PLAN & PROFILE**

PROJECT NO.: 104-013  
TYPE: CONSTRUCTION  
DATE: 6/16/06



**LINE TABLE**

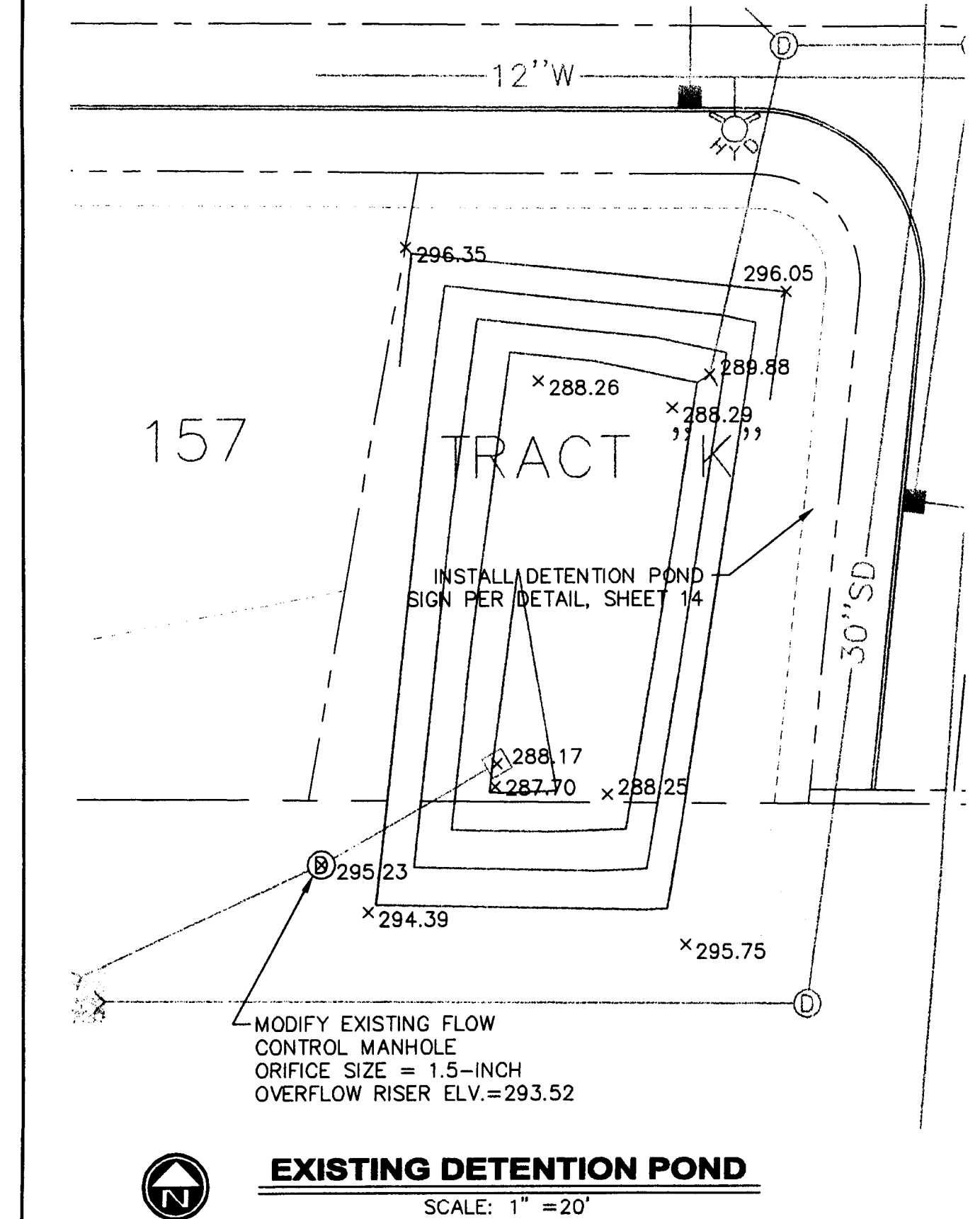
LINE	DIRECTION	LENGTH
L1	N00°37'18"W	45.00'
L2	N00°47'03"E	80.14'
L3	N00°39'02"W	182.33'

**CURVE TABLE**

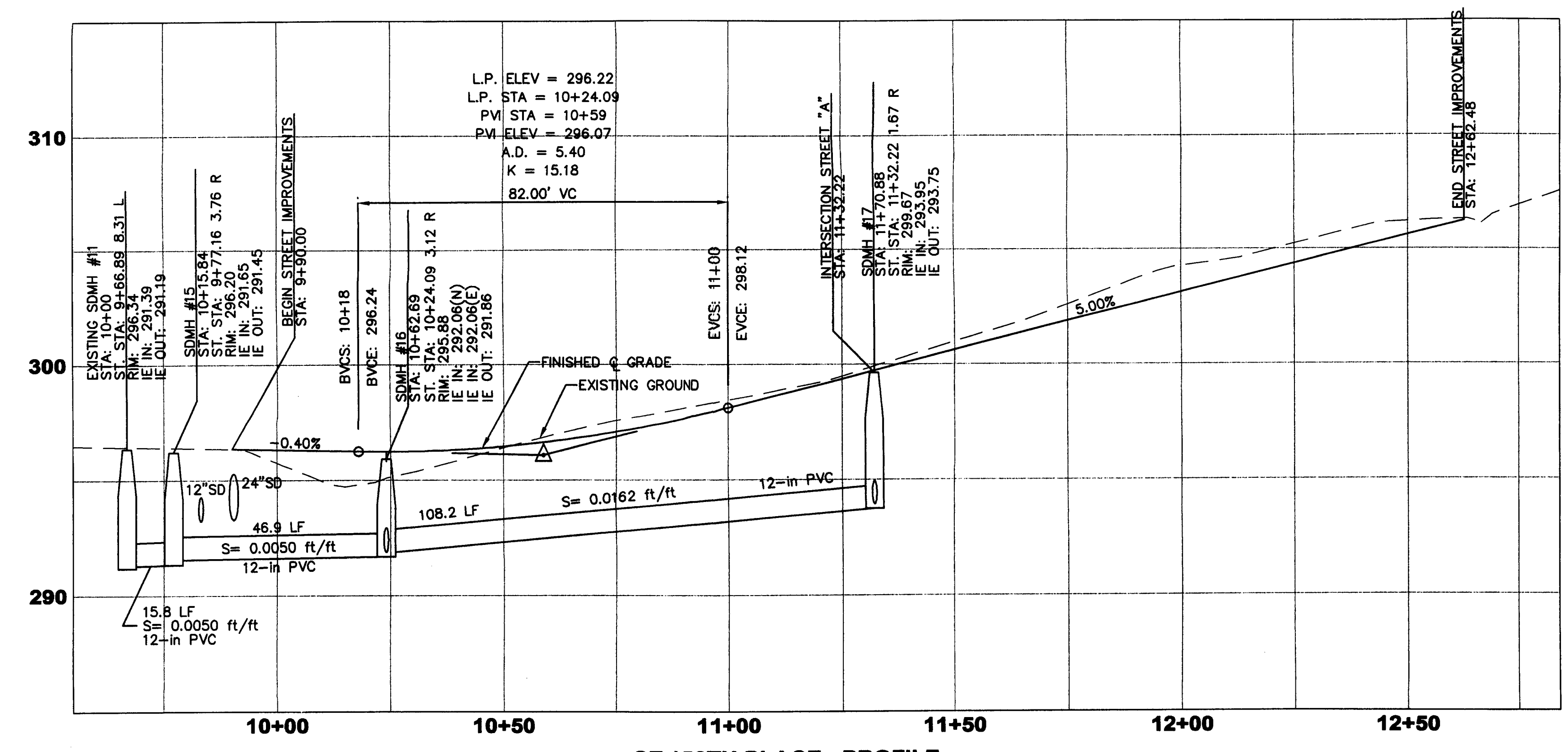
CURVE	RADIUS	LENGTH	CHORD	BEARING	DELTA
①	25.00'	39.88'	35.79'	N45°03'10"E	91°24'23"
②	25.00'	38.66'	34.92'	N44°56'50"W	88°35'37"

ALL MANHOLE RIMS SHALL BE FLUSH WITH THE FIRST LIFT OF ASPHALT AND RAISED TO FINISH GRADE DURING THE INSTALLATION OF THE SECOND LIFT.

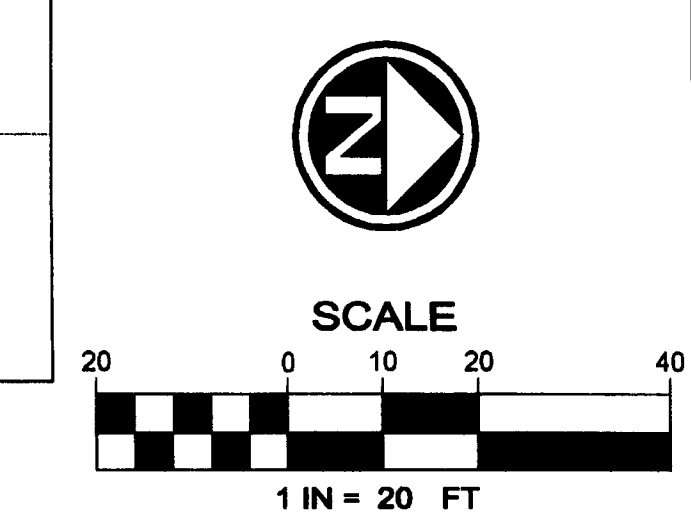
**SE 150TH PLACE - PLAN**  
SCALE: 1" = 20'



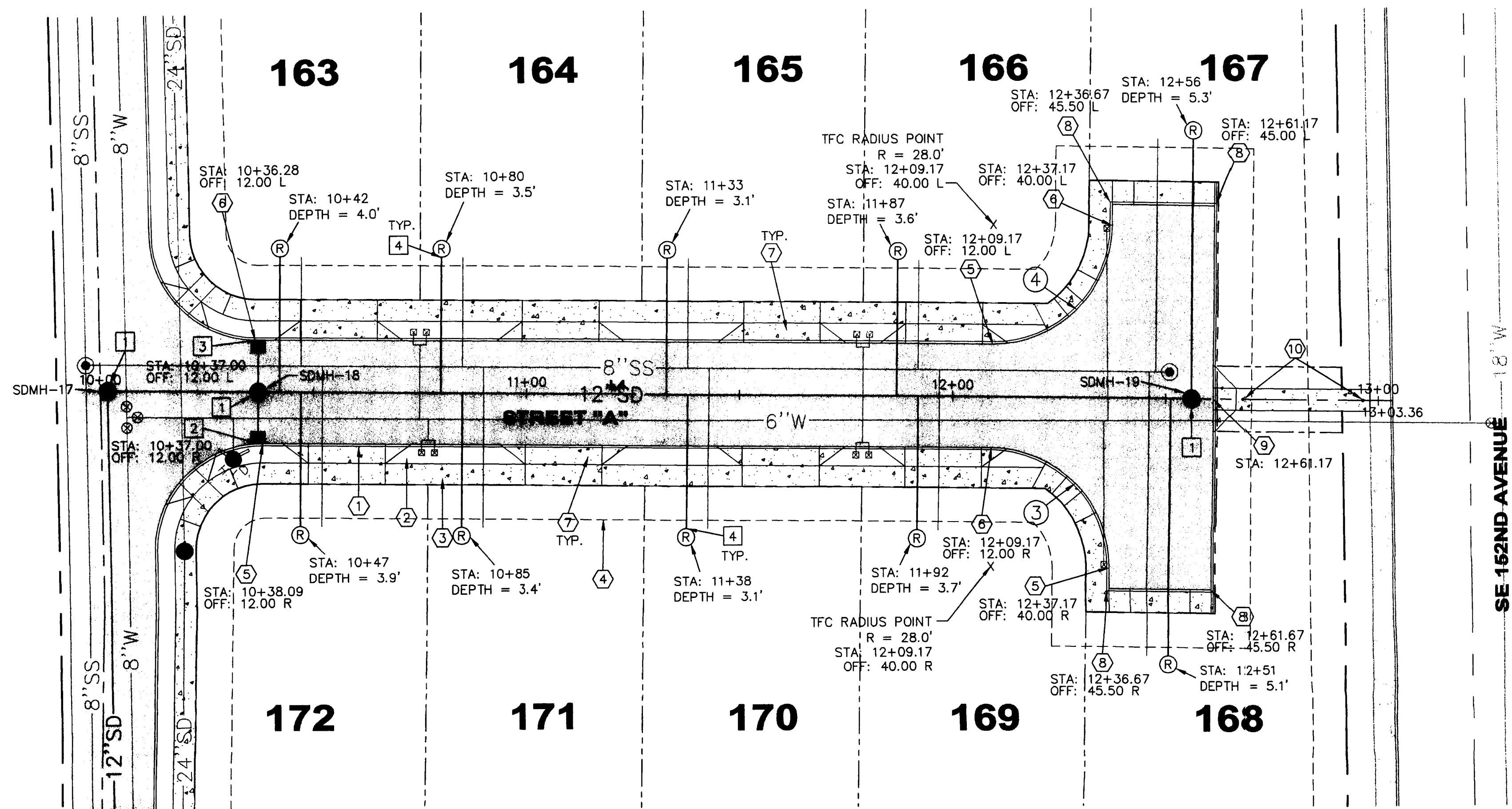
**EXISTING DETENTION POND**  
SCALE: 1" = 20'



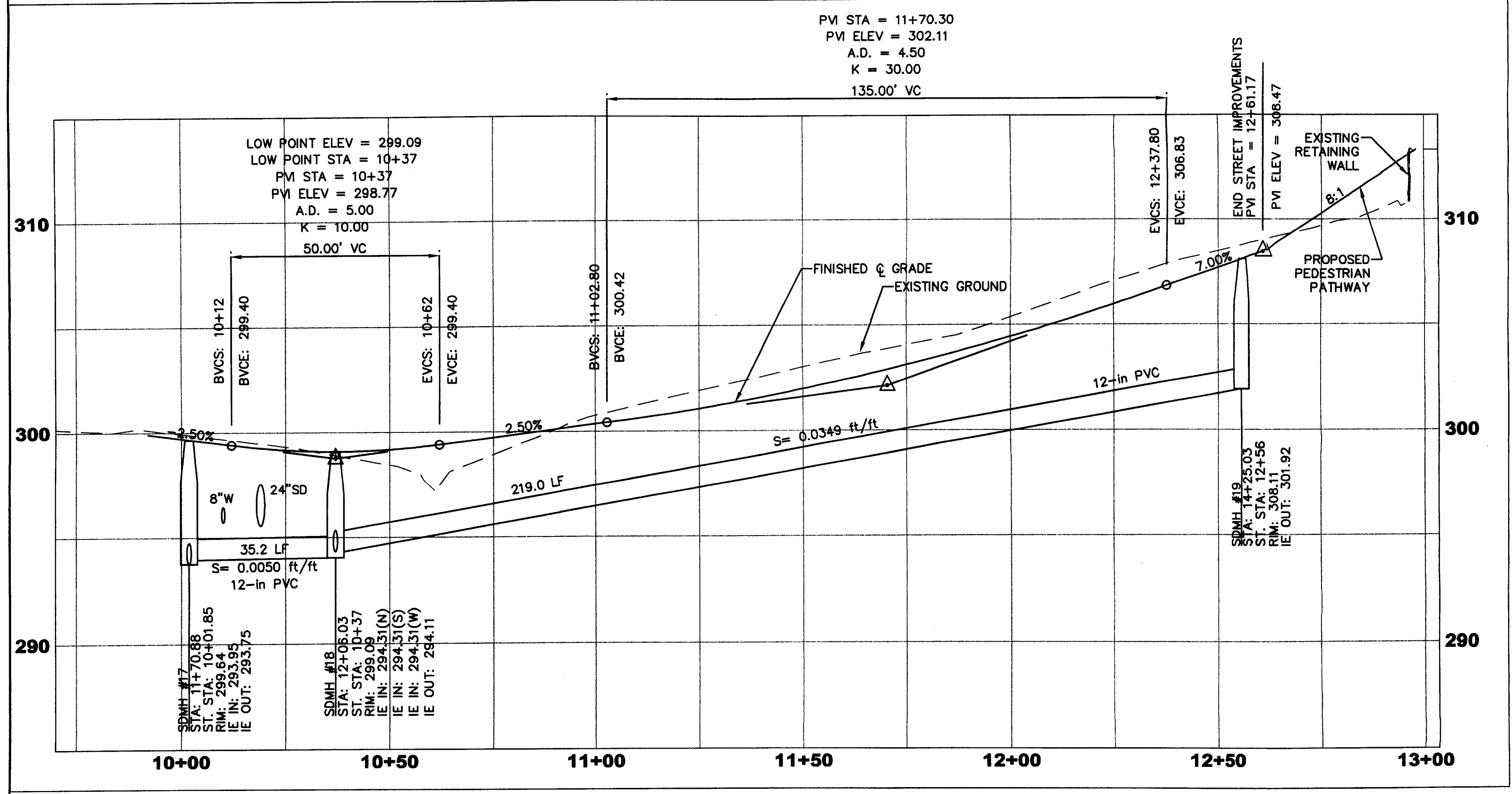
**SE 150TH PLACE - PROFILE**  
HORIZONTAL SCALE: 1" = 20' VERTICAL SCALE: 1" = 4'







**STREET "A" - PLAN**  
SCALE: 1" = 20'



**STREET "A" - PROFILE**  
HORIZONTAL SCALE: 1" = 20' VERTICAL SCALE: 1" = 4'

**LINE TABLE**

LINE	DIRECTION	LENGTH
L4	S89°14'39"E	303.36'

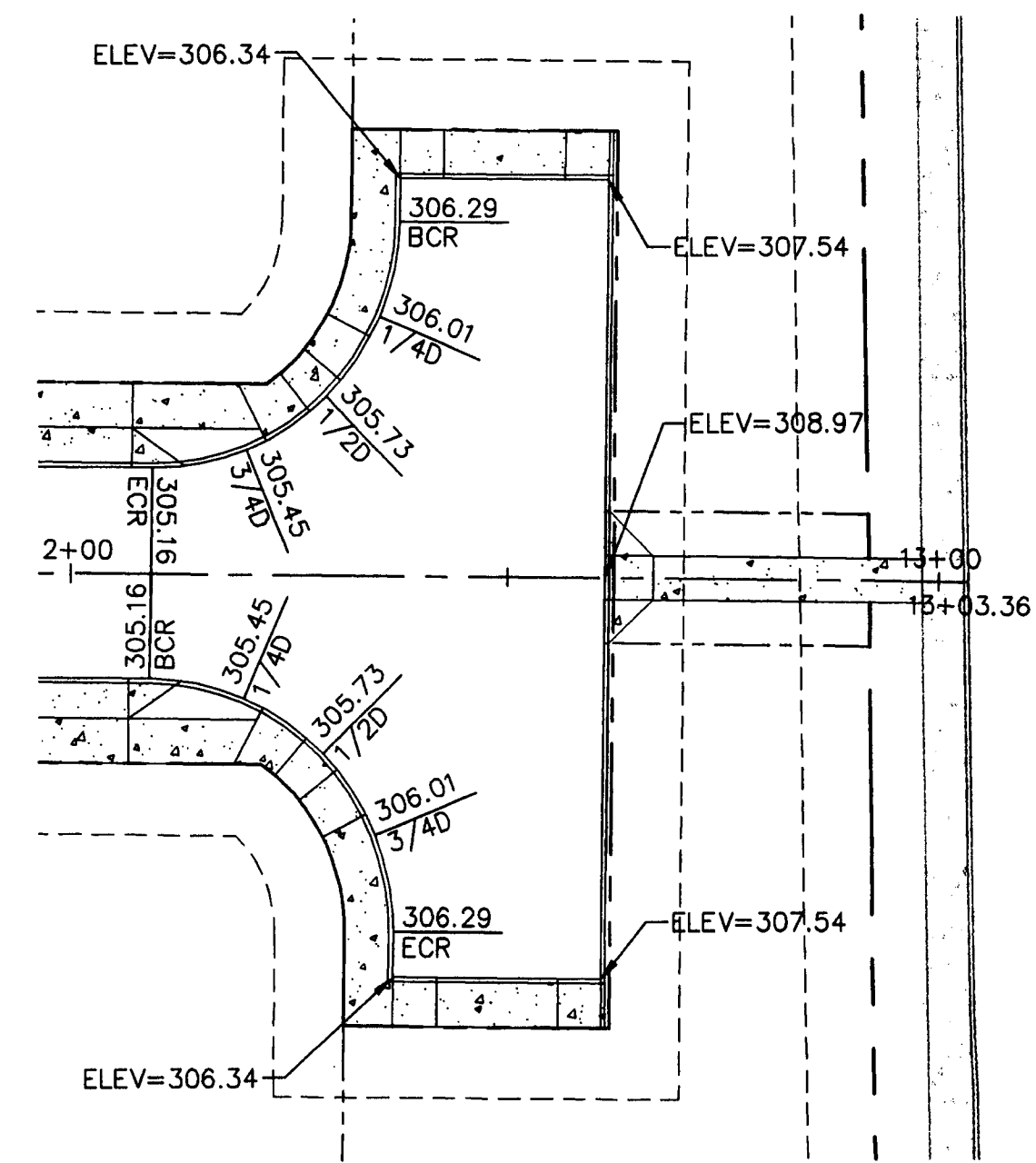
**CURVE TABLE**

CURVE	RADIUS	LENGTH	CHORD	BEARING	DELTA
③	28.00'	43.98'	39.60'	S44°14'39"E	90°00'00"
④	28.00'	43.98'	39.60'	N45°45'21"E	90°00'00"

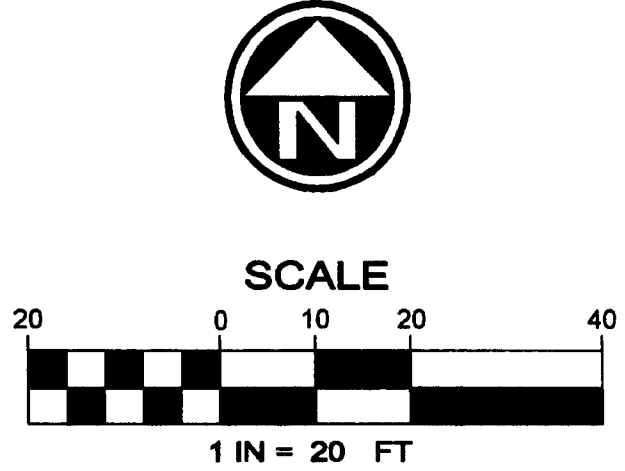
- STREET NOTES:**
- INSTALL CURB PER DETAIL SHEET 14. ENTIRE CONCRETE CURB WITHIN PHASE 6 TO BE PAINTED YELLOW EXCEPT THE NORTH SIDE OF STREET "A". ALL FOUR (4) CURB RETURNS SHALL ALSO BE PAINTED YELLOW.
  - 4' WIDE PLANTER STRIP.
  - INSTALL 5.0' WIDE SIDEWALK PER DETAIL SHEET 14.
  - 8.0' WIDE PUBLIC UTILITY EASEMENT.
  - POINT OF TANGENT
  - POINT OF CURVATURE.
  - INSTALL STANDARD DRIVEWAY PER DETAIL SHEET 14.
  - ANGLE POINT.
  - HIGH POINT.
  - INSTALL REMOVABLE BOLLARDS AT EACH END OF THE PEDESTRIAN ACCESS.

- STORM NOTES:**
- INSTALL STANDARD MANHOLE PER DETAIL SHEET 13.
  - INSTALL CATCH BASIN PER DETAIL SHEET 13.  
GRATE ELV. = 298.79  
12" IE OUT = 295.79 (N)  
SUMP = 294.29
  - INSTALL CATCH BASIN PER DETAIL SHEET 13.  
GRATE ELV. = 298.79  
12" IE OUT = 295.79 (S)  
SUMP = 294.29
  - INSTALL 6" PVC STORM SEWER LATERAL.

ALL MANHOLE RIMS SHALL BE FLUSH WITH THE FIRST LIFT OF ASPHALT AND RAISED TO FINISH GRADE DURING THE INSTALLATION OF THE SECOND LIFT.

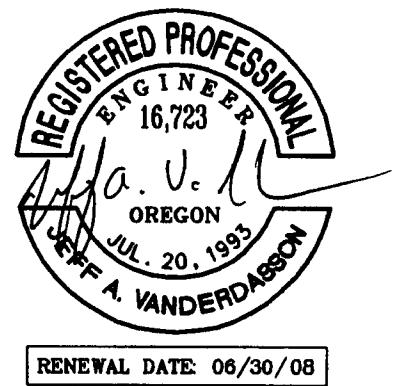


**CURB RETURN DETAIL**  
SCALE: 1" = 20'



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**REVISIONS**  
NO. DATE DESCRIPTION



**ADDINGTON PLACE**  
**PHASE - 6**

**STREET "A" AND STORM DRAIN PLAN & PROFILE**

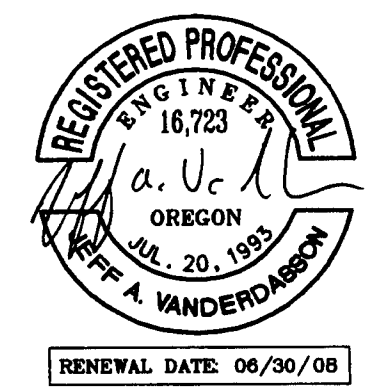


PROJECT NO.: 104-013  
TYPE: CONSTRUCTION  
DATE: 6/16/06



**REVISIONS**

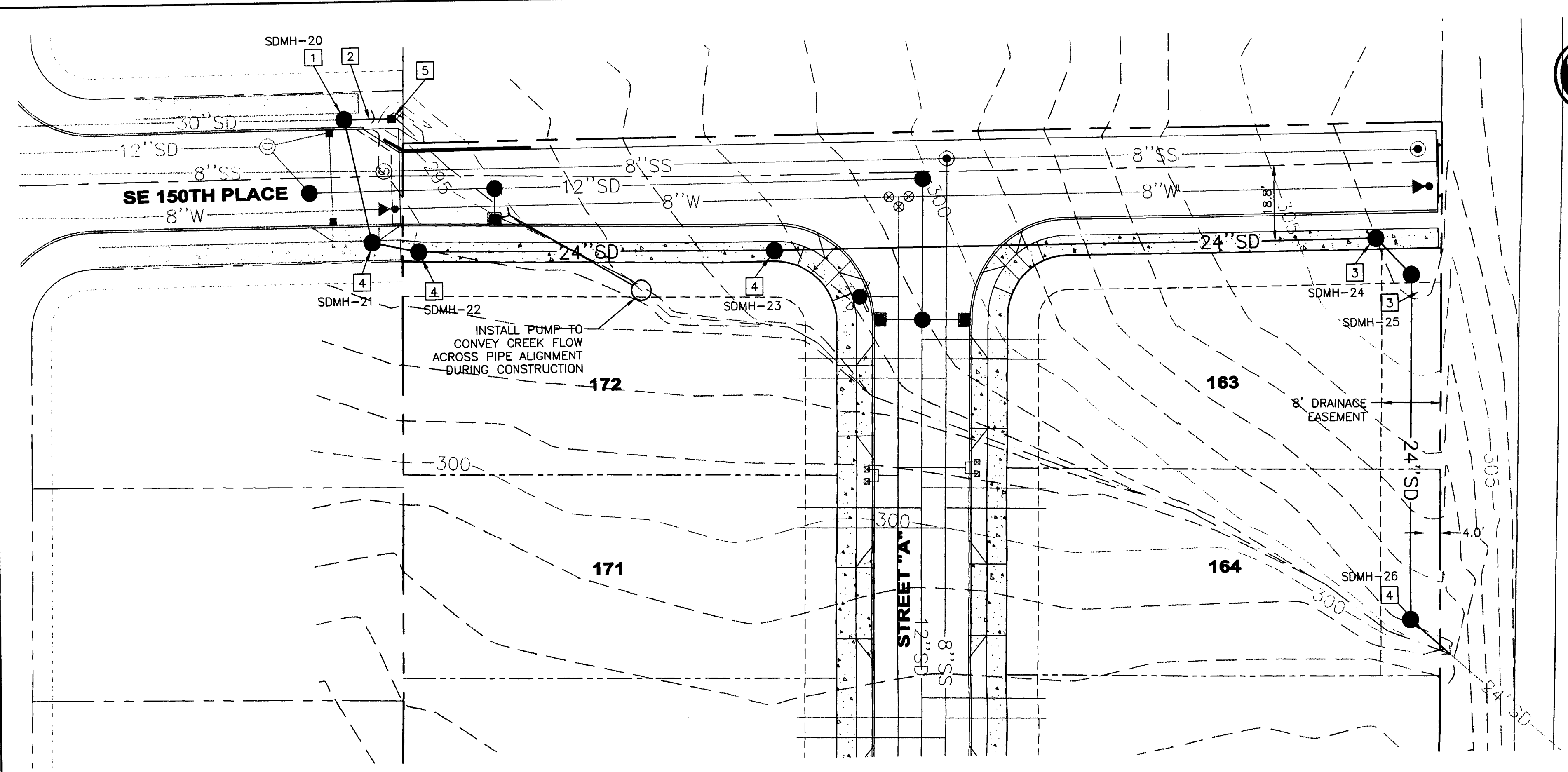
NO.	DATE	DESCRIPTION
1)	7/26/06	15' DRAINAGE EASEMENT PER W.E.S.



**ADDINGTON PLACE  
PHASE - 6**

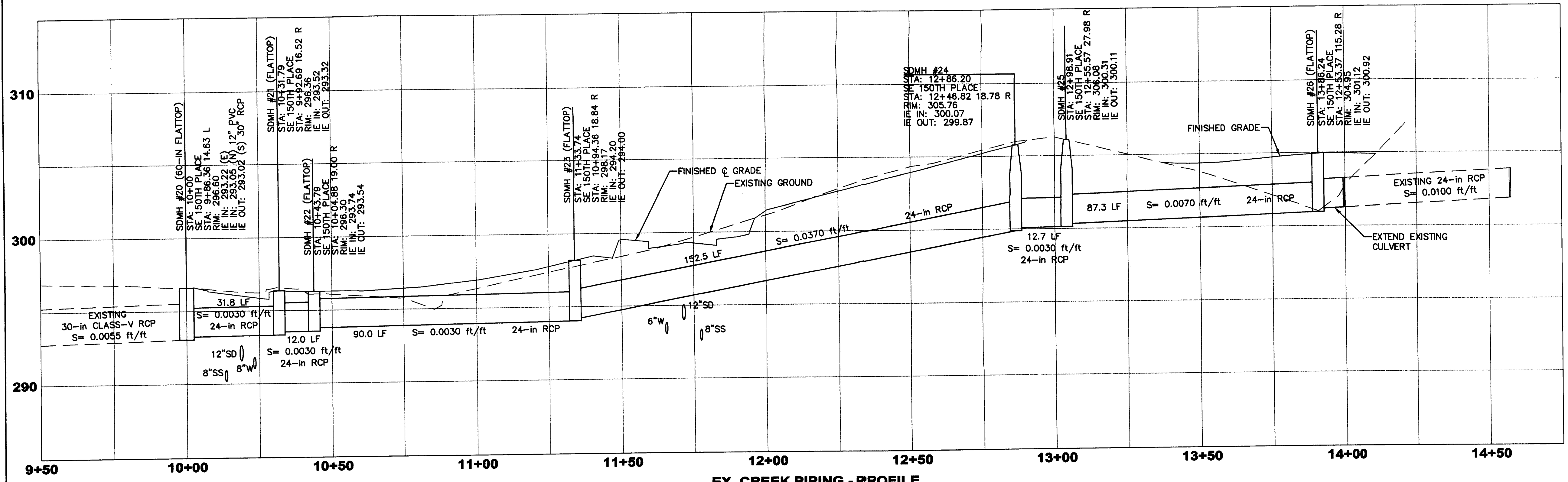
**EXISTING CREEK PIPING PLAN & PROFILE**

PROJECT NO.: 104-013  
TYPE: CONSTRUCTION  
DATE: 6/16/06

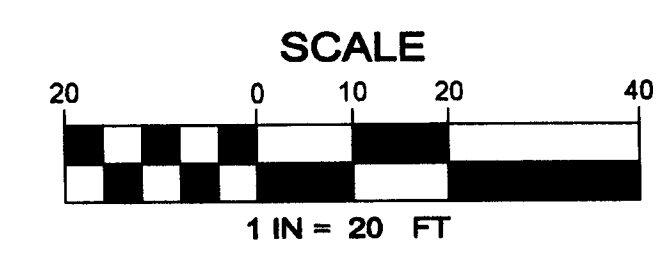


**EX. CREEK PIPING - PLAN**  
SCALE: 1" = 20'

- STORM NOTES:**
- 1) INSTALL 60" FLATTOP MANHOLE PER DETAIL, SHEET 13.
  - 2) INSTALL 12 LF OF 12" PVC STORM DRAIN PIPE @ 0.5% IE IN = 293.11
  - 3) INSTALL STANDARD MANHOLE PER DETAIL, SHEET 13.
  - 4) INSTALL FLATTOP MANHOLE PER DETAIL, SHEET 13
  - 5) INSTALL STANDARD DITCH INLET GRATE = 294.11  
SUMP = 291.61



**EX. CREEK PIPING - PROFILE**  
HORIZONTAL SCALE: 1" = 20' VERTICAL SCALE: 1" = 4'



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**REVISIONS**

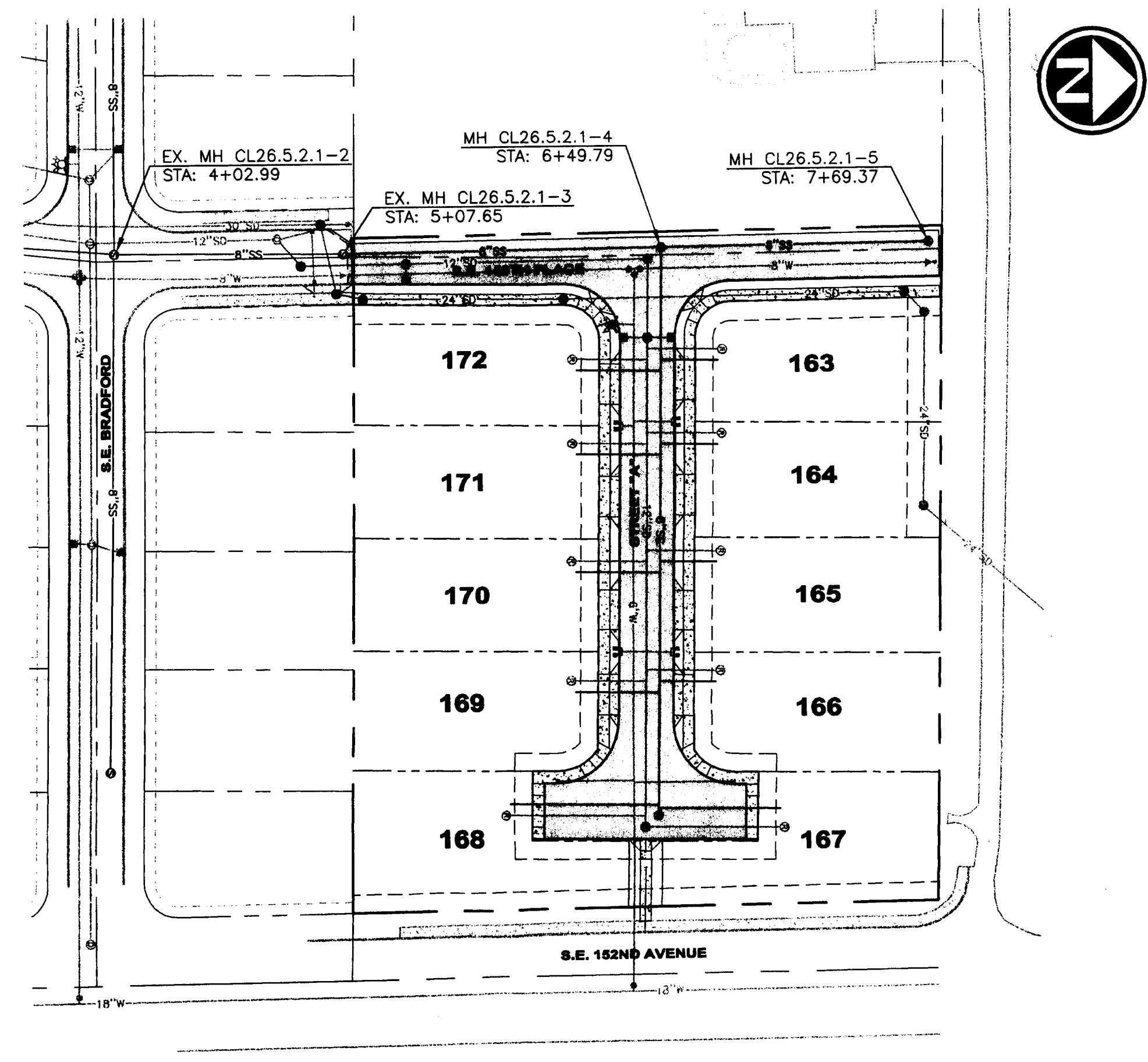
NO.	DATE	DESCRIPTION
1)	7/26/06	MIN. 8" COVER PER W.E.S.



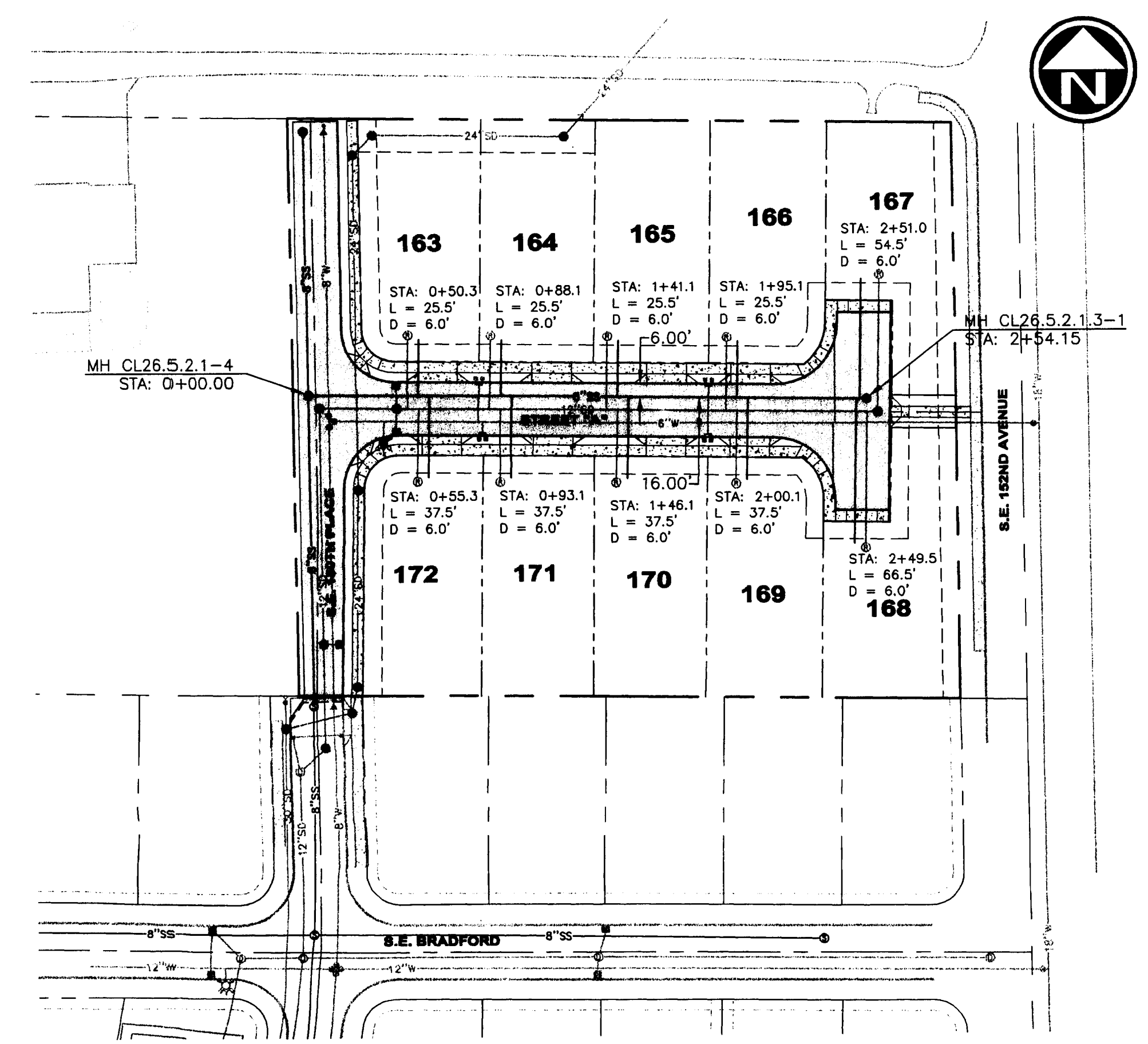
**ADDINGTON PLACE  
 PHASE - 6**

**SANITARY SEWER PLAN & PROFILES**

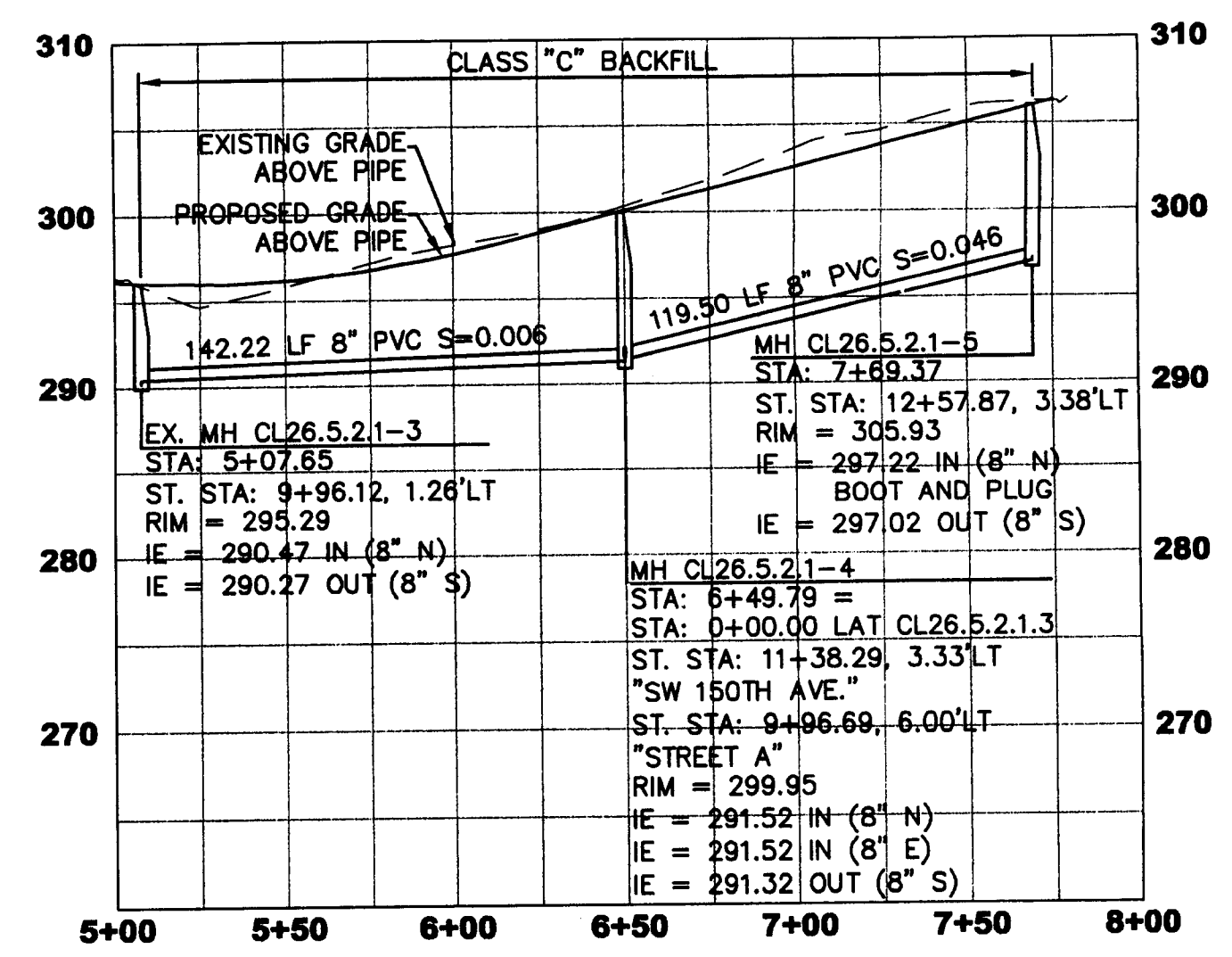
PROJECT NO.: 104-013  
 TYPE: CONSTRUCTION  
 DATE: 6/16/06



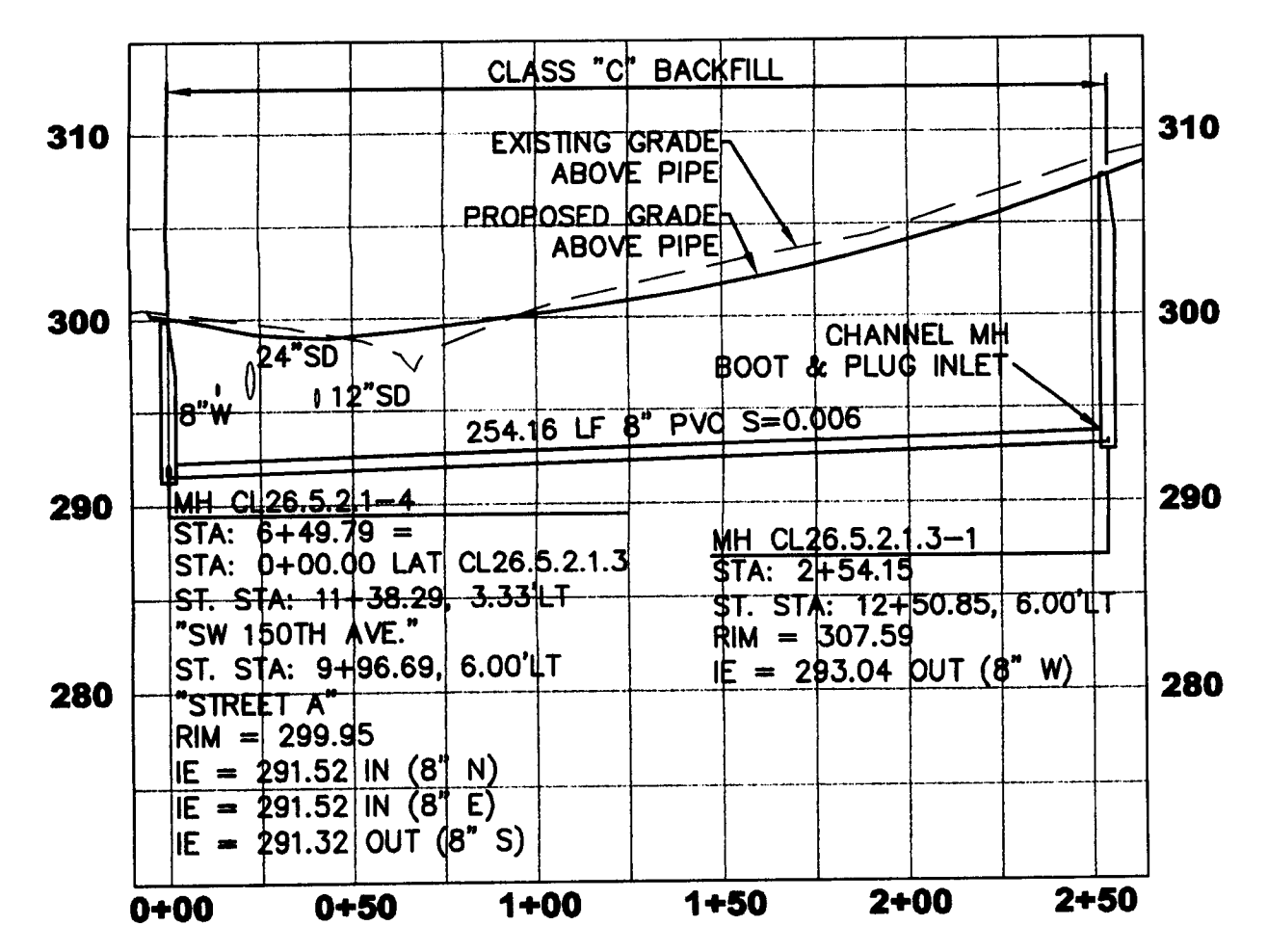
**LATERAL CL26.5.2.1**  
 SCALE: 1" = 50'



**LATERAL CL26.5.2.1.3**  
 SCALE: 1" = 50'



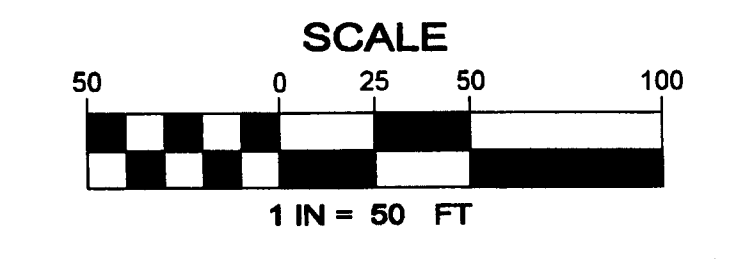
**LATERAL CL26.5.2.1**  
 HORIZONTAL SCALE: 1" = 50' VERTICAL SCALE: 1" = 10'



**LATERAL CL26.5.2.1.3**  
 HORIZONTAL SCALE: 1" = 50' VERTICAL SCALE: 1" = 10'

ALL MANHOLE RIMS SHALL BE FLUSH WITH THE FIRST LIFT OF ASPHALT AND RAISED TO FINISH GRADE DURING THE INSTALLATION OF THE SECOND LIFT.

ALL PIPE PVC PIPE (INCLUDING LATERALS) ARE ASTM D-3034 SDR 35 PVC UNLESS OTHERWISE NOTED. ALL LATERALS TO BE SAME TYPE AS MAIN UNLESS OTHERWISE SPECIFIED.



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**REVISIONS**  
NO. DATE DESCRIPTION

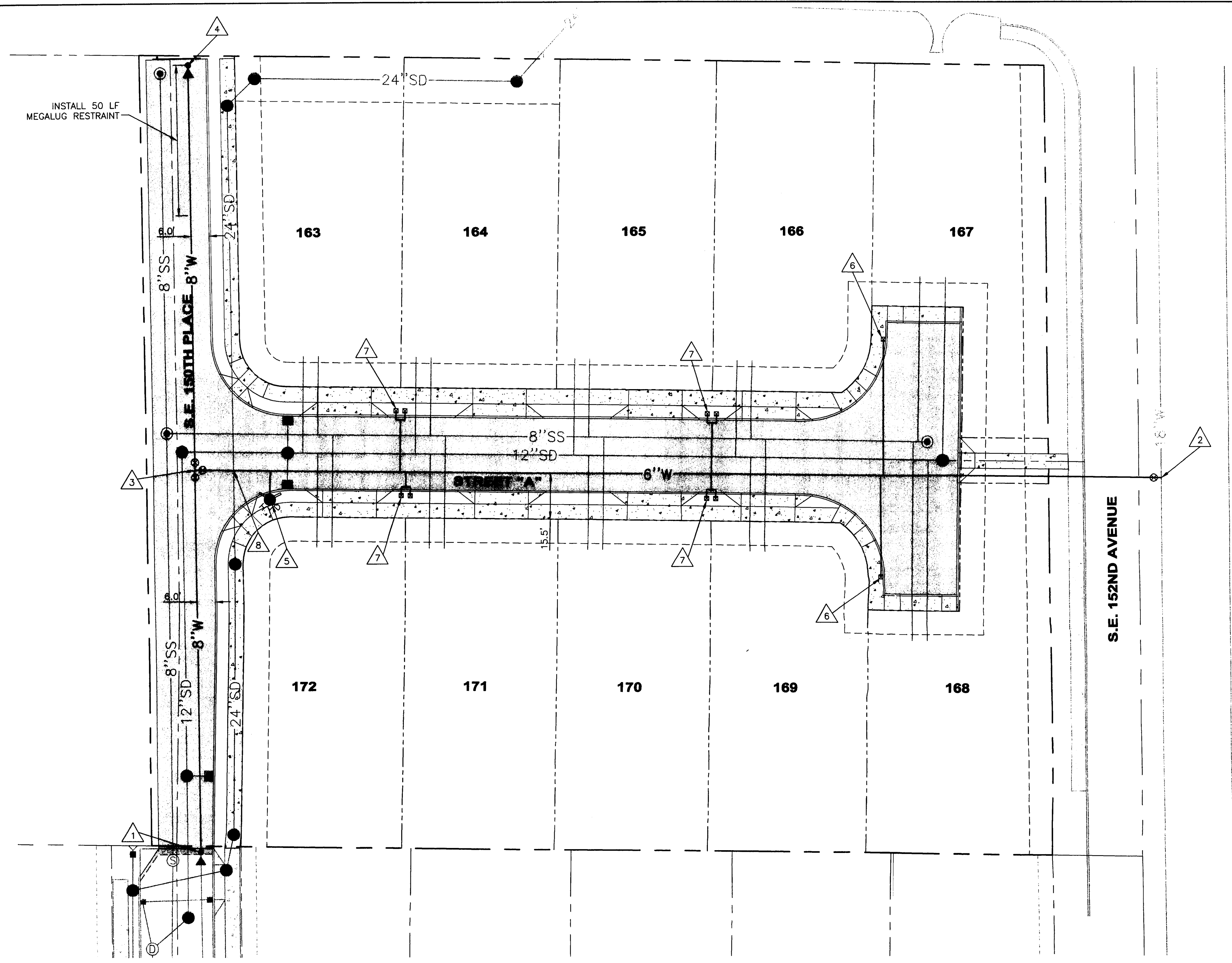


**ADDINGTON PLACE  
PHASE - 6**

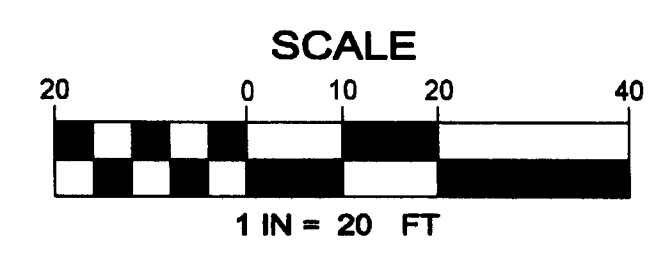
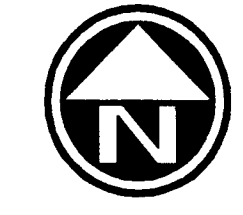
**WATER  
LINE  
PLAN**

PROJECT NO.: 104-013  
TYPE: CONSTRUCTION  
DATE: 6/16/06

- WATER NOTES:**
- 1 CONNECT TO EX. GATE VALVE AND REMOVE EX. BLOW-OFF.
  - 2 CONNECT TO EXISTING 18" WATER LINE.  
INSTALL:  
1-18" x 6" TAPPING SLEEVE  
1-6" MJ GATE VALVE
  - 3 INSTALL 8" x 8" x 6" TEE WITH 2-8" & 1-6" GATE VALVES  
PROVIDE THRUST BLOCKING PER DETAIL, SHEET 12.  
STA: 11+26.14, 6.00' RT. "150TH"  
= 10+06.32, 6.00' RT. "STR. A"
  - 4 INSTALL:  
1-8" MJ GATE VALVE  
1-8" MJ PLUG  
TAP 2 WITH 2" STAND PIPE  
STA: 12+60.49, 6.00' RT. "STR. A"
  - 5 INSTALL STANDARD FIRE HYDRANT ASSEMBLY PER DETAIL, SHEET 12.  
STA: 10+31.26, 15.74' RT. "STR. A"
  - 6 INSTALL (1) 3/4" SINGLE SERVICE WATER METER PER DETAIL, SHEET 12.
  - 7 INSTALL (1) 3/4" DOUBLE SERVICE WATER METER PER DETAIL, SHEET 12.
  - 8 DEFLECT WATER LINE BELOW 24" STORM DRAIN TO ACHIEVE MINIMUM 18" SEPARATION.

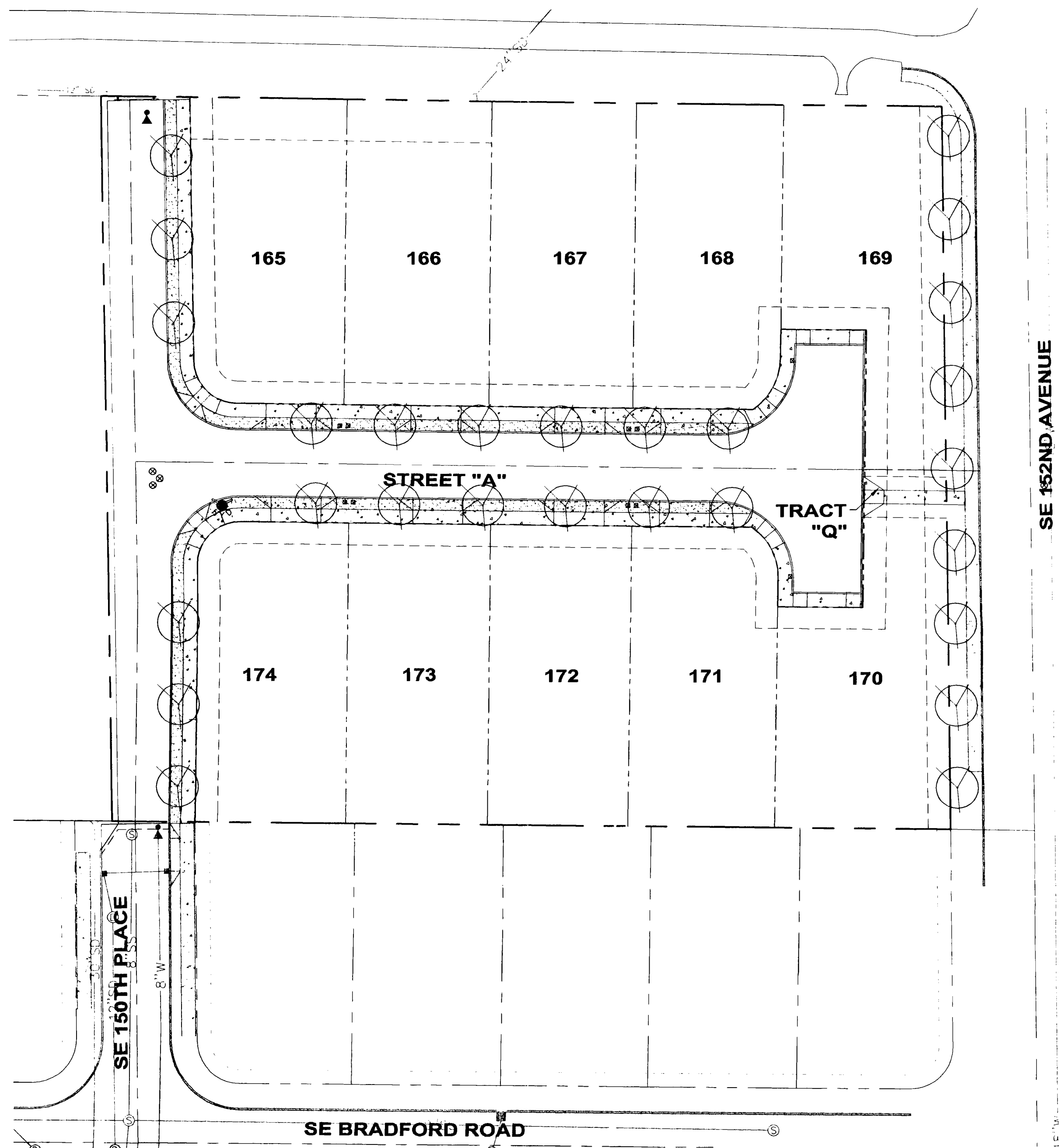


**WATER LINE PLAN**  
SCALE: 1" = 20'



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SE 152ND AVENUE

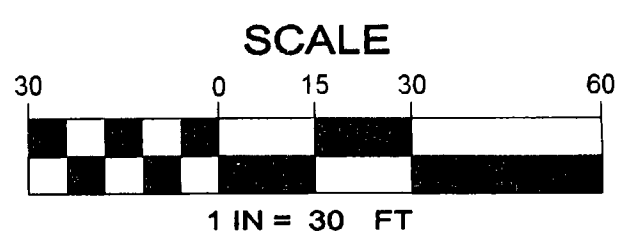
SE 150TH PLACE

TREES	QTY	SIZE	SPACING	BOTANICAL NAME	COMMON NAME
	21	1/2" CAL.	30' O.C.	PYRUS CALLERYANA 'GLEN'S FORM'	CHANTICLEER PEAR

2421 S.F. LAWN

**IRRIGATION NOTE:**

- THE CONTRACTOR IS TO DESIGN, INSTALL AND MAINTAIN A PERMANENT AUTOMATED IRRIGATION SYSTEM TO IRRIGATE ALL PROPOSED PLANTINGS. THIS SYSTEM MUST MEET INDUSTRY STANDARDS, JURISDICTIONAL REQUIREMENTS AND THE WRITTEN SATISFACTION OF THE OWNER'S DESIGNATED REPRESENTATIVE.
- THE CONTRACTOR IS TO MAINTAIN THE IRRIGATION SYSTEM IN GOOD WORKING ORDER FOR TWO YEARS FROM THE DATE OF THE INSTALLATION ACCEPTANCE, OR AS SPECIFIED IN WRITING BY THE OWNER'S DESIGNATED REPRESENTATIVE.
- PRIOR TO INSTALLATION ACCEPTANCE THE CONTRACTOR WILL PROVIDE THE OWNER WITH AS-BUILT PLANS OF THE INSTALLATION AND COPIES OF ALL OPERATING MANUALS AND WARRANTY DOCUMENTS.



**GENERAL NOTES:**

**General**

- Plans and details on this sheet, the bid form, and these notes constitute the construction documents for landscape improvements at Addington Place Phase 4 in Clackamas County, Oregon.
- The Landscape Contractor must be licensed to perform this work in the State of Oregon.
- All local, Municipal, County and State laws regarding uses and regulations governing or relating to any portion of the work, depicted on these plans and details are hereby incorporated into and made part of these specifications, and their provisions shall be carried out by the contractor.
- The Contractor shall obtain all necessary licenses, bonds, permits, and insurance required to perform the work indicated herein before commencing work and shall be responsible for coordinating work with all parties involved, including jurisdictional.
- Contractor is responsible for locating and protecting any and all existing utilities on and adjacent to the project prior to beginning construction.
- The Contractor shall locate and protect all existing utilities and features on and adjacent to the project site during construction, and shall repair at his own expense all damage resulting from his operations or negligence.
- Protect existing buildings, walls, fences, pavements, reference points, monuments and markers on and adjacent to this site. Protect work and materials of other trades. Use all means necessary to protect the public from injury at all times.
- Any discrepancies between these plans and the actual field conditions shall be reported to the Landscape Architect prior to working in the affected area.
- The Contractor shall maintain a clean and orderly construction site, removing all rubble, debris and excess materials. These materials shall be properly disposed of off site in a timely manner to avoid unreasonable disruption or mess. No materials shall be staged in public streets without written approval of the Landscape Architect.
- Plant materials shall conform to American Nursery Association standards governing health, size, branching habit, form, and root development.

**General Inspection and Acceptance**

- The landscape contractor is to maintain the plant material until the work is completed through final acceptance of the project.
- The project remains incomplete until accepted by owner.
- Seeded lawn areas will be accepted provided a healthy, generally uniform in color, close stand of the specified grass is established, free of bare spots, weeds, ponding, non-continuous slopes and surface irregularities.
- No fewer than two lawn mowings shall have occurred prior to final acceptance of any section of the work.
- Upon completion of the irrigation system, as a condition of its acceptance and for final payment, deliver to the Owner's representative the following: A) 'As-Built' drawings that include 3 prints and the supplied reproducible irrigation showing at the min. valve location & size, controller number & size, GPM, pipe size, heads, quick couplers, manual drain and all other required system components. This base contains all revisions to the irrigation including a Controller Zone Reference chart and controller operation manual. B) Owner instruction for operation of system components & system winterization.
- When the landscape work is completed, including the above-described maintenance, the Landscape Architect will, upon request, make an inspection to determine project acceptability. Notify Landscape Architect 48 hours prior to visit. The Landscape Architect shall determine whether the project is substantially complete and conditionally or unconditionally acceptable.
- Where inspected landscape work does not comply with the specified requirements, replace rejected work and continue specified site maintenance until reinspected by the Landscape Architect and found to be acceptable. Remove rejected plants and materials promptly from the project site.
- Final acceptance shall be in writing from the Landscape Architect or by Landscape Architect's release of the project retainer.
- This Landscape Contract requires that all workmanship, supplied materials, site furnishings, plants, lawn areas, and the irrigation system shall be guaranteed, upon completion, (except for acts of nature and vandalism) for 1 year from job acceptance.

**LANDSCAPE SPECIFICATIONS**

**PLANTING**

**SECTION A1 - General Specifications**

- Any discrepancies between these plans and the actual field conditions shall be reported to the Owner. In case of discrepancies between plant schedule, call-outs and plan, PLAN shall govern.
- Notify owner for approval of fine grading prior to commencing plant installation.
- The Contractor shall maintain a clean and orderly construction site, removing all rubble, debris and excess materials. These materials to be properly disposed of off site in a timely manner to avoid unreasonable disruption or mess.
- All paved areas, fences or surfaces stained or soiled from landscape material shall be cleaned. All surfaces shall be washed with proper equipment and materials as approved by the Owner. Stags no dirt or bark in public streets without Owners approval.
- All trees to be planted as per plan, specifications and details. After final raking, tree rings and mowing strips shall receive a 3" layer of medium grade COMPOSTED hem/fir bark mulch.
- Any changes or substitutions in plant material or revisions to plant locations to be approved by Landscape Architect prior to planting. Adjust plant locations in coordination with Owner if deviations from planting plan are necessary due to unknown site conditions.
- Plant materials shall conform to American Nursery Association standards governing health, size, branching habit, form, and root development.

**SECTION A2**

**Planting Specifications**

- Backfill soil for all plants shall be a mixture of three equal parts topsoil (from site), rotted manure or mushroom compost and rotted sawdust or leaf mulch. See planting details.
  - As necessary Preparation of soil for perennial overseed areas consists of 1/3 of APPROVED rotted sawdust or animal manure, 1/3 well drained sandy loam, 1/3 native soil, mix completely. See planting instructions below.
- Trees**
- All trees to be healthy, disease-free, well branched, with straight trunks and well crowned. Remove all dead, dying, and crossed branches. They shall have no cut off limbs over 3/4" diameter not completely healed over. Trees shall be free of scrapes and scars.
  - Wire baskets shall be cut away completely. Avoid ball breakage. The first 2/3 of the Burlap wrap shall be peeled away prior to backfill. Trees in tree wells shall be installed with crown flush or above surrounding grade and paving cover ball with 3" of bark.
  - All trees are to be planted a minimum of 24" from any fence, pole, wall, curb, sidewalk, property line or any other landscape feature, unless specifically called out in the plan. Trees shall be piced a minimum of 1" from irrigation rotor heads, minimum of 5' from street lights, unless noted otherwise.
  - Trees in tree wells shall be centered. Over excavate all compacted material.
  - Plant all tree according to details. Orient best side to dominant view.

**SECTION A3**

**Lawn Area Installation**

- Owner to review and approve layout of lawn area prior to seeding. Receive approval of fine grading prior to lawn installation.
- All lawn areas adjoining sidewalks, concrete slabs, manholes or curbs are to be installed flush with the top of each surface to facilitate mowing and maintenance. Lawn areas adjoining fences, walls, utility vaults, buildings or other site features, shall have a uniform 6" barked mowing strip with catch to facilitate mowing and maintenance.

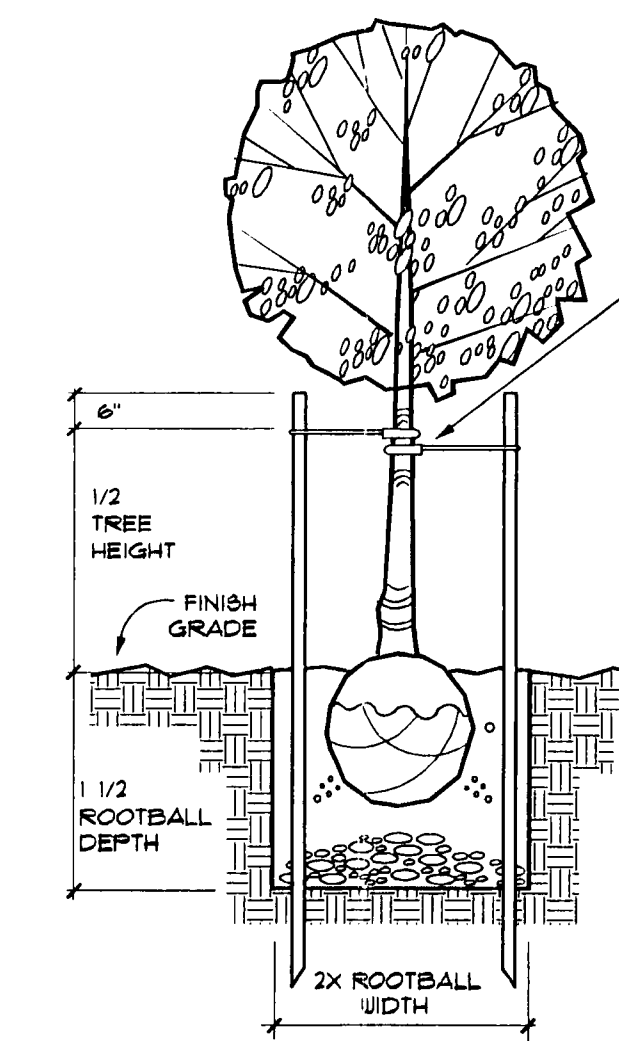
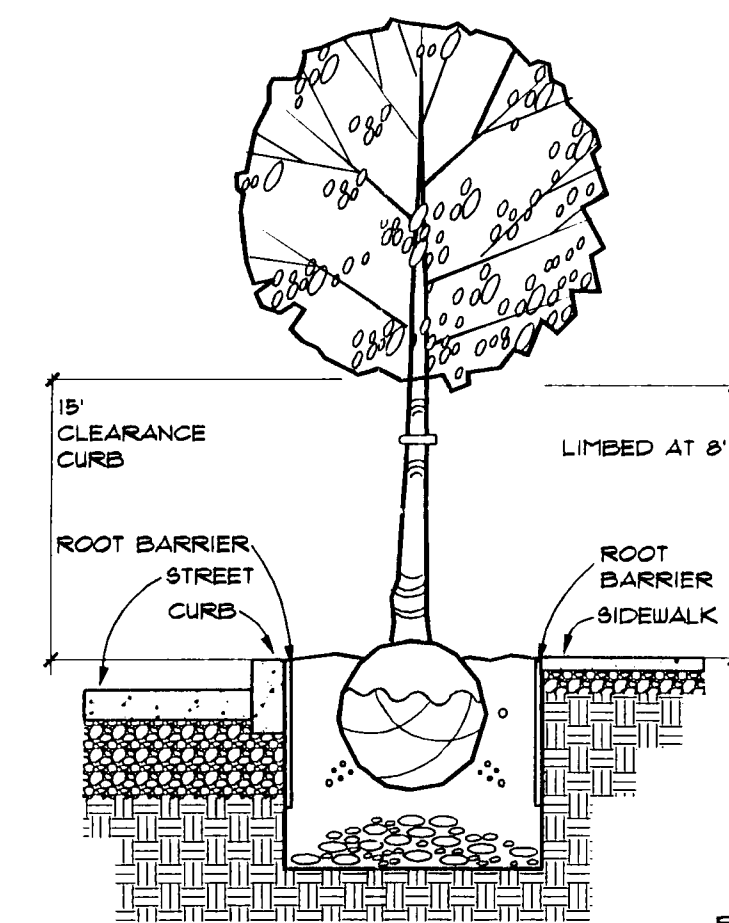
**Seeded Lawn**

- Grade base to maintain existing rough grading drainage, providing uniform and continuous slopes maintaining minimum 2% drainage unless noted for swales.
  - Rake and remove weeds and rocks over 1-1/4" in size in top 4" of soil.
  - Apply ground limestone at rate of 80 pounds per 1,000 square feet.
  - Thoroughly mix and then till (rototill) soil additives into soil base a minimum of 6" in a moist condition, then reestablish a level, smooth surface.
  - Roller seed bed with water filled roller in two directions to firm up bed. Regrade if necessary.
  - Spread Turf Treat lawn fertilizer at a rate of 5 pounds per 1,000 square feet.
  - Sow specified lawn seed (minimum 7 pounds/1,000 square feet unless otherwise specified) by seeder (do not apply if wind exceeds 5 mph) evenly over entire area by sowing equal quantity in two directions at right angles.
  - Rake seed lightly into top 1/3" of soil, roll lightly.
  - Apply mulch of damp peat moss 1/8" - 3/16" deep.
  - Keep seed bed with moisture until grass is up.
  - Protect and maintain the seeded area until acceptance of established lawn.
- Note: Hydroseeding is an approved alternative unless otherwise noted. Hydroseed any areas with slopes greater than 4:1. Clean up all overspray not in the designated lawn area.
- Regrade, repair, and reseed all washouts and thin areas.

**SECTION B1**

**Maintenance Specifications During Construction**

- The Contractor shall maintain all landscape areas until project completion and acceptance.
- Maintenance shall include at a minimum:
  - Regrade and re-bark any settlement, or erosion washout.
  - Monitor irrigation, adjust as required.
  - Seeded area care includes reseeding, repairing, weeding, policing and removal of unwanted plant materials and debris during specified period. Regrade with approved material and reseed all washouts. Fall leaf removal is outside the scope of this maintenance specification.
  - Composted bark mulch shall be maintained or brought to a 3" depth during this maintenance period.
  - Maintain all tree stakes and guys.
  - Maintain all barked areas weed free during maintenance period.
  - Any unsatisfactory conditions arising during this maintenance period shall be brought immediately to the attention of the Owner.



- PLANT ALL TREES W/ TOP OF ROOTBALL 1" ABOVE FINISH GRADE
- DOUBLE STAKE W/ 2"x2"x8' STAKES 7'-6" MIN. BELOW GRADE
- CUT TOP OF STAKE BELOW CANOPY
- CHAIN LOCK TYPE GUY OR 2 STRAND 14 GA. GALV. WIRE W/ HOSE OR APPROVED EQUAL
- REMOVE ALL WIRE BASKETS CUT & LOOSEN BURLAP
- 3" OF COMPOSTED MEDIUM GRADE
- 36" DIAMETER MULCH RING FOR TREES IN LAWN
- INSTALL ROOT BARRIER ALONG EDGE OF SIDEWALK AND CURB, MIN. 18" DEEP
- 3-WAY BACKFILL MIX EQUAL PARTS TOPSOIL, ROTTED MANURE & LEAF MULCH
- BREAK UP SUB-SOIL MIN. 4" AND CROWN FOR DRAINAGE

**1 Street Tree Planting Detail**

section n.t.s.



9600 SW Oak, Suite 230  
Portland, OR 97223  
(503) 452-8003 (F) 503-452-8043  
www.alphacommunity.com

**REVISIONS**

NO.	DATE	DESCRIPTION
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**ADDINGTON PLACE PHASE - 4**

**STREET TREE PLAN**

*approved*  
*K. Palack*  
*12-8-06*



PROJECT NO.: 104-013  
TYPE: CONSTRUCTION  
DATE: 7/8/06

**L1**











# 14569 SE Hemmen Ave





Clackamas, Oregon  
Google Street View  
Jul 2011 See more dates

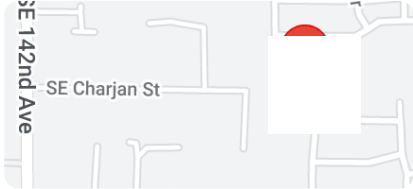


Image capture: Jul 2011 © 2023 Google

Clackamas, Oregon  
Google Street View  
Jul 2011 See more dates



Image capture: Jul 2011 © 2023 Google







April 10, 2023

Brian Hill  
14569 SE Hemmen Ave.  
Clackamas, OR 97015

SITE ADDRESS: 14569 SE Hemmen Ave., Clackamas, OR 97015  
LEGAL DESCRIPTION T2S, R2E, SECTION 12BA, TAX LOT 00605

Dear Brian Hill,

Clackamas County Code Enforcement has received complaints regarding the removal of, or improper replacement of, street trees on your property. We would like to work with the property owners to resolve the following:

- Removal and replacement of required street trees.
- Addressing street trees that may be in violation of setbacks to utilities and driveways.

The street tree plan created when your neighborhood was developed lays out the number of street trees to be planted per residence. However, changes to the code requirements have occurred since development of this plan and in some cases fewer street trees are required due to distances from driveways and utilities.

Staff conducted a site visit of your neighborhood to determine if trees need to be replaced or removed. Staff has determined the following for your location:

1. At the time of inspection your lot had 0 street trees. The approved street tree plan from 1995 requires 2 street trees. After review of current codes and regulations we have determined that your lot will require 1 to 2 street trees depending on the type of street trees selected. Before planting or starting any other work related to street trees please complete the following:
  - a. We encourage you to contact Roman Sierra at the Clackamas County Planning and Zoning Division at 503-742-4516 or by email at [rsierra@clackamas.us](mailto:rsierra@clackamas.us) to discuss the types of trees you will be planting to ensure they are on the allowed tree list. If you choose a tree outside of the street tree list you will need to work with Roman Sierra to determine if that street tree is an allowed tree.
  - b. Attached to this letter is a copy of the street tree standards labeled L100 and L200. Please adhere to those standards when planting. If you have additional questions about the installation requirements you may reach out to the Clackamas County Development Engineering at 503-742-4691 or by email at [engineering@clackamas.us](mailto:engineering@clackamas.us).
  - c. Call before you dig. Oregon Law requires utility locates to be requested at least two full business days but not more than ten full business days before beginning

any excavation. Information can be found on the website at [www.digsafelyoregon.com](http://www.digsafelyoregon.com). Your request can be made online by clicking on the "HOMEOWNERS Online Locate Request" box, or you can call 811 and speak with an operator at the One Call Center.

If you have questions concerning the steps you should take we encourage you to reach out to Code Enforcement Specialist Shane Potter as listed below, or stop by the offices located at 150 Beaver Creek Rd., Oregon City, OR 97045, Monday, Tuesday or Thursday between the hours of 8:00 a.m. and 4:00 p.m. The offices are closed on Wednesdays and Fridays

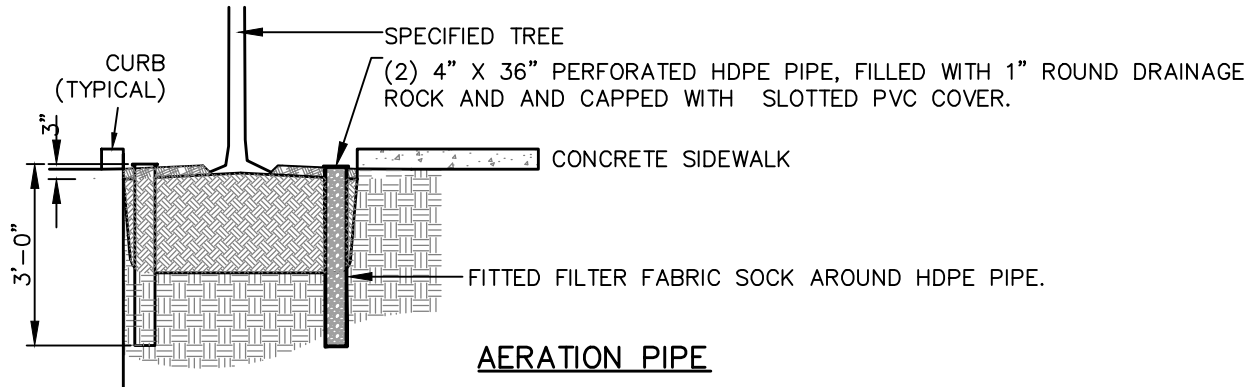
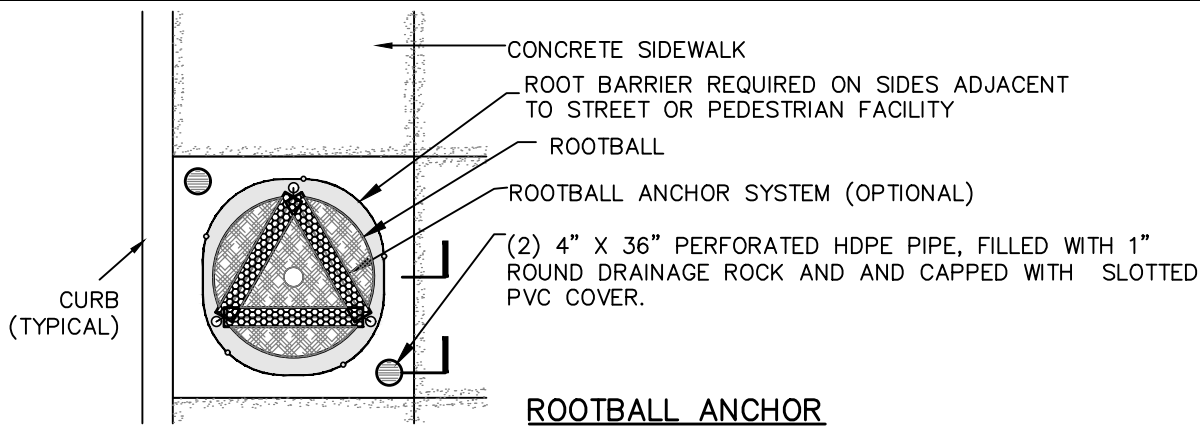
**ITEMS INCLUDED IN THIS PACKET**

- Letter of Explanation
- Form L100 Street Tree Planting Detail
- Form L200 for Engineering for placement
- Street Tree List for Planter Strips 2.5 foot to 3.5 foot in width

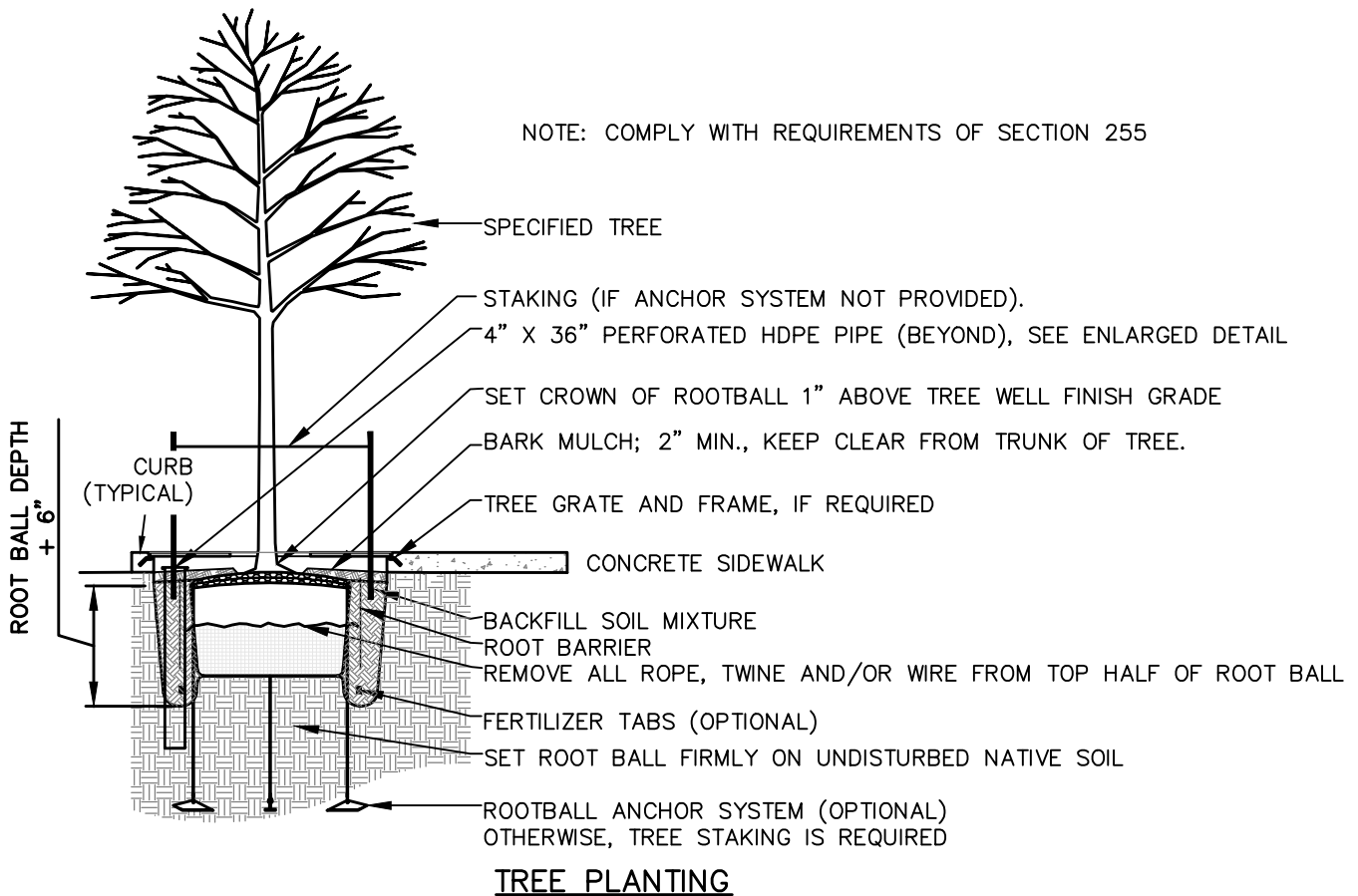


Shane Potter  
Code Enforcement Specialist  
Clackamas County Code Enforcement  
Phone: 503-742-4465  
[spotter@clackamas.us](mailto:spotter@clackamas.us)





NOTE: COMPLY WITH REQUIREMENTS OF SECTION 255



REVISION	DATE	BY
REV 1	11/19	BP

DEPARTMENT OF TRANSPORTATION AND DEVELOPMENT

150 BEAVERCREEK ROAD  
OREGON CITY, OR 97045



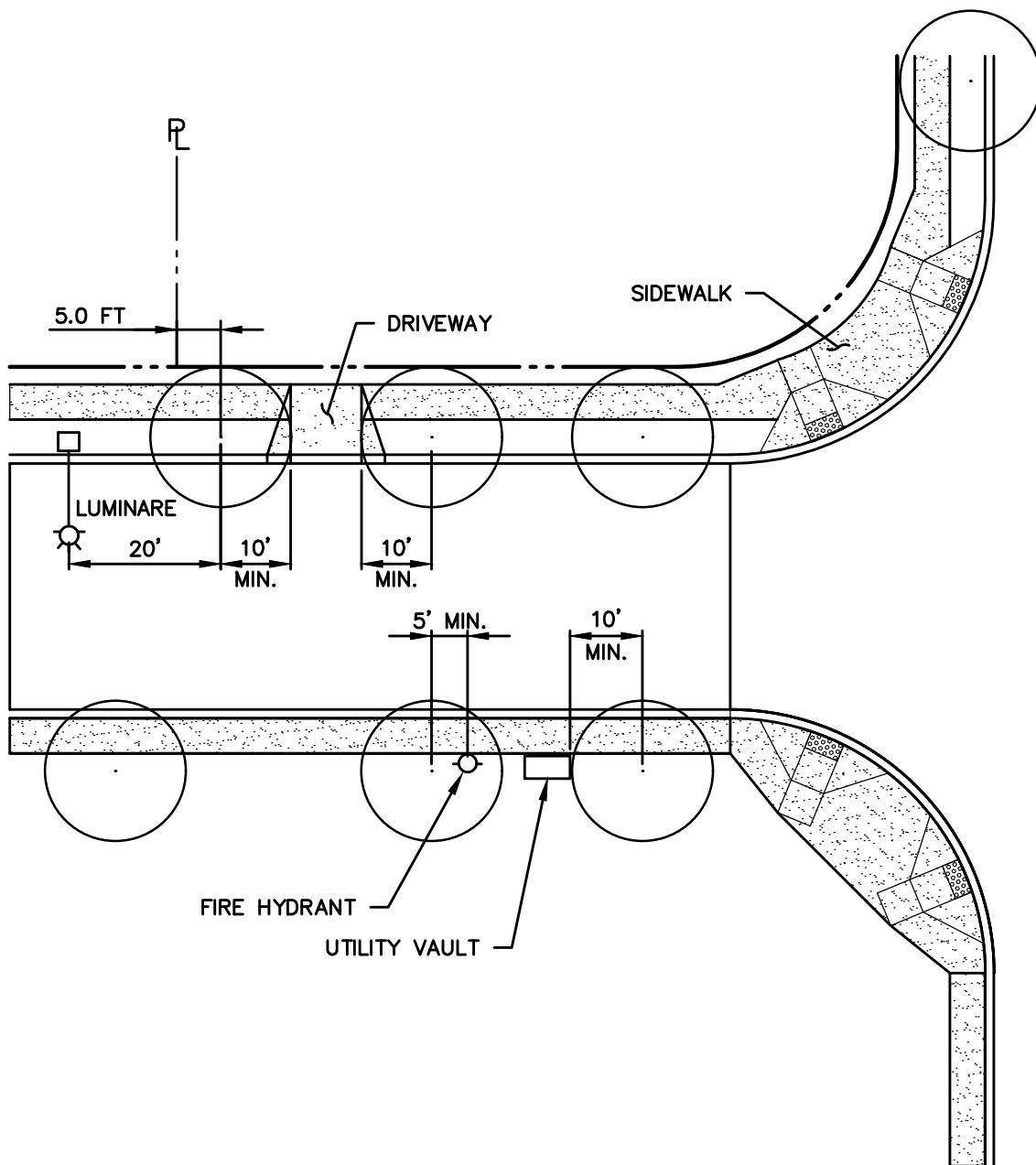
APPROVAL DATE: 6/1/2020

SCALE: N.T.S.

STANDARD DRAWING


TREE PLANTING DETAILS  
(NEW DEVELOPMENT)

L100



**NOTES**

1. COMPLY WITH LANDSCAPING STANDARDS OF SECTION 255.
2. COMPLY WITH SIGHT DISTANCE STANDARDS OF SECTION 240 AND COUNTY CODE SECTION 7.03 CONSIDERING INTERIM AND FULL TREE MATURITY.
3. TREES SHOULD BE PLACED TO AVOID IMPACT TO EXISTING AND PROPOSED UTILITIES.
4. FOR TREES NOT LOCATED WITHIN A LANDSCAPE STRIP, MINIMUM TREE SETBACK FROM SIDEWALK SHALL BE 1/2 OF THE STANDARD LANDSCAPE STRIP WIDTH.

REVISION	DATE	BY	DEPARTMENT OF TRANSPORTATION AND DEVELOPMENT		APPROVAL DATE: 6/1/2020	SCALE: N.T.S.	STANDARD DRAWING L200
REVISED	11/19	AAR			150 BEAVERCREEK ROAD OREGON CITY, OR 97045	<b>STREET TREE LOCATION (NEW DEVELOPMENT)</b>	
					<b>EXHIBIT E PAGE 4 OF 5</b>		



## Approved Street Trees for Planter Strips 2.5 feet to 3.5 feet in Width

Scientific Name	Common Name	Native Species	Height	Canopy Width	Shape	Evergreen	Under overhead wires
<i>Acer ginnala</i>	Amur Maple		20'	20'	Round	No	Yes
<i>Acer ginnala</i> 'Flame'	Flame Maple		20'	20'	Round	No	Yes
<i>Acer grandidentatum</i> 'Schmidt'	Rocky Mt. Glow Maple		25'	15'	Round	No	Yes
<i>Acer griseum</i>	Paperbark Maple		10'	20'	Narrow/Vase	No	Yes
<i>Acer palmatum</i>	Japanese Maple		12'	6'	Round	No	Yes
<i>Acer tataricum subsp. Ginnala</i> 'Flame'	Flame Maple		25'	20'	Round	No	Yes
<i>Acer triflorum</i>	Roughbark Maple		20'	20'	Round	No	Yes
<i>Amelanchier alnifolia</i>	Pacific Serviceberry	✓	20'	15'	Round	No	Yes
<i>Amelanchier x grandiflora</i> 'Autumn Brilliance'	Autumn Brilliance Serviceberry		20'	15'	Round	No	Yes
<i>Amelanchier x grandiflora</i> 'Cole Select'	Cole's Select Serviceberry		20'	15'	Round	No	Yes
<i>Amelanchier x grandiflora</i> 'Forest Prince'	Forest Prince Serviceberry		20'	15'	Round	No	Yes
<i>Amelanchier x grandiflora</i> 'Princess Diana'	Princess Diana Serviceberry		20'	15'	Round	No	Yes
<i>Cornus mas</i>	Cornelian Cherry Dogwood		15-20'	20'	Round	No	Yes
<i>Cornus nuttalli x cornus florida</i>	Eddies White Wonder Dogwood		25'	20'	Narrow/Round	No	Yes
<i>Cotinus coggygria x obovatus</i> 'Grace'	Grace Smoketree		20'	15'	Round	No	Yes
<i>Frangula purshiana (Rhamnus purshiana)</i>	Cascara	✓	20-40'	10-30'	Round	No	Yes
<i>Halesia carolina</i> 'Wedding Bells'	Wedding Bells, Silverbell		20'	20-35'	Round	No	Yes
<i>Malus transitoria</i> 'Schmidtcutleaf'	Golden Raindrops Crabapple		20'	15'	Round	No	Yes
<i>Pistachia chinensis</i>	Chinese Pistache		25'	25'	Round	No	Yes
<i>Prunus Cascade Snow</i>	Cascade Snow Cherry		25'	20'	Round	No	Yes
<i>Stewartia pseudocamellia</i>	Japanese Stewartia		30'	25'	Round	No	No
<i>Stewartia ovata</i>	Mountain Stewartia		10-15'	10-15'	Round	No	Yes
<i>Styrax japonicus</i>	Japanese Snowbell		25-30'	25'	Pyramid	No	Yes
<i>Styrax japonicus</i> 'JFS-D'	Snowcone Japanese Snowbell		20'	20'	Round	No	Yes













April 3, 2024

Violation No.:V0049822

Brian Hill  
14569 SE Hemmen Ave.  
Clackamas, OR 97015

**RE: CLACKAMAS COUNTY CODE SECTIONS ADDRESSED IN VIOLATION: No.: V0049822**

1. CLACKAMAS COUNTY ZONING AND DEVELOPMENT ORDINANCE TITLE 12 – SECTION 12.300: URBAN AND RURAL RESIDENTIAL DISTRICTS – SECTION 12.315: VILLAGE STANDARD LOT RESIDENTIAL (VR 5/7) – 12.315.03: USES PERMITTED
1. CLACKAMAS COUNTY ZONING AND DEVELOPMENT LAND USE DECISIONS Z0433-94-SS
2. CLACKAMAS COUNTY ZONING AND DEVELOPMENT ORDINANCE TITLE 12 – SECTION 1300 ADMINISTRATIVE ACTION REVIEW PROCESS – SECTION 1307 PROCEDURES – 12.1307.15 CONDITIONS OF APPROVAL

SITE ADDRESS: 14569 SE Hemmen Ave., Clackamas, OR 97015  
LEGAL DESCRIPTION T2S, R2E, SECTION 12BA, TAX LOT 00605

Dear Brian Hill,

Clackamas County Code Enforcement has received complaints regarding the removal of street trees on your property. A previous letter was sent in April 2023 requesting compliance. A recent site visit shows that the tree(s) have not been planted and the violation remains. To abate these violations you must complete the following **NO LATER THAN: June 14, 2024**

The street tree plan created when your neighborhood was developed lays out the number of street trees to be planted per residence. However, changes to the code requirements have occurred since development of this plan and in some cases fewer street trees are required due to distances from driveways and utilities.

Staff conducted a site visit of your neighborhood to determine if trees need to be replaced. Staff has determined the following for your location:

1. At the time of inspection your lot had 0 street trees. The approved street tree plan from 1995 requires 2 street trees. After review of current codes and regulations we have determined that your lot will require 1 to 2 street trees, depending on the type of tree selected. Before planting or starting any other work related to street trees please complete the following:
  - a. We encourage you to contact Roman Sierra at the Clackamas County Planning and Zoning Division at 503-742-4516 or by email at [rsierra@clackamas.us](mailto:rsierra@clackamas.us) to discuss the types of trees you will be planting to ensure they are on the allowed tree list. If you choose a tree outside of the street tree list you will need to work with Roman Sierra to determine if that street tree is an allowed tree.

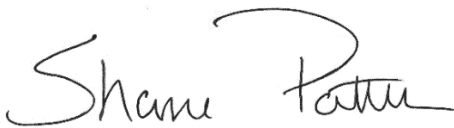


- b. Attached to this letter is a copy of the street tree standards labeled L100 and L200. Please adhere to those standards when planting. If you have additional questions about the installation requirements you may reach out to the Clackamas County Development Engineering at 503-742-4691 or by email at [engineering@clackamas.us](mailto:engineering@clackamas.us).
- c. Call before you dig. Oregon Law requires utility locates to be requested at least two full business days but not more than ten full business days before beginning any excavation. Information can be found on the website at [www.digsafelyoregon.com](http://www.digsafelyoregon.com). Your request can be made online by clicking on the "HOMEOWNERS Online Locate Request" box, or you can call 811 and speak with an operator at the One Call Center.

If you have questions concerning permit requirements, online submittal process, or land use process, please contact the department listed above at the phone number or email listed, or stop by the offices located at 150 Beavercreek Rd., Oregon City, OR 97045, Monday through Thursday between the hours of 8:00 a.m. and 4:00 p.m. The offices are closed on Fridays

#### **ITEMS INCLUDED IN THIS PACKET**

- Violation Letter
- Required Notice of Fines and Penalties
- Form L100 Street Tree Planting Detail
- Form L200 for Engineering for placement
- Street Tree List for Planter Strips 2.5 foot to 3.5 foot in width

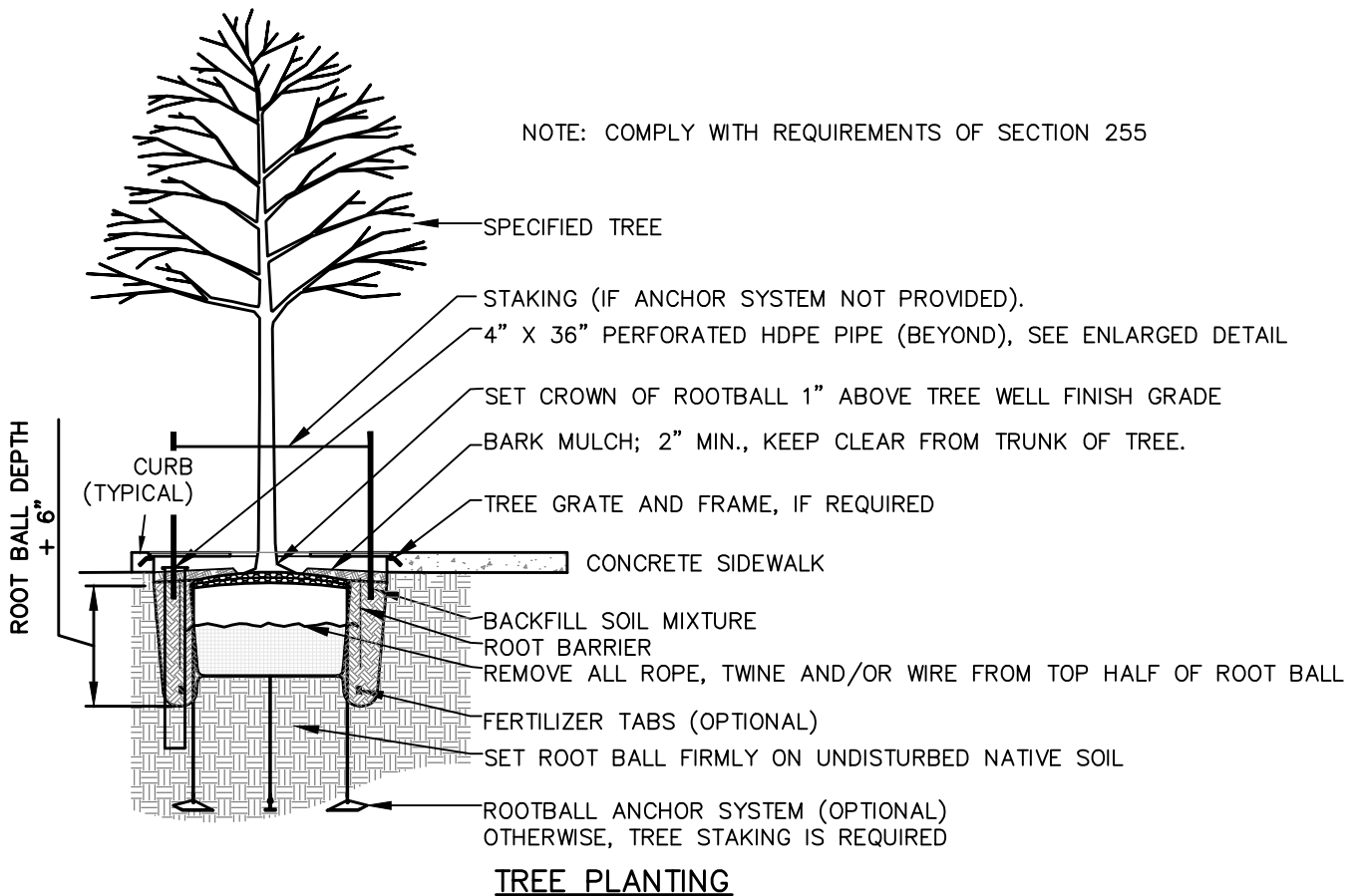
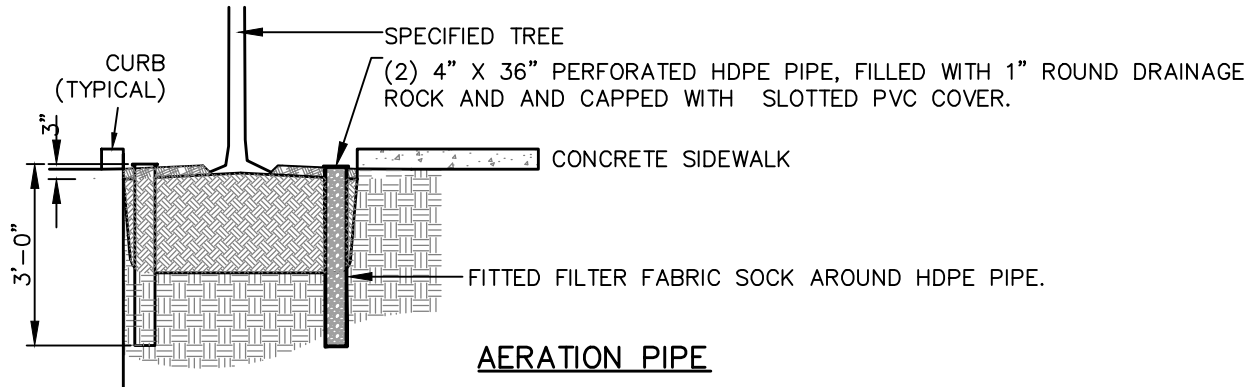
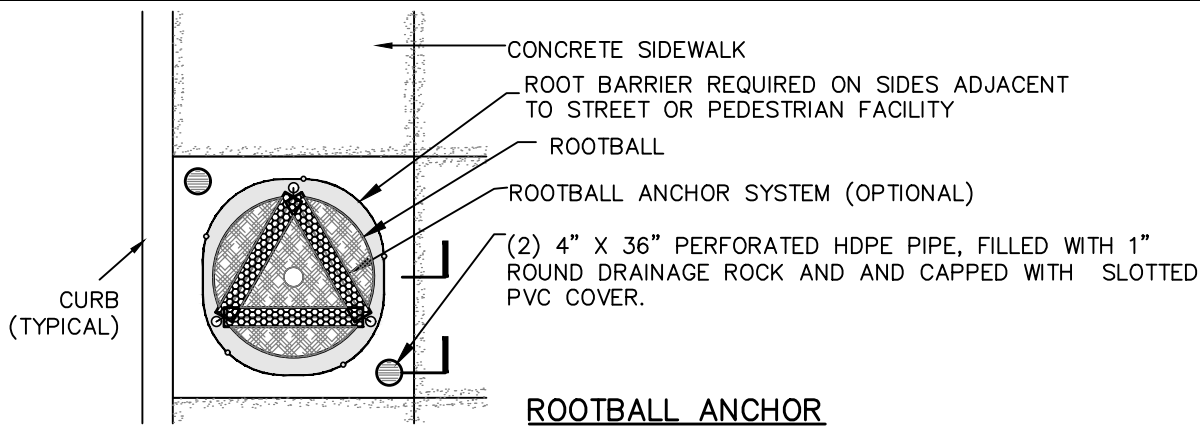


Shane Potter  
Code Enforcement Specialist  
Clackamas County Code Enforcement  
Phone: 503-742-4465  
[spotter@clackamas.us](mailto:spotter@clackamas.us)

## Important Notices

1. **Administrative Compliance Fees.** It is important that you contact the Code Enforcement Section to resolve the violations described in the enclosed letter. **An administration compliance fee of \$75 will now be assessed monthly until the violations are abated.**
2. **Failure to resolve those violations may result in one or more of the following:** (1) a citation and fine, and (2) referral of this matter to the County Code Enforcement Compliance Hearings Officer.
3. **Request for a Hearing:** If you dispute the existence of the violations described in the enclosed letter you may request a hearing before the Hearings Officer by sending a written request for a hearing, including your name and address to: Code Enforcement Section, 150 Beaver Creek Rd., Oregon City, OR 97045, or at [codeenforcement@clackamas.us](mailto:codeenforcement@clackamas.us).
4. **Potential Fines and Penalties:** The Clackamas County Code provides for Citation fine amounts of up to \$500 and additional civil penalties imposed by the Hearings Officer of up to \$3,500 for each day the County verifies the noncompliance. Fine amounts and civil penalties may be assessed for each cited violation and may be assessed separately against each named party. In addition, the Hearings Officer may order the violation to be abated by the County at the expense of the property owner(s) and responsible parties.
5. **Voluntary Compliance:** Clackamas County encourages voluntary compliance with code violations to support a safe and healthy community for all. Please note that when a property owner works cooperatively with the County to resolve a confirmed code enforcement violation, the County may in its discretion waive all or part of the \$75 per month administrative fee.
6. **Non-Compliance may result in a lien upon your property:** Fines and costs are payable upon the effective date of the final order declaring the fine and costs. Fines and costs under this Chapter are a debt owing to the County, pursuant to ORS 30.460, and may be collected in the same manner as any other debt allowed by law. If fines or costs are not paid within 60 days after payment is ordered, the County may file and record the order for payment in the County Clerk Lien Record.
7. **Final Order may be enforced in Circuit Court:** Also, be advised that non-compliance with a Hearings Officer's Order may result in the matter being referred to County Counsel for legal action in Circuit Court which may result in additional penalties or other sanctions.
8. **Recurrences will result in additional Citations:** Finally, recurrences of abated violations may result in the issuance of a citation without prior notice.





REVISION	DATE	BY
REV 1	11/19	BP

DEPARTMENT OF TRANSPORTATION AND DEVELOPMENT  
150 BEAVERCREEK ROAD  
OREGON CITY, OR 97045



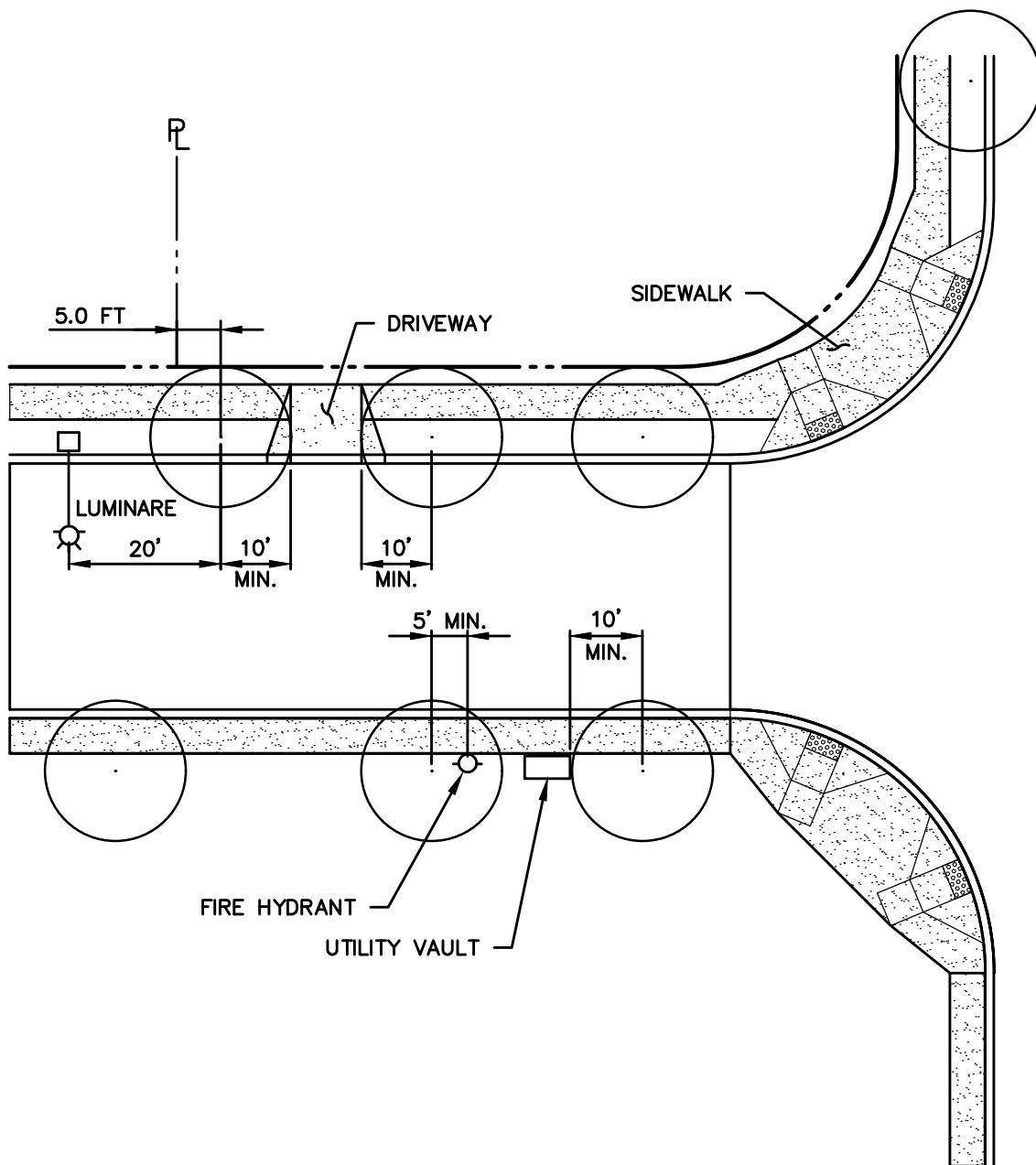
APPROVAL DATE: 6/1/2020

SCALE: N.T.S.

STANDARD DRAWING


TREE PLANTING DETAILS  
(NEW DEVELOPMENT)

L100



**NOTES**

1. COMPLY WITH LANDSCAPING STANDARDS OF SECTION 255.
2. COMPLY WITH SIGHT DISTANCE STANDARDS OF SECTION 240 AND COUNTY CODE SECTION 7.03 CONSIDERING INTERIM AND FULL TREE MATURITY.
3. TREES SHOULD BE PLACED TO AVOID IMPACT TO EXISTING AND PROPOSED UTILITIES.
4. FOR TREES NOT LOCATED WITHIN A LANDSCAPE STRIP, MINIMUM TREE SETBACK FROM SIDEWALK SHALL BE 1/2 OF THE STANDARD LANDSCAPE STRIP WIDTH.

REVISION	DATE	BY	DEPARTMENT OF TRANSPORTATION AND DEVELOPMENT		APPROVAL DATE: 6/1/2020	SCALE: N.T.S.	STANDARD DRAWING L200
REVISED	11/19	AAR			150 BEAVERCREEK ROAD OREGON CITY, OR 97045	STREET TREE LOCATION (NEW DEVELOPMENT)	
					EXHIBIT G PAGE 5 OF 6		



## Approved Street Trees for Planter Strips 2.5 feet to 3.5 feet in Width

Scientific Name	Common Name	Native Species	Height	Canopy Width	Shape	Evergreen	Under overhead wires
<i>Acer ginnala</i>	Amur Maple		20'	20'	Round	No	Yes
<i>Acer ginnala</i> 'Flame'	Flame Maple		20'	20'	Round	No	Yes
<i>Acer grandidentatum</i> 'Schmidt'	Rocky Mt. Glow Maple		25'	15'	Round	No	Yes
<i>Acer griseum</i>	Paperbark Maple		10'	20'	Narrow/Vase	No	Yes
<i>Acer palmatum</i>	Japanese Maple		12'	6'	Round	No	Yes
<i>Acer tataricum</i> subsp. <i>Ginnala</i> 'Flame'	Flame Maple		25'	20'	Round	No	Yes
<i>Acer triflorum</i>	Roughbark Maple		20'	20'	Round	No	Yes
<i>Amelanchier alnifolia</i>	Pacific Serviceberry	✓	20'	15'	Round	No	Yes
<i>Amelanchier x grandiflora</i> 'Autumn Brilliance'	Autumn Brilliance Serviceberry		20'	15'	Round	No	Yes
<i>Amelanchier x grandiflora</i> 'Cole Select'	Cole's Select Serviceberry		20'	15'	Round	No	Yes
<i>Amelanchier x grandiflora</i> 'Forest Prince'	Forest Prince Serviceberry		20'	15'	Round	No	Yes
<i>Amelanchier x grandiflora</i> 'Princess Diana'	Princess Diana Serviceberry		20'	15'	Round	No	Yes
<i>Cornus mas</i>	Cornelian Cherry Dogwood		15-20'	20'	Round	No	Yes
<i>Cornus nuttallii</i> x <i>cornus florida</i>	Eddies White Wonder Dogwood		25'	20'	Narrow/Round	No	Yes
<i>Cotinus coggygia</i> x <i>obovatus</i> 'Grace'	Grace Smoketree		20'	15'	Round	No	Yes
<i>Frangula purshiana</i> ( <i>Rhamnus purshiana</i> )	Cascara	✓	20-40'	10-30'	Round	No	Yes
<i>Halesia carolina</i> 'Wedding Bells'	Wedding Bells, Silverbell		20'	20-35'	Round	No	Yes
<i>Malus transitoria</i> 'Schmidtcutleaf'	Golden Raindrops Crabapple		20'	15'	Round	No	Yes
<i>Pistachia chinensis</i>	Chinese Pistache		25'	25'	Round	No	Yes
<i>Prunus Cascade Snow</i>	Cascade Snow Cherry		25'	20'	Round	No	Yes
<i>Stewartia pseudocamellia</i>	Japanese Stewartia		30'	25'	Round	No	No
<i>Stewartia ovata</i>	Mountain Stewartia		10-15'	10-15'	Round	No	Yes
<i>Stryax japonicus</i>	Japanese Snowbell		25-30'	25'	Pyramid	No	Yes
<i>Stryax japonicus</i> 'JFS-D'	Snowcone Japanese Snowbell		20'	20'	Round	No	Yes





OBJECTS IN MIRROR ARE CLOSER  
THAN THEY APPEAR

08/08/2024 08:57

EXHIBIT H PAGE 1 OF 1





Citation No.: 2200498-1

Case No.: V0049822

# ADMINISTRATIVE CITATION

Date Issued: September 9, 2024

**Name and Address of Person(s) Cited:**

Name: Brian Hill  
Mailing Address: 14569 SE Hemmen Ave.  
City, State, Zip: Clackamas, OR 97015

Date Violation(s) Confirmed: August 8, 2024, the person(s) cited committed or allowed to be committed, the violation(s) of law described below, at the following address:

Address of Violation(s): 14569 SE Hemmen Ave., Clackamas, OR 97015

Legal Description: T2S, R2E SECTION 12BA, Tax Lot 00605

**Law(s) Violated**

- Title 12 and 13 of CCC Zoning and Development Ordinance, Section 12.315.03
- Title 12 and 13 of CCC Zoning and Development Ordinance, Section 12.1307.15 Conditions of Approval for Land Use File Z0433-94-SS

**Description of the violation(s):**

- 1) Violation of Conditions of Approval for removing street trees and not replanting as required by the Violation Letter issued.

Maximum Civil Penalty \$2,500.00

Fine \$400.00

You may avoid paying the civil penalty by abating the violation(s) and paying a total fine of \$400.00. If you have questions regarding how to abate the violation(s) contact Clackamas County Code Enforcement at the number listed below. Please be advised a \$75.00 monthly administrative fee is being assessed.

I hereby certify under penalties provided by ORS 153.990 that I have reasonable grounds to and do believe that the above person(s) committed or allowed to be committed the violation(s) described on this form.

Citation Issued by: Shane Potter  
Telephone No.: 503-742-4465

Date: September 9, 2024  
Department Initiating Enforcement Action: Code Enforcement

# PLEASE READ CAREFULLY!

You have been cited for the violation(s) of law stated on the front of this form. You MUST exercise ONE of the following options within fifteen calendar days of the date of this citation.

If you fail to exercise one of these options within fifteen calendar days of the citation date, the County may request a hearing before the Code Enforcement Hearings Officer following which you may be ordered to pay the maximum civil penalty and abate the violation.

## Options:

1. Abate the violation and pay the fine. Sign the statement of Understanding below and deliver or mail this form, together with a check or money order payable to Clackamas County in the amount of the fine to:  
Clackamas County Code Enforcement Section  
150 Beaver Creek Rd.  
Oregon City, OR 97045
2. Request a hearing in writing. You may request a hearing to contest the violation(s) alleged. A written request for a hearing must be mailed to Clackamas County at the address listed above or sent to [codeenforcement@clackamas.us](mailto:codeenforcement@clackamas.us).

A request for hearing must contain all of the following information:

- a. Your name and address;
- b. A copy of the citation or the Citation No. and Case No.; and,
- c. The description of the relief you are requesting.

At the hearing, an administrative fee may be assessed by the Hearings Officer in addition to civil penalty(ies) if the Hearings Officer concludes you are responsible for the violation. If a civil penalty is imposed the amount will likely exceed the fine amount on this citation.

## STATEMENT OF UNDERSTANDING

I, the undersigned, do hereby acknowledge that I understand the following:

1. By paying the fine I admit the existence of the violation(s) alleged on this citation and my responsibility for it.
2. Paying the fine does not relieve me of my responsibility to correct the violation and to comply with all applicable laws.
3. Additional citations may be issued to me if I fail to correct the violation or violate other applicable laws.

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Address: \_\_\_\_\_

City, State, Zip

Contact Number: \_\_\_\_\_ Email: \_\_\_\_\_



**From:** [Kauppi, Jennifer](#)  
**To:** [Potter, Shane](#)  
**Subject:** FW: Citation 2200498-1, Request for Hearing  
**Date:** Tuesday, September 24, 2024 6:24:00 AM  
**Attachments:** [PXL\\_20240923\\_170458193.jpg](#)  
[image001.jpg](#)

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Shane – your case.

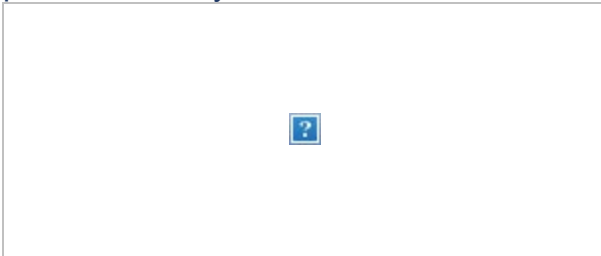
Thank you

Jennifer Kauppi – Code Enforcement Specialist  
Code Enforcement  
Department of Transportation and Development  
150 Beaver Creek Rd.  
Primary Phone: [503-742-4759](tel:503-742-4759)

[www.clackamas.us](http://www.clackamas.us)

Hours: M-F from 7:30 a.m. until 4:00 p.m.

Lobby hours 8:00 a.m. until 4:00 p.m. Monday – Thursday. Offices are closed to the public on Fridays.



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**From:** B Hill <bsh4487@gmail.com>  
**Sent:** Monday, September 23, 2024 5:00 PM  
**To:** DTD-CodeEnforcement <CodeEnforcement@clackamas.us>  
**Subject:** Citation 2200498-1, Request for Hearing

**Warning: External email. Be cautious opening attachments and links.**

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Hi Shane, Code Enforcement Team,

I have planted *Stewartia pseudocamellia* street trees in accordance with the provided standards. Photo attached.

I kindly request a hearing to appeal the charges associated with this citation.

Sincerest apologies for not responding sooner; I am the primary caregiver for a family member out of state which has required me to be away for extended periods. To put it lightly, my responsibilities during this time have been demanding.

Address: 14569 SE Hemmen Ave.

Citation: 2200498-1

Case: V0049822

Thank you for your understanding.

- Brian Hill