



## NOTICE OF HEARING

April 7, 2025

Troy Loney  
1555 SE River Forest Rd  
Milwaukie, OR 97267

**RE::** County of Clackamas v. Loretta L. Loney  
**File:** V0066018

**Hearing Date:** May 8, 2025

**Time:** This item will not begin before 11:00 am however it may begin later depending on the length of preceding items.

**Location:** Hearing will be held by virtual Zoom meeting. Please see attached information regarding the process for the Zoom meeting.

Enclosed you will find the following:

1. Notice of Rights
2. Copy of Complaint and Request for Hearing

You **must** appear at the time set forth in this Notice of Hearing or the relief requested in the **Complaint** may be **granted against you by default**.

**You can access the complete hearing packet at**  
**<https://www.clackamas.us/codeenforcement/hearings>**

You may contact Kimberly Benthin, Code Compliance Specialist for Clackamas County at (503) 742-4457, should you have any questions about the violation(s) in the **Complaint**. Do not call the Compliance Hearings Officer.

Enclosures

CC: Carl Cox -Compliance Hearings Officer

## **STATEMENT OF RIGHTS**

1. **Prior to the Hearing.** You have the right to make the following requests:
  - (A) You can request the opportunity to review public records and to talk to County staff about the violations or request a subpoena for that purpose if the County does not allow you to do so.
  - (B) You can request that the Hearings Officer postpone the hearing for good cause by writing the Hearings Officer at least 7 calendar days prior to the scheduled hearing date.
  - (C) You can request that the Hearings Officer decide the matter based exclusively on written materials from the parties or conduct the hearing by phone.
2. **Procedure.** The hearing will be governed by general rules of procedure designed to allow you to hear and confront the evidence against you, and for you to present evidence favorable to you. You are not required to present any evidence, the burden is on the County to establish by a preponderance of the evidence that a violation exists, or existed. Either party may, at their own expense, obtain an attorney to represent them at the hearing. If you wish to be represented by an attorney they need only notify the County and the Hearings Officer in writing of their intent to appear on your behalf. The County will present evidence first, and then you may question that evidence. You may then present your own evidence, if you wish, and the County may question your evidence. Testimony by witnesses is evidence. The Hearings Officer may inquire into any facts that are relevant to the hearing and may question the parties or witnesses about the case. Evidence of a type commonly relied upon by reasonably prudent persons in the conduct of their serious affairs shall be admissible.
3. **Record of Proceedings.** An audio record will be made of the proceedings when a hearing is conducted. The audio record is available through the Clackamas County Code Enforcement Section and is available to you upon request.
4. **Hearings Officer.** The Hearings Officer is an independent contractor paid by the County to conduct hearings and render decisions. He/she is not a County employee. His/her function is to preside over the hearing, make a record of proceedings, consider admissible evidence, and interpret and apply the law. After the hearing is closed the Hearings Officer will enter written findings of fact, conclusions of law, and any Order deemed proper. If a violation is proven, then the Order may include civil penalties, fines, administrative fees, or may require the respondent to take certain actions, or refrain from certain actions. An Order issued by the Hearings Officer may be a Final Order or Continuing Order. The Hearings Officers Order is the final decision of the County, and may be appealed pursuant to Oregon law. The Hearings Officer for Clackamas County is:

**Carl Cox**  
**Attorney at Law**  
**14725 NE 20<sup>th</sup> Street, #D-5**  
**Bellevue, WA 98007**
5. **Right to Recess.** If, during the course of the hearing, Respondent or the County requests a recess or postponement, or additional time to present crucial evidence, the Hearings Officer may allow a continuance of the hearing for good cause. The Respondent may also request that the proceeding be continued after the end of the hearing if the Respondent determines that additional evidence should be brought to the attention of the Hearings Officer.
6. **Right to Appeal.** The Final Order of the Hearings Officer shall set forth the right of the respondent to appeal any adverse Order. Appeal may be taken pursuant to Section 2.07.130 of the Clackamas County Hearings Officer Code, and Oregon Revised Statute 34.010-34.100. If appeal is taken, appellant is responsible for all costs of appeal including preparation of transcript.





**DEPARTMENT OF TRANSPORTATION AND DEVELOPMENT**

**DEVELOPMENT SERVICES BUILDING**

150 BEAVERCREEK ROAD | OREGON CITY, OR 97045

You must have access to the internet or to a telephone line to use the Zoom platform. A Zoom invite has been sent to troyloney1@gmail.com. A copy of the link is provided below. Once you have joined the meeting, please allow the moderator to promote you to a panelist. **Closed captioning is available for the zoom platform upon request.**

If you would like to present evidence at the Hearing please email or mail your evidence to Kimberly Benthin at 150 Beavercreek Rd, Oregon City, Oregon 97045, **no later than 4 working days prior to the hearing.** Staff will number your evidence for the hearing and provide the numbered documents to the Hearings Officer and send them back to you for reference.

If you are unable to participate in a hearing through the Zoom platform please contact Kimberly Benthin at 503-742-4457 **within 3 calendar days of receipt of the Notice of Hearing.**

If you do not know how to use Zoom, please Google “how to use Zoom” and there are many interactive guides on the internet. **When joining the webinar please accept the request to join as a panelist.**

If you experience difficulties connecting to the Zoom hearing **before** your scheduled start time, please call 503-830-9960 for assistance.

Zoom invite

Join from PC, Mac, iPad, or Android:

<https://clackamascounty.zoom.us/j/82351756670?pwd=sB9NH9gQmKPhv7ZcRjnAEzXOliLoss.1>

Passcode:685104

Phone one-tap:

+17193594580,,82351756670#,,,,\*685104# US

+12532050468,,82351756670#,,,,\*685104# US

Join via audio:

+1 719 359 4580 US

+1 253 205 0468 US

+1 253 215 8782 US (Tacoma)

+1 346 248 7799 US (Houston)

+1 408 638 0968 US (San Jose)

+1 669 444 9171 US



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+1 669 900 6833 US (San Jose)  
+1 360 209 5623 US  
+1 386 347 5053 US  
+1 507 473 4847 US  
+1 564 217 2000 US  
+1 646 876 9923 US (New York)  
+1 646 931 3860 US  
+1 689 278 1000 US  
+1 301 715 8592 US (Washington DC)  
+1 305 224 1968 US  
+1 309 205 3325 US  
+1 312 626 6799 US (Chicago)  
Webinar ID: 823 5175 6670  
Passcode: 685104

## Department of Transportation and Development

### Nondiscrimination Policy:

The Department of Transportation and Development is committed to non-discrimination. For more information go to: [www.clackamas.us/transportation/nondiscrimination](http://www.clackamas.us/transportation/nondiscrimination), email [JKauppi@clackamas.us](mailto:JKauppi@clackamas.us) or call (503) 742-4452.

**¡LE DAMOS LA BIENVENIDA!** Spanish

El Departamento de Transporte y Desarrollo está comprometido con la no discriminación. Para obtener más información, visite: [www.clackamas.us/transportation/nondiscrimination](http://www.clackamas.us/transportation/nondiscrimination), envíe un correo electrónico a [JKauppi@clackamas.us](mailto:JKauppi@clackamas.us) o llame al 503-742-4452.

**ДОБРО ПОЖАЛОВАТЬ!** Russian

Департамент транспорта и развития инфраструктуры стремится к соблюдению политики недопущения дискриминации. Для получения дополнительной информации посетите веб-сайт: [www.clackamas.us/transportation/nondiscrimination](http://www.clackamas.us/transportation/nondiscrimination), отправьте письмо на адрес эл. почты [JKauppi@clackamas.us](mailto:JKauppi@clackamas.us) или позвоните по телефону 503-742-4452.

**欢迎!** Chinese (Mandarin)

交通和发展部致力于实现非歧视。如需了解更多信息，请访问 [www.clackamas.us/transportation/nondiscrimination](http://www.clackamas.us/transportation/nondiscrimination)，发送电子邮件至 [JKauppi@clackamas.us](mailto:JKauppi@clackamas.us) 或致电 503-742-4452。

**CHÀO MỪNG!** Vietnamese

Bộ Vận Tải và Phát Triển cam kết thực thi chính sách không phân biệt đối xử. Để biết thêm thông tin, vui lòng truy cập trang mạng:

[www.clackamas.us/transportation/nondiscrimination](http://www.clackamas.us/transportation/nondiscrimination), gửi email đến [JKauppi@clackamas.us](mailto:JKauppi@clackamas.us) hoặc gọi điện thoại theo số 503-742-4452.

**환영합니다.** Korean

운송개발부는 차별 금지를 위해 모든 노력을 기울이고 있습니다. 자세한 내용은 홈페이지 [www.clackamas.us/transportation/nondiscrimination](http://www.clackamas.us/transportation/nondiscrimination)을 참조하거나 이메일 [JKauppi@clackamas.us](mailto:JKauppi@clackamas.us), 또는 전화 503-742-4452번으로 연락 주십시오.

BEFORE THE COMPLIANCE HEARINGS OFFICER  
For  
COUNTY OF CLACKAMAS

CLACKAMAS COUNTY,

File No: V0066018

Petitioner,

v.

TROY D. LONEY

Respondent.

COMPLAINT AND REQUEST FOR HEARING

I, Kimberly Benthin, Code Enforcement Specialist for Clackamas County, allege the following:

1.

Respondent Troy D. Loney's mailing address is: 1555 SE River Forest Rd, Milwaukie, OR 97267.

2.

The Respondent(s) own/owns or occupies the address or location of the violation(s) of law alleged in this Complaint 1555 SE River Forest Rd, Milwaukie, OR 97267., also known as T2S, R1E, Section 11DB, Tax Lot 00400, and is located in Clackamas County, Oregon. The property is zoned Urban Low Density Residential Section 315 R-10 and is the location of violation(s) asserted by the County.

3.

On or about the 27<sup>th</sup> day of December, 2018, AND on or about the 18<sup>th</sup> day of March, 2025, the Respondent violated the following laws, in the following ways:

Respondent violated Chapter 9.02.040 of the Clackamas County Code Building Code by construction of a roof repair and addition to the residence without permits and all required inspections.

4.

The Department initiating this procedure is the Code Enforcement Section of the Department of Transportation and Development.

5.

Notice of the violation was given to Respondent in the following manner: Violation notices dated December 27, 2018 (Exhibit E), May 27, 2019 (Exhibit F), April 27, 2020 (Exhibit G), September 2, 2021 (Exhibit H), and Administrative Citation #180060-1 (Exhibit J), dated March 18, 2025. A copy of the notice documents are attached to this Complaint, and incorporated by this reference.

6.

Based on these allegations, petitioner requests that a hearing be set in this matter. Petitioner seeks an Order from the Hearings Officer granting the following relief:

1. Pursuant to Clackamas County Code Section 2.07.090, ordering Respondent to immediately abate the violations and bring the property at issue into compliance with all laws, and permanently enjoining Respondent from violating these laws in the future;

2. Pursuant to Clackamas County Code Section 2.07.090, imposing a civil penalty against Respondent for each violation, within the range established by the

Board of County Commissioners. Said range for the Chapter 9.02 Priority 1 violation being \$750.00 to \$1,000.00 per occurrence as provided by Appendix B to the Clackamas County Code;

3. Pursuant to Clackamas County Code Section 2.07.090, ordering Respondent to pay an administrative compliance fee as provided by Appendix A to the Clackamas County Code; and
4. Pursuant to Clackamas County Code Section 2.07.090, ordering Respondent to reimburse the County for any expense the County may incur in collection of any penalties, fines or fees that may be imposed:
5. Ordering any other relief deemed reasonably necessary to correct the violations.

DATED THIS 4<sup>th</sup> day of April, 2025.

A handwritten signature in black ink, appearing to read 'Kimberly Benthin', is written over a light gray rectangular background.

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Kimberly Benthin  
Code Enforcement Specialist  
For Clackamas County

COUNTY OF CLACKAMAS,

Petitioner,

v.

TROY D LONEY,

Respondent.

File No.: V0066018

STATEMENT OF PROOF

History of Events and Exhibits:

November 2, 2018 Exhibit A	Clackamas County received a complaint regarding the operation of a business, accumulation of waste and structural issues with the residence.
November 8, 2018 Exhibit B	Correspondence was mailed to Ms. Loretta Loney. Ms. Loney is the mother of Respondent Troy Loney. She stated that Respondent Troy Loney also owned the property. The Clackamas County Tax and Assessment had him listed as taxpayer at this time. Sadly, Ms. Loney passed September 2021.
November 27, 2018 Exhibit C	Building Supervisor Inspector Don Countryman conducted an inspection and determined a permit was required for the new roof construction and changes to the existing rafters.
December 3, 2018 Exhibit D	Respondent Troy Loney and his mother, Ms. Loney, came into the building lobby with plans for the roof repair, floor plan and a copy of the original sales flyer.
December 27, 2018 Exhibit E	Facts of the alleged violations were reviewed, the violation verified, and Notice of Violation was mailed first class to the Respondent, and Ms. Loney, requesting compliance with the Building Code, Zoning and Development Ordinance and Solid Waste and Wastes Management Code.
May 27, 2019 Exhibit: F	A Notice of Violation was mailed first class mail to the Respondent, and Ms. Loney, acknowledging the Zoning violation and the Solid Waste violation had been resolved and requested compliance with the Building Code violations not later than July 8, 2019.
April, 27, 2020 Exhibit: G	Correspondence was mailed first class mail to the Respondent, and Ms. Loney, providing information regarding the building code

departments' operation during Covid, and requesting compliance with the Building Code violations.

June 17, 2019	Submittal for the Construction Management Plan Z0284-19 required for the construction and permitting occurred.
July 1, 2019	The Construction Management Plan Z0284-19 was approved.
September, 2, 2021 Exhibit: H	Correspondence was mailed to the Respondent and Ms. Loney, requesting permit submittals be completed not later than October 14, 2021.
October 4, 2021	Submittal for permit B0558921 for the kitchen addition, and new roof began.
July 11, 2022	Permit B0558921 for the kitchen addition, and new roof was issued.
December 29, 2022	Plumbing permit P0310522 was issued for a Kitchen and Bath Remodel - 250 ft. Water Service, 1 Washer, 1 Dishwasher, 1 Expansion Tank, 1 Garbage Disposal, 1 Hose Bib, 1 Ice Maker, 1 Sink, 1 Tub, 1 Water Closet, 1 Water Heater. No inspections have ever been scheduled for this permit.
January 10, 2023	Electrical permit # E0015623 was issued.
April 12, 2023	The first inspection occurred for structural Permit B0558921.
June 26, 2023 Exhibit: I	No inspections were ever scheduled for Electrical permit # E0015623, The applicant sent an email to the building department requesting a refund for the permit.
March 18, 2025 Exhibit: J	Citation # 180060-1 was issued for the unpermitted roof repair and addition to the residence without all permits and completed inspections. The citation was via first class mail. The first class mail was not returned. This citation was not subject to a fine amount.
March 25, 2025 Exhibit: K	Respondent called for an inspection on a footing for permit # B0558921.
April 1, 2025 Exhibit: L	Respondent requested a hearing to be set.



If the Hearings Officer affirms the County's position that a violation of the Building Code exists on the subject property, the County may request a Continuing Order be issued and recommends the following:

- Within 30 days of the date of the Continuing Order submit, an electrical application and fees for the remodel and unpermitted work.
  - The permit must have the fee(s) paid in full within ten days of your being notified by Building Codes in order to prevent delay of the issuance of permits.
  - Please schedule all inspections for the building permit, plumbing permit and electrical permit so that final inspections may be obtained not later than 45 days of the date of receipt of the electrical permit.
- The imposition of a civil penalty of a \$1000.00 for the building code violations.
- The administrative compliance fee to be imposed from November 2018 until April 2025 is a total of \$5025.00. The County recommends a reduction of the accruing administrative fee by \$2550.00 for a total of \$2475.00.
- If the violations are not abated the County may request authorization for further enforcement action including to proceed to Circuit Court.
- The County requests the Hearing's Officer to permanently enjoin the Respondent from violating these laws in the future.

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RECORDING REQUESTED BY  
FIDELITY NATIONAL TITLE COMPANY OF OREGON

GRANTOR'S NAME  
Darin J. Niemeyer

GRANTEE'S NAME  
Loretta L. Loney and Troy Dale Loney

SEND TAX STATEMENTS TO:  
Loretta L. Loney and Troy Dale Loney  
1555 SE River Forest Road  
Milwaukie, OR 97267

AFTER RECORDING RETURN TO:  
Loretta L. Loney and Troy Dale Loney  
1555 SE River Forest Road  
Milwaukie, OR 97267

SPACE ABOVE THIS LINE FOR RECORDER'S USE

### STATUTORY WARRANTY DEED

Darin J. Niemeyer, A Married Man, Grantor, conveys and warrants to Loretta L. Loney, Grantee, the following described real property, free and clear of encumbrances except as specifically set forth below, situated in the County of Clackamas, State of Oregon,

SEE EXHIBIT ONE ATTACHED HERETO AND MADE A PART HEREOF

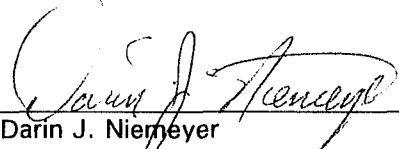
**Subject to and excepting:**

1997-98 taxes a lien not yet payable; Powers of assessments of Oak Lodge Sanitary District No. 2; Easement recorded Nov 17, 1960 in Book 579, page 744; Easement recorded Dec 31, 1974 as Fee No. 35995

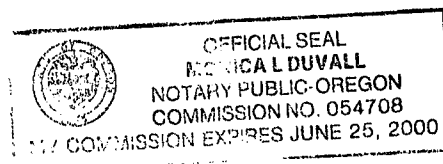
THIS INSTRUMENT WILL NOT ALLOW USE OF THE PROPERTY DESCRIBED IN THIS INSTRUMENT IN VIOLATION OF APPLICABLE LAND USE LAWS AND REGULATIONS. BEFORE SIGNING OR ACCEPTING THIS INSTRUMENT THE PERSON ACQUIRING FEE TITLE TO THE PROPERTY SHOULD CHECK WITH THE APPROPRIATE CITY OR COUNTY PLANNING DEPARTMENT TO VERIFY APPROVED USES AND TO DETERMINE ANY LIMITS ON LAWSUITS AGAINST FARMING OR FOREST PRACTICES AS DEFINED IN ORS 30.930.

THE TRUE AND ACTUAL CONSIDERATION FOR THIS CONVEYANCE IS \$116,500.00 (See ORS 93.030)

DATED: August 21, 1997

  
Darin J. Niemeyer

STATE OF OREGON  
COUNTY OF CLACKAMAS



This instrument was acknowledged before me on

SEPTEMBER 12, 1997

by DARIN J. NIEMEYER

Monica L. Duvall

NOTARY PUBLIC FOR OREGON  
MY COMMISSION EXPIRES: 6/25/00

97-072210

## EXHIBIT ONE

### Parcel I

Part of the Jacob S. Risley D. L. C. No. 51, shown in Section 11, Township 2 South, Range 1 East of the Willamette Meridian, in Clackamas County, Oregon, described as follows:

Commencing at an iron pipe driven in the Northerly right of way boundary of the River Forest Road, which point is North 25° 34' East 12.12 feet and North 81° 08' East 604.63 feet distant from a basalt stone set in the Northerly boundary of said road, which point is 394.87 feet South and 1795.87 feet East of the Northwest corner of the Jacob S. risley D. L. C. No 51; thence North 8° 58' West 155.54 feet to the true point of beginning; thence continuing North 8° 58' West 173.05 feet to an iron rod; thence North 81° 08' East 103 feet; thence South 8° 58' East 173.05 feet to an iron rod; thence South 81° 08' West 103 feet to the point of beginning.

### Parcel II

A 15 foot easement for road and utility purposes, established in deed recorded January 14, 1969, as Recorder's fee no. 79 621, lying 15 feet west and adjacent to the following described line:

Beginning at an iron rod on the South line of the above described tract that is North 81° 08' East 75.78 feet from the Southwest corner thereof; thence south 8° 58' East 60 feet to an iron rod; thence South 26° 02' East 100 feet to an iron rod on the North line of River Forest Road.

STATE OF OREGON 97-072210  
CLACKAMAS COUNTY  
Received and placed in the public  
records of Clackamas County  
RECEIPT# AND FEE: 80733 \$40.00  
DATE AND TIME: 09/17/97 03:09 PM  
JOHN KAUFFMAN, COUNTY CLERK

2

BL

NO PART OF ANY STEVENS-NESS FORM MAY BE REPRODUCED IN ANY FORM OR BY ANY ELECTRONIC OR MECHANICAL MEANS.



Loretta Louise Loney  
1555 Se River Forest Road  
Milwaukie, OR 97267-3517

Owner's Name and Address

Troy Dale Loney  
1555 Se River Forest Road  
Milwaukie, OR 97267-3517

Beneficiary's Name and Address

After recording, return to (Name and Address):

Troy Dale Loney & Loretta L  
1555 Se River Forest Road  
Milwaukie, OR 97267-3517

Until requested otherwise, send all tax statements to (Name and Address):

Troy Dale Loney  
1555 Se River Forest Road  
Milwaukie, OR 97267-3517

Clackamas County Official Records  
Sherry Hall, County Clerk

2019-001149



02200603201900011490010018

\$93.00

01/09/2019 10:18:17 AM

D-TD Cnt=1 Stn=9 COUNTER1  
\$5.00 \$10.00 \$16.00 \$62.00

**NOTICE TO OWNER:** You should carefully read all information on this form. You may want to consult a lawyer before using this form. This form must be recorded before your death or it will not be effective. (Type or legibly print all information.)

## TRANSFER ON DEATH DEED

KNOW ALL BY THESE PRESENTS that I, Loretta Louise Loney

owner of the real property described below,  
whose address is 1555 Se River Forest Road, Milwaukie, Oregon

upon my death, do hereby transfer to the beneficiary designated below, all of my right, interest and title in that certain real property, with the tenements, hereditaments and appurtenances thereunto belonging or in any way appertaining, situated in Clackamas County, State of Oregon, described as follows (legal description of the property):

T2S, R1E, Section 11 DB, Tax Lot 00400  
See - Deed No. 97-072210

(IF SPACE INSUFFICIENT, CONTINUE DESCRIPTION ON REVERSE)

I designate Troy Dale Loney, son

whose mailing address, if available, is 1555 Se River Forest Road, Milwaukie, Oregon 97267-3517

as my primary beneficiary\* if that person survives me.

(Optional) I designate Cheryl Darlene (Loney) Swanson,  
daughter

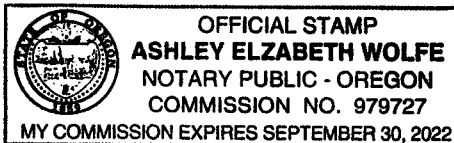
whose mailing address, if available, is 4162 Locust Street  
Riverside, CA 92501

as my alternate beneficiary\*\* if that person survives me.

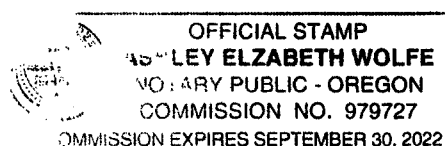
Before my death, I have the right to revoke this deed.

(Optional) SPECIAL TERMS:

In construing this instrument, where the context so requires, the singular includes the plural.

IN WITNESS WHEREOF, the undersigned has executed this instrument on December 21st, 2018

Loretta Loney

STATE OF OREGON, County of Clackamas ss.This instrument was acknowledged before me on Loretta Loney

Ashley Elizabeth Wolfe  
Notary Public for Oregon  
My commission expires September 30, 2022

\*ORS 93.961(2) states that a designated beneficiary must be identified by name; "a beneficiary designation that identifies beneficiaries only as members of a class is void."

\*\*93.953(2)(b) states that an individual may designate one or more "Alternate beneficiaries who take the property only if none of the primary beneficiaries is qualified or survives the transferor."

NOTE: ORS 93 provides that Transfer on Death deeds: (a) Transfer only property that the transferor owns at time of death, may not transfer property to designated beneficiaries with right of survivorship, but may designate shares of ownership (93.969); (b) Are always revocable (93.955); (c) Must be recorded before death to be effective (93.961(1)(d)), but need not be delivered to designated beneficiaries (93.963(1)); (d) Transfer property without any warranties or covenants of title (93.969(4)), and subject to all debts of the decedent, as well as to all liens, mortgages and conveyances to which the property may be subject (93.969(2)).



**DEPARTMENT OF TRANSPORTATION AND DEVELOPMENT**

**DEVELOPMENT SERVICES BUILDING**

150 BEAVERCREEK ROAD | OREGON CITY, OR 97045

November 8, 2018

Loretta Loney  
1555 SE River Forest Road  
Milwaukie, OR 97267

**Subject: Alleged Violations of the Zoning and Development Ordinance, Title 12, Section 315, Building Codes, Chapter 9.01.100 and 9.02.040 and the Solid Waste Code, Title 10, Section 10.03.060 of the Clackamas County Code**

Site Address: 1555 SSE River Forest Rd., Milwaukie, OR 97267  
Legal Description: T2S, R1E, Section 11DB, Tax Lot 00400

It has come to the attention of Clackamas County Code Enforcement that the roof on a single family residence may be failing. There may also be unauthorized occupied recreational vehicles on site and a commercial business operating without land use approval on the above referenced property without land use approval.

In addition, there may be numerous inoperable or non-currently licensed vehicles on the above referenced property.

This may constitute a violation of the Zoning and Development Ordinance, Title 12, Section 315, Building Codes, Chapters 9.01.100 and 9.02.040 and the Solid Waste Code, Chapter 10.03.060 of the Clackamas County Code.

Please contact Kimberly Benthin, Code Enforcement Specialist, within ten (10) days of the date of this letter in order to discuss this matter.

E-mail address is [kimben@clackamas.us](mailto:kimben@clackamas.us)

Telephone number is 503-742-4457

*\*Clackamas County encourages voluntary compliance with code violations to support a safe and healthy community for all. Please note that a \$75.00 monthly Administrative Compliance Fee will be assessed if a violation has been determined and has not been abated. When a property owner works cooperatively with the County to resolve a confirmed code violation, the County may waive all or part of that fee.*

## Department of Transportation and Development

### Nondiscrimination Policy:

The Department of Transportation and Development is committed to non-discrimination. For more information go to:

[www.clackamas.us/transportation/nondiscrimination](http://www.clackamas.us/transportation/nondiscrimination), email [swilliams@clackamas.us](mailto:swilliams@clackamas.us) or call (503) 742-4696.

**¡LE DAMOS LA BIENVENIDA!** Spanish

El Departamento de Transporte y Desarrollo está comprometido con la no discriminación. Para obtener más información, visite: [www.clackamas.us/transportation/nondiscrimination](http://www.clackamas.us/transportation/nondiscrimination), envíe un correo electrónico a [swilliams@clackamas.us](mailto:swilliams@clackamas.us) o llame al 503-742-4696.

**ДОБРО ПОЖАЛОВАТЬ!** Russian

Департамент транспорта и развития инфраструктуры стремится к соблюдению политики недопущения дискриминации. Для получения дополнительной информации посетите веб-сайт: [www.clackamas.us/transportation/nondiscrimination](http://www.clackamas.us/transportation/nondiscrimination), отправьте письмо на адрес эл. почты [swilliams@clackamas.us](mailto:swilliams@clackamas.us) или позвоните по телефону 503-742-4696.

**欢迎!** Chinese (Mandarin)

交通和发展部致力于实现非歧视。如需了解更多信息，请访问 [www.clackamas.us/transportation/nondiscrimination](http://www.clackamas.us/transportation/nondiscrimination)，发送电子邮件至 [swilliams@clackamas.us](mailto:swilliams@clackamas.us) 或致电 503-742-4696。

**CHÀO MỪNG!** Vietnamese

Bộ Vận Tải và Phát Triển cam kết thực thi chính sách không phân biệt đối xử. Để biết thêm thông tin, vui lòng truy cập trang mạng:

[www.clackamas.us/transportation/nondiscrimination](http://www.clackamas.us/transportation/nondiscrimination), gửi email đến [swilliams@clackamas.us](mailto:swilliams@clackamas.us) hoặc gọi điện thoại theo số 503-742-4696.

**환영합니다.** Korean

운송개발부는 차별 금지를 위해 모든 노력을 기울이고 있습니다. 자세한 내용은 홈페이지 [www.clackamas.us/transportation/nondiscrimination](http://www.clackamas.us/transportation/nondiscrimination)을 참조하거나 이메일 [swilliams@clackamas.us](mailto:swilliams@clackamas.us), 또는 전화 503-742-4696번으로 연락 주십시오.

# Clackamas County

150 Beaver Creek Rd  
Oregon City, OR 97045

Tel: Inspection: 503-742-4720

<b>Location:</b> 1555 SE RIVER FOREST RD, MILWAUKIE, Clackamas, OR, 97267, USA	<b>Inspection Date:</b> November 27, 2018 at 3:51:58 PM
<b>Record Type:</b> Code Enforcement - Violation	<b>Record ID:</b> V0066018
<b>Inspection Type:</b> 270 Other/Misc Structures	<b>Inspector:</b> Don Countryman

**Result:**  
In Violation

**Comments:**  
Building permit required for the new roof sheathing and sistered 2x members to the existing rafters., R105. Owner will be coming in to acquire permit as discussed and will also be getting permits for plumbing and electrical work they will be doing in the future.

**Violation Summary:**

Inspector	Contractor
-----------	------------



**RIVE**

**DARIN NIEMEYER**  
Foreclosure Specialist  
(503) 786-7022

**TER**



- \*Private Parklike setting*
- \*.41 Acre*
- \*Year Around Creek*
- \*Great View from every window*
- \*Two Bedrooms*
- \*Nicely Remodeled home*
- \*Loaded with Charm*
- \*Great Kitchen!*
- \*Hardwood floors*
- \*New Carpet*
- \*New light fixtures*

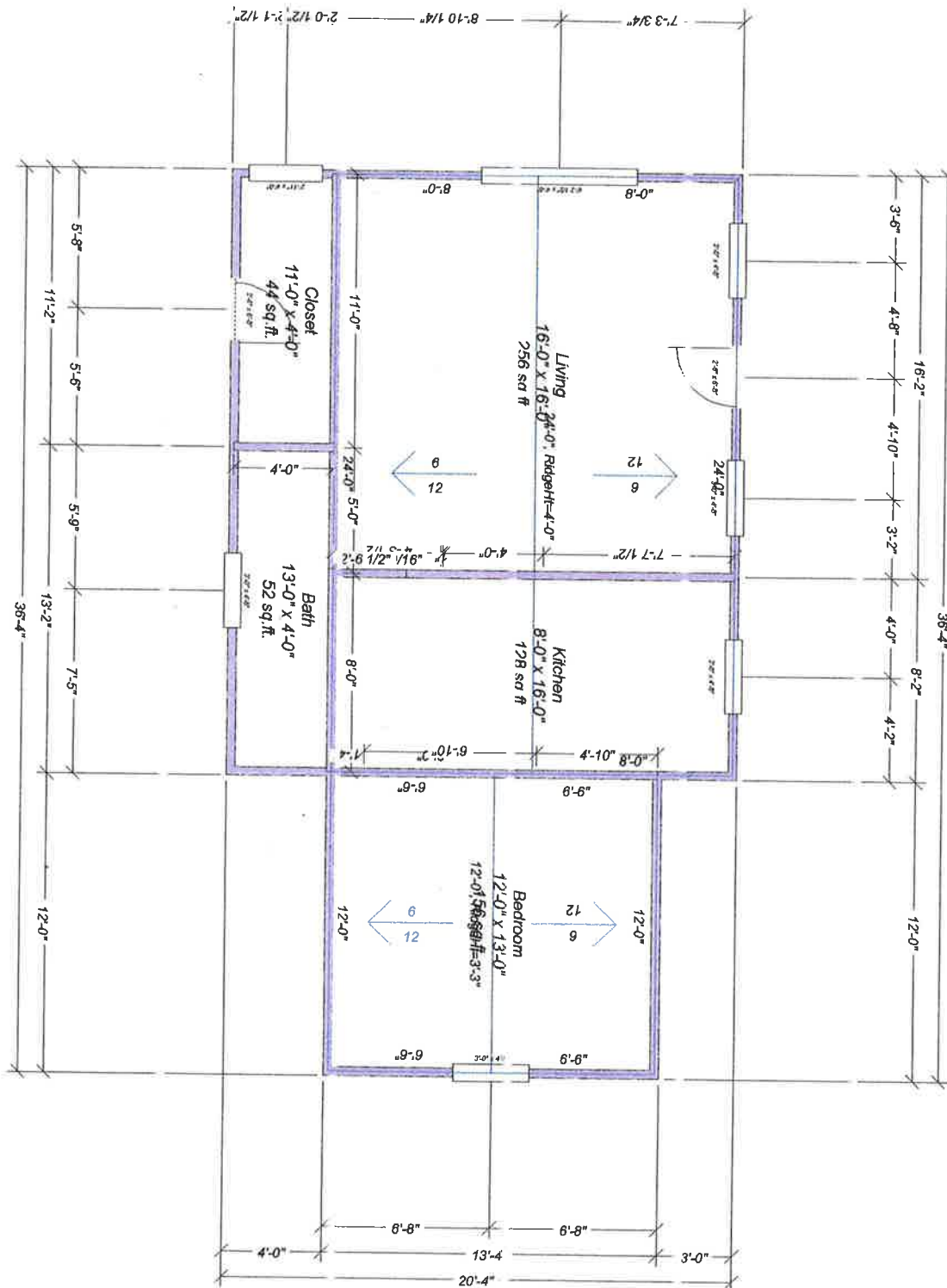
- \*New Roof*
- \*New Gutters*
- \*French Door*
- \*Vaulted Ceilings*
- \*Rounded Sheetrock corners*
- \*Decorative Stonewall in Living Room*
- \*Pedastal Sink*
- \*Built-in Bookshelves*
- \*Convenient Location*
- \*Thomas Map guide 656/H7*
- \*RMLS #299628*

**\$117,200**  
**1555 SE Riverforest Road**  
**Milwaukie, OR 97267**

**Terry Reede**  
**653-0607 ext. 205**  
**229-9984 Pager**









**DEPARTMENT OF TRANSPORTATION AND DEVELOPMENT**

**DEVELOPMENT SERVICES BUILDING**

150 BEAVERCREEK ROAD | OREGON CITY, OR 97045

December 27, 2018

Loretta L. Loney  
1555 SE River Forest Rd  
Milwaukie, OR 97267

Troy Dale Loney  
1555 SE River Forest Rd  
Milwaukie, OR 97267

**Subject: Violations of the Clackamas County Zoning and Development Ordinance Sections 315 and 822 and the Solid Waste and Waste Management Code Chapter 10.03, and the Building Code.**

**Address:** 1555 SE River Forest Rd., Milwaukie, OR 97267  
T2S, R21E, Section 11DB, Tax Lot 400

This is in follow up to the November 15<sup>th</sup> conversation with Loretta Loney at the Building Development Lobby, the November 27<sup>th</sup> site inspection with the building inspector and the subsequent meetings in the lobby for the permitting questions. The December 12, 2018 inspection with the Code enforcement field inspector was also noted.

The site inspection with the building inspector and continuing investigation revealed that the structure requires permitting for the roof repair. Additionally, the roof construction, the increase of the footprint of the front of structure (21sq.ft.), the conversion of the carport into a bedroom and the plumbing and electrical work require permitting. These are violations of Chapter 9.02 of the Clackamas County Code as it pertains to the Application and Enforcement of the Clackamas County Building Code. We understand some of the work was completed prior to your purchasing of the home. As the inspector, Don Countryman, mentioned – there are progressive steps you can take to gain permits and obtain inspections.

In order to abate the building code violations, please complete one of the following options not **later than January 31, 2019**:

- Please submit the building permit application, technically complete plans and appropriate fee(s).
  - The permit must be picked up within ten days of being notified.
  - Please schedule all inspections so that final inspections may be obtained not later than 45 days of the date of the permit being issued. **or**;
- Remove or demolish the structure. Once removal is completed please contact me to schedule an inspection to confirm compliance.

The subject property is currently zoned Urban Low Density Residential R-10. In this zone, home occupations are allowed subject to the performance standards and permit requirements set forth in Section 822 of the Clackamas County Zoning and Development Ordinance. A recent review of County records finds no such permit has been issued for this use.

In order to abate the violation of the Clackamas County Zoning and Development Ordinance it is requested that one (1) of the following alternatives be utilized **no later than January 31, 2019:**

1. Cease the unauthorized use **or;**
2. Relocate the business to a location that allows this business activity. **or;**
3. Contact the County Planning Department and submit an application for a Home Occupation Permit (enclosed). If you are successful in obtaining authorization for the business to the subject property; the conditions of the land use decision must be met before this violation file can be closed. **or;**
4. If you believe that the business operating on site meets the standards and criteria of a level one minor home occupation – please submit a business plan that includes information on employees, floor space, activities occurring on site. (See Section 822.03 of the Home Occupations Ordinance enclosed.)

The County has also received complaints regarding an accumulation of solid waste on site. Please abate the violations of the Solid Waste and Waste Management Code, by utilizing the following options for all inoperable and/or not currently licensed vehicles which includes motorcycles, boats and/or boat trailers, and/or motor-homes, travel trailers, etc., **no later than February 15, 2019.**

1. Remove the inoperable and/or not currently licensed vehicles from the subject property, **and/or,**
2. Render the inoperable and/or not currently licensed vehicles, operable and licensed to persons currently residing on the subject property, **and/or,**
3. Place the inoperable and/or not currently licensed vehicles that are owned by persons currently residing on the subject property inside a permitted structure, **and/or,**
4. Screen no more than two vehicles from view of the road and surrounding properties, in accordance with the minimum screening requirements of the code (see Chapter 10.03.060 (C)). Please note: placing items and vehicles under tarps or tarp structures does not remedy the violation. **and**
5. Remove all putrescible waste, solid waste including but not limited to automotive parts, tires, flooring materials, construction items and miscellaneous debris.

This accumulation of solid waste causes a condition of unsightliness and is a safety and health hazard and, therefore, violates the Clackamas County Code, Chapter 10.03, Solid Waste and Waste Management. All putrescible waste must be stored in a rodent-

proof container with a tight-fitting lid and removed to an authorized disposal facility a minimum of **once every seven (7) days**. It is important to note that covering solid waste with a tarp or *tarp like structure* does not remove the items from violation. Please see the enclosed excerpt for the definition of solid waste.

The December 12<sup>th</sup>, 2018 site inspection revealed that the property is not quite in compliance with the solid waste code. It was also noted that a recreational vehicle on site appeared to be occupied. It was hooked up to utilities and the inspector was told that it was for relatives when they visit. Please note that the trailer must be in a stored condition between 'relative visits'. An inspection of the interior of the recreational vehicle must occur to confirm compliance. Regarding the small sheds on site: the exemption of a building permit for those structures is not dependent solely on the size but also by the use. An inspection of the interior of the sheds must occur to confirm compliance or a submittal of a building permit must occur. Please schedule an inspection to confirm compliance **no later than February 15, 2019**.

If you have any questions concerning land use permit requirements, please contact the Planning and Zoning Division at 503-742-4500. Or, you may stop by our offices at Development Services Building, 150 Beaver Creek Rd., Oregon City. The lobby is open between the hours of 8:00 a.m. and 4:00 p.m. Monday through Thursday and 8:00 a.m. and 3:00 p.m. on Friday's.

If you have any questions my direct telephone number is 503-742-4457 and my email is [kimben@co.clackamas.or.us](mailto:kimben@co.clackamas.or.us).

A handwritten signature in black ink, appearing to read 'Kimberly Benthin', is written over a light gray rectangular background.

Kimberly Benthin  
Code Enforcement Section  
Clackamas County

Enclosures

## Required Notice of Fines and Penalties

It is important that you contact the Code Enforcement Section to resolve the violations described in the enclosed letter. Failure to resolve those violations may result in one or more of the following: (1) a citation and fine, (2) assessment of a \$75 per month administrative compliance fee, and (3) referral of this matter to the County Code Enforcement Hearings Officer.

The Clackamas County Code provides for fine amounts of up to \$500 and additional civil penalties of up to \$3,500 for each day the County verifies the noncompliance. Fine amounts and civil penalties may be assessed for each cited violation and may be assessed separately against each named party. In addition, the Code Enforcement Hearings Officer may order the violation to be abated by the County at the expense of the property owner(s) and responsible parties.

Clackamas County encourages voluntary compliance with code violations to support a safe and healthy community for all. Please note that when a property owner works cooperatively with the County to resolve a confirmed code enforcement violation, the County may in its discretion waive all or part of the \$75 per month administrative fee.

Fines and costs are payable upon the effective date of the final order declaring the fine and costs. Fines and costs under this Chapter are a debt owing to the County, pursuant to ORS 30.460, and may be collected in the same manner as any other debt allowed by law. If fines or costs are not paid within 60 days after payment is ordered, the County may file and record the order for payment in the County Clerk Lien Record.

Also, be advised that non-compliance with a Hearings Officer's Order may result in the matter being referred to County Counsel for legal action in Circuit Court which may result in additional penalties or other sanctions.

Finally, recurrences of abated violations may result in the issuance of a citation without prior notice.

## Clackamas County Code Chapter 10.03 Solid Waste and Wastes Management

(The entire code can be found on the Clackamas County website)

Excerpts:

### **10.03.060 Solid Waste or Wastes Accumulation Prohibited**

“A. Except as provided in subsection D of this Section, no person shall store, collect, maintain, or display on private property, solid waste or wastes or recyclable material that is offensive or hazardous to the health and safety of the public, or which creates offensive odors, or a condition of unsightliness. Storage, collection, maintenance, or display of solid waste or wastes in violation of this Section shall be considered to be a public nuisance which may be abated as provided in 10.03.070 of this chapter.

B. In addition to the provisions of subsection A, the following conditions or actions are also specifically identified as creating a public nuisance under this chapter:

1. Placing a tarp, plastic, cloth, or similar screening apparatus over or around solid waste or wastes for purposes of keeping it out of sight from the road or surrounding properties.
2. Placing a tarp, plastic, cloth, or similar screening apparatus over or around solid waste or wastes that is stored in a utility trailer, pickup truck, semi-trailer or similar device for purposes of keeping it out of sight from the road or surrounding properties.
3. Constructing a tire fence for any purpose.
4. Storing waste tires except as permitted pursuant to OAR Chapter 340.
5. Storing putrescible waste, whether it is visible or not visible from the road or adjacent properties, that is not kept in a rodent proof container with a tight fitting lid, and not removed from the property to an authorized disposal facility within seven (7) days.
6. Composting which causes offensive odors, or creates a health hazard, or which is capable of attracting or providing food for potential disease carriers such as birds, rodents, flies and other vectors.
7. Storing, collecting, maintaining, or displaying any licensed or unlicensed special vehicle or equipment that is immobile, inoperable, partially dismantled or dismantled, dilapidated, or fire damaged and is visible from the road or surrounding properties.
8. Storing, collecting, maintaining, or displaying a mobile home or trailer house, which is dilapidated or partially dismantled, or fire damaged, and is visible from the road or surrounding properties.
9. Storing, collecting, maintaining or displaying: residential, commercial and industrial appliances, equipment and furniture; vehicle parts; tires; scrap metal, or any other useless, unwanted or discarded material, or other similar non-putrescible solid waste or wastes, that is visible from the road or surrounding properties.
10. Storing, collecting, maintaining or displaying any antique, classic, race car or collectible vehicle that is inoperable and is visible from the road or surrounding properties.
11. Storing any inoperable vehicle or vehicles unless said vehicle or vehicles are housed within a permitted structure or development, except up to two vehicles per premise may be stored behind a sight-obscuring screen, in accordance with 10.03.060 C, and shall not be visible from the road or surrounding properties. For purposes of this Subsection 11, two or more contiguous tax lots that are under common ownership shall be considered one premises.
12. When commercial, industrial, multi-family or residential developments that use a compactor or compactors for on-site waste management, do not keep the areas around the compactor free of solid waste and debris, and washed down on a regular basis.

C. Any sight obscuring screen used to abate a solid waste nuisance shall consist of one of the following options:

1. Construct a wood fence unpainted or painted with neutral or earth tone colors of which the upright posts shall consist of a decay resistive material a minimum of four (4) inches in

- diameter and anchored a minimum of two (2) feet below ground level. There shall be a maximum post separation of eight (8) feet. The railings shall be a minimum of 2-inch by 4-inch lumber with the 4-inch side attached vertically to the posts. The attached vertical or horizontal fence boards shall be set with a maximum separation of 1/4 inch.
2. Construct a metal fence consisting of chain link or woven fabric with metal upright posts anchored a minimum of two (2) feet below ground level with metal railings and connectors. Water and insect resistive wood or plastic slats shall be inserted in the chain link or woven fabric, with a maximum separation of 3/8 inch between slats.
  3. Construct a combination fence consisting of metal sheeting attached to wood framing as defined in Section C 1 above, or durable metal framing, which is painted a neutral or earth tone color.
  4. Construct a wall consisting of solid material, built of concrete, masonry, brick, stone or other similar materials or combinations thereof.
  5. Construct an earthen berm consisting of dirt, soil, sand, clay or any combination thereof and shall be planted with grass and/or ornamental plantings and shall be maintained at all times.
  6. Plant a hedge consisting of evergreen plantings or other ornamental plantings a minimum of six (6) feet in height, planted not more than two (2) feet on center and which is maintained at all times.

In addition to the minimum fencing requirements, wood, metal, masonry fences or combination thereof greater than six (6) feet in height are subject to County review pursuant to the Oregon State Uniform Building Code, and all earthen berms are subject to County review pursuant to the County's Grading and Excavation Chapter.

For purposes of this chapter, no sight obscuring screen shall be located, placed, constructed or installed contrary to the Clackamas County Zoning and Development Ordinance."

### **10.03.030 Definitions**

"(32). INOPERABLE VEHICLE for the purpose of the Nuisance Abatement provisions of this chapter, shall mean a vehicle designed for use on a public highway which has been left on public or private property thirty (30) days or more and is not currently licensed, or not in operating condition, or which has been extensively damaged, vandalized or stripped, including, but not limited to, missing wheels, tires, motor or transmission. An inoperable vehicle shall not mean an unlicensed operable vehicle or vehicles, which are used on private property for the production, propagation or harvesting of agricultural products grown or raised on such lands. "

"(47). PUTRESCIBLE MATERIAL means solid waste or wastes, including: bones; meat and meat scraps; fat; grease; fish and fish scraps; food containers or products contaminated with food wastes, particles or residues; prepared vegetable and fruit food wastes or scraps; manure; feces; sewer sludge; dead animals or similar wastes which cause offensive odor or create a health hazard, or which are capable of attracting or providing food for potential disease carriers, such as birds, rodents, flies and other vectors."

"(58). SOLID WASTE OR WASTES shall include all putrescible and non-putrescible waste, including but not limited to, garbage; compost; organic waste; yard debris; brush and branches; land-clearing debris; sewer sludge; residential, commercial and industrial building demolition or construction waste; discarded residential, commercial and industrial appliances, equipment and furniture; discarded, inoperable or abandoned vehicles or vehicle parts and vehicle tires; special vehicles and equipment that are immobile and/or inoperable, mobile homes or trailer houses which are dilapidated, partially dismantled or fire damaged; manure; feces; vegetable or animal solid and semi-solid waste and dead animals; and infectious waste. Waste shall mean useless, unwanted or discarded materials. The fact that materials which would otherwise come within the definition of solid waste may, from time to time, have value and thus be utilized shall not remove them from the definition. ..."



DEPARTMENT OF TRANSPORTATION AND DEVELOPMENT

DEVELOPMENT SERVICES BUILDING

150 BEAVERCREEK ROAD | OREGON CITY, OR 97045

May 27, 2019

Loretta L. Loney  
1555 SE River Forest Rd  
Milwaukie, OR 97267

Troy Dale Loney  
1555 SE River Forest Rd  
Milwaukie, OR 97267

**Subject: Violations of the Clackamas County Building Code, Title 9 Chapter 9.02.040**

Site Address: 1555 SE River Forest Rd., Milwaukie, OR 97267  
Legal Description: T2S, R1E, Section 11DB, Tax Lot 00400

This letter is in follow up to the building code violations on the above referenced address. On March 6, 2019 County staff met with you on site and determined on that date that the property was in compliance with the Clackamas County Solid Waste Code and the Zoning and Development Ordinance.

However the building code violations remain outstanding. As of the date of this letter the permit application, plans and fee have not been submitted. I have not heard from you since March 2019.

The enclosed letter dated December 27, 2018 provided a deadline of January 31, 2019 to submit the building permit applications.

In order to abate the violations, please submit the building permit application(s), and technically complete plans and appropriate fee(s) **not later than July 8, 2019.**

- The permits must make compliant the uses allowed in the structure. The permit must be picked up within ten days of being notified.
- Please note that all inspections including the final approved inspections must be obtained to abate the violations.

If you have any questions concerning the building permit requirements, please contact the Building Codes Division at 503-742-4240. Or, you may stop by our offices at Development Services Building, 150 Beavercreek Rd, Oregon City. The lobby is open



between the hours of 8:00 a.m. and 4:00 p.m. Monday through Thursday and 8:00 a.m. to 3:00 pm on Fridays.

If you have any questions my direct telephone number is 503-742-4457 and my email is kimben@co.clackamas.or.us.

Thank you for your prompt attention to this matter.

A handwritten signature in black ink, appearing to read 'Kimberly Benthin', with a stylized flourish at the end.

Kimberly Benthin  
Code Enforcement Specialist  
Code Enforcement Section

Enclosures

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It is important that you contact the Code Enforcement Section to resolve the violations described in the enclosed letter. Failure to resolve those violations may result in one or more of the following: (1) a citation and fine, (2) assessment of a \$75 per month administrative compliance fee, and (3) referral of this matter to the County Code Enforcement Hearings Officer.

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Finally, recurrences of abated violations may result in the issuance of a citation without prior notice.



DEPARTMENT OF TRANSPORTATION AND DEVELOPMENT

DEVELOPMENT SERVICES BUILDING

150 BEAVERCREEK ROAD | OREGON CITY, OR 97045

December 27, 2018

COPY

Loretta L. Loney  
1555 SE River Forest Rd  
Milwaukie, OR 97267

Troy Dale Loney  
1555 SE River Forest Rd  
Milwaukie, OR 97267

**Subject: Violations of the Clackamas County Zoning and Development Ordinance Sections 315 and 822 and the Solid Waste and Waste Management Code Chapter 10.03, and the Building Code.**

**Address:** 1555 SE River Forest Rd., Milwaukie, OR 97267  
T2S, R21E, Section 11DB, Tax Lot 400

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The site inspection with the building inspector and continuing investigation revealed that the structure requires permitting for the roof repair. Additionally, the roof construction, the increase of the footprint of the front of structure (21sq.ft.), the conversion of the carport into a bedroom and the plumbing and electrical work require permitting. These are violations of Chapter 9.02 of the Clackamas County Code as it pertains to the Application and Enforcement of the Clackamas County Building Code. We understand some of the work was completed prior to your purchasing of the home. As the inspector, Don Countryman, mentioned – there are progressive steps you can take to gain permits and obtain inspections.

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- Remove or demolish the structure. Once removal is completed please contact me to schedule an inspection to confirm compliance.

The subject property is currently zoned Urban Low Density Residential R-10. In this zone, home occupations are allowed subject to the performance standards and permit requirements set forth in Section 822 of the Clackamas County Zoning and Development Ordinance. A recent review of County records finds no such permit has been issued for this use.

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- 
1. Cease the unauthorized use **or;**
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COPY

Kimberly Benthin  
Code Enforcement Section  
Clackamas County

Enclosures

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COPY

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**DEPARTMENT OF TRANSPORTATION AND DEVELOPMENT**

**DEVELOPMENT SERVICES BUILDING**

150 BEAVERCREEK ROAD | OREGON CITY, OR 97045

April 27, 2020

File No. V0066018

Loretta L Loney  
1555 SE River Forest Rd  
Milwaukie, OR 97267

Troy Dale Loney  
1555 SE River Forest Rd  
Milwaukie, OR 97267

**Subject:                   Violations of the Clackamas County Building Code  
                                  Chapter 9.02.040 (A, B, C, D)**

Site Address:           1555 SE River Forest Rd, Milwaukie, OR 97267  
Legal Description:   T2S, R1E, Section 11DB, Tax Lot 00400

A review of violation file # V0066019 shows that the violation on site remains unabated. It is important to note that this file was opened November 2018. Correspondence was mailed to you December 2018 with a deadline of January 31, 2019 to submit permits to abate the building code violations. I acknowledge that the alleged solid waste and unauthorized home occupation operating on site was resolved, however no building permit submittal has occurred as of the date of this letter.

At this time, due to COVID-19, the Clackamas County offices are closed to the public beginning March 18, 2020. The closure is expected to continue through at least May 4, 2020. However, it is still possible to continue working to abate your building code violations. Clackamas County employees are available and working to meet your needs remotely. You may contact us by email, phone, or by mail. Current information on permitting is enclosed in this letter. County staff will work to respond as quickly as we can. Clackamas County's focus is on providing public service and keeping our community and staff safe.

Please abate the Building Code violations on the subject property.

If you have any questions you may leave me a voice mail message at 503-742-4457 and my email is kimben@clackamas.us .

Kimberly Benthin  
Code Enforcement Specialist

## **BUILDING CODES**

### **General Information:**

- For general questions, to request records or to find out how to pick up a permit, contact us:
  - Email DTDCustomerInfo@clackamas.us
  - Phone 503-742-4400
- Hours:
  - Online submittals can be done at any time.
  - Staff are available by email and phone, and submittals are processed, during business hours (Monday - Thursday, 8 am - 4 pm, and Friday, 8 am - 3:30 pm).

### **Inspections:**

- Schedule an inspection online or by calling the inspection request line at 503-742-4720.
  - We are inspecting all types of work ***except inside occupied residences***.
  - In occupied residences we are limiting inspections to critical life/safety issues (gas line, heating, electrical, plumbing systems related to potable water, sanitation, etc.), and may inspect by video or other methods.
- Help us follow state safety guidelines by:
  - Ensuring and maintaining social distancing for all inspection staff onsite
  - Limiting the number of workers on jobsites during inspections
  - If anyone exhibits signs of illness at the inspection site, wait to schedule your inspection until at least 72 hours after symptoms have passed.

*Please note that inspectors have been given discretion to assess the safety of an inspection site and to reschedule the inspection if they believe they cannot perform the work safely.*

### **How to Apply for Residential Electrical, Plumbing and Mechanical Work Permits\***

**Contractors:** If you have an active CCB and proper licensure to do the scope of work, please apply for permits using Permits Online.

**Homeowners who need a Building Permit:** Refer to the section above, *How to Submit Permits That Require Plan Review*, for requirements on uploading your application and plans.

**Homeowners who are doing mechanical, electrical or plumbing work on your own residence or your home occupation:** Use the process described below to apply for permits. (These applications typically have a quick turnaround time and do not require plan review.)

#### **STEP 1: Get permit applications.**

Download the application packet that corresponds to the work you're planning from the Building Forms webpage or by clicking on the green *Locate Permit Forms* button on the Building Codes home page). These electronically fillable applications are listed under *Electronic Submittal Forms*.

- *If you are doing your own work on your own residence*, complete the Property Owner's Statement that is included in the packet. This includes any work for home occupation projects (e.g., turning my barn into a business).
- *If you are getting permits but a contractor is doing the work on your property*, complete the information about your contractor. We will verify current Construction Contractors Board (CCB) licensing for you when we review the permit application.



*TIP: Don't see a form you need? Check the Single Documents section of our Building Forms web page.*

**STEP 2: Fill out the forms completely and accurately.**

The application packets include:

- Electronically fillable permit application
- Project description form (to help us understand the project since we cannot talk face-to-face)
- *Mandatory* property owner form

Payment: Plan review (intake) fees must be paid when the application is submitted.

- With our buildings closed to the public, payment by credit/debit card is preferred and is most efficient (bank service fees do apply). When paying by credit card, include a signed Credit Card Authorization form.
- We can accept a check by mail (made out to Clackamas County), but we will have to keep your submittal on hold until we receive the funds.

**Questions?** Contact us at 503-742-4240 or [bldservice@clackamas.us](mailto:bldservice@clackamas.us) .

**STEP 3: Email your application(s) to us for verification and payment.**

Send your application packet to [Bldapplications@clackamas.us](mailto:Bldapplications@clackamas.us) .

**STEP 4: Receive your permit.**

Permits staff will email your payment receipt and permit to you.

**STEP 5: Begin work and call for your inspections.**

Schedule an inspection online or by calling the inspection request line at 503-742-4720.

**How to Apply for Trade Permits for Licensed CCB Contractors**

**Licensed Contractors - Apply for Trade Permits**

- Licensed CCB contractors can apply online for trade permits (electrical, plumbing and residential mechanical) *that do not require plan review*.

**How to Apply for Permits that Require Plan Review**

The following types of permits require plan review:

- Building (all structural [residential and commercial]; Fire Sprinkler; Fire Alarms; Grading; Tenant Improvement; Change of Occupancy/Use; Non-Prescriptive Solar; Ag Exempt)
- Mechanical (commercial only)
- Plumbing (commercial only)
- Electrical (commercial only)

Follow the process described below to apply for a permit for these types of projects.

**STEP 1: Get the permit applications.**

Download the application packet that corresponds to the work you are doing from the Building Forms webpage or by clicking on the green *Locate Permit Forms* button on the Building Codes home page.

**For New Single-Family Residences (NSFRs)** – Download the *NSFR Application Packet* with all four permit applications and a 1-2 Family Dwelling checklist, which are all packaged together in one PDF.

*TIP:* Don't see a form you need in the packet? Check the Single Documents section of our Building Forms web page.

**STEP 2: Fill out the forms completely and accurately.**

The application packets include:

- E-Submittal Requirement Guide
- Permit application that is electronically fillable
- New project description form (to help us understand the project and correctly route it for internal reviews)
- *Optional* property owner form; if doing the work on your home, including work for home occupations

**Questions?** Contact us at 503-742-4240 or [bldservice@clackamas.us](mailto:bldservice@clackamas.us).

**STEP 3: Prepare your plans and documents**

To help us receive and upload your documents so we can respond more quickly, please use the following guidelines when submitting documents.

- *PDF:* We can only accept PDF file types.
- *Legible:* Plans must be legible, and to scale or dimensioned. Please check your PDFs for scan quality and readability *before* submitting them.
- *Landscape orientation:* Plans and drawings must be in landscape orientation.
- *Site plan as separate PDF.* The submitted site plan must be its own PDF separate from the plans.
- Credit Card Authorization Form. Send as a separate PDF so we can delete it after use.
- *Create document PDFs as outlined in Step 4 below.* Except for the site plan and Credit Card Authorization Form, we do not accept individual pages as separate PDFs.

**STEP 4: Follow the naming convention for plans and supplemental documents.**

For Residential or Home Occupation Projects:

- To help keep project drawings organized, use the following PDF document naming conventions for drawings. **The text in bold is the naming convention for the document.** These naming conventions are based on a typical New Single-Family Residence (NSFR) submittal.
- *It is important to add the word **submit1** before the name* to distinguish first submittals from future correction sheets.

(Please note: Your project may be smaller and not require all these drawings.)

- **Application packet** -- as one PDF that contains the application, project description form, and any optional forms/checklists
- **Credit Card Authorization Form** – as a separate PDF (so we can delete it after use)
- **Submit1 site plan** -- as a separate PDF
- **Submit1 plans** -- for most submittals this can be one PDF; if it is larger, break it into two PDFs and number in order, for example: Submit1plans1, Submit1plans2
- **Submit1 gravity calcs** -- as one PDF that includes beams and foundation
- **Submit1 lateral calcs** -- as one PDF that includes lateral analysis calculations

- **Submit1 truss packet** -- as one PDF that includes truss packet only
- **Submit1** [describe the document]

#### **For Commercial Projects or Larger Submittals**

- To help keep project drawings organized, use the following PDF document naming conventions for drawings. **The text in bold is the naming convention for the document.**
- These may be broken down further than described above depending on the size and scope of your project.
- *It is important to add the word **submit1** before the name to distinguish first submittals from corrections later.*

**Building Permit Submittal** – Send building permit submittal documents to us in one email if the file size is no more than 40MB. If attachments bring the email size to more than 40MB, split the submittal into separate emails with one consistent subject line.

- **Building Permit Packet** -- as one PDF that contains the application, project description form, and any optional forms/checklists
- **Credit Card Authorization form** – as a separate PDF (so we can delete it after use)
- **Deferred Submittals Checklist** -- as one PDF providing a list of deferred submittals, if any
- **Submit1 Site Plan** -- as a separate PDF
- **Submit1 Arch** -- architectural sheets, code summary, FLS
- **Submit1 Civil** -- civil sheets
- **Submit1 Struct** -- structural sheets
- **Submit1 Struct Calcs1** (type of calculations) [*as applicable*]
- **Submit1 Struct Calcs2** (type of calculations) [*as applicable*]
- **Submit1 Energy forms** -- any required energy efficiency forms for commercial
- **Submit1 Other** (*name it*)

**Electrical Permit Submittal** – Send electrical permit submittal documents to us in one email if the file size is no more than 40MB. If attachments bring the email size to more than 40MB, split the submittal into separate emails with one consistent subject line.

- **Electrical Permit Packet** -- as one PDF that contains the application, project description form, and any optional forms/checklists
- **Credit Card Authorization form** – as a separate PDF (so we can delete it after use)
- **Submit1 Elect** – include all electrical drawings
- **Submit1 Elect Calcs** – any electrical calculations
- **Submit1 Elect Documents** – any electrical documents
- **Submit1 Elect Other** (*name it*)

**Plumbing Permit Submittal** – Send plumbing permit submittal documents in one email if the file size is no more than 40MB. If attachments are more than 40MB, split the submittal into separate emails with one consistent subject line.

- **Plumbing Permit Packet** -- as one PDF that contains the application, project description form, and any optional forms/checklists
- **Credit Card Authorization form** – as a separate PDF (so we can delete it after use)
- **Submit1 Plumb** – include all electrical drawings
- **Submit1 Plumb Documents** – any electrical documents
- **Submit1 Plumb Other** (*name it*)

***Mechanical Permit Submittal*** – Send mechanical permit submittal documents in one email if the file size is no more than 40MB. If attachments are more than 40MB, split the submittal into separate emails with one consistent subject line.

- **Mechanical Permit Packet** -- as one PDF that contains the application, project description form, and any optional forms/checklists
- **Credit Card Authorization form** – as a separate PDF (so we can delete it after use)
- **Submit1 Mech** – include all electrical drawings
- **Submit1 Mech Documents** – any electrical documents
- **Submit1 Mech Other** (*name it*)

**Questions?** Contact us at 503-742-4240 or [bldservice@clackamas.us](mailto:bldservice@clackamas.us) .

**Step 5: Submit and pay.**

- Email completed permit applications, credit card authorization form and plans to: [bldapplications@clackamas.us](mailto:bldapplications@clackamas.us)
- The subject line must read: New Application; [address of the project], for example, *New Application; 150 Beavercreek Rd.*
- Upload your PDFs as **organized and named in Step 4** above. We can accept attachments of up to 40MB total per email. If attachments are larger than that, please split the package into separate emails with one consistent subject line.
- **Payment:** Plan review fees (intake fees) must be paid when the application is submitted.
  - With our buildings closed to the public, payment by credit/debit card is preferred and is most efficient (bank service fees do apply).
  - We can accept a check by mail (made out to Clackamas County), but we will have to keep your submittal on hold until we receive the funds.



DEPARTMENT OF TRANSPORTATION AND DEVELOPMENT

DEVELOPMENT SERVICES BUILDING

150 BEAVERCREEK ROAD | OREGON CITY, OR 97045

September 2, 2021

File No. V0066018

Loretta L Loney  
1555 SE River Forest Rd  
Milwaukie, OR 97267

Troy Dale Loney  
1555 SE River Forest Rd  
Milwaukie, OR 97267

**Subject: Violations of the Clackamas County Building Code  
Chapter 9.02.040 (A, B, C, D)**

Site Address: 1555 SE River Forest Rd, Milwaukie, OR 97267  
Legal Description: T2S, R1E, Section 11DB, Tax Lot 00400

A review of County records shows that the building code violations on site remain unresolved.

There has been provided an exceptional length of time to resolve the building code violations related to the single family residence on site, and yet there is no progress beyond the approved 2019 Construction Management Plan.

In order to abate the building code violations, of the unpermitted roof repair and addition to the residence, please complete the following **not later than October 14, 2021**:

- Please submit, or have your professional submit, the building permit application(s), technically complete plans and appropriate fee(s).
  - The permit(s) must have the fee(s) paid in full within ten days of your being notified by Building Codes.
  - Please schedule all inspections so that final inspections may be obtained within a reasonable time period.

It is also possible to abate the building code violations to the residence by demolishing the structure. If you choose this path a permit for demolition must be obtained.

The submitted permit documents will be subject to the review and approval of the Planning and Zoning Division. The construction and use must meet the requirements and standards of the zoning district applied to the subject property.

If you have questions regarding building permits and/or land use authorization/requirements, you may utilize the following contact methods:  
Planning and Zoning Division at 503-742-4500 or [zoninginfo@clackamas.us](mailto:zoninginfo@clackamas.us)  
Building Codes Division at 503-742-4240 or [bldservice@clackamas.us](mailto:bldservice@clackamas.us)

Or, you may stop by our offices at 150 Beavercreek Road, Development Services Building, Oregon City. The Development Services Building lobby hours are open: 8AM to 4PM, Monday to Thursday and 8AM to 3PM on Friday. The public is encouraged to take advantage of the services available online, by phone or by email. It is recommended that you check the Clackamas County webpage for hours of operation before visiting.

If you have any questions for me it is best to call me at 503-742-4457 or contact me by email at: [kimben@clackamas.us](mailto:kimben@clackamas.us) .

A handwritten signature in black ink, appearing to read 'Kimberly Benthin', is positioned above the printed name and title.

Kimberly Benthin  
Code Enforcement Specialist

## **Important Notices**

1. **Administrative Compliance Fees.** It is important that you contact the Code Enforcement Section to resolve the violations described in the enclosed letter. **An administration compliance fee of \$75 will now be assessed monthly until the violations are abated.**
2. **Failure to resolve those violations may result in one or more of the following:** (1) a citation and fine, and (2) referral of this matter to the County Code Enforcement Compliance Hearings Officer.
3. **Request for a Hearing:** If you dispute the existence of the violations described in the enclosed letter you may request a hearing before the Hearings Officer by sending a written request for a hearing, including your name and address to: Code Enforcement Section, 150 Beavercreek Rd., Oregon City, OR 97045, or at [codeenforcement@clackamas.us](mailto:codeenforcement@clackamas.us).
4. **Potential Fines and Penalties:** The Clackamas County Code provides for Citation fine amounts of up to \$500 and additional civil penalties imposed by the Hearings Officer of up to \$3,500 for each day the County verifies the noncompliance. Fine amounts and civil penalties may be assessed for each cited violation and may be assessed separately against each named party. In addition, the Hearings Officer may order the violation to be abated by the County at the expense of the property owner(s) and responsible parties.
5. **Voluntary Compliance:** Clackamas County encourages voluntary compliance with code violations to support a safe and healthy community for all. Please note that when a property owner works cooperatively with the County to resolve a confirmed code enforcement violation, the County may in its discretion waive all or part of the \$75 per month administrative fee.
6. **Non-Compliance may result in a lien upon your property:** Fines and costs are payable upon the effective date of the final order declaring the fine and costs. Fines and costs under this Chapter are a debt owing to the County, pursuant to ORS 30.460, and may be collected in the same manner as any other debt allowed by law. If fines or costs are not paid within 60 days after payment is ordered, the County may file and record the order for payment in the County Clerk Lien Record.
7. **Final Order may be enforced in Circuit Court:** Also, be advised that non-compliance with a Hearings Officer's Order may result in the matter being referred to County Counsel for legal action in Circuit Court which may result in additional penalties or other sanctions.
8. **Recurrences will result in additional Citations:** Finally, recurrences of abated violations may result in the issuance of a citation without prior notice.

## Moreland, Tom

---

**From:** Donaldson, Amanda on behalf of Building Public Service  
**Sent:** Monday, June 26, 2023 3:09 PM  
**To:** Moreland, Tom  
**Subject:** FW: Refund Request Permit# E0015623

### **Amanda Donaldson, Permit Specialist**

Pronouns:she/her

Clackamas County Building Codes Division

150 Beavercreek Rd., Oregon City, OR 97045

Primary Phone: 503.742.4240

*Regular work schedule is M-Th from 7:30 am until 4:30 pm*

### ***The Clackamas County Building Codes Division Operates:***

*Monday through Thursday, 7:30 AM to 4:30 PM*

*2nd and 3rd floor LOBBY HOURS are Monday - Thursday 8:00 AM to 4:00PM*

The Clackamas County Department of Transportation and Development is dedicated to providing excellent customer service. Please help us to serve you better by giving us your [feedback](#). We appreciate your comments and will use them to evaluate and improve the quality of our public service.

Were you happy with the service you received today?



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**From:** Liliya Popkova <LilyaP@atlaselectrical.com>  
**Sent:** Monday, June 26, 2023 2:37 PM  
**To:** Building Public Service <BldService@clackamas.us>  
**Subject:** Refund Request Permit# E0015623

**Warning: External email. Be cautious opening attachments and links.**

---

Good Afternoon,

I'm requesting a refund for permit #E0015623 due to the customer changing their mind and not moving forward with work.



The address is 1555 Se River Forest Rd. Milwaukie, OR 97267

Thank You,

Lily Popkova

Phone: 503-659-2212 Fax:503-659-4944

4403 SE Rothe Rd

Milwaukie, OR 97267





Citation No. 180060-1

Case No. V0066018

# ADMINISTRATIVE CITATION

Date Issued: March 18, 2025

**Name and Address of Person(s) Cited:**

Name: Troy Dale Loney  
Mailing Address: 1555 SE River Forest Rd  
City, State, Zip: Milwaukie, OR 97267

Date Violation(s) Confirmed: On the 17<sup>th</sup> day of December, 2018, the person(s) cited committed or allowed to be committed, the violations(s) of law described below, at the following address:

**Address of Violations:** 1555 SE River Forest Rd, Milwaukie OR 97267

**Legal Description:** T2S, R1E Section 11DB, Tax Lot 00400

**Law(s) Violated**

- ☐ Chapter 7.03 of Clackamas County Code, Road Use, Section
- ☐ Chapter 9.01 of CCC Uniform Code for the Abatement of Dangerous Buildings, Section
- ☒ Chapter 9.02 of CCC Application and Enforcement of the Clackamas County Building Code, Section 9.02.040, (A,B,C,D,E)
- ☐ Chapter 9.03 of CCC Excavation and Grading, Section
- ☐ Chapter 10.03 of CCC Solid Waste and Wastes Management, Section 10.03.060 (A,B,C)
- ☐ Title 12 and 13 of CCC Zoning and Development Ordinance, Section
- ☐ Other law: \_\_\_\_\_

**Description of the violation(s):**

- 1) The unpermitted roof repair and addition to the residence was constructed without permits and inspections.

Maximum Civil Penalty \$1,000.00

Fine: This is not subject to fine amount.

You may avoid paying the civil penalty by abating the violations. If you have questions regarding how to abate the violation(s) contact Clackamas County Code Enforcement at the number listed below. Please be advised a \$75 monthly administrative fee is being assessed.

I hereby certify under penalties provided by ORS 153.990 that I have reasonable grounds to and do believe that the above person(s) committed or allowed to be committed the violation(s) described on this form.

Citation issued by: Kimberly Benthin  
Telephone No.: 503-742-4457

Date: March 18, 2025  
Department Initiating Enforcement Action: Code Enforcement

## **PLEASE READ CAREFULLY!**

You have been cited for the violation(s) of law stated on the front of this form. You MUST exercise ONE of the following options within fifteen calendar days of the date of this citation.

If you fail to exercise one of these options within fifteen calendar days of the citation date, the County may request a hearing before the Code Enforcement Hearings Officer following which you may be ordered to pay the maximum civil penalty and abate the violation.

### Options:

1. Abate the violation and pay the fine. Sign the statement of Understanding below and deliver or mail this form, together with a check or money order payable to Clackamas County in the amount of the fine to:  
Clackamas County Code Enforcement Section  
150 Beavercreek Rd.  
Oregon City, OR 97045
2. Request a hearing in writing. You may request a hearing to contest the violation(s) alleged. A written request for a hearing must be mailed to Clackamas County at the address listed above or sent to [codeenforcement@clackamas.us](mailto:codeenforcement@clackamas.us).

A request for hearing must contain all of the following information:

- a. Your name and address;
- b. A copy of the citation or the Citation No. and Case No.; and,
- c. The description of the relief you are requesting.

At the hearing, an administrative fee may be assessed by the Hearings Officer in addition to civil penalty(ies) if the Hearings Officer concludes you are responsible for the violation. If a civil penalty is imposed the amount will likely exceed the fine amount on this citation.

### STATEMENT OF UNDERSTANDING

I, the undersigned, do hereby acknowledge that I understand the following:

1. By paying the fine I admit the existence of the violation(s) alleged on this citation and my responsibility for it.
2. Paying the fine does not relieve me of my responsibility to correct the violation and to comply with all applicable laws.
3. Additional citations may be issued to me if I fail to correct the violation or violate other applicable laws.

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Address: \_\_\_\_\_

City, State, Zip

Contact Number: \_\_\_\_\_ Email: \_\_\_\_\_

Violation File # : V0066018

# Clackamas County

## Inspection History for Record #B0558921

**Applicant Name:** Troy Loney

**Work Description:** V0066018 KITCHEN ADDITION AND UPDATE VENALATION

**Address:** 1555 SE RIVER FOREST RD, MILWAUKIE, OR 97267

Inspection Date	Inspection Type	Inspector	Status	Comments
4/12/2023 12:00:00 AM	205 Foundation	Don Countryman	Approved w/Conditions	1) Submit revised A3 sheet showing the new foundation to Richard Carlson., R106.3.1
8/21/2023 12:00:00 AM	200 Footings	Paul Craig	Partial Approval	(2) footings at NE corner of building as circled and initialed on A3 plan page. Call for additional footings with ready. R109.1
9/28/2023 12:00:00 AM	200 Footings	Don Countryman	Partial Approval	Inspection for (1) 18" x 8" footing @ north side initialed & dated on approved 8 x 11 plan.
10/30/2023 12:00:00 AM	200 Footings	Kevin Streb	Partial Approval	Inspection for 8x18 center footing on North wall line. Okay to place concrete.
12/18/2023 12:00:00 AM	200 Footings	Kevin Streb	Partial Approval	Inspection for fourth footing along North wall, circled and initialed on site plans. Okay to place concrete.
5/14/2024 12:00:00 AM	200 Footings	Kevin Streb	Partial Approval	Inspection for one Northwest corner footing- Circled and initialed on site plan. Okay to place concrete.
10/7/2024 12:00:00 AM	200 Footings	Kevin Streb	Partial Approval	One footing circled and initialed on site plan. Okay to place concrete.

Inspection Date	Inspection Type	Inspector	Status	Comments
3/25/2025 12:00:00 AM	200 Footings	Kevin Streb	Approved	Remaining footing in place.  1. Substantial progress required per County Policy.  Post and beam, underfloor, and underfloor plumbing to be completed for next inspection.
3/25/2025 12:00:00 AM	205 Foundation	Kevin Streb	Approved	Revision for foundation (4/A3) approved 4/12/23.

Troy Dale Loney  
1555 SE River Forest Rd  
Milwaukie, OR 97267  
[troyloney1@gmail.com](mailto:troyloney1@gmail.com)

03/31/2025

Clackamas County Code  
Enforcement Section  
150 Beavercreek Rd,  
Oregon City, OR 97045  
RE: Request for Hearing  
Case # V0066018

Dear Sir, in response to your administrative citation dated March 18, 2025, I am officially objecting to the citation and all listed violations, and requesting a hearing.

I will be seeking relief from all previously imposed sanctions, violations and fines imposed against me and or the previous owner[s] including but not limited to, Loretta L Loney.

The information required by code or statute is as follows:

- a) Troy Dale Loney
- b) Case no. V0066018 (CITATION ATTACHED)
- c) All violations and fines dismissed.

Regards



Troy Dale Loney  
1555 SE River Forest Rd  
Milwaukie, OR 97267  
[troyloney1@gmail.com](mailto:troyloney1@gmail.com)  
[\(503\) 544-5450](tel:5035445450)





COPY

Citation No. 180060-1

Case No. V0066018

# ADMINISTRATIVE CITATION

Date Issued: March 18, 2025

**Name and Address of Person(s) Cited:**

Name: Troy Dale Loney  
Mailing Address: 1555 SE River Forest Rd  
City, State, Zip: Milwaukie, OR 97267

Date Violation(s) Confirmed: On the 17<sup>th</sup> day of December, 2018, the person(s) cited committed or allowed to be committed, the violations(s) of law described below, at the following address:

Address of Violations: 1555 SE River Forest Rd, Milwaukie OR 97267

Legal Description: T2S, R1E Section 11DB, Tax Lot 00400

**Law(s) Violated**

- ☐ Chapter 7.03 of Clackamas County Code, Road Use, Section
- ☐ Chapter 9.01 of CCC Uniform Code for the Abatement of Dangerous Buildings, Section
- ☒ Chapter 9.02 of CCC Application and Enforcement of the Clackamas County Building Code, Section 9.02.040, (A,B,C,D,E)
- ☐ Chapter 9.03 of CCC Excavation and Grading, Section
- ☐ Chapter 10.03 of CCC Solid Waste and Wastes Management, Section 10.03.060 (A,B,C)
- ☐ Title 12 and 13 of CCC Zoning and Development Ordinance, Section
- ☐ Other law: \_\_\_\_\_

**Description of the violation(s):**

- 1) The unpermitted roof repair and addition to the residence was constructed without permits and inspections.

Maximum Civil Penalty \$1,000.00

Fine: This is not subject to fine amount.

You may avoid paying the civil penalty by abating the violations. If you have questions regarding how to abate the violation(s) contact Clackamas County Code Enforcement at the number listed below. Please be advised a \$75 monthly administrative fee is being assessed.

I hereby certify under penalties provided by ORS 153.990 that I have reasonable grounds to and do believe that the above person(s) committed or allowed to be committed the violation(s) described on this form.

Citation issued by: Kimberly Benthin  
Telephone No.: 503-742-4457

Date: March 18, 2025  
Department Initiating Enforcement Action: Code Enforcement



Troy D Loney  
1555 SE River ~~Blvd~~ Rd  
Milwaukie, OR 97267

Clackamas County Code  
Enforcement Section  
150 Beaver Creek Rd  
Oregon City, OR 97045



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1555 SE RIVER FOREST RD.  
MILWAUKIE, OR 97207

#### DELIVERY OPTIONS (Customer Use Only)

☐ SIGNATURE REQUIRED Note: The mailer must check the "Signature Required" box if the mailer: 1) Requires the addressee's signature; OR 2) Purchases additional insurance; OR 3) Purchases COD service; OR 4) Purchases Return Receipt service. If the box is not checked, the Postal Service will leave the item in the addressee's mail receptacle or other secure location without attempting to obtain the addressee's signature on delivery.

#### Delivery Options

- ☐ No Saturday Delivery (delivered next business day)
- ☐ Sunday/Holiday Delivery Required (additional fee, where available\*)
- \*Refer to USPS.com® or local Post Office™ for availability.

#### TO: (PLEASE PRINT)

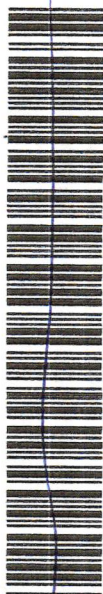
PHONE ( )  
CLATSOP COUNTY CODE  
ENFOLLEMENT SECTION  
150 BEAVER CREEK RD.  
OREGON CITY, OR 97045  
ZIP + 4® (U.S. ADDRESSES ONLY)

PRESS FIRMLY TO SEAL



RDC 07

PRIORITY MAIL EXPRESS®



ER 191 003 355 US

#### PAYMENT BY ACCOUNT (if applicable)

Federal Agency Acct. No. or Postal Service™ Acct. No.

ORIGIN (POSTAL SERVICE USE ONLY)		1-Day		2-Day		Military		DPO	
PO ZIP Code	97267	Scheduled Delivery Date (MM/DD/YYYY)	04/01/25	Postage	\$	31.40			
Date Accepted (MM/DD/YYYY)	03/31/25	Scheduled Delivery Time	6:00 PM	Insurance Fee	\$				
Time Accepted	1210			Return Receipt Fee	\$				
Special Handling/Fragile		Sunday/Holiday Premium Fee		Live Animal Transportation Fee	\$				
Weight	7 lbs.	Accepted Employee Initials	FL	Total Postage & Fees	\$	31.40			
DELIVERY (POSTAL SERVICE USE ONLY)									
Delivery Attempt (MM/DD/YYYY)		Time		Employee Signature					
Delivery Attempt (MM/DD/YYYY)		Time		Employee Signature					

LABEL 11-B, NOVEMBER 2023 PSN 7690-02-000-9996



UNITED STATES  
POSTAL SERVICE®

This packaging is the property of the U.S. Postal Service® and is provided solely for use in sending Priority Mail Express® shipments. Misuses may be a violation of federal law. This package is not for resale. EP13F © U.S. Postal Service; October 2023; All rights reserved.



1. Death Certificate: Loretta Louise Loney
2. Building diagram
3. Inspection notice: 07/05/2022
4. Clackamas County Plumbing permit application
5. Clackamas County Fee schedule for plumbing permit application
6. Clackamas County Permit #P0310522: Plumbing
7. Clackamas County notice of inspection
8. Clackamas Plumbing permit application :12/19/2022
9. Clackamas County receipt #5359795
10. Clackamas County Permit #E0015623: Electrical
11. A1: site plan
12. A2: existing floor plan, proposed floor plan, sections 1,2,3
13. A3: existing roof framing plan, proposed framing rood plan, existing floor/foundation plan, proposed floor/foundation plan.
14. A3:
15. A3: Revised 08/21/2023
16. A3: Revised with dates
17. A4: North elevation, west elevation, south elevation, east elevation
18. A5: General notes
19. MiTek USA truss drawings
20. Foreclosure flyer



# CERTIFICATION OF VITAL RECORD

## OREGON HEALTH AUTHORITY CENTER FOR HEALTH STATISTICS CERTIFICATE OF DEATH

979459

I.D. TAG NO.

136-2021\*032489

STATE FILE NUMBER

TO BE COMPLETED BY FUNERAL FACILITY

Legal Name First <b>Loretta</b> Middle <b>Louise</b> Last <b>Loney</b> Suffix		Death Date <b>Found September 30, 2021</b>	
Sex <b>Female</b>	Age <b>76 years</b>	Social Security Number <b>540-48-7085</b>	County of Death <b>Clackamas</b>
Birthdate <b>October 06, 1944</b>		Birthplace <b>Oregon City, Oregon</b>	
Residence <b>1555 SE River Forest Road</b>		City/Town <b>Milwaukie</b>	
Residence County <b>Clackamas</b>		State or Foreign Country <b>Oregon</b>	Zip Code + 4 <b>97267</b>
Marital Status at Time of Death <b>Divorced</b>		Inside City Limits? <b>No</b>	
Father's Name <b>Kenneth Franklin Foster</b>		Mother's Name Prior to First Marriage <b>Hazel Edith Delker</b>	
Informant's Name <b>Troy Loney</b>	Telephone Number <b>Not Available</b>	Relationship to Decedent <b>Son</b>	Mailing Address <b>1555 SE River Forest Road, Milwaukie, OR 97267</b>
Place of Death <b>Decedent's Residence</b>		Facility Name	
Location of Death <b>1555 SE River Forest Road</b>		City/Town or Location of Death <b>Milwaukie</b>	State <b>Oregon</b>
Method of Disposition <b>Cremation</b>		Place of Disposition <b>Portland Cremation Center, LLC</b>	Location (City/Town and State) <b>Portland, Oregon</b>
Name and Complete Address of Funeral Facility <b>Hillside Chapel 1306 7th Street, Oregon City, Oregon 97045</b>			
Date of Disposition <b>TBD</b>	Funeral Director's Signature <b>David A Bone</b>		OR License Number <b>CO-3648</b>
Registrar's Signature <b>Jennifer A. Woodward</b>		Date Received <b>October 13, 2021</b>	Local File Number
Amendment			

TO BE COMPLETED BY MEDICAL CERTIFIER

Was case referred to Medical Examiner? <b>Yes</b>	Autopsy? <b>No</b>	Were autopsy findings available to complete the cause of death?	Time of Death <b>Found 1007</b>
CAUSE OF DEATH IMMEDIATE CAUSE ↓ <b>UNSPECIFIED NATURAL DISEASE</b>			Approximate Interval: Onset to Death <b>Unknown</b>
a. Due to (or as a consequence of) ↓			
b. Due to (or as a consequence of) ↓			
c. Due to (or as a consequence of) ↓			
d. Due to (or as a consequence of) ↓			
Other significant conditions contributing to death			
Manner of Death <b>Natural</b>	If Female <b>Not Applicable</b>	Did tobacco use contribute to death? <b>No</b>	
Date of Injury	Time of Injury	Place of Injury	Injury at Work?
Location of Injury			
Describe how injury occurred			If transportation injury, specify.
Name and Address of Certifier <b>Sean P Hurst 13309 SE 84th Avenue 100, Clackamas, Oregon 97015</b>			
Name and Title of Attending Physician if Other than Certifier			Date Signed <b>October 13, 2021</b>
Medical Certifier <b>Sean P Hurst</b>	Electronically Signed	Title of Certifier <b>M.D., M.E.</b>	License Number <b>MD188694</b>
Amendment			

EXHIBIT # 1



45-2CC (01/06)

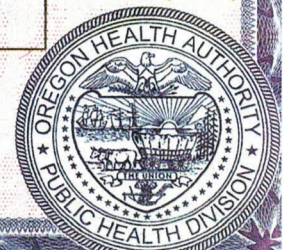
I CERTIFY THAT THIS IS A TRUE AND CORRECT COPY OF THE ORIGINAL CERTIFICATE ON FILE OR THE VITAL RECORDS FACTS ON FILE IN THE OREGON CENTER FOR HEALTH STATISTICS.

DATE ISSUED: **October 14, 2021**

*Jennifer A. Woodward*  
JENNIFER A. WOODWARD, Ph.D.  
STATE REGISTRAR

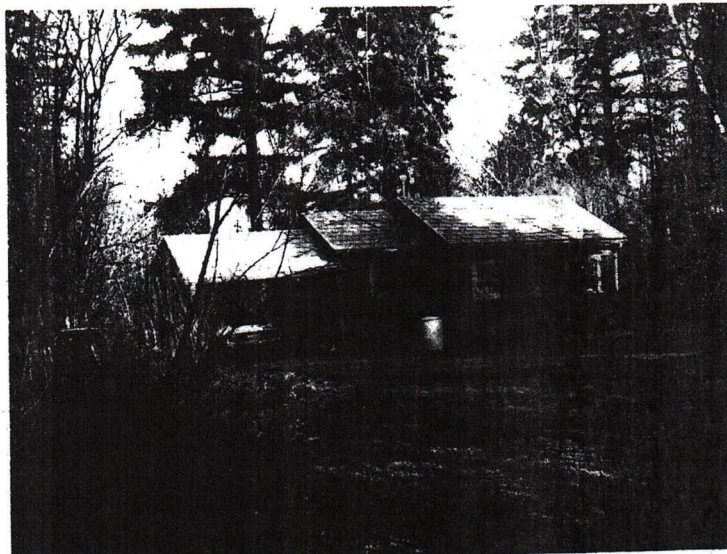
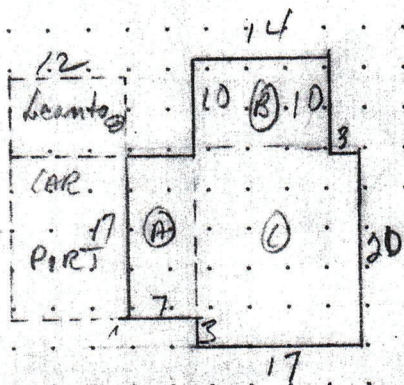
THIS COPY IS NOT VALID WITHOUT INTAGLIO STATE SEAL AND BORDER.

ANY ALTERATION OR ERASURE VOIDS THIS CERTIFICATE





$$\begin{aligned} \textcircled{A} \quad 7 \times 17 &= 119 \\ \textcircled{B} \quad 10 \times 14 &= 140 \\ \textcircled{C} \quad 17 \times 20 &= 340 \\ \hline &599 \end{aligned}$$





POST THIS CARD IN A CONSPICUOUS, ACCESSIBLE LOCATION

## CLACKAMAS COUNTY

DTD - Building Codes Division  
150 Beaver Creek Road, Oregon City, OR 97045

Date 7/5/2022 Permit No. B0558921

Location 1555 SE River Forest Rd

Owner Loney

Builder Troy Loney Inc

Richard Carlson

Building Codes Division - 503-742-4240

### INSPECTIONS

Inspections are required and must be requested at least one working day before the day an inspection is needed. Permit number must be provided with the inspection request. When requesting an inspection by phone, DO NOT hang up until you have received a confirmation number.

**FOR INSPECTIONS, CALL THE 24-HOUR INSPECTION NUMBER  
503-742-4720 or online at <https://accela.clackamas.us/citizenaccess>**

### REQUIRED INSPECTIONS

Inspection code numbers provided in brackets below

- ☒ [200] FOOTINGS [205] FOUNDATIONS. After excavation & forms completed, & reinforcing steel is in place but before placing concrete.
- ☒ [210] CONCRETE SLABS, FLATWORK. After in-slab or underslab service accessories (if any) & vapor barrier in place, but before placing concrete.
- ☒ [230] SHEAR WALL.
- ☐ [220] MASONRY FIREPLACES. During construction, but not later than first course of flue liner. Fireplace & chimney must be in place at time of frame cover inspection.
- ☐ [220] OTHER MASONRY. During construction.
- ☒ [225] FRAME COVER. After all framing, fire blocking, bracing, roof & wall sheathing in place, chimneys, vents & concealed ducts installed, rough mechanical, rough plumbing and wiring approved.
- ☒ [235] INSULATION & VAPOR BARRIERS. After insulation & vapor barriers in place but before covering.
- ☐ [240] GYPSUM BOARD/LATH. After gypsum board in place before taping & finishing; after lath in place, before plastering. Fire rated assemblies and wallboard shear walls only.
- ☒ [245] MECHANICAL HVAC, gas piping, gas fireplaces.
- ☐ [270] OTHER/MISC. (Suspended Ceilings, Consult Inspection, etc.)
- ☒ [299] FINAL INSPECTION. After finishing grading & building is completed, and ready for occupancy.

SEE OTHER SIDE FOR ADDITIONAL INFORMATION

EXHIBIT # 3





# Plumbing Permit Application Clackamas County

150 Beaver Creek Road, Oregon City, OR 97045  
Phone: (503) 742-4240 Fax: (503) 742-4741  
Internet address: [www.clackamas.us/building](http://www.clackamas.us/building)

## OFFICE USE ONLY

Permit #:

Project #:

### TYPE OF WORK

- ☐ New construction ☐ Demolition  
☒ Addition/alteration/replacement ☐ Other:

### CATEGORY OF CONSTRUCTION

- ☒ 1- and 2-family dwelling ☐ Commercial/Industrial  
☐ Accessory building ☐ Multi-family  
☐ Master builder ☐ Other:

### JOB SITE INFORMATION AND LOCATION

Job site address:

City/State/ZIP:

Suite/bldg./apt. no.:

Project name:

Cross street/directions to job site:

Subdivision:

Lot no.:

Tax map/parcel no.:

### DESCRIPTION OF WORK

Install water service from meter to  
existing home. Remodel Bathroom + Kitchen.

### PROPERTY OWNER

### TENANT

Name:

Address:

City/State/ZIP:

Phone: ( )

Fax: ( )

E-mail:

### APPLICANT

### CONTACT PERSON

Business name:

Contact name:

Address:

City/State/ZIP:

Phone: ( )

Fax: ( )

E-mail:

### CONTRACTOR

Business name:

Address:

City/State/ZIP:

Phone: ( )

Fax: ( )

E-mail:

CCB Lic. no.:

BCD Lic. no.:

Authorized signature: ☒

Print name: ☒

Date:

### FEE SCHEDULE

For special information use checklist.

Description	Qty.	Ea.	Total
New 1-2-family dwellings (includes 100 ft. for each utility connection)			
SFR (1) bath		761.00	2641
SFR (2) bath		864.00	
SFR (3) bath		956.00	
Each additional bath/kitchen		87.00	
Fire sprinkler (sq. ft.)		*	
Site utilities			
Catch basin or area drain		31.00	
Drywell, leach line, or trench drain		31.00	
Footing drain (no. linear ft.:		*	
Manufactured home utilities		126.00	
Manholes		31.00	
Rain drain connector		*	
Sanitary sewer (no. linear ft.:		*	
Storm sewer (no. linear ft.:		*	
Water service (no. linear ft. 250	1	*	2503
Fixture or item			
Absorption valve		31.00	
Backflow preventer		31.00	
Backwater valve		31.00	
Clothes washer	1	31.00	31
Dishwasher	1	31.00	31
Drinking fountain		31.00	
Ejectors/sump		31.00	
Expansion tank	1	31.00	
Fixture/sewer cap		31.00	
Floor drain/floor sink/hub	4	31.00	124
Garbage disposal	1	31.00	31
Hose bib	1	31.00	
Ice maker	1	31.00	
Interceptor/grease trap		31.00	
Medical gas (value: \$ )		*	
Primer		*	
Roof drain (commercial)		*	
Sink/basin/lavatory	1	31.00	31
Tub/shower/shower pan	1	31.00	31
Urinal		31.00	
Water closet	1	31.00	
Water heater	1	31.00	31
Other:		*	
Other:		*	
Subtotal			
Minimum permit fee (see back of this form)			
(When required) Plan review (25% of permit fee)			
State surcharge (12% of permit fee)			
TOTAL PERMIT FEE			

This permit application expires if a permit is not obtained within 180 days after it has been accepted as complete.

\* Fee methodology set by Tri-County Building Industry Service Board

440-4616T (10/02/COM/WEB)

CCP-PW1 (Rev. 9/16)

EXHIBIT # 4



## Fee Schedule for Plumbing Permit Application **Clackamas County**

New 1- and 2-family dwelling bath packages include rainwater disposal system, including leaders and drains to approved disposal area, plumbing fixtures or waste discharging devices, including drain, waste and vent piping, water piping, hot water heaters, the first 100 feet of water service and sanitary sewer line and under floor low point drain.

### Site Utilities

Foot drain (no. lin. ft.)

Not applicable  
in Clackamas County

### Residential Fire Suppression and Medical Gas Installations

Rain drain connector

Residential & Duplex

1/2 package (2 or less downspouts)

182.00

91.00

Sanitary sewer

150 ft. or less total length

145.00

Over 150 ft. total length

First 50 ft.

110.00

Each add'l 100ft. or portion thereof

74.00

Storm sewer

First 100 ft. or less

110.00

Each add'l 100ft. or portion thereof

74.00

Water service

First 50 ft. or less

87.00

Each add'l 100ft. or portion thereof

58.00

Septic Tank Connection

First 50 ft. or less

110.00

Each add'l 100ft. or portion thereof

74.00

### Fixture or Item

Primer(s)

1 to 5

31.00

over 5

5.00 each

Roof drain (commercial)

Leader

19.00

Conductor

19.00

### Other

House moves (not including storm or  
sanitary sewer, or water service inspection)

91.00

Prefabricated commercial structures  
(not including storm or sanitary sewer,  
or water service inspection)

182.00

A. Multi-purpose or Continuous Loop  
fire suppression systems (fees based  
on area of the home to covered by the  
system)

0 to 2000 sq. ft..... \$105.00

2001 to 3600 sq. ft..... \$156.00

3601 to 7200 sq. ft..... \$198.00

Over 7200 sq. ft..... \$242.00

**Note:** Stand Alone Systems are  
permitted under separate building  
permits. However, a plumbing  
permit for a backflow prevention  
device may be required.

B. Medical Gas Installations (fees  
based on the value of the installation)

\$0 to \$5000..... \$121.00

\$5001 to \$10,000..... \$121.00

plus \$1.82 for each add'l  
\$100 valuation or part  
thereof over \$5000.

\$10,001 to \$100,000..... \$212.00

plus \$12.34 for each add'l  
\$1000 valuation or part  
thereof over \$10,000.

\$100,001 or more ..... \$1322.00

plus \$8.47 for each add'l  
\$1000 valuation or part  
thereof over \$100,000.

Plan review fees apply to all medical gas  
installations.

### Minimum Permit Fee:

For conventional plumbing, the minimum  
fee is \$85.00 or the sum of the items on  
the fee schedule, whichever is greater.  
For fire or medical gas systems, see  
above.

**EXHIBIT # 5**





BUILDING CODES DIVISION

DEVELOPMENT SERVICES BUILDING

150 BEAVERCREEK ROAD | OREGON CITY, OR 97045

Permit #: P0310522  
Type: Plumbing / Plumbing  
Status: Issued  
Valuation: \$0.00  
Address: 1555 SE RIVER FOREST RD MILWAUKIE, OR 97267

Applied: 12/19/2022  
Approved: 12/29/2022  
Final:  
Expiration: 10/12/2024

Applicant: (503) 544-5450  
Owner:  
Contractor: TROY LONEY INC (503) 544-5450

Certificate of Occupancy Required:

Parcel: 21E11DB00400  
Entered By: SHERIY  
Insp Area:  
Printed: 03/26/2024  
Description: V0066018 KITCHEN and BATH REMODEL - 250 FT WATER SERVICE, 1 WASHER, 1 DW, 1 EXP TANK, 1 GARB DISP, 1 HB, 1 IM, 1 SINK, 1 TUB, 1 WC, 1 WH  
Conditions:

Class:  
Occupancy:  
Units: Bldgs:  
Violation:

NOTICE: The County in its review and approval of this application is not authorizing any activity that may result in a violation of the federal Endangered Species Act (ESA). You are specifically put on notice that it is your responsibility to determine whether activities undertaken pursuant to an approval result in conflict with the provisions of the ESA. It is further your responsibility to ensure that all activities taken pursuant to an approval are designed, constructed and maintained in a manner that does not violate the ESA or any other applicable federal, state or local law.

SFR/Dup 1st Unit(sqft):

Additional Unit(sqft):

Investigation Fee (Hours)	1	\$85.00
State Surcharge	1	\$64.20
Water System	250	\$225.00
Sink/Basin/Lavatory	1	\$31.00
Clothes Washer	1	\$31.00
Dishwasher	1	\$31.00
Ice Maker	1	\$31.00

P. 503.742.4240 F. 503.742.4741 WWW.CLACKAMAS.US  
Inspection Request Line: 503.742.4720

EXHIBIT # 6  
1 of 2



BUILDING CODES DIVISION

DEVELOPMENT SERVICES BUILDING  
150 BEAVERCREEK ROAD | OREGON CITY, OR 97045

---

Bathtub	1	\$31.00
Hose Bib	1	\$31.00
Water Closet	1	\$31.00
Water Heater	1	\$31.00
Expansion Tanks (Devices)	1	\$31.00
Disposal	1	\$31.00
State Surcharge	0	\$10.20
Total Fees:		\$694.40
Total Payments:		\$694.40
Balance Due:		\$0.00

*Our goal is to provide you with excellent service. If you would like to discuss your experience with us, contact one of our Customer Service Specialists at 503-742-4400, [dtdcustomerinfo@clackamas.us](mailto:dtdcustomerinfo@clackamas.us) or simply fill out our online survey at <https://www.surveymonkey.com/s/cccustomersurvey>*

P. 503.742.4240 F. 503.742.4741 WWW.CLACKAMAS.US  
Inspection Request Line: 503.742.4720

EXHIBIT # 4  
2 of 2

# Clackamas County

150 Beavercreek Rd  
Oregon City, OR 97045

Tel: Inspection: 503-742-4720

---

**Location:**

1555 SE RIVER FOREST RD MILWAUKIE OR 97267

**Inspection Date:**

Wed, 12 Apr 2023

**Record Type:**

Building - Residential New

**Record ID:**

B0558921

**Inspection Type:**

205 Foundation

**Inspector:**

Don Countryman

**Inspector Phone:**

503-519-6954

**Inspector Email:**

DonCou@clackamas.us

**Result:**

Approved w/Conditions

**Submit Time:**

Wed, 12 Apr 2023 1:19:PM

**Comments:**

1) Submit revised A3 sheet showing the new foundation to Richard Carlson., R106.3.1

**EXHIBIT #** 7





# Plumbing Permit Application Clackamas County

150 Beavercreek Road, Oregon City, OR 97045  
Phone: (503) 742-4240 Fax: (503) 742-4741  
Internet address: www.clackamas.us/building

## OFFICE USE ONLY

Permit #:

Project #:

### TYPE OF WORK

☐ New construction

☐ Demolition

☒ Addition/alteration/replacement

☐ Other:

### CATEGORY OF CONSTRUCTION

☒ 1- and 2-family dwelling

☐ Commercial/industrial

☐ Accessory building

☐ Multi-family

☐ Master builder

☐ Other:

### JOB SITE INFORMATION AND LOCATION

Job site address: 1555 SE RIVER FOREST RD

City/State/ZIP: MILWAUKIE, OR 97267

Suite/bldg./apt. no.:

Project name: RIVER FOREST

Cross street/directions to job site: RIVER ROAD, FIRST

LONG DRIVE WAY ON THE RIGHT  
ON RIVER FOREST RD, FLAG LOT

Subdivision:

Lot no.:

Tax map/parcel no.:

### DESCRIPTION OF WORK

INSTALL WATER SERVICE FROM  
METER TO HOME. REMODEL BATH  
AND KITCHEN UTILITY

☒ PROPERTY OWNER

☐ TENANT

Name: TROY DALE LONEY

Address: 1555 SE RIVER FOREST RD

City/State/ZIP: MILWAUKIE, OR 97267

Phone: (503) 544-5450

Fax: ( )

E-mail: troy.loney@gmail.com

☒ APPLICANT

☐ CONTACT PERSON

Business name:

Contact name:

Address:

City/State/ZIP:

Phone: ( )

Fax: ( )

E-mail:

### CONTRACTOR

Business name: TROY LONEY INC.

Address: 1555 SE RIVER FOREST RD

City/State/ZIP: MILWAUKIE, OR 97267

Phone: (503) 544-5450

Fax: ( )

E-mail: troy.loney@gmail.com

CCB Lic. no.:

BCD Lic. no.:

Authorized  
signature:

Print name: TROY DALE LONEY

Date: 12/19/22

### FEE SCHEDULE

For special information use checklist.

Description	Qty.	Ea.	Total
New 1- 2-family dwellings (includes 100 ft. for each utility connection)			
SFR (1) bath		761.00	
SFR (2) bath		864.00	
SFR (3) bath		956.00	
Each additional bath/kitchen		87.00	
Fire sprinkler (____ sq. ft.)		*	
Site utilities			
Catch basin or area drain		31.00	
Drywell, leach line, or trench drain		31.00	
Footing drain (no. linear ft.: ____)		*	
Manufactured home utilities		126.00	
Manholes		31.00	
Rain drain connector		*	
Sanitary sewer (no. linear ft.: ____)		*	
Storm sewer (no. linear ft.: ____)		*	
Water service (no. linear ft.: 250)		*	203
Fixture or item			
Absorption valve		31.00	
Backflow preventer		31.00	
Backwater valve		31.00	
Clothes washer	1	31.00	31
Dishwasher	1	31.00	31
Drinking fountain		31.00	
Ejectors/sump		31.00	
Expansion tank	1	31.00	31
Fixture/sewer cap		31.00	
Floor drain/floor sink/hub		31.00	
Garbage disposal	1	31.00	31
Hose bib	1	31.00	31
Ice maker	1	31.00	31
Interceptor/grease trap		31.00	
Medical gas (value: \$ ____)		*	
Primer		*	
Roof drain (commercial)		*	
Sink/basin/lavatory	1	31.00	31
Tub/shower/shower pan	1	31.00	31
Urinal		31.00	
Water closet	1	31.00	31
Water heater	1	31.00	31
Other:		*	
Other:		*	
Subtotal			
Minimum permit fee (see back of this form)			
(When required) Plan review (25% of permit fee)			
State surcharge (12% of permit fee)			
TOTAL PERMIT FEE			

This permit application expires if a permit is not obtained within 180 days after it has been accepted as complete.

\* Fee methodology set by Tri-County Building Industry Service Board

440-4616T (10/02/COM/WEB)

CCP-PW1 (Rev. 9/16)

EXHIBIT # 8





# CLACKAMAS COUNTY

RECEIPT NUMBER: 5359795

Page 1 of 1

Entered: 2/1/2023 2:07 PM

Interest Date: 2/1/2023

Cashier: SHAMMOND

Drawer: 11

Amount Tendered: \$614.71

Less Change: \$0.00

Amount Applied: \$614.71

Receipt Applied To:

Property Account No. / Reference	Year	District	Amount	Description
00277033	2022	012-057	\$599.04	Property Tax Principal
	2022	LGTCLA005	\$15.67	Lighting District Principal
TOTAL:			\$614.71	

Form of Payment	Amount	Reference	Payer
Personal Check	\$614.71		LONEY TROY DALE
TOTAL:	\$614.71		

Thank you for your payment.

End of Receipt Number 5359795: 1 Page

LONEY TROY DALE  
1555 SE RIVER FOREST RD  
MILWAUKIE OR 97267

RECEIPT NUMBER: 5359795

[Ascend\_Reports]

Run: 2/1/2023 2:07:25 PM

EXHIBIT # 9



BUILDING CODES DIVISION

DEVELOPMENT SERVICES BUILDING  
150 BEAVERCREEK ROAD | OREGON CITY, OR 97045

Permit #: E0015623

Type: Electrical / Electrical

Status: Issued

Valuation: \$0.00

Address: 1555 SE RIVER FOREST RD MILWAUKIE, OR 97267

Applied: 01/10/2023

Approved: 01/10/2023

Final:

Expiration: 10/12/2023

Applicant: Debbie Cates

Owner: LONEY TROY DALE

Contractor: ATLAS ELECTRIC CONTRACTORS INC 503-659-2212

Certificate of Occupancy Required:

Parcel: 21E11DB00400

Class:

Entered By:

Occupancy:

Insp Area:

Units:

Bldgs:

Printed: 05/11/2023

Violation:

Description: V0066018 - KITCHEN & LIVING ROOM REMODEL

Conditions:

SFR/Dup 1st Unit(sqft): 0

Additional Unit(sqft): 0

Electrical State Surcharge

1

\$23.64

Permanent Service/Feeder - <200 Amps

1

\$161.00

Branch Circuits w/ Purchase Service or Feeder

3

\$36.00

Total Fees:

\$220.64

Total Payments:

\$220.64

Balance Due:

\$0.00

*Our goal is to provide you with excellent service. If you would like to discuss your experience with us, contact one of our Customer Service Specialists at 503-742-4400, [dtcustomersinfo@clackamas.us](mailto:dtcustomersinfo@clackamas.us) or simply fill out our online survey at <https://www.surveymonkey.com/s/cccustomersurvey>*

P. 503.742.4240 F. 503.742.4741 WWW.CLACKAMAS.US  
Inspection Request Line: 503.742.4720

**EXHIBIT #10**

INDEX TO DRAWINGS	
SHEET	DESCRIPTION
A1	SITE PLAN
A2	EXISTING/PROPOSED FLOOR PLAN
A3	EXISTING AND PROPOSED EXTERIOR WALLS, ROOF FRAMING PLAN
A4	ELEVATIONS
A5	GENERAL NOTES

TROY LONEY  
1555 SE RIVER FOREST RD,  
MILWAUKIE, OR 97267

TAX LOT: 21E11P00400  
MAP NUMBER: 21E11P3  
SITE: 0.29 ACRES

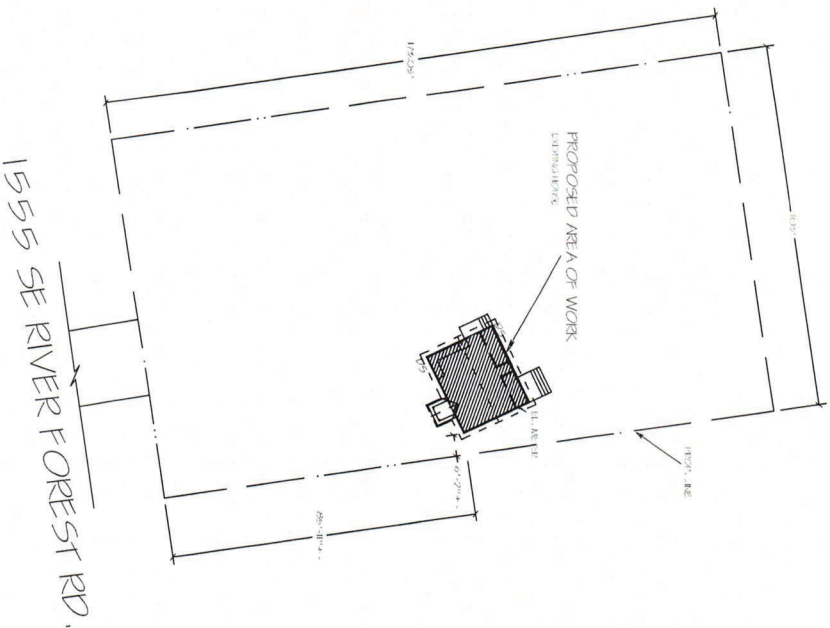
ENERGY PATH  
EXTERIOR WALLS - R21  
VAULTED CEILING - R20  
WINDOWS - U-0.30  
EX DOORS - U-0.20

MILWAUKIE  
PS - DOWNTOWN MILWAUKIE

1555 SE RIVER FOREST RD.



1  
MILWAUKIE



2  
SCALE 1/8\"=1'-0\"

REVISED:

(1) SITE PLAN



DESIGNED BY:  
TUSCAN DESIGN BUILD  
ELY GURFINKEL  
6229 SE TOLMAN ST.  
PORTLAND OR 97206  
(503) 200-4224

HOUSE	SQ. FT.
TOTAL:	503

TROY LONEY  
1555 SE RIVER FOREST RD,  
MILWAUKIE, OR 97267  
(503) 544-5450

DATE:

A1





REVISED:

- (1) EXISTING ROOF FRAMING PLAN
- (2) PROPOSED ROOF FRAMING PLAN
- (3) EXISTING FLOOR/FOUNDATION PLAN
- (4) PROPOSED FLOOR/FOUNDATION PLAN



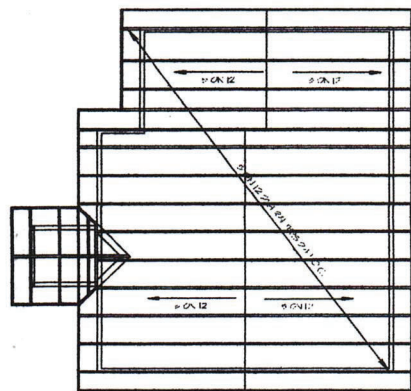
DESIGNED BY:  
TUSCAN DESIGN BUILD  
ELY GURFINKIEL  
6229 SE TOLMAN ST.  
PORTLAND OR 97206  
(503) 200-4224

HOUSE	SQ. FT.
505	
TOTAL:	505

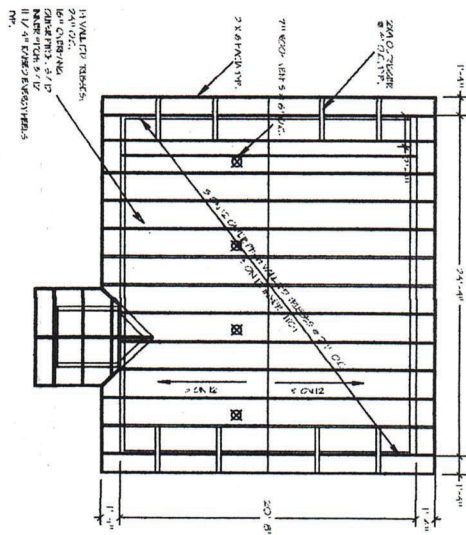
TROY LONEY  
1555 SE RIVER FOREST RD.  
MILWAUKIE, OR 97267  
(503) 544-5450

DATE: 9/27/2021

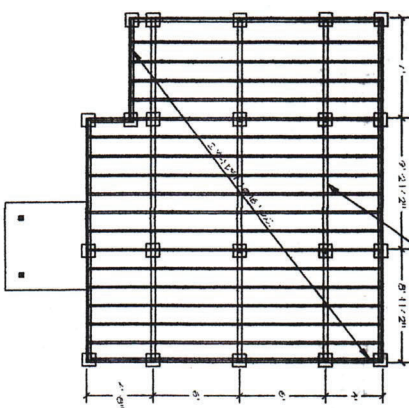
A3



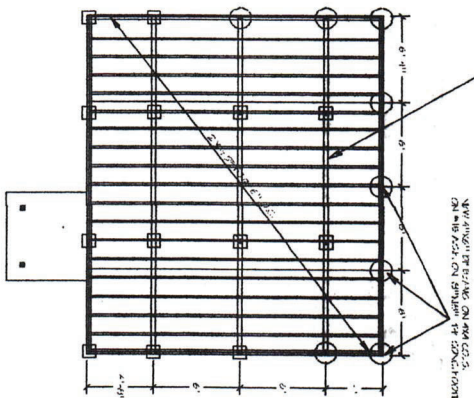
① EXISTING ROOF FRAMING PLAN  
SCALE: 1/4" = 1'-0"



② PROPOSED ROOF FRAMING PLAN  
SCALE: 1/4" = 1'-0"



③ EXISTING FLOOR FRAMING PLAN  
SCALE: 1/4" = 1'-0"



④ PROPOSED FLOOR FRAMING PLAN  
SCALE: 1/4" = 1'-0"

Diagram illustrating the reinforcement layout for a rectangular slab. The drawing shows a grid of reinforcement bars (top and bottom longitudinal bars, and vertical/diagonal cross-sections). Dimensions are indicated by arrows and labels:

- Overall width:  $10' - 0" (3.05m)$
- Overall depth:  $10' - 0" (3.05m)$
- Reinforcement spacing:  $12" (305mm)$
- Reinforcement details:  $4 \text{ } \phi 12$  (top),  $4 \text{ } \phi 12$  (bottom),  $4 \text{ } \phi 12$  (vertical),  $4 \text{ } \phi 12$  (diagonal)
- Reinforcement layout:  $4 \text{ } \phi 12$  (top),  $4 \text{ } \phi 12$  (bottom),  $4 \text{ } \phi 12$  (vertical),  $4 \text{ } \phi 12$  (diagonal)
- Reinforcement layout:  $4 \text{ } \phi 12$  (top),  $4 \text{ } \phi 12$  (bottom),  $4 \text{ } \phi 12$  (vertical),  $4 \text{ } \phi 12$  (diagonal)

(E)  $\text{XCTCN 4/A}^{\circ}$   
 $\text{Z(A,B)} / 4^{\circ} - \text{I}^{\circ} - \text{C}^{\circ}$

REVISED:	<p>DESIGNED BY: TUSCAN DESIGN BUILD ELI GURFINKIEL 6229 SE TOLMAN ST. PORTLAND OR 97206 (503) 200-4224</p>	<p>HOUSE</p> <p>TOTAL:</p> <p>SQ. FT.</p> <p>SQ. FT.</p> <p>SQ. FT.</p>	<p>TROY LONEY 1555 SE RIVER FOREST RD. MILWAUKIE, OR 97267 (503) 544-5450</p>	<p>DATE: 9/27/2021</p>	<p>A3</p>
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REVISER:

- (1) EXISTING ROOF  
FRAMING PLAN
- (2) PROPOSED ROOF  
FRAMING PLAN
- (3) EXISTING FLOOR/  
FOUNDATION PLAN
- (4) PROPOSED FLOOR/  
FOUNDATION PLAN



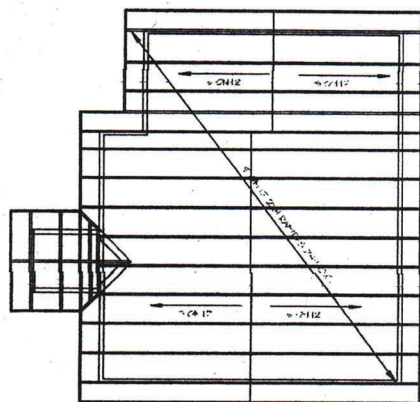
DESIGNED BY:  
TUSCAN DESIGN BUILD  
ELY GURFINKIEL  
6229 SE TOLMAN ST.  
PORTLAND OR 97206  
(503) 200-4224

	SQ. FT.
HOUSE	503
TOTAL:	503

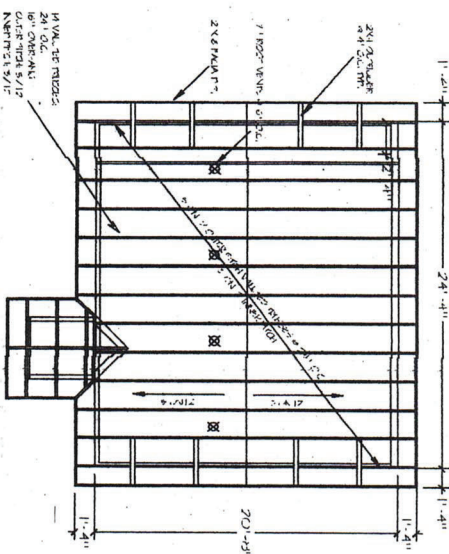
TROY LONEY  
1555 SE RIVER FOREST RD.  
MILWAUKIE, OR 97267  
(503) 544-5450

DATE: 9/27/2021

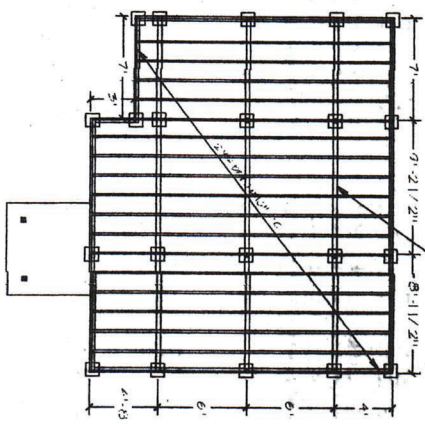
A  
C



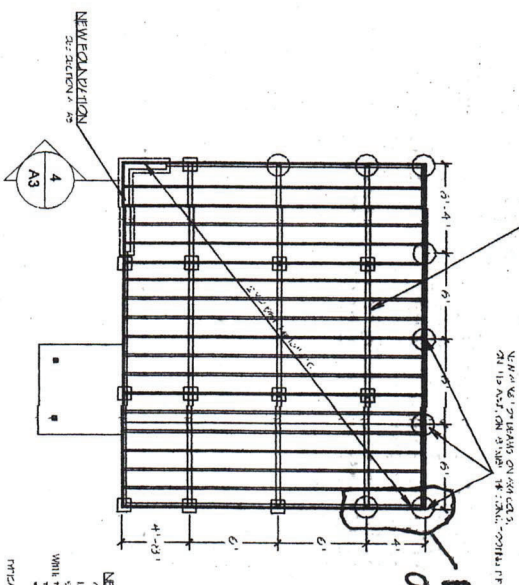
① EXISTING ROOF FRAMING PLAN  
SCALE: 1/4" = 1'-0"



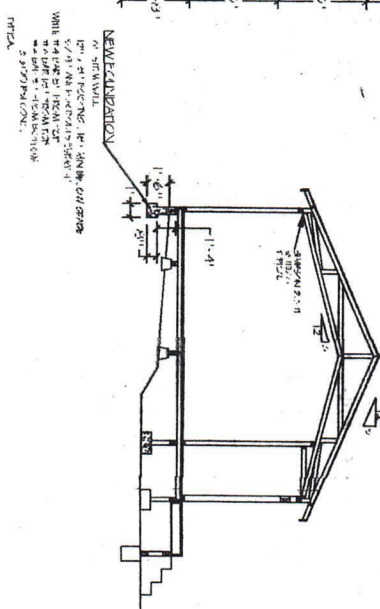
②  $\frac{1}{2} \times 10^6 \times 10^{-6} = 0.5 \times 10^{-6}$



③ 2817 NG PCOTTAG & PL. 2.30 PM MONDAY IN  
SCHEIDT/21 - 11.01



④ PROTECT POLYMERIZATION & FOR PREPARATION  
GMAE: 1/4 = 1.2"



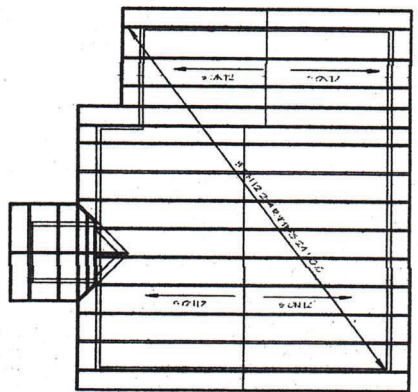
SECTION 4/AA  
S&A = 14' - 11.03'

CLACKAMAS COUNTY  
BUILDING CODES DIVISION  
APPROVED AS NOTED  
PERMIT NO. BOC58621  
DATE April 12, 2023  
BY *[Signature]*

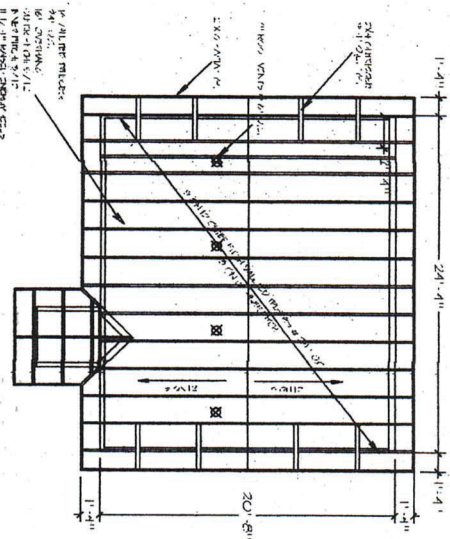
P. CRAIG  
08.21.2023

211660

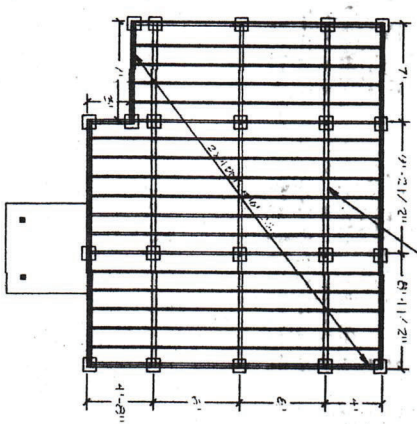
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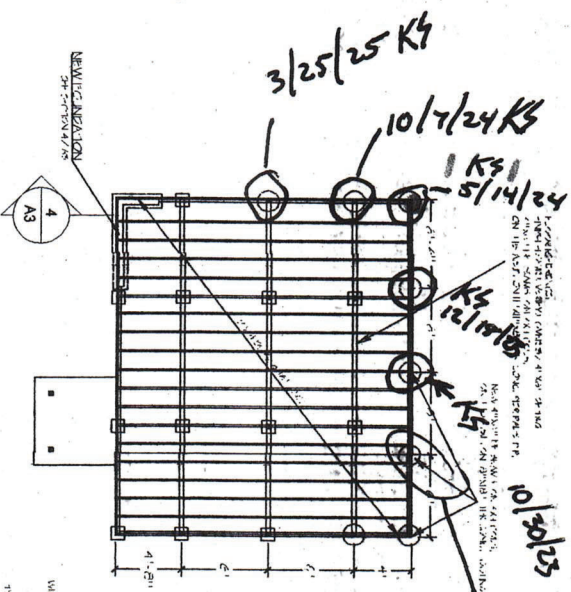
1 EXISTING ROOF FRAMING PLAN  
SCALE 1/8" = 1'-0"



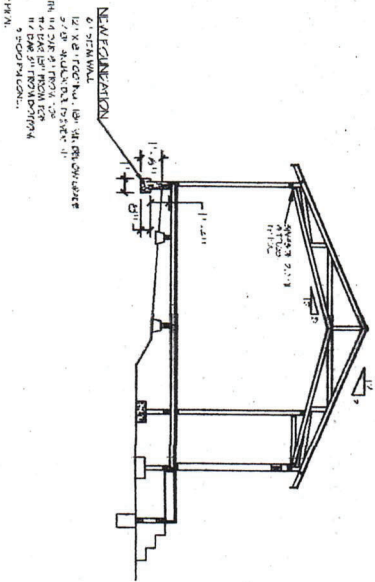
2 PROPOSED ROOF FRAMING PLAN  
SCALE 1/8" = 1'-0"



3 EXISTING FOOTING & FLOOR FRAMING PLAN  
SCALE 1/16" = 1'-0"



4 PROPOSED FOOTING & FLOOR FRAMING PLAN  
SCALE 1/16" = 1'-0"



5 SECTION 4/4  
SCALE 1/4" = 1'-0"

CLACKAMAS COUNTY  
BUILDING CODES DIVISION  
APPROVED AS NOTED  
PERMIT NO. B030821  
DATE April 12, 2023  
BY [Signature]

DESIGNED BY:  
TUSCAN DESIGN BUILD  
ELY GURFINKEL  
6229 SE TOLMAN ST.  
PORTLAND OR 97206  
(503) 200-4224

HOUSE	SQ. FT.
TOTAL:	503

TROY LONEY  
1555 SE RIVER FOREST RD.  
MILWAUKIE, OR 97267  
(503) 544-5450

DATE: 9/27/2021

A3



REVISED:

- (1) NORTH ELEVATION
- (2) WEST ELEVATION
- (3) SOUTH ELEVATION
- (5) EAST ELEVATION



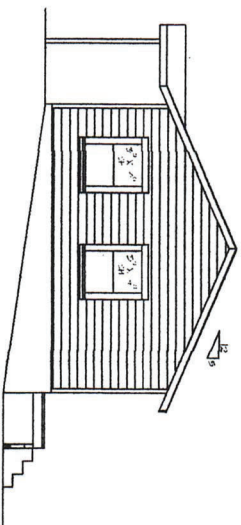
DESIGNED BY:  
TUSCAN DESIGN BUILD  
CLY GURPINKILL  
6229 SE TOLMAN ST.  
PORTLAND OR 97206  
(503) 200-4224

	SQ. FT.
HOUSE	505
TOTAL:	505

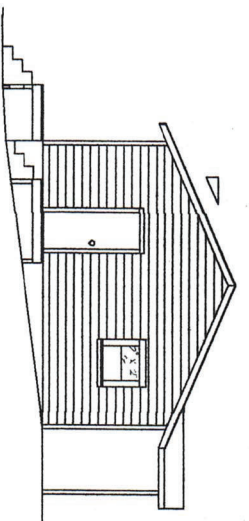
TROY LONEY  
1555 SE RIVER FOREST RD.  
MILWAUKEE, OR 97267  
(503) 544-5450

DATE: 9/27/2021

A4



2 WEST ELEVATION  
SCALE: 1/4" = 1'-0"

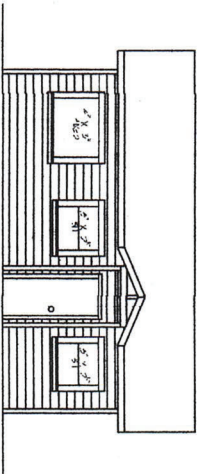


4 EAST ELEVATION  
SCALE: 1/4" = 1'-0"

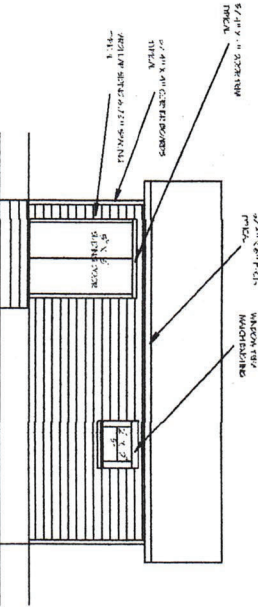
ROOF PITCH  
12/8

TOP PLATE  
8"

MAIN LEVEL - TOP  
OF SHEDDOR  
GRADE LEVEL - 0'-0"



1 NORTH ELEVATION  
SCALE: 1/4" = 1'-0"



3 SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"

REVISED:

## GENERAL NOTES

### SECTION 1.0 CONCRETE

- A. Materials
  1. Concrete shall have an  $F_c$  of 3000 psi in 28 days max. 45 w/c ratio except footings shall be max. 50 w/c ratio.
  2. Gravel - 3/4" max. for footings and 7/8" for all other work.
  3. Water - drinkable
  4. Reinforcing bars shall conform to ASTM A615, Grade 60. Clean and uncoated. Lap splices shall be staggered. Bars shall be bent to shape and set in place before pouring concrete. Set all re-steel on well-cured concrete blocks or approved formwork.
  5. Welded wire fabric shall conform to ASTM A-185.
- B. All work shall conform to American Concrete Institute standards and specifications.
- C. All poured concrete shall be to be poured over rock and 90% compacted base and match surrounding finish.

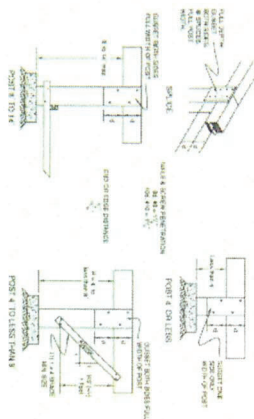
### SECTION 2.0 ROUGH CARPENTRY

- A. All wood to be d.f./ born u.o.n.
  1. Studs - studs, plates and blocking to be #2 grade k.d. or better.
  2. Beams - Wood members 4" or less shall be #2 grade k.d. or better. Wood members greater than 4" shall be #1 grade. All exterior exposed blocking and beams to be #2 grade select with minimum b.p.s. All interior blocking and beams to be #2 grade select with minimum b.p.s.
  3. Provide metal connections as shown on plans with fasteners as specified by manufacturer.
  4. Wood on concrete or within 6" of grade shall be pressure treated.
  5. Unless otherwise noted on drawings, all new exterior stud walls shall be 2 x 6 at 16" o.c.
  6. Blocking
    - a. Provide all blocking as required for dry wall.
    - b. Provide 2x6 blocking @ 24" o.c. behind exterior wall cabinets.
    - c. Unless u.o.n., all connections between structural members shall be with at least (2) 16d nails and to be connected to all pole with 2-1550's.
    - d. All joists to have full blocking below floor sheathing to top of double poles of (4) wall below and to be connected to all pole with 2-1550's.
  7. Plywood
    - a. All plywood shall be APA grade stamped exterior. No OSB on project.
    - b. Provide 5/8" exterior sheathing under (n) floor joists w/ #8 @ 2' o.c. all new plywood onto floor joists.
    - c. U.o.n. (n) exterior wall sheathing to be 1/2" plywood w/ #8 @ 4' o.c. edge nailing. 12" o.c. all new plywood under (n) Living Room carpet.
    - d. Provide 1/4" cdx plywood under (n) Living Room carpet.
    - e. (n) plywood floor sheathing to be 3/4" cdx plywood.
    - f. (n) plywood floor sheathing to be 3/4" cdx plywood.
    - g. Do not block joists lower than 1/2" path. All joists lower than 2" o.c. shall be blocked at bottom. Install solid blocking (2" thick by depth of joist) at ends of joists unless noted to be blocked at ends for 300 and larger joists and top both.

### SECTION 3.0 ROOFING, SHEET METAL, INSULATION, CEILINGING

- A. Demolish & dispose (n) roof shingles as required to achieve specified configuration.
- B. Asphalt shingles - New roof to match existing. Provide Contractor with a sample of existing roof for color match.
- C. All sheet metal to be fabricated and installed as per architectural sheet metal manual or Sheet Metal and Air Conditioning Contractors National Association, Inc. latest edition. All sheet metal to be galvanized steel with minimum .016" thickness. Spot all exposed nailings with caulk or roofing cement. Provide steel nails for all nailings. All sheet metal to be minimum 26 ga. minimum 28 ga. primed, factory painted.
- D. All sheet metal to be minimum 26 ga. minimum 28 ga. primed, factory painted.
- E. All joints between exterior walls & roof to have 4" x 4" g.l. flashing below siding and on roof.
- F. Insulation
  1. Provide baffles @ eaves for ventilation.
  2. At eaves, use 300 m.p.s. Fiberglas minimum continuous exposure.
  3. Provide blocking to where eaves rise to joist surface to which to adhere.

FIGURE 4 TO 10: GENERAL NOTES



(1) GENERAL NOTES



DESIGNED BY:  
TUSCAN DESIGN BUILD  
ELY GURFINKIEL  
6229 SE TOLMAN ST.  
PORTLAND OR 97206  
(503) 200-4224

HOUSE	SQ. FT.
503	
TOTAL:	503

TROY LONEY  
1555 SE RIVER FOREST RD.  
MILWAUKIE, OR 97267  
(503) 544-5450

DATE: 9/21/2021

A5



**MiTek USA, Inc.**

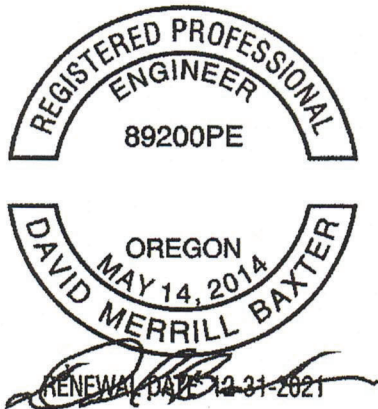
250 Klug Circle  
Corona, CA 92880  
951-245-9525

Re: 21-MM3098  
20'-8" x 24'-4"

The truss drawing(s) referenced below have been prepared by MiTek USA, Inc. under my direct supervision based on the parameters provided by Precision Roof Trusses, Inc.

Pages or sheets covered by this seal: K10360000 thru K10360001

My license renewal date for the state of Oregon is December 31, 2021.



September 24, 2021

Baxter, David

**IMPORTANT NOTE:** The seal on these truss component designs is a certification that the engineer named is licensed in the jurisdiction(s) identified and that the designs comply with ANSI/TPI 1. These designs are based upon parameters shown (e.g., loads, supports, dimensions, shapes and design codes), which were given to MiTek or TRENCO. Any project specific information included is for MiTek's or TRENCO's customers file reference purpose only, and was not taken into account in the preparation of these designs. MiTek or TRENCO has not independently verified the applicability of the design parameters or the designs for any particular building. Before use, the building designer should verify applicability of design parameters and properly incorporate these designs into the overall building design per ANSI/TPI 1, Chapter 2.

**EXHIBIT # 19**  
pg 1 of 5



Job	Truss	Truss Type	Qty	Ply	20'-8" x 24'-4"	K10360000
21-MM3098	A01	GABLE	2	1		

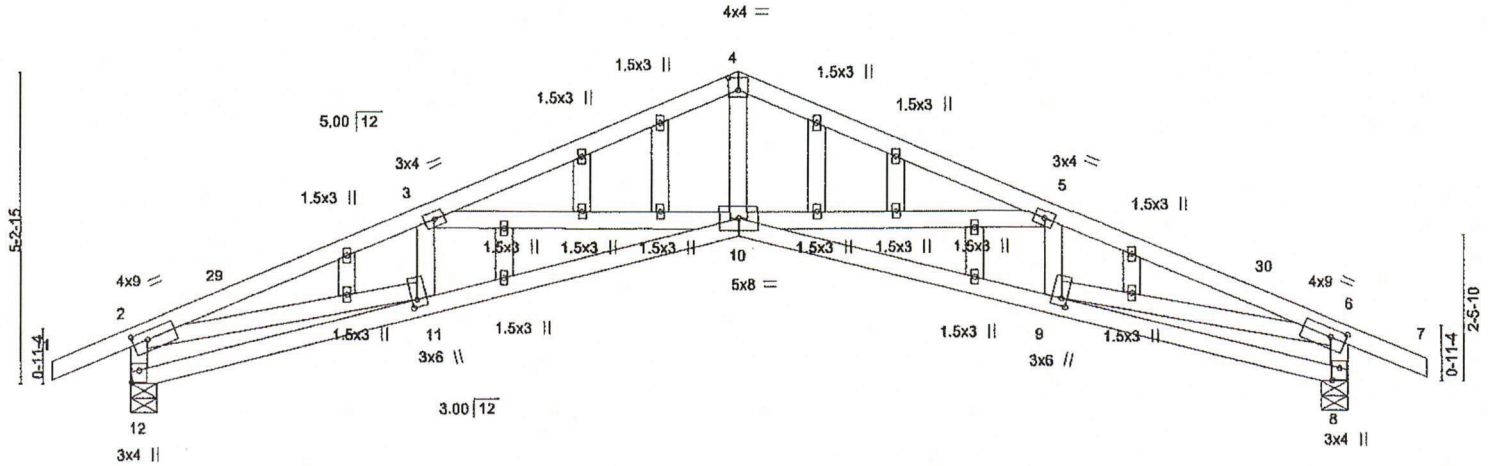
Precision Truss & Lumber, Inc., CLACKAMAS, OR - 97015,

8.520 s Aug 27 2021 MiTek Industries, Inc. Fri Sep 24 16:06:12 2021 Page 1

ID:P9yXC\_4ITSD0IYIpdw8GEyaN6W-vkEIX3GyzHKheKcqw6w4oxQgGMuidm8qRUcsgryaNdv



Scale = 1:38.0



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**LUMBER-**  
TOP CHORD 2x4 DF No.2  
BOT CHORD 2x4 DF No.2  
WEBS 2x4 HF Std  
OTHERS 2x4 HF Std

**BRACING-**  
TOP CHORD Structural wood sheathing directly applied or 3-11-5 oc purlins, except end verticals.  
BOT CHORD Rigid ceiling directly applied or 8-1-3 oc bracing.

**REACTIONS.** (size) 12=0-5-8, 8=0-5-8  
Max Horz 12=-65(LC 13)  
Max Uplift 12=-229(LC 12), 8=-229(LC 13)  
Max Grav 12=950(LC 1), 8=950(LC 1)

**FORCES.** (lb) - Max. Comp./Max. Ten. - All forces 250 (lb) or less except when shown.  
TOP CHORD 2-3=-2228/734, 3-4=-2047/637, 4-5=-2047/638, 5-6=-2228/730, 2-12=-948/471, 6-8=-948/474  
BOT CHORD 11-12=-132/309, 10-11=-599/2071, 9-10=-595/2071, 8-9=-77/309  
WEBS 4-10=-249/1149, 5-10=-343/241, 3-10=-343/222, 2-11=-497/1703, 6-9=-506/1703

**NOTES-**

- Unbalanced roof live loads have been considered for this design.
- Wind: ASCE 7-16; Vult=120mph (3-second gust) Vasd=95mph; TCDL=4.2psf; BCDL=6.0psf; h=25ft; Cat. II; Exp C; Enclosed; MWFRS (envelope) gable end zone and C-C Corner(3E) 1-4-0 to 1-8-0, Exterior(2N) 1-8-0 to 10-4-0, Corner(3R) 10-4-0 to 13-4-0, Exterior(2N) 13-4-0 to 22-0-0 zone; cantilever left and right exposed; end vertical left and right exposed; C-C for members and forces & MWFRS for reactions shown; Lumber DOL=1.60 plate grip DOL=1.60
- Truss designed for wind loads in the plane of the truss only. For studs exposed to wind (normal to the face), see Standard Industry Gable End Details as applicable, or consult qualified building designer as per ANSI/TPI 1.
- Gable studs spaced at 1-4-0 oc.
- This truss has been designed for a 10.0 psf bottom chord live load nonconcurrent with any other live loads.
- \* This truss has been designed for a live load of 20.0psf on the bottom chord in all areas where a rectangle 3-6-0 tall by 2-0-0 wide will fit between the bottom chord and any other members.
- Bearing at joint(s) 12, 8 considers parallel to grain value using ANSI/TPI 1 angle to grain formula. Building designer should verify capacity of bearing surface.
- Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 100 lb uplift at joint(s) except (jt=lb) 12=-229, 8=229.
- This truss is designed in accordance with the 2018 International Residential Code sections R502.11.1 and R802.10.2 and referenced standard ANSI/TPI 1.



RENEWAL DATE: 12-31-2021  
September 24, 2021

**WARNING -** Verify design parameters and READ NOTES ON THIS AND INCLUDED MITEK REFERENCE PAGE MII-7473 rev. 5/19/2020 BEFORE USE.

Design valid for use only with MiTek® connectors. This design is based only upon parameters shown, and is for an individual building component, not a truss system. Before use, the building designer must verify the applicability of design parameters and properly incorporate this design into the overall building design. Bracing indicated is to prevent buckling of individual truss web and/or chord members only. Additional temporary and permanent bracing is always required for stability and to prevent collapse with possible personal injury and property damage. For general guidance regarding the fabrication, storage, delivery, erection and bracing of trusses and truss systems, see ANSI/TPI1 Quality Criteria, DSB-89 and BCSI Building Component Safety Information available from Truss Plate Institute, 2670 Crain Highway, Suite 203 Waldorf, MD 20601

**MiTek**  
250 King Circle  
Corona, CA 92880

**EXHIBIT # 19**



Job	Truss	Truss Type	Qty	Ply	20'-8" x 24'-4"	K10360001
21-MM3098	A02	SCISSORS	12	1		

Precision Truss & Lumber, Inc., CLACKAMAS, OR - 97015,

8.520 s Aug 27 2021 MITek Industries, Inc. Fri Sep 24 16:06:13 2021 Page 1

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Scale = 1:38.0

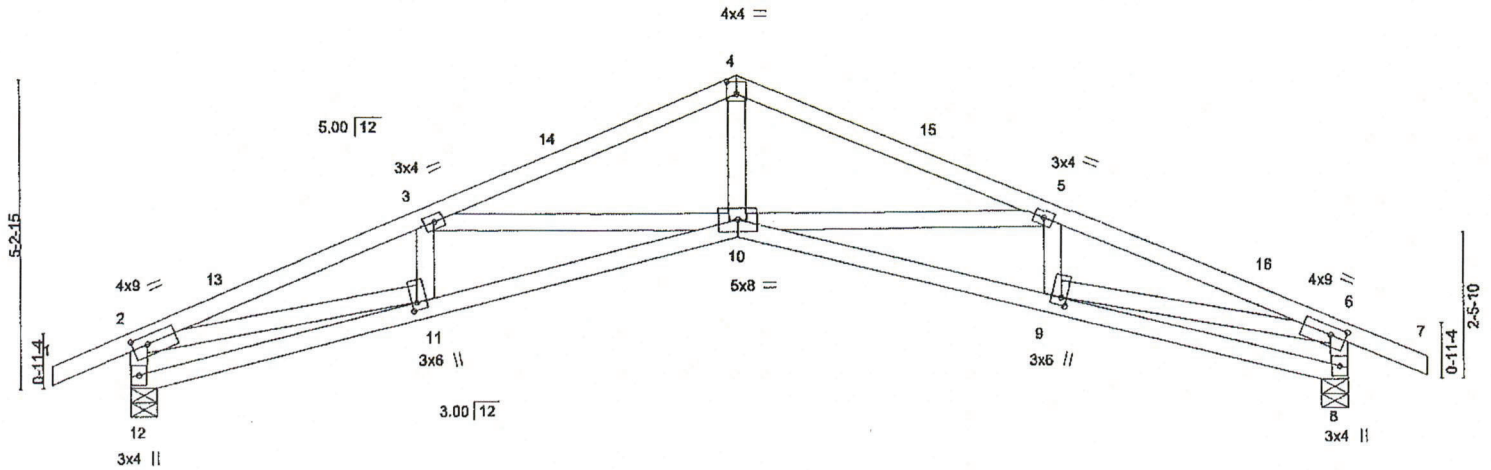


Plate Offsets (X,Y)--	[2:0-3-0,0-1-12], [4:0-2-0,0-2-8], [6:0-3-0,0-1-12], [9:0-1-8,0-1-0], [11:0-1-8,0-1-0]
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LOADING (psf)	SPACING-	CSI.	DEFL.	In (loc)	I/defl	L/d	PLATES	GRIP
TCLL 25.0	Plate Grip DOL 1.15	TC 0.52	Vert(LL)	-0.14	9-10	>999	MT20	185/148
TCDL 7.0	Lumber DOL 1.15	BC 0.49	Vert(CT)	-0.25	9-10	>988		
BCLL 0.0 *	Rep Stress Incr YES	WB 0.87	Horz(CT)	0.16	8	n/a		
BCDL 10.0	Code IRC2018/TPI2014	Matrix-R					Weight: 93 lb	FT = 0%

**LUMBER-**  
TOP CHORD 2x4 DF No.2  
BOT CHORD 2x4 DF No.2  
WEBS 2x4 HF Std

**BRACING-**  
TOP CHORD Structural wood sheathing directly applied or 3-11-5 oc purlins, except end verticals.  
BOT CHORD Rigid ceiling directly applied or 8-11-13 oc bracing.

**REACTIONS.** (size) 12=0-5-8, 8=0-5-8  
Max Horz 12=-65(LC 13)  
Max Uplift 12=-229(LC 12), 8=-229(LC 13)  
Max Grav 12=950(LC 1), 8=950(LC 1)

**FORCES.** (lb) - Max. Comp./Max. Ten. - All forces 250 (lb) or less except when shown.  
TOP CHORD 2-3=-2228/580, 3-4=-2047/510, 4-5=-2047/517, 5-6=-2228/556, 2-12=-948/353, 6-8=-948/360  
BOT CHORD 11-12=-132/309, 10-11=-488/2071, 9-10=-451/2071, 8-9=-64/309  
WEBS 4-10=-180/1149, 5-10=-343/241, 3-10=-343/222, 2-11=-389/1703, 6-9=-402/1703

#### NOTES-

- Unbalanced roof live loads have been considered for this design.
- Wind: ASCE 7-16; Vult=120mph (3-second gust) Vasd=95mph; TCCL=4.2psf; BCDL=6.0psf; h=25ft; Cat. II; Exp C; Enclosed; MWFRS (envelope) gable end zone and C-C Exterior(2E) -1-4-0 to 1-8-0, Interior(1) 1-8-0 to 10-4-0, Exterior(2R) 10-4-0 to 13-4-0, Interior(1) 13-4-0 to 22-0-0 zone; cantilever left and right exposed; end vertical left and right exposed; C-C for members and forces & MWFRS for reactions shown; Lumber DOL=1.60 plate grip DOL=1.60
- This truss has been designed for a 10.0 psf bottom chord live load nonconcurrent with any other live loads.
- \* This truss has been designed for a live load of 20.0psf on the bottom chord in all areas where a rectangle 3-6-0 tall by 2-0-0 wide will fit between the bottom chord and any other members.
- Bearing at joint(s) 12, 8 considers parallel to grain value using ANSI/TPI 1 angle to grain formula. Building designer should verify capacity of bearing surface.
- Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 100 lb uplift at joint(s) except (jt=lb) 12=229, 8=229.
- This truss is designed in accordance with the 2018 International Residential Code sections R502.11.1 and R802.10.2 and referenced standard ANSI/TPI 1.



RENEWAL DATE: 12-31-2021  
September 24, 2021

**WARNING -** Verify design parameters and READ NOTES ON THIS AND INCLUDED MITEK REFERENCE PAGE MII-7473 rev. 5/19/2020 BEFORE USE. Design valid for use only with MITek® connectors. This design is based only upon parameters shown, and is for an individual building component, not a truss system. Before use, the building designer must verify the applicability of design parameters and properly incorporate this design into the overall building design. Bracing indicated is to prevent buckling of individual truss web and/or chord members only. Additional temporary and permanent bracing is always required for stability and to prevent collapse with possible personal injury and property damage. For general guidance regarding the fabrication, storage, delivery, erection and bracing of trusses and truss systems, see ANSI/TPI1 Quality Criteria, DSB-89 and BCSI Building Component Safety Information available from Truss Plate Institute, 2670 Crain Highway, Suite 203 Waldorf, MD 20686

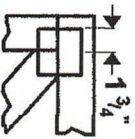
**MITek**  
250 Klug Circle  
Corona, CA 92880

**EXHIBIT #19**  
DA 2 of 5

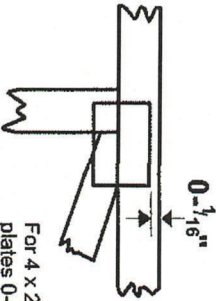


# Symbols

## PLATE LOCATION AND ORIENTATION



Center plate on joint unless x, y offsets are indicated. Dimensions are in ft-in-sixteenths. Apply plates to both sides of truss and fully embed teeth.



For 4 x 2 orientation, locate plates 0- 1/8" from outside edge of truss.



This symbol indicates the required direction of slots in connector plates.

\* Plate location details available in MITek 20/20 software or upon request.

## PLATE SIZE

4 X 4

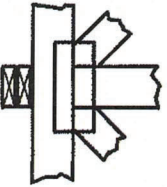
The first dimension is the plate width measured perpendicular to slots. Second dimension is the length parallel to slots.

## LATERAL BRACING LOCATION



Indicated by symbol shown and/or by text in the bracing section of the output. Use T or I bracing if indicated.

## BEARING



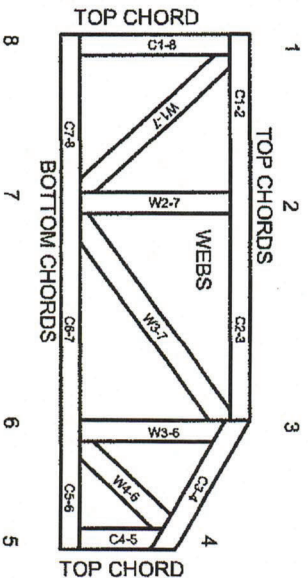
Indicates location where bearings (supports) occur. Icons vary but reaction section indicates joint number where bearings occur. Min size shown is for crushing only.

## Industry Standards:

ANSI/TPI1: National Design Specification for Metal Plate Connected Wood Truss Construction.  
DSB-89: Design Standard for Bracing.  
BCSI: Building Component Safety Information, Guide to Good Practice for Handling, Installing & Bracing of Metal Plate Connected Wood Trusses.

# Numbering System

6-4-8 dimensions shown in ft-in-sixteenths (Drawings not to scale)



JOINTS ARE GENERALLY NUMBERED/LETTERED CLOCKWISE AROUND THE TRUSS STARTING AT THE JOINT FARTHEST TO THE LEFT.

CHORDS AND WEBS ARE IDENTIFIED BY END JOINT NUMBERS/LETTERS.

## PRODUCT CODE APPROVALS

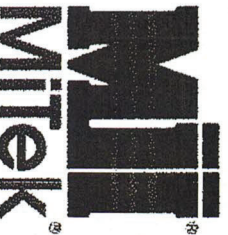
ICC-ES Reports:

ESR-1311, ESR-1352, ESR1988  
ER-3907, ESR-2362, ESR-1397, ESR-3282

Trusses are designed for wind loads in the plane of the truss unless otherwise shown.

Lumber design values are in accordance with ANSI/TPI 1 section 6.3 These truss designs rely on lumber values established by others.

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MITek Engineering Reference Sheet, MIL-7473 rev. 5/19/2020

# General Safety Notes

## Failure to Follow Could Cause Property Damage or Personal Injury

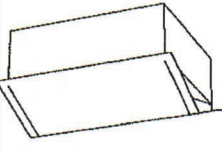
1. Additional stability bracing for truss system, e.g. diagonal or X-bracing, is always required. See BCSI.
2. Truss bracing must be designed by an engineer. For wide truss spacing, individual lateral braces themselves may require bracing, or alternative Tor I bracing should be considered.
3. Never exceed the design loading shown and never stack materials on inadequately braced trusses.
4. Provide copies of this truss design to the building designer, erection supervisor, property owner and all other interested parties.
5. Cut members to bear tightly against each other.
6. Place plates on each face of truss at each joint and embed fully. Knots and warps at joint locations are regulated by ANSI/TPI 1.
7. Design assumes trusses will be suitably protected from the environment in accord with ANSI/TPI 1.
8. Unless otherwise noted, moisture content of lumber shall not exceed 19% at time of fabrication.
9. Unless expressly noted, this design is not applicable for use with fire retardant, preservative treated, or green lumber.
10. Camber is a non-structural consideration and is the responsibility of truss fabricator. General practice is to camber for dead load deflection.
11. Plate type, size, orientation and location dimensions indicated are minimum plating requirements.
12. Lumber used shall be of the species and size, and in all respects, equal to or better than that specified.
13. Top chords must be sheathed or purlins provided at spacing indicated on design.
14. Bottom chords require lateral bracing at 10 ft. spacing, or less, if no ceiling is installed, unless otherwise noted.
15. Connections not shown are the responsibility of others.
16. Do not cut or alter truss member or plate without prior approval of an engineer.
17. Install and load vertically unless indicated otherwise.
18. Use of green or treated lumber may pose unacceptable environmental, health or performance risks. Consult with project engineer before use.
19. Review all portions of this design (front, back, words and pictures) before use. Reviewing pictures alone is not sufficient.
20. Design assumes manufacture in accordance with ANSI/TPI 1 Quality Criteria.
21. The design does not take into account any dynamic or other loads other than those expressly stated.

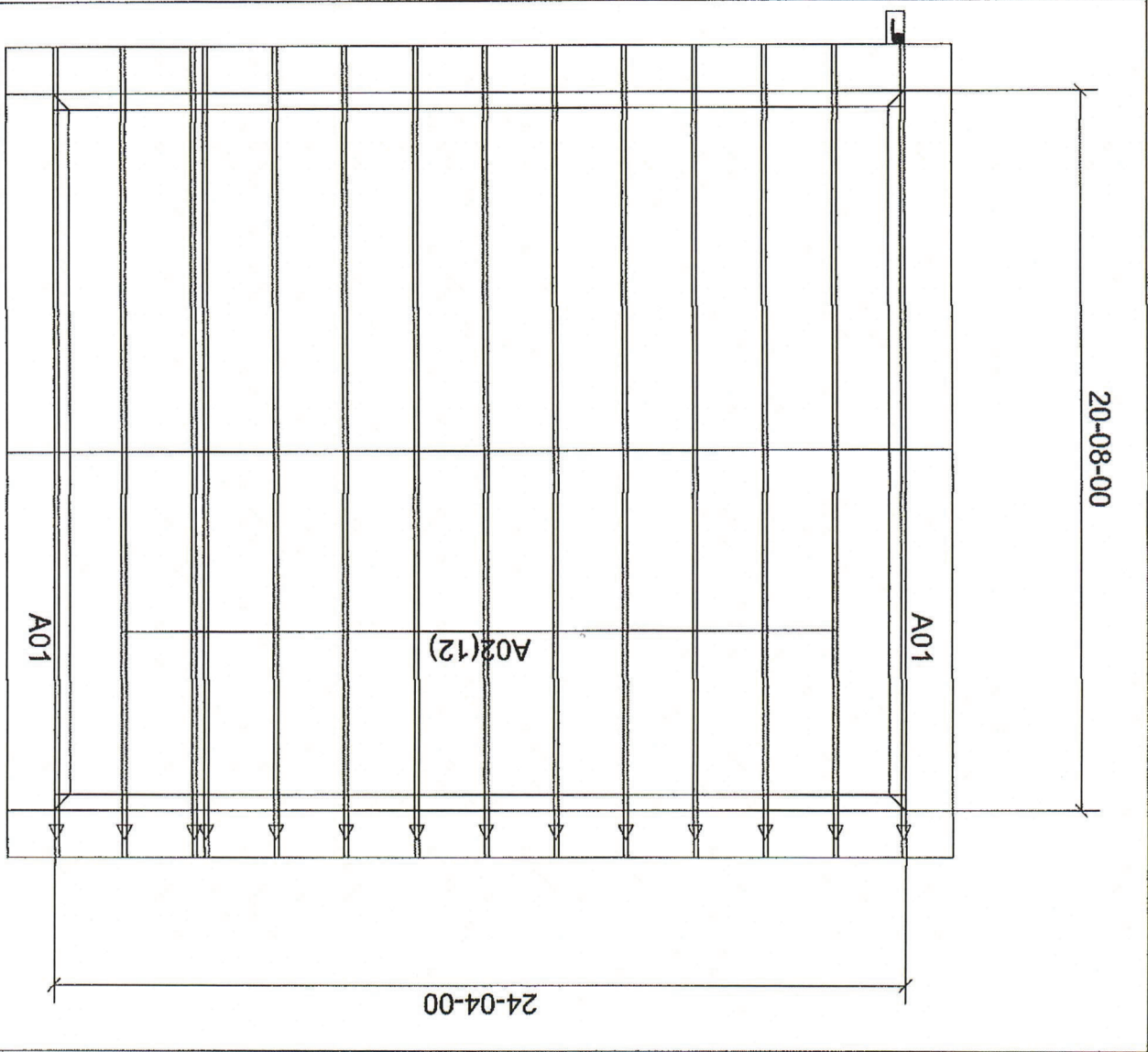
EXHIBIT # 19  
pg 4 of 5



PRECISION TRUSS & LUMBER  
11550 SE Jenner St  
Clackamas, OR 97015  
(503) 656-2983  
(503) 656-2647

Client: Tony Loney		Project #
Plan : 20'-8" x 24'-4"		21-MM/3098
Sales : Mike Merriman		Lot :
Site :		
Pitch: 5 / 12	Date: 9/24/2021	
Overhang: 16"		







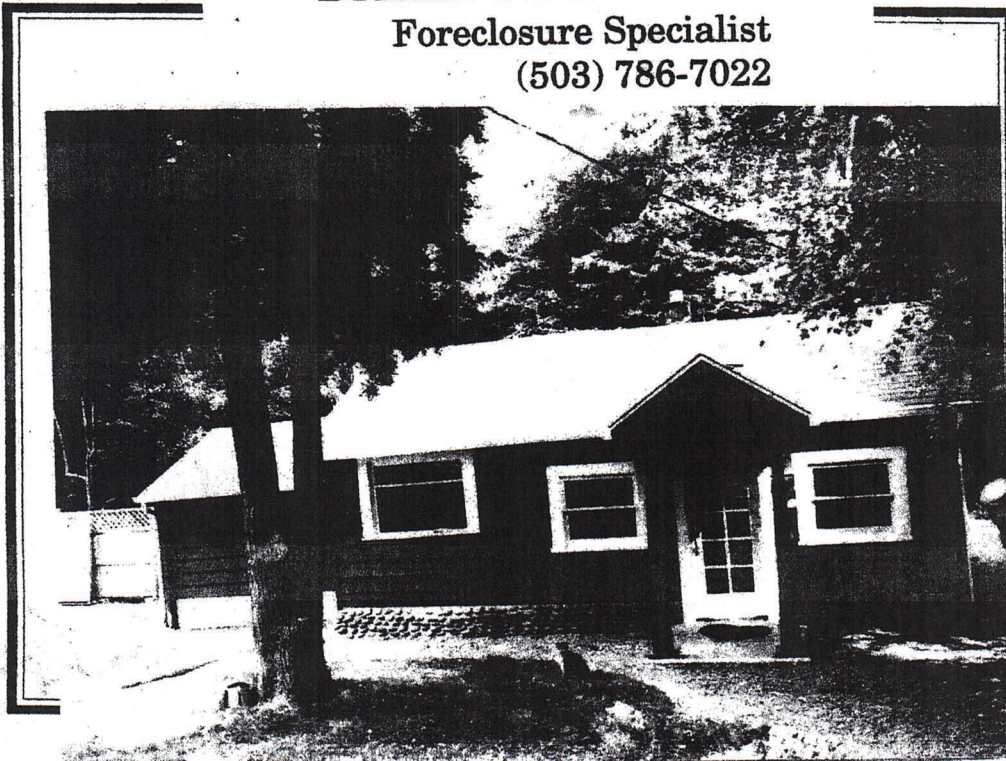
**RIVE**

**DARIN NIEMEYER**

**Foreclosure Specialist**

**(503) 786-7022**

**TER**



*\*Private Parklike setting*

*\*.41 Acre*

*\*Year Around Creek*

*\*Great View from every window*

*\*Two Bedrooms*

*\*Nicely Remodeled home*

*\*Loaded with Charm*

*\*Great Kitchen!*

*\*Hardwood floors*

*\*New Carpet*

*\*New light fixtures*

*\*New Roof*

*\*New Gutters*

*\*French Door*

*\*Vaulted Ceilings*

*\*Rounded Sheetrock corners*

*\*Decorative Stonewall in Living Room*

*\*Pedastal Sink*

*\*Built-in Bookshelves*

*\*Convenient Location*

*\*Thomas Map guide 656/H7*

*\*RMLS #299628*

**\$117,200**

**1555 SE Riverforest Road  
Milwaukie, OR 97267**

**Terry Reede**  
**653-0607 ext. 205**  
**229-9984 Pager**



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**EXHIBIT #20**