



DESIGN REVIEW COMMITTEE AGENDA

July 25, 2023

8:30 a.m.

Via Zoom Videoconference: <https://clackamascounty.zoom.us/j/86467009747>

Contact: Darcy Renhard
Email: drenhard@clackamas.us

Also published on the internet at:
<https://www.clackamas.us/planning/designreview.html>

Phone: 503-742-4545

1. CALL TO ORDER

2. PUBLIC COMMENT

This is an opportunity for attendees to provide comment to an item that is not on the agenda.

3. PROJECT PRESENTATION

a) Z0083-23-D: Application for a Design Review permit to construct a new 15,360 square foot public library and to renovate an existing building (formerly Concord School) into a community center. ‡	Melissa Lord MLord@clackamas.us 503-742-4504
--	--

4. OTHER BUSINESS

5. UPCOMING REVIEWS

6. ADJOURN

‡ Attachments

Rita Baker, Chair * Todd Iselin * Cedomir Jesic * Matthew Jones
Tracy Orvis * Darrel Mulch

Clackamas County is committed to providing meaningful access and will make reasonable accommodations, modifications, or provide translation, interpretation or other services upon request. Please contact us at least three (3) business days before the meeting at 503-742-4545 or email DRenhard@clackamas.us.

503-742-4545: ¿Traducción e interpretación? | Требуется ли вам устный или письменный перевод? | 翻译或口译? | Cần Biên dịch hoặc Phiên dịch? | 번역 또는 통역?

Exhibit List: Z0083-23-D

1. Z0083-23-D Staff report and recommendations to DRC
2. Submitted Application**
3. Z0020-23 Conditional Use permit decision
4. Clackamas County Service District No. 5, Street Light comments

**Please note, the submitted application is very large, and cannot be transmitted via email. Please follow the attached instructions to retrieve the application materials online.



RECOMMENDATION TO THE DESIGN REVIEW COMMITTEE

Recommendation: Denial

Permit Type: Design Review

File No. Z0083-23-D

Proposal: Application for a Design Review permit to construct a new 15,360 square foot public library and to renovate an existing building (formerly the Concord School) into a community center. The community center will include indoor recreation space, community space, and the North Clackamas Parks and Recreation District offices. The remainder of the property will be developed with additional vehicle parking, a park with outdoor play equipment and green space.

The applicants received a conditional approval of a Conditional Use permit, which was reviewed under land use file no. Z0020-23. This Design Review is a separate land use application for the same project.

Staff Report Date: July 18, 2023

Issued By: Melissa Lord, Planner II, MLord@Clackamas.us

Assessor's Map & Tax Lot(s): T2S R1E Section 12AD Tax Lot 02900

Site Address: 3811 SE Concord Rd., Milwaukie, OR 97267

Applicant: Jason Varga

Owner of Property: North Clackamas Parks and Recreation District

Zoning: Urban Low Density Residential - R7, Urban Low Density Residential - R8.5, and Open Space Management (OSM)

Community Planning Organization (CPO) for Area:
Oak Grove, Joseph Edge, contact@oakgrovecpo.org

Community Planning Organizations (CPOs) are part of the county's community involvement program. They are advisory to the Board of County Commissioners, Planning Commission and Planning and Zoning Division on land use matters affecting their communities. CPOs are notified of proposed land use actions and decisions on land within their boundaries and may review these applications, provide recommendations or file appeals. If this CPO currently is inactive and you are interested in becoming involved in land use planning in your area, please contact Clackamas County Community Engagement at 503-655-8751.

OPPORTUNITY TO REVIEW THE RECORD: The submitted application is available for review online at <https://accela.clackamas.us/citizenaccess/>. Select the Planning tab and enter the file number to search. Select Record Info and then select Attachments from the dropdown list, where you will find the submitted application. The complete application file is available for inspection at no cost by contacting the Planner listed on the first page of this decision. Copies of all documents may be purchased at the rate of \$2.00 per page for 8 1/2" x 11" or 11" x 14" documents, \$2.50 per page for 11" x 17" documents, \$3.50 per page for 18" x 24" documents and \$0.75 per sq ft with a \$5.00 minimum for large format documents.

APPLICABLE APPROVAL CRITERIA: This application is subject to Clackamas County Zoning and Development Ordinance (ZDO) Sections 202, 315, 702, 1000 series, 1102 and 1307.

PUBLIC AND AGENCY COMMENTS: Notice was sent to applicable agencies and owners of property within 300 feet. Comments received relating to the applicable approval criteria listed above are addressed in the Findings Section. By the time of this report, comments were received from the Clackamas County Service District #5, Street Lights. Their comments are included within this staff report.

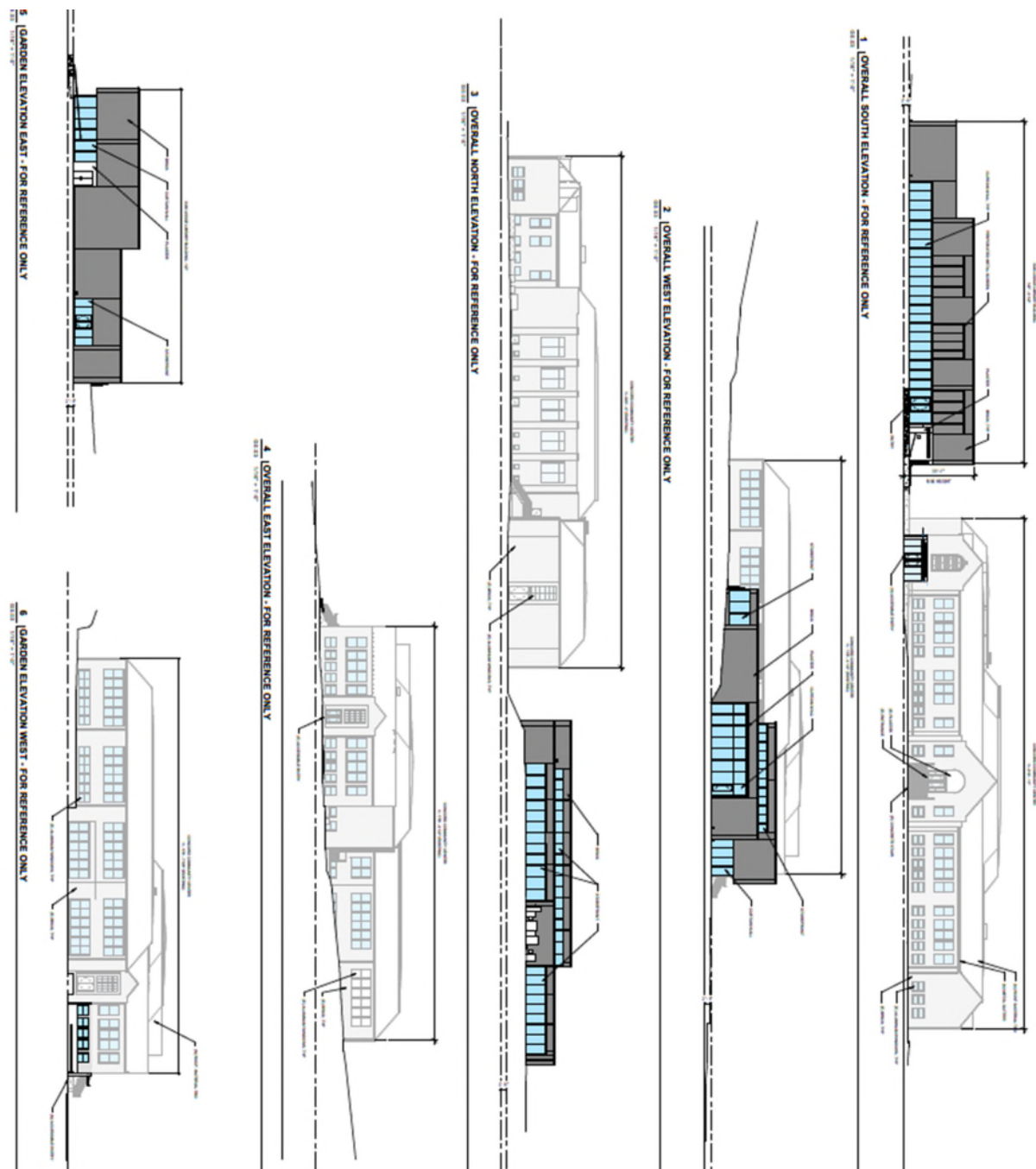
Clackamas County is committed to providing meaningful access and will make reasonable accommodations, modifications, or provide translation, interpretation or other services upon request. Please contact us at 503-742-4545 or email DRenhard@clackamas.us.

503-742-4545: ¿Traducción e interpretación? |Требуется ли вам устный или письменный перевод?翻译或口译? |
Cần Biên dịch hoặc Phiên dịch? | 번역 또는 통역?

Location Map



Elevations



RECOMMENDED CONDITIONS OF APPROVAL

The conditions listed are necessary to ensure that approval criteria for this land use permit are satisfied. Where a condition relates to a specific approval criterion, the code citation for that criterion follows in parentheses.

1. Approval of this land use permit is based on the submitted written narrative and plan(s) filed with the County on March 6, 2023 and additional materials submitted on May 23, 2023. No work shall occur under this permit other than which is specified within these documents, unless otherwise required or specified in the conditions below. It shall be the responsibility of the property owner(s) to comply with this document(s) and the limitation of any approval resulting from the decision described herein.
2. Approval of design review is valid for four years from the date of the final decision. If the County's final decision is appealed, the approval period shall commence on the date of the final appellate decision. During this four-year period, the approval shall be implemented, or the approval will become void.

Implemented means all major development permits shall be obtained and maintained for the approved development, or if no major development permits are required to complete the development contemplated by the design review approval, implemented means all other necessary County development permits (e.g., grading permit, building permit for an accessory structure) shall be obtained and maintained. A major development permit is:

- a. A building permit for a new primary structure that was part of the design review approval; or
- b. A permit issued by the County for parking lot or road improvements required by the design review approval.

If the design review approval is not implemented within the initial approval period established by Subsection 1102.05(A), a two-year time extension may be approved pursuant to Section 1310, Time Extension.

3. Conditions shall be fulfilled within the time limitations set forth in the approval thereof, or, if no time is set forth, within a reasonable time. Failure to fulfill any conditions within the time limitations provided shall be grounds for the Planning Director to initiate revocation of the approved land use permit pursuant to Subsection 1307.17(L). [Subsection 1307.15]
4. The development shall copy with the approval and conditions set forth in land use application Z0020-23.
5. Illuminated Signs: Internally illuminated signs, or external lights used to illuminate signs, shall be placed, shielded, or deflected so they do not shine into dwellings or impair the vision of the driver of any vehicle. The light intensity of an illuminated sign shall conform to or be less than the accepted standards of the sign industry, as provided by the Oregon Electric Sign Association. Except for an electronic message center sign approved pursuant to Subsection 1010.14, no

sign or illuminating devices shall have blinking, flashing, or fluttering lights.
[1010.02(I)]

6. Prior to issuance of a building permit the applicant/property owner shall provide the Planning Division with the following:
 - a. Updated trash enclosure drawing to ensure compliance with the signage standards of Subsection 1021.07. The applicant shall coordinate with Clackamas County Sustainability & Solid Waste staff to finalize plans that comply with design standards and to ensure compliance with the standards of ZDO 1021.
 - b. Updated landscaping plan that shows the minimum tree caliper for deciduous trees will be 2-inches at the time of planting. [Subsection 1009.10(H)]
 - c. Updated site plan with at least one walkway through the main parking lot on Concord Rd., subject to meeting the standards of subsection 1005.02(D)(5). This walkway shall provide a safe pedestrian connection between the parking stalls at the back of the main parking lot to the interconnected onsite walkway system proposed with the rest of the development site.
7. Prior to issuance of a Development Permit:
 - a. The property owner shall submit a request in writing for the formation of an assessment area, which will include any new tax lots created by this partition, to help pay for the operation and maintenance of lighting. Contact Wendy Coryell with Clackamas County's Department of Transportation and Development for more information at 503-742-4657.
8. Prior to Certificate of Occupancy:
 - a. Street lighting shall be installed pursuant to the requirements of Clackamas County Service District No. 5 and the electric company serving the development.
 - b. Ground cover shall be planted a maximum of 30 inches on center with a maximum of 30 inches between rows. Rows of plants shall be staggered. Ground cover shall be supplied in minimum four-inch containers, except that the minimum shall be reduced to two and one-quarter inches or equivalent if the ground cover is planted a minimum of 18 inches on center. Plants shall be spaced so that ground coverage 3 years after planting is expected to be 90%. [Section 1009.10(K and L)]
 - c. Landscaping shall be planted/installed according to the landscaping plan (as required by condition of approval 6(b)).
 - d. Landscaping materials shall be guaranteed for a period of one year from the date of installation. The developer shall either submit a signed maintenance contract for the one-year period or provide a performance surety pursuant to Section 1311, Completion of Improvements, Sureties,

and Maintenance, covering the landscape maintenance costs for the one-year period. [Subsection 1009.10(F)]

- e. Approval shall be obtained by the Clackamas County Development Engineering staff for vehicular, pedestrian and bicycle access, including frontage improvements and site development, and such improvements shall be constructed or bonded in conformance with ZDO Section 1301.02, including the following:
 - i. The applicant shall dedicate right-of-way along the entire site frontage of SE Concord Road site frontage and verify by a professional survey that a 35-foot wide, one-half right-of-way width exists. Additional right-of-way dedication shall be provided to encompass the required sidewalk, with the right-of-way located a minimum of 6 inches behind the sidewalk
 - ii. The applicant shall design and construct improvements along the entire site frontage of SE Concord Road to arterial roadway standards, consistent with Standard Drawing C140. These improvements shall consist of the following:
 - 1. Up to a minimum 20-foot wide, one half street improvement, as measured from the right-of-way centerline to face of curb. Where the existing curb exceeds the minimum width, the curb can be retained. The structural section shall comply with Standard Drawing C100 for an arterial roadway.
 - 2. Standard 6-inch curb,
 - 3. A minimum 5-foot wide landscape strip with street trees.
 - 4. A 7-foot wide unobstructed sidewalk, per Standard Drawing S960.
 - 5. Minimum 24-foot wide concrete driveway approaches, per Drawing D650.
 - 6. The midblock crosswalk shall be upgraded to current standards, including signs, pavement markings and lighting per Roadway Standards 271.1 and 281.1.
 - iii. Drainage facilities for the site and street improvements shall be constructed in conformance with Clackamas County Roadway Standards Chapter 4 and Oak Lodge Water Services Standards.
 - iv. Improvement of the terminus of SE Spaulding Court shall be provided to local road standards, providing paving a minimum of 30 feet wide, 6-inch curbs, a passenger vehicle turnaround, 5-foot wide sidewalk on the north side of the right-of-way frontage, and ADA accessibility from the site to the public sidewalk and roadway.
 - v. Adequate on site circulation shall be provided for the parking and maneuvering of all vehicles anticipated to use the site. Parking

spaces shall meet minimum dimensional requirements of ZDO Section 1015, and Roadway Standards Drawing P100 or P200, as applicable

9. The development will be subject to the requirements of the utility districts and other partner divisions and agencies, including Oak Lodge Water Services and Clackamas County Service District No. 5. Responses from these agencies are provided in the Advisory Notes section of this report. Compliance with these rules and regulations are identified through the standards of ZDO 1006.
10. The planting and maintenance of the landscaping shall follow the standards of Section 1009.10.

FINDINGS

The findings below identify the standards and criteria that are relevant to this decision, state the facts relied upon in rendering the decision, and explain the justification for the decision.

1. **PROJECT OVERVIEW:** Current proposal is for a design review land use permit to build a new public library, a public park, renovate existing structure to be used as a community center and redesign the two parking lots that serve the site.

Background: Recently, the applicants received approval with conditions of a conditional use permit to have the North Clackamas Parks and Recreation District offices operate within a portion of the existing building of the former Concord Elementary School. In addition to the office use, a portion of the existing building was to be used for indoor recreation (e.g. recreational classes and sports club activities). The land use file was reviewed under application number Z0390-22. The project scope proposed in land use file Z0390-22 left the majority of the existing building un-used (a “shell”).

Following that conditional use permit, the applicant submitted another conditional use permit to construct a new 15,360 square foot public library and to renovate an existing building (formerly the Concord School) into a community center. The community center will include indoor recreation space, community space, and the North Clackamas Parks and Recreation District offices. The remainder of the property will be developed with vehicle parking, a park with outdoor play equipment and green space. On June 14, 2023 the applicants received approval with conditions of a conditional use permit to redevelop the site with a Community Center located within the existing school building, a new Public Library in a proposed new building, and an outdoor public park. This conditional use permit is referenced as application number Z0020-23. This Design Review application relates to the conditional uses proposed under file Z0020-23.

A pre-application conference was held with the applicant on June 7, 2022 to discuss the preliminary proposal (reference file ZPAC0065-22).

Site Description: The subject property is approximately 5.9 acres in area and is currently developed with a 46,400 square foot, two-story building (formerly the Concord Elementary School) and a covered playground. There are two existing parking lots that provide 43 parking spaces. The property was first used as a school for the Oak Grove community as early as 1890. The applicant’s research shows that the building on site currently was built in 1936 and served as a school until 2014. As stated previously, the applicant recently requested that a portion of the former school building become the offices for the North Clackamas Parks and

Recreation District. A certificate of occupancy for the new use has not been issued as of yet.

There are no mapped wetlands or water quality resources on the subject property. There are no mapped landslide hazards or steep slopes of 25% or greater.

2. **SECTION 1102 – DESIGN REVIEW**

Subsection 1102.01 Applicability

Finding: Clackamas County's Zoning and Development Ordinance (ZDO) determines development types for which design review is required. ZDO Subsection 1102.01(D) states that design review is required for institutional uses in the Urban Low Density Residential District. Institutional Uses are defined in Section 202 and include municipal and civic buildings, senior and community centers, and libraries. The proposed development is for a public library and community center located in the R7 and R8.5 zoning districts, and thus design review is required for the project. This criteria is met.

Subsection 1102.02 Submittal Requirements

Finding: Clackamas County's Zoning and Development Ordinance determines the submittal requirements necessary for design review. The applicant submitted a set of information consistent with the submittal requirements of the Zoning and Development Ordinance which county staff deemed complete on May 23, 2023. The standard is met.

Subsection 1102.03 Approval Criteria

Finding: Clackamas County's Zoning and Development Ordinance determines that projects which require design review are subject to the standards of the underlying zoning district as well as to Section 1000 "Development Standards". The analysis of the proposal, per those sections of the Clackamas County ZDO, follow in subsequent sections.

Subsection 1102.04 Design Review Committee

Finding: The Planning Director forwarded the application to the Design Review Committee (DRC) for review and recommendation prior to rendering a decision. The DRC held a public meeting on July 25, 2025 online using the Zoom platform. Staff found that the application warrants a review by the DRC due to the size of the project, including mass of buildings, site area, landscaping, and parking requirements, the visual significance, and the impact on neighboring properties.

3. **Section 315 – High Density Residential (HDR) district and Section 702 – Open Space Management (OSM) district**

Subsection 315.03 Uses Permitted (Table 315-1); Subsection 702.03, 702.04 and 702.05 Primary, Accessory and Conditional Uses Permitted

Clackamas County's ZDO determines uses that are permitted primary, permitted accessory, conditionally permitted, or not allowed in each zoning district.

Finding: The proposed public library is located in the R7 and OSM zoning districts. The community center is located in the R7 and R8.5 zoning district.

The North Clackamas Parks and Recreation District is a public entity. Table 315-1 specifies that "government uses" is a conditional use, therefore a conditional use permit is necessary. A conditional use permit was obtained as land use file number Z0020-23 and approved with conditions. The recreation facilities, such as classes and sport club activities, are a permitted use in the zoning district.

Section 702 of the ZDO controls land uses in the OSM district. The parking lot that supports this use is located on the portion of the property in the OSM district. Pursuant to Subsection 702.05(A) and (F), a parking lot accessory to indoor recreation facilities, meeting rooms, and other similar uses are a conditional use. The parking lots supporting the public recreation use and supporting staff offices are customarily accessory to the use and therefore can be allowed with a conditional use permit.

The uses proposed with this development required the review and approval of a conditional use permit and a design review permit. This criteria is met.

Subsection 315.04 Dimensional and Building Standards; Subsection 702.06 Development Standards

Finding: Pursuant to subsection 702.06, the OSM district requires that all principal and accessory buildings must be located a minimum of 10 feet from any lot in a residential zoning district. The proposed library is designed to be located on the zoning line between the OSM and the R7 zone; therefore, this standard does not apply to the proposed building as it relates to the R7 zone on this tract. The adjacent R8.5 zoned property, 3727 SE Spaulding Ave., is approximately 80 feet from the proposed library. This standard is met.

Subsection 315.04 and Table 315-2, the table below demonstrates how the applicant's proposal complies with the dimensional standards of the R7 and R8.5 districts.

	Ordinance Standard	Demonstrated Dimension	Complies With Standard
Minimum Front Setback	15 feet	5'6" (Spaulding Ave)	Does not comply*
Maximum Building Height	35 feet	30'7" (Library) 38'7" (Community Center)	Complies**
Maximum Lot Coverage	50%	44%	Complies

*The applicant is requesting a right of way vacation, which would change the location of the front yard line on Spaulding Ave and move it farther away from the proposed building site. The front setback is measured as the shortest horizontal distance between a structure and the front lot line. If the proposed vacation is approved, the front setback would be approximately 25 feet. Further implications of this potential front setback are discussed further in Subsection 1005.02(E), below.

The design also includes one parking space on the Spaulding Ave parking lot that is located within the right of way. The Clackamas County Development Engineering Division is reviewing this application for compliance with the code and will address this parking space in their review. The proposed Spaulding Ave design was designed to comply with Roadway Standards drawing C220, Passenger Vehicle Turnaround. On-street parking is not permitted and curbs shall be marked with "No Parking – Fire Lane".

**Maximum building height of the existing/former Concord School building, which will be used as a Community Center, exceeds the maximum building height in the R7 and R8.5 districts. However, this building was built prior to the adoption of the zoning regulations, and the proposal does not involve changing the height of the building. Therefore, the nonconforming building height is acceptable. The new library that is proposed must and does, comply with the current standard.

Modifications to the standards in Table 315-2 are established by Sections 800, Special Use Requirements; 904, Height Exceptions; 1012, Lot Size and Density; 1107, Property Line Adjustments; and 1205, Variances. Standards of Sections 800, 904, 1012, and 1107 are not applicable to this development; as such, modifications can be made through Section 1205, the Variances.

The site is developed as zoning lot. The project narrative states that the "area of the R7 and R8.5 districts combined is 65,082 sq. ft. In this area the total proposed building coverage is 28,940 sq. ft. or 44%."

3. **Section 1002, 1003 and 1004 – Protection of Natural Features, Hazards to Safety and Historic Protection**

Section 1002 addresses the protection of various natural features including hillsides, the excessive removal of trees prior to development, the protection of trees and wooded areas through development, river and stream corridors, the

winter ranges of deer and elk populations, certain open spaces near Mount Hood, significant natural areas, and significant landforms and vegetation. Section 1003 addresses various hazards to safety including flood, soils, fire, and mass movement areas. Section 1004 addresses standards related to historic preservation.

Finding: *The standards in these sections are not applicable to this development.*

4. **Section 1005 – Site and Building Design**

Section 1005 addresses the development of sites and design of buildings so as to efficiently utilize land, create lively, safe, and walkable centers, support the use of non-auto modes of transportation, reduce impact of development of natural features, utilize opportunities arising from a site's configuration, design illumination so dark skies are maintained when possible and accommodate the needs of users of developments. It applies to institutional, commercial, and industrial development; multifamily dwellings; and developments of more than one, two- or three-family dwelling.

Subsection 1005.02 – General Site Design Standards establishes standards for the sites of commercial, industrial, and multifamily developments and addresses standards for the placement and orientation of buildings, on-site pedestrian circulation, the placement and orientation of building entrances, and other use- and zone-specific standards.

Finding: The proposed site layout effectively clusters buildings and lends itself to efficient walkway sharing and site circulation for pedestrians visiting the property. The design includes an interconnected on-site walkway system with concrete pedestrian pathways of varying widths (between 5 feet, 8 inches to 8 feet) throughout the site which connects the subject property to adjacent developments. The concrete walkways connect to each building public entrance and to the adjacent streets, including one pedestrian connection to the northwest corner of the site to SE Olive Ave, and another connection to the northern portion of the site where the onsite walkway connects to an existing pedestrian sidewalk leading to SE Sunset Ct (reference permanent 6-foot wide pedestrian easement through Lot 8 of Sunset West Subdivision).

The applicant provided a lighting plan and fixture schedule demonstrating that the walkways will be illuminated; bollard style lighting will be used to illuminate the onsite pathway network, including the path that encompasses the park area.

The parking area at the end of Spaulding Ave includes a 7 foot 7 inch wide walkway bordering the parking spaces. A painted, striped crosswalk across Spaulding Ave links this parking area to the pedestrian pathway accessing the community center. The parking area accessible from Concord Rd includes a 6 foot wide sidewalk connecting to the existing sidewalk network adjacent to Concord Rd and borders the parking spaces of this main parking lot. This walkway has a raised curb separating the parking area and this walkway.

No pedestrian walkways are proposed connecting the back of the main parking lot off of Concord Rd to the primary building entrances/public plaza. The main parking lot consists of 158 parking stalls and includes one swale, as required by Subsection 1009.03. In order to address the purpose of Section 1005, specifically subsection 1005.01(B, D, and I), the applicant will be required to include at least one walkway through the main parking lot, subject to meeting the standards of subsection 1005.02(D)(5). A community center and public library typically attracts families; ensuring that there is safe parking lot circulation is a priority. As designed, there is a lack of pedestrian safety from the opposite end of the parking lot to the community center and library plaza. The parking lot design poses a safety hazard to the primary users of the site due to the lack of connectivity between the rows of parking and the rest of the site. Staff requests the Design Review Committee's opinion on the proposed design and compliance with 1005.02(D)(5).

Subsection 1005.02(E) requires that a minimum of 50% of the street frontage of the development site shall have buildings located at the minimum front yard depth line. If the minimum front yard depth standard is less than 20 feet, the front yard depth may be increased to 20 feet provided pedestrian amenities are developed within the yard. The minimum front setback is 15 feet in the R7 and R8.5 zones; the existing building to be used as the community center need not comply with this standard. The existing building, former Concord School, is approximately 24 feet from the front property line on Spaulding Ave. The proposed library is currently located at 5 feet 6 inches from the Spaulding Ave frontage. As discussed previously, the applicant is proposing to vacate a portion of the Spaulding right of way, which will result in there being an approximately 25-foot setback from the proposed library to the front property line. The Spaulding Ave frontage would not include buildings located within the minimum 15-foot front yard depth line or the 20-foot front yard depth line. A modification to this standard has not been requested by the applicant, although the applicant has been made aware of this issue. As proposed, the front setback of Section 315.04 is not met, and if a partial vacation of Spaulding Ave is approved, then the application does not meet Subsection 1005.02(E).

The primary public entrance to the library is located to the side of the building and is accessible by a concrete walkway that is more than 8 feet wide, developed with a plaza, covered entry, and faces the parking lot.

Subsections F through L are not applicable to this development.

Subsection 1005.03 – Building Design provides standards for building facades, entrances roof design, exterior building materials, the screening of mechanical equipment, and other use- and zone-specific standards.

Finding: Building facades are designed with windows and changes in plane to provide architectural relief. The primary library entrance is located under an overhang that is approximately 10 feet deep. The building entrance is emphasized

by the overhang, and is visible from the main parking lot area accessed off of Concord Rd. The proposed ADA accessible entry vestibule on the south side of the community center (existing structure) is located under a covered awning and has a storefront window system.

The public entrances of the buildings are clearly defined and sheltered. Pursuant to Section 1005.03(B)(2), institutional buildings sited to comply with 1005.02(E) shall have public entries that face streets and are open to the public during all business hours. The north side of the library faces Spaulding Ave and does not have a public entrance, as required by subsection 1005.03(B)(2). The primary library entrance does not face Concord Rd. either. A modification pursuant to subsection 1005.06 is requested and is discussed further in this report, below. The façade of the community center (existing former school building) that faces Concord Rd. is not proposed to be modified; it was designed and built prior to the establishment of the current design standards and need not be modified to comply. If changes are proposed to this façade in the future, they will be reviewed for compliance with this Section at that time.

Pursuant to Subsection 1005.03(C), street-facing façade of the library shall have transparent windows, display windows, entry areas, or arcades occupying a minimum of 60% of the first floor linear frontage. Transparent windows shall occupy a minimum of 40% of the first floor linear frontage and shall be designed and placed for viewing access by pedestrians. On the Spaulding Ave. frontage, the building façade consist of approximately 67% windows. Roof equipment will be screened by a parapet wall.

The proposed library building will include brick veneer siding that will complement the existing building and will have metal accents. Details are provided in the supplemental project narrative provided on May 23, 2023.

Subsection 1005.03(G) requires that the design increase the safety and surveillance on the site. The public plaza to the west of the library is visible from the windows of the library. The plaza area will include a 9-foot tall pole-mounted light to adequately illuminate the passive recreation area. The Spaulding Ave parking lot may be visible through the windows of the library. *Raphiolepis x delacourii* 'Georgia Petite', Georgia Petite Indian Hawthorn, and the Elf Dwarf Mountain Laurel, *Kalmia latifolia* 'Elf', will not grow taller than 4 feet in height, which will allow the continued surveillance of the parking area from the library.

The applicant's landscape plan calls for plant abbreviation "SAHO" but the plant schedule (L3.02) does not include "SAHO". Staff has requested additional information from the applicant.

Subsection 1005.03(G)(6) limits fences, walls and, except for trees, landscaping between a parking lot and a street to a maximum of 30 inches in height. The landscaping plan includes a variety of plant species to be located between the main

parking lot and Concord Rd. However, when left to grow naturally, four of the the plant species chosen exceed the maximum 30-inch growth height allowed by the ZDO. The four plant species include: *Potentilla fruticosa*, Red Ace Potentilla, can grow 2 to 4 feet in height; *Nandina domestica*, Moon Bay Heavenly Bamboo, grows 3 feet tall; *Cistus obtusifolia*, Rock Rose, can grow 3 feet tall; and, *Potentilla fruticosa* 'Red Ace', Red Ace Potentilla, can grow 3 feet tall. If approved, a condition of approval is warranted to ensure that the landscaping on the north side of the library does not exceed 30 inches in height to ensure adequate visibility of the parking lot from Concord Rd.

The new rooftop equipment on the library will be placed into a recessed well that will be screened by a parapet to ensure that none of the equipment is visible, as demonstrated on the plans submitted, including Sheet A3.10. The applicant's narrative states that "new mechanical units will be added to the community center roof that will be smaller than the existing units and will be pushed back from the roof edge as far as possible to obscure them from sight. Two new ground-mounted mechanical units will be placed on the east side (rear) of the community center and will be partially screened by the new trash enclosure and existing building."

Subsection 1005.03(J) requires that ground-mounted mechanical equipment be screened by ornamental fences, screening enclosures, or landscaping that blocks at least 80% of the view. Staff finds that the proposed trash enclosure will screen the majority of the new mechanical units shown on Sheet CC A0.81 from Concord Rd.

Subsections I, K and L are not applicable to this development.

Subsection 1005.04 – Outdoor Lighting provides standards to ensure that onsite lighting is compatible with the site and surrounding uses while preventing light trespass and pollution.

Finding: The proposal includes bollard lighting around walkways, pole-mounted lighting near the vehicle and bicycle parking areas, and recessed ceiling-mounted fixtures at the library. The luminaire schedule provided demonstrates that the proposed lighting fixtures will direct light downward, not skyward. The pole-mounted lights will not exceed 20 feet in height which is within the maximum height allowed by the ZDO. This criterion is met as proposed.

Subsection 1005.05 – Additional Requirements requires projects to employ one additional design element per 20,000 square feet of site area. Regardless of site size, a minimum of one and a maximum of five techniques are required.

Finding: Section 1005.05 requires applicants to employ one "Additional Requirement" for every 20,000 square feet of site area. The development proposal includes more than 200,000 square feet of site area, and so five design techniques are required. The applicant is proposing the following techniques:

A: Install a solar energy system in the development

B: Use passive solar heating or cooling techniques to reduce energy consumption

C: Use highly reflective (high albedo) materials on roof surfaces

G: Provide additional landscaping area at least 10 percent above the requirements for the site pursuant to Table 1009-1

K: Lay out sites and locate buildings and on-site vehicular circulation to create functional open areas such as plazas, courtyards, outdoor recreation areas, miniparks, and accessways that are open to the general public.

Staff concurs with the findings made in the submitted application materials received May 23, 2023. This standard is met.

Subsection 1005.06 Modifications. Modification of any standard identified in Subsections 1005.02 and 1005.03 may be approved as part of design review if the proposed modification will result in a development that achieves the purposes stated in Subsection 1005.01 as well or better than the requirement listed.

Finding: The applicant has requested staff to consider a modification to Subsection 1005.03(B)(2).

This subsection of the ZDO states “institutional buildings sited to comply with 1005.02(E) shall have public entries that face streets and are open to the public during all business hours.” The north side of the library faces Spaulding Ave and does not have a public entrance. On May 23, 2023 the applicant provided a written request to modify this standard. Generally, the design was intended to discourage the public from entering the site from Spaulding Ave due to it being a quiet residential street.

Staff is requesting the Design Review Committee to discuss this modification request.

5. **Section 1006 – Utilities, Street Lights, Water Supply, Sewage Disposal, Surface Water Management, and Erosion Control.**

Section 1006 addresses the provision of appropriate infrastructure for utilities, water supply, and sewage disposal, as well as the management of surface water and site erosion.

A. *1006.02 Street Lights.* Street lights are required for all development inside the Portland Metropolitan Urban Growth Boundary.

Finding: Street lighting shall be installed pursuant to the requirements of Clackamas County Service District No. 5 and the electric company serving

the development. A condition of approval is warranted to ensure compliance with this criterion.

- B. *1006.03 Water Supply and 1006.04 Sanitary Sewer Service.* Approval of a development that requires public or community water service and sanitary sewer service shall be granted only if the applicant provides a preliminary statement of feasibility from the service provider(s).

Finding: A preliminary statement of feasibility from Oak Lodge Water Services District was provided by the applicant and confirmed that there is adequate sewer and water services for the proposed use. Staff has requested that Oak Lodge review the application and provide feedback on the proposed design review application. A formal determination of the demand is typically evaluated during the Oak Lodge utility permit application process through a combination of water supply demand and wastewater strength and volume statements supplied by the owner on Oak Lodge forms. Once Oak lodge has provided staff with their review comments, staff will determine whether compliance with this criterion is met.

- C. *1006.06 Surface Water Management and Erosion Control.* The following surface water management and erosion control standards apply:

- a. Positive drainage and adequate conveyance of surface water shall be provided from roofs, footings, foundations, and other impervious or near-impervious surfaces to an appropriate discharge point.
- b. The requirements of the surface water management regulatory authority apply. If the County is the surface water management regulatory authority, the surface water management requirements of the Clackamas County Roadway Standards apply
- c. Approval of a development shall be granted only if the applicant provides a preliminary statement of feasibility from the surface water management regulatory authority. The statement shall verify that adequate surface water management, treatment and conveyance is available to serve the development or can be made available through improvements completed by the developer or the system owner.
 - i. The service provider may require a preliminary storm water management plan, storm drainage report, natural resource assessment and buffer analysis prior to signing the preliminary statement of feasibility
 - ii. The statement shall be dated no more than one year prior to the date a complete land use application is filed and need not reserve surface water treatment and conveyance system capacity for the development.

Finding: Oak Lodge Water Services District is the surface water management authority for the area including the subject site. A preliminary statement of feasibility from Oak Lodge Water Services District was provided

by the applicant and confirmed that adequate surface management, treatment, and conveyance is available to serve the development or can be made available. Staff has requested that Oak Lodge review the application and provide feedback on the proposed design review application. Staff will review these comments once received and determine if this criterion can be met with a condition of approval.

6. Section 1007 - Roads and Connectivity

Subsection 1007.02 – Public and Private Roadways

Subsection 1007.03 – Private Roads and Access Drive

Subsection 1007.04 – Pedestrian and Bicycle Facilities

A-C: General Standards, Design and Requirements

D-G: Location and Construction of Sidewalks and Pedestrian Paths

H: Sidewalk and Pedestrian Path Width

I-N: Accessways, Bikeways, Trails, Bike/Pedestrian Circulation

- A. *1007.01(A and B) Roads and Connectivity – General Provisions.* The location, alignment, design, grade, width, and capacity of all roads shall be planned, coordinated, and controlled by the Department of Transportation and Development and shall conform to Section 1007, Chapters 5 and 10 of the Comprehensive Plan, and the Clackamas County Roadway Standards. Where conflicts occur between Section 1007, the Comprehensive Plan, and the Clackamas County Roadway Standards, the Comprehensive Plan shall control.

Right-of-way dedications and improvements shall be required of all new developments, including institutional uses, as deemed necessary by the Department of Transportation and Development and consistent with Section 1007, Chapters 5 and 10 of the Comprehensive Plan, and the Clackamas County Roadway Standards.

Finding: Clackamas County has adopted roadway standards that pertain to the structural section, construction characteristics, minimum required right-of-way widths and access standards for arterial roads.

The existing right-of-way varies along the SE Concord Road frontage from 60 to approximately 69 feet. The existing one half right-of-way width along the project site frontage varies at 30, 37 and 39.98 feet. West of the project site, SE Concord Road includes a three-lane cross section along the commercial zoned properties, transitioning to a two-lane cross section along the project site frontage. Additional right-of-way width was previously provided to accommodate the existing pull-out areas previously used for school buses. The project traffic study evaluated whether turn lanes would be needed for the site driveways on SE Concord Road, and found that left turn lane warrants are not met. Based on this, continuation of a three-lane section to accommodate a center turn lane is not needed along the project site frontage of SE Concord Road, and a two-lane cross section is adequate to serve the proposed development. The standard cross section for a two-lane urban arterial roadway, per Roadway Standards Drawing C140 includes

a 70-foot wide public right-of-way, with a one half right-of-way width of 35 feet. The applicant will be required to dedicate additional right-of-way to provide a minimum one half width of 35 feet, as well as right-of-way to accommodate the required frontage improvements as discussed below.

As a condition of approval from land use file Z0020-23, the applicant shall dedicate right-of-way along the entire site frontage of SE Concord Road site frontage and verify by a professional survey that a 35-foot wide, one-half right-of-way width exists. Additional right-of-way dedication shall be provided to encompass the required sidewalk, with the right-of-way located a minimum of 6 inches behind the sidewalk.

- B. *1007.01(C and D) Roads and Connectivity.* Provisions pertaining to pedestrian, bicycle, and vehicle access, safety, and traffic flow.

Finding: The frontage of SE Concord Road is improved with bike lanes, pull-out areas previously used by buses, and curb-tight sidewalk. The proposed preliminary plans include modifying the existing driveway access currently serving the site to include two driveways serving the main parking lot, and retaining an existing driveway at the easterly end of the frontage that provides access to a service area that includes trash and recycling. The existing sidewalk along the frontage is adequate, except for ADA accessibility across the eastern driveway approach. The new driveway approaches and the easterly driveway will require adequate ADA access.

Reconstruction and expansion of the existing former school parking lot is proposed with two driveway approaches on SE Concord Road serving the main parking lot. ZDO 1007.01(C)(10) specifies that developments have the minimum number of driveway as required by DTD. Roadway Standards Section 220.4 indicates that development sites on arterial roadway should have one driveway, with additional access based on safety and circulation needs. Based on anticipated traffic use and volume, the proposed two driveway approaches are acceptable to provide adequate site circulation, emergency access, and minimize impacts to SE Concord Road. Although, the proposed driveways do not meet full access spacing due to the location of existing driveways on the south side of SE Concord Road, with the continuous center turn lane and alignment of the new driveways with existing higher volume driveways on the opposite side of the street, the proposed access will be adequate.

There is an existing mid-block crosswalk on the SE Concord Road frontage that does not meet current standards and will require upgrading with new signs and additional lighting. A condition of approval of land use application Z0020-23 requires that the SE Concord Road frontage improvements for proposed driveways, ADA accessible sidewalks along the entire site frontage, and midblock crosswalk shall be upgraded to current standards prior to obtaining a certificate of occupancy.

- C. *1007.01(E).* All roads shall be designed and constructed to adequately and safely accommodate vehicles, pedestrians, and bicycles according to Chapters 5 and

10 of the Comprehensive Plan and the Clackamas County Roadway Standards. Development-related roadway adequacy and safety impacts to roadways shall be evaluated pursuant to the Clackamas County Roadway Standards and also to Oregon Department of Transportation standards for state highways.

Finding: ZDO Sections 1203.03 and 1007.01(E) require that development adequately and safely accommodate pedestrians. There is an existing mid-block crosswalk on the SE Concord Road frontage does not meet current standards and will require upgrading with new signs and additional lighting, consistent with pavement marking and sign standards, per Roadway Standards Sections 271.1 and 281.1.

The project site includes frontage on the SE Spaulding Avenue right-of-way. The right-of-way includes a half cul-de-sac bulb, but the improvement are undefined within the right-of-way. The current improvements at the terminus of SE Spaulding Avenue include a paved area that has mostly served as parking and access for the school. The preliminary plans include improvements within the right-of-way that include paving, curbs and sidewalk along the north side of the right-of-way. A small parking lot is proposed off of the north side of the right-of-way. The applicant is proposing to accommodate a turnaround area for emergency vehicles utilizing a portion of the parking lot driveway aisle that extends outside the public right-of-way. Because SE Spaulding Avenue is a public roadway, provisions for a public turnaround will be required. Although, the preliminary site design will provide for adequate access for a fire truck that includes maneuvering outside the right-of-way, a turnaround area within the public right-of-way is needed, as required by Roadway Standard Section 225.2. A passenger vehicle turnaround will be required within the public right-of-way.

The conditions of approval of land use file Z0020-23 require the applicant to comply with this criterion.

- D. *1007.02(D) Public Roadways.* Developments shall comply with the intersection sight distance and roadside clear zone standards of the Clackamas County Roadway Standard.

Finding: The Traffic Impact Analysis provided by the applicant in the associated conditional use permit, file Z0020-23, evaluated the sight distance at the proposed driveways on SE Concord Rd., and verified that the standards under Roadway Standards Section 240 can be met. Compliance with this section was reviewed in land use file Z0020-23.

- E. *1007.02(F) and 1007.04(C) Road Frontage Improvements and Pedestrian and Bicycle Facilities.* Road frontage improvements must meet current urban Roadway Standards. Sidewalks, pedestrian pathways, bikeways, and accessways shall be constructed for institutional developments.

Finding: The frontage of SE Concord Road is improved with bike lanes, pull-out areas, 6-inch curb and 7.5-foot wide curb-tight sidewalk. The proposed preliminary plans include modifying the existing driveway access currently serving the site to include two driveways serving the main parking lot, and

retaining an existing driveway at the easterly end of the frontage that provides access to a service area that includes trash and recycling facilities. The applicant is proposing to retain the existing sidewalk and construct the new driveway approach to provide ADA accessibility. Based on estimated trip generation of 2,053 vehicles per day from the project site, improvement of the project site frontage to current standards on SE Concord Road is warranted.

The standard cross-section for an arterial roadway, per Roadway Standards Drawing C140, includes a minimum 20-foot wide half street, with 6-inch curb, 5-foot wide landscape strip with street trees, and a 7-foot wide sidewalk. The applicant will be required to remove the existing curb tight sidewalk and replace it with landscape strip, street trees and a setback sidewalk. Where the curb line exceeds the minimum 20-foot half street width, the curb can remain.

As conditioned in land use file Z0020-23, this criterion can be met.

F. *Subsection 1007.05 – Transit Amenities*

Finding: The subject property is not located on an existing transit route, as identified on Map 5-8a in the Comprehensive Plan. Tri-Met was notified of the associated conditional use permit, file Z0020-23, and this design review application and was provided with the opportunity to provide comments. The County did not receive a response from Tri-Met for land use file Z0020-23 and has not yet received comments for this design review application.

G. *Subsection 1007.06(A) – Street Trees* addresses requirements for street trees within the Portland Metropolitan Urban Growth Boundary, in the Clackamas Regional Center Area, in the Business Park zoning district, and in Sunnyside Village.

Finding: The property is located within the Portland Metropolitan UGB and so street trees are required along the road frontage for institutional developments. The existing building on site that will be used for the Parks District office expansion will not involve an addition of 10% of the assessed value, or 999 square feet. The proposed library is new construction on an institutional use; therefore, street trees are required. Street trees are required along the Concord Rd frontage, and the species must be chosen from a County-approved list of street trees, unless approval for planting of another species is given by the Department of Transportation and Development. As a condition of approval of the associated conditional use permit, file Z0020-23, a condition of approval requires the tree species to be determined with this design review application.

The applicant has not proposed any street trees with their submitted application. At this time, this criterion is not met.

H. Subsection 1007.07 – Transportation Facilities Concurrency

Finding: This criterion has been reviewed during the associated land use permit, conditional use file number Z0020-23. As described in the Hearings Officer decision for land use file Z0020-23, this criterion is met.

7. **Section 1009 – Landscaping**

Section 1009 seeks to ensure that sites are design with appropriately selected, designed, installed, and maintained landscape materials and that landscaped areas are used for appropriate purposes.

Finding: Pursuant to Table 1009-1, the minimum required landscaped area in the R7 and R8.5 zone is 25% for conditional uses. Within the 65,082 square feet of site rea in the R7 or R8.5 districts, the applicant states that a total of 26,333 square feet, or 40%, will be landscaped.

25 square feet of landscaping per parking space, excluding perimeter parking spaces, shall be provided. The applicant proposes to provide 158 parking spaces in the main parking lot off of Concord Rd. Therefore, 3,950 square feet of interior landscaping is required. This standard is met.

Subsection 1009.03 relates to the landscaping of surface and loading areas. One landscape swale located between two rows of parking spaces, as shown in Figure 1009-1, is required for every six rows of parking spaces. The applicant proposes one 4-foot wide swale across the entire length of the longest row of parking spaces. Interior landscaping not developed as swales pursuant to Subsection 1009.03(A)(2) shall comply with the standards of subsection 1009.03(A)(3). The applicant has demonstrated compliance with this subsection. Interior landscaped areas, including swales, shall include a minimum of one tree located every eight interior parking spaces, and the applicant proposes to meet this standard by providing a tree at this rate.

1009.04 service areas and facilities, such as receptacles for solid waste or recyclable materials, shall be screened to reduce or eliminate visual impacts. Parking lots in R7 and R8.5 are also required to be screened. The applicant has demonstrated that the two parking lots are adequately screened with landscaping.

A condition of approval of associated land use file Z0020-23 requires compliance with the screening and buffering techniques listed in ZDO Subsection 1009.04(B through E) to mitigate the impacts of the proposed institutional uses to the residential use to the east, located at 3901 SE Concord Road. Screening shall be sued to eliminate or reduce the visual impacts of service areas and facilities, such as receptacles for solid waste or recyclable materials. Screening from walkways is required only for receptacles for solid waste or recyclable materials. A sight-obscuring fence at least six feet in height and up to a maximum of 10 feet in height shall be required around the material or equipment. The application materials describe that the trash enclosure will have a 6-foot high chain link fence with two sets of double-swing gates. The gates will face 3901 SE Concord Rd,

and so staff has requested that the applicant provide the door schedule for the trash enclosure gates to verify that they are “sight-obscuring”.

Buffering is required to mitigate adverse impacts from dissimilar uses and is required between the subject property and 3901 SE Concord Rd. Subsection 1009.04(E) provides a list of ways this standard can be met. The applicant has been advised that, at this time, staff does not find this standard to be met.

1009.06(C) Landscaping strip a minimum of five feet wide shall be provided abutting front lot lines. “If—due to the depth of a front setback and the need to accommodate a required walkway, required pedestrian amenities, or both—there is insufficient area to permit a five-foot-wide landscaping strip, the landscaping strip may be reduced in width or the landscaping requirement may be met with a linear arrangement of trellises, hanging baskets, or planters, any of which shall include plants”. Neither a required walkway nor a required pedestrian amenity is being proposed within the front setback of Spaulding Ave.; therefore, this standard is required and the landscaping strip need not be reduced. As proposed, there is a 0.5-foot setback from the right of way to the building edge; the applicant is proposing to vacate a part of the right of way, and provide at least 5-feet of landscaping within the front setback of Spaulding Ave. Should the right of way vacation be approved, this standard is met.

The Oregon White Oak tree, *Quercus crysolepsis*, proposed on the planting plan must have a minimum tree caliper of 2-inches at the time of planting to comply with Subsection 1009.10(H). A condition of approval is recommended to ensure compliance with this criterion.

Landscaping must be guaranteed for one year from the date of installation; a maintenance contract or a performance surety were not provided with the application materials. This standard can be met with a condition of approval.

8. **Section 1010 – Signs**

The provisions of Section 1010 are intended to maintain a safe and pleasing environment for the people of Clackamas County by regulating the size, height, number, location, type, structure, design, lighting, and maintenance of signs.

Finding: The proposal is for an institutional use in a residential zoning district within the UGB; therefore, subsection 1010.08(A) applies. One freestanding and one building sign shall be permitted upon the premises; each sign is limited to a maximum of 32 square feet (per side). The maximum top-of-sign height is 5 feet for a freestanding sign. Signs may be illuminated by internal or external lighting, subject to Subsection 1010.02(I) and must be located behind the front property line.

The proposed monument sign located at the parking lot entrance off of Concord Rd will be setback from the property line by 4 feet. It will be 4 feet in height, 30 square feet in area and will be internally lit; a condition of approval is necessary to ensure this criteria is met. As conditioned, the monument sign complies with the sign criteria.

The applicant proposes that there will be “a canopy-mounted sign at the community center entry, interior site wayfinding signs. Existing Concord School site sign will be removed.” The library wall-mounted sign will be approximately 7 square feet in area. Staff has requested that the applicant provide additional information about the canopy sign to ensure compliance with this criterion.

9. **Section 1011 – Open Space and Parks**

Section 1011 applies to areas generally indicated as Open Space on Comprehensive Plan Map IV-6, North Urban Area Land Use Plan Map, or on the Mt. Hood Community Plan Map.

Finding: The subject property is designated as Public and Community Use Open Space (PCU) in the Comprehensive Plan. However, the property does not include slopes greater than 20%, bodies of water or wetlands, flood or landslide hazards, distinctive or unique natural areas, or areas of serious natural hazard. Therefore, this section is not applicable to the subject property.

10. **Section 1015 – Parking and Loading**

Section 1015 is designed to ensure that developments in Clackamas County provide sufficient and properly designed parking for motor vehicles and bicycles as well as appropriate off-street loading areas.

Finding: The Climate Friendly and Equitable Communities (CFEC) rules are in effect pursuant to OAR 660-012-0400 through OAR 660-012-0450. No vehicle parking can be required for any development that is within $\frac{3}{4}$ mile of a rail transit stop or $\frac{1}{2}$ mile of a frequent transit corridor. This property is eligible to follow the CFEC rules due to the frequency and location of the Tri-Met bus service, bus lines #33; therefore, no minimum parking is required. Maximum parking standards are in effect. The applicant is electing to provide 164 vehicle parking spaces and 13 bicycle racks capable of locking two bicycles, each, totaling 26 bicycle parking spaces.

Within the Urban Grown Boundary (UGB), the parking maximums listed for Urban Zone A in Table 1015-1 apply to the maximum vehicle parking standards as demonstrated in the table, below. Pursuant to Subsection 1015.01(C), parking requirements for uses and structures not specifically listed in Tables 1015-1, Automobile Parking Space Requirements or 1015-3, Minimum Required Bicycle Parking Spaces are subject to the requirements for the most similar use. For the purposes of determining maximum vehicle parking, staff finds that “Theaters, Dance Halls, Community Clubs, Skating Rinks, Public Meeting Places” is the most similar use to a library and a park in Table 1015-1. For the purposes of determining minimum bicycle parking, staff finds that and that “Theaters, Places of Worship, Auditoriums, Dance Halls and other Public Assembly Places” is the most similar use in Table 1015-3 for the recreation facility (community center) and the library.

Proposed Use	Area (square feet)	Vehicle Parking Ratio Maximum (per 1,000 square feet)	Maximum Vehicle Spaces Permitted	Bicycle Parking Ratio Required	Minimum Bicycle Spaces Required
Recreation Facilities	25,642	5.4	139	1 per 40 seats or persons of design capacity	<i>unknown</i>
Office Use	19,058	3.4	65	1 per 2,500 square feet	8
Library	15,141	None	None	1 per 40 seats or persons of design capacity	<i>unknown</i>
Park	1.94 acres	None	None	5 per acre	10
Total	-	-	None	-	<i>unknown</i>

There is no requirement to provide a minimum number of vehicle parking spaces; the number of parking spaces that the applicant is electing to provide was based upon the number of spaces recommended by the Institute of Transportation Engineers, an established organization for transportation professionals. The maximum number of vehicle spaces is applicable, and the proposal does not exceeds the maximum number of parking spaces allowed.

As demonstrated by the table above, the minimum required bicycle parking spaces could not be determined based upon the information provided by the applicant at this time. Staff has requested that the applicant provide the design capacity for the recreation facility in the community center and the library in order to determine the minimum number of bicycle parking spaces required for those uses. The proposed development includes 15 bike rack parking for 30 bicycles.

Pursuant to Subsection 1015.03(B) bicycle parking design, staff make the following findings:

When more than seven bicycle parking spaces are required, a minimum of 50% of the spaces shall be covered. At this time, there do not appear to be covered bicycle parking spaces in the design proposal.

The bicycle parking is illuminated, as demonstrated in the photometric plan.

11. Section 1021 – Refuse and Recycling Standards For Commercial, Industrial, and Multi-Family Developments

Section 1021 applies to multifamily dwellings, institutional, commercial, and industrial developments. It provides standards for the design, placement, and accessibility of trash enclosures.

Finding: The trash enclosure will be located behind the community center, where the receptacles have historically been located. It will be on a 6-inch thick concrete pad which exceeds the minimum 4-inch standard. The enclosure will be made of a 6-foot high chain link fence which necessitates there being a two- to four-inch high bumper curb at ground level located 12 inches inside the perimeter walls of the enclosure or fencing to prevent damage from container impacts. The bumper curb is shown on the submitted plan drawings. The standards of subsection 1021.05(A) for containers are met as proposed.

Subsection 1021.07 states that "no parking" signs must be placed in a prominent location on the enclosure or shelter and painted on the pavement in front of the enclosure or shelter to provide unobstructed and safe access for servicing receptacles. No information pertaining to the signage plan was proposed; however, this can be met with a condition of approval.

ADVISORY NOTES

1. Street lighting is required by ZDO section 1006.02 G for all development within the Urban Growth Boundary.

Street lighting does not exist on the SE Concord Rd., SE Olive Ave. or Spaulding Ave. frontage thus new street lighting will be required.

Where installation is required

Portland General Electric's (PGE's) policy requires the street lighting design layout meet the recommended maintained illuminance values in the current version of ANSI/IES RP-8 American National Standard Practice for roadway lighting. They also

require the project supply the photo metrics. **Contact PGE project coordinators for plan review requirements at 503-323-6700.** They will set up a project in their system and will help you with their plan process. This should be done prior to submitting the Development Permit plan to Clackamas County. Once plan review is completed by both PGE and Service District No. 5, the applicant and/or developer is notified of the final plan approval and may request final payment for the street lighting plan.

Street lighting operation and maintenance is funded by a yearly special assessment on the property tax statement of all benefited properties within the assessment areas of the service district. New assessment areas are formed in response to development requirements and by petition of property owners wishing the benefit of street lighting for their properties.

The property owner shall submit a request in writing for the formation of an assessment area, which will include any new tax lots created by this partition, to help pay for the operation and maintenance of lighting. This should be completed and submitted when applying for a Development Permit. The current rate of assessment for street lighting in this residential area is \$1.16 per frontage foot per tax lot each year.

Please contact Wendi Coryell at 503-742-4657 with any questions.



**Clackamas County Planning and Zoning Division
Department of Transportation and Development**

Development Services Building
150 Beavercreek Road | Oregon City, OR 97045

503-742-4500 | zoninginfo@clackamas.us
www.clackamas.us/planning

NOTICE OF LAND USE APPLICATION IN YOUR AREA

Date of Mailing of this Notice: 07/11/2023

Notice Mailed To: Property owners within 300 feet of the subject property
Community Planning Organizations (CPO)
Interested Agencies

File Number: Z0083-23

Application Type: Design Review

Proposal: Application for a Design Review permit to construct a new 15,360 square foot public library and to renovate an existing building (formerly the Concord School) into a community center. The community center will include indoor recreation space, community space, and the North Clackamas Parks and Recreation District offices. The remainder of the property will be developed with additional vehicle parking, a park with outdoor play equipment and green space.

The applicants received a conditional approval of a Conditional Use permit, which was reviewed under land use file no. Z0020-23. This Design Review is a separate land use application for the same project.

The project will be presented to the Design Review Committee (DRC) for review and feedback on July 25th at 8:30AM on Zoom. The public is welcome to attend this meeting and provide comment. Please see the DRC website at <https://www.clackamas.us/planning/designreview.html>

Applicable Zoning and Development Ordinance (ZDO) Criteria: In order to be approved, this proposal must comply with ZDO Sections ZDO Section 202, 315, 702, 1000-series, 1102, 1307. The ZDO criteria for evaluating this application can be viewed at <https://www.clackamas.us/planning/zdo.html>

Applicant: VARGA, JASON

Property Owner: NORTH CLACKAMAS PARK & REC DIST

Site Address: 3811 SE CONCORD RD
MILWAUKIE, OR 97267

Location: 3811 SE Concord Rd; the north/northwest side of Concord Rd., approximately 600 feet east of McLoughlin Blvd

Assessor's Map and Tax Lot: 21E12AD02900

Zoning: OSM- OPEN SPACE MANAGEMENT DISTRICT, R7/R8.5 -URBAN LOW DENSITY RESIDENTIAL

Staff Contact: Melissa Lord

E-mail: MLord@clackamas.us

Community Planning Organization: The following recognized Community Planning Organization (CPO) has been notified of this application. This organization may develop a recommendation. You are welcome to contact the CPO and attend their meeting on this matter, if one is planned.

OAK GROVE COM COUNCIL
JOSEPH EDGE (503) 974-6422
CONTACT@OAKGROVECPO.ORG

If this CPO is currently inactive and you are interested in becoming involved in land use planning in your area, please contact Clackamas County Community Engagement at communityinvolvement@clackamas.us. In some cases where there is an inactive CPO, a nearby active CPO may review the application. To determine if that applies to this application, call or email the staff contact.

How to Review this Application: A copy of the application, all documents and evidence submitted by or on behalf of the applicant, and applicable criteria are available for inspection at no cost. Copies may be purchased at the rate of \$2.00 per page for 8 1/2" x 11" or 11" x 14" documents, \$2.50 per page for 11" x 17" documents, \$3.50 per page for 18" x 24" documents and \$0.75 per sq ft with a \$5.00 minimum for large format documents. You may view or obtain these materials:

- Online at <https://accela.clackamas.us/citizenaccess/>. After selecting the Planning tab enter the file number to search. Select File Number and then select Attachments from the dropdown list, where you will find the submitted application; or
- By emailing or calling the staff contact.

Decision Process: Following the closing of the comment period, a written decision on this application will be made and a copy will be mailed to you. If you disagree with the decision, you may appeal to the Land Use Hearings Officer, who will conduct a public hearing. There is a \$250 appeal fee.

How to Comment on this Application:

To ensure your comments are considered prior to issuance of the decision, they must be received within 20 days of the date of this notice. Comments may be submitted by email to the staff contact or by regular mail to the address at the top of this notice. Please include the file number on all correspondence, and focus your comments on the approval criteria identified above or other criteria that you believe apply to the decision.

Comments:

Your Name/Organization

Telephone Number

Clackamas County is committed to providing meaningful access and will make reasonable accommodations, modifications, or provide translation, interpretation or other services upon request. Please contact us at least three (3) business days before the meeting at 503 -742-4545 or DRenhard@clackamas.us.

¿Traducción e interpretación? | Требуется ли вам устный или письменный перевод? |
翻译或口译? | Cần Biên dịch hoặc Phiên dịch? | 번역 또는 통역?



**Clackamas County Planning and Zoning Division
Department of Transportation and Development**

Development Services Building
150 Beaver Creek Road | Oregon City, OR 97045
503-742-4500 | zoninginfo@clackamas.us
www.clackamas.us/planning

TYPE II OR III LAND USE APPLICATION

DEEMED COMPLETE

ORIGINAL DATE SUBMITTED: 3/6/23

FILE NUMBER: Z0083-23-D

APPLICATION TYPE: DESIGN REVIEW

The Planning and Zoning Division staff deemed this application complete for the purposes of Oregon Revised Statutes (ORS) 215.427 on: 05/23/2023

MEL LORD

Staff Name

PLANNER II

Title

Comments:

Check one:



The subject property is located inside an urban growth boundary. The 120-day deadline for final action on the application pursuant to ORS 215.427(1) is: 9/20/2023



The subject property is not located inside an urban growth boundary. The 150-day deadline for final action on the application pursuant to ORS 215.427(1) is:



Planning and Zoning
Department of Transportation and Development
Development Services Building
150 Beavercreek Road | Oregon City, OR 97045
503-742-4500 | zoninginfo@clackamas.us
www.clackamas.us/planning

STAFF USE ONLY

RECEIVED

Mar 6 2023

Clackamas County
Planning & Zoning Division

Z0083-23-D

Staff Initials:

File Number:

Land use application for:

DESIGN REVIEW

Application Fee:

**0.384% of construction cost, with \$1,340 minimum and \$36,835 maximum
(plus \$4,030 if Hydrogeologic Review is required)**

APPLICANT INFORMATION

Applicant name: Jason Varga, Project Manager	Applicant email: jvarga@clackamas.us	Applicant phone: 503-351-4012	
Applicant mailing address: 150 Beavercreek Rd.	City: Oregon City	State: OR	ZIP: 97045
Contact person name (if other than applicant): Debbie Cleek - The Bookin Group	Contact person email: cleek@bookinggroup.com	Contact person phone: 503-789-3211	
Contact person mailing address: 1020 SW Taylor, Suite 555	City: Portland	State: OR	ZIP: 97205

PROPOSAL

Brief description of proposal: Design Review for Concord Community Center and Oak Lodge Library	Estimated construction cost: \$23,000,000 ZPAC 0065-22	Pre-application conference file number: ZPAC 0065-22
--	--	--

SITE INFORMATION

Site address: 3811 SE Concord Road	Comprehensive Plan designation: MDR and OSM	Zoning district: R7/R8.5/OSM
Map and tax lot #: Township: _____ Range: <u>21E</u> Section: <u>12AD</u> Tax Lot: <u>02900</u> Township: _____ Range: _____ Section: _____ Tax Lot: _____ Township: _____ Range: _____ Section: _____ Tax Lot: _____	Land area: 5.92 Acres	
Adjacent properties under same ownership: Township: _____ Range: _____ Section: _____ Tax Lot: _____ Township: _____ Range: _____ Section: _____ Tax Lot: _____		

Printed names of all property owners: Michael A. Bork	Signatures of all property owners: 	Date(s): 2/28/23
I hereby certify that the statements contained herein, along with the evidence submitted, are in all respects true and correct to the best of my knowledge. Applicant signature: Jason Varga <small>Digitally signed by Jason Varga DN: C=US, E=jvarga@clackamas.us, O=Clackamas County, CN=Jason Varga Date: 2023.03.01 15:40:33-08'00'</small>		Date:

A. Complete a pre-application conference:

You must attend a pre-application conference with Planning and Zoning staff before filing this application. [Information about the pre-application conference](#) process and a request form are available from the Planning and Zoning website.

B. Review applicable land use rules:

This application is subject to the provisions of [Section 1102, Design Review](#) of the [Clackamas County Zoning and Development Ordinance](#) (ZDO).

It is also subject to the ZDO's definitions, procedures, and other general provisions, as well as to the specific rules of the subject property's zoning district and applicable development standards, as outlined in the ZDO.

C. Turn in all of the following:

- ☐ **Complete application form:** Respond to all the questions and requests in this application, and make sure all owners of the subject property sign the first page of this application. Applications without the signatures of *all* property owners are incomplete.
- ☐ **Application fee:** The cost of this application is **0.384% of construction cost, with a \$1,340 minimum and \$36,835 maximum**. Payment can be made by cash, by check payable to "Clackamas County", or by credit/debit card with an additional card processing fee using the [Credit Card Authorization Form](#) available from the Planning and Zoning website. Payment is due when the application is submitted. Refer to the FAQs at the end of this form and to the adopted [Fee Schedule](#) for refund policies.
- ☐ **Narrative describing the proposed use and demonstrating compliance with ZDO Section 1000, Development Standards, and the standards of the applicable zoning district(s)**
- ☐ **Engineering geologic study**, if required pursuant to [ZDO Section 1002, Protection of Natural Features](#), or [1003, Hazards to Safety](#)
- ☐ **Preliminary statements of feasibility from service providers and a Site Evaluation or Authorization Notice from the Septic & Onsite Wastewater Program**, as applicable and if required pursuant to [ZDO Section 1006, Utilities, Street Lights, Water Supply, Sewage Disposal, Surface Water Management, and Erosion Control](#) (forms for preliminary statements of feasibility are available at the Planning and Zoning [website](#))
- ☐ **Transportation impact study**, if required pursuant to [ZDO Section 1007, Roads and Connectivity](#)
- ☐ **Lot size and density calculations** showing compliance with [ZDO Section 1012, Lot Size and Density](#), if applicable to the proposal
- ☐ **Vicinity map:** The map must show the location of the subject property in relation to adjacent properties, roads, bikeways, pedestrian access, utility access, and manmade or natural site features that cross the boundaries of the subject property.
- ☐ **Existing conditions map:** The map must be drawn to a scale of not less than one inch = 50 feet, and must show all of the following, as listed in [ZDO Subsection 1102.02\(G\)](#):
 - Contour lines at two-foot intervals for slopes of 20% or less within an urban growth boundary (UGB); contour lines at five-foot intervals for slopes exceeding 20% within a UGB; contour lines at 10-foot intervals outside a UGB; and the source of contour information;

- Slope analysis designating portions of the site according to the following slope ranges and identifying the total land area in each category: zero to 20%, greater than 20% to 35%, greater than 35% to 50%, and greater than 50%;
- Drainage;
- Potential hazards to safety, including areas identified as mass movement, flood, soil, or fire hazards pursuant to [ZDO Section 1003](#);
- Natural features, such as rivers, streams, wetlands, underground springs, wildlife habitat, earth mounds, and large rock outcroppings;
- Wooded areas, significant clumps or groves of trees, and specimen conifers, oaks, and other large deciduous trees (where the site is heavily wooded, an aerial photograph, at a scale of not more than 1 inch = 400 feet, may be submitted and only those trees that will be affected by the proposed development need be sited accurately);
- Overlay zoning districts regulated by [ZDO Section 700, Special Districts](#);
- Noise sources;
- Sun and wind exposure;
- Significant views;
- Structures, impervious surfaces, utilities, onsite wastewater treatment systems, landscaping, driveways and easements (e.g. access, utility, storm drainage), with notes as to whether these will remain or be removed, and with dimensions of driveways and easements; and
- All of the following that are on or adjacent to the subject property, including dimensions and, if applicable, names: existing roads, platted unconstructed roads, railroad rights-of-way, bikeways, curbs, sidewalks, pedestrian pathways, accessways and trails.

☐ **Proposed site plan:** The map must be drawn to a scale of not less than one inch = 50 feet, and must show all of the following, as listed in [ZDO Subsection 1102.02\(H\)](#):

- The subject property, including contiguous property under the same ownership as the subject property, and adjacent properties;
- Property lines and dimensions for the subject property (indicate any proposed changes to these)
- Natural features to be retained;
- Location, dimensions, and names of all existing or platted roads or other public ways, easements, and railroad rights-of-way on or adjacent to the subject property;
- Location of at least one temporary benchmark and spot elevations;
- Location and dimensions of structures, impervious surfaces, and utilities, whether proposed or existing and intended to be retained (for phased developments, include future buildings);
- Approximate location and size of storm drainage facilities;
- Relation to transit; parking and loading areas, including dimensions and number of individual parking and load spaces and drive aisles; bicycle racks; walkways; and pedestrian crossings;
- Orientation of structures showing windows and doors;
- Location and type of lighting;
- Service areas for waste disposal, recycling, loading, and delivery;
- Location of mail boxes;
- Freestanding signs; and
- Pedestrian amenities.

- ☐ **Grading plan:** The plan must be drawn to a scale of not less than one inch = 50 feet, and must show the location and extent of proposed grading, general contour lines, slope ratios, slope stabilization proposals, and natural resources protection consistent with ZDO Sections 1002 and 1003
- ☐ **Architectural drawings:** The drawings must show all of the following, as listed in [ZDO Subsection 1102.02\(J\)](#):
 - Building elevations, including any building signs, with identifications of the dimensions, area, color, materials, and means of illumination of such signs and also identifying and showing dimensions of any electronic message center or other changeable copy sign areas;
 - Building sections;
 - Floor plans;
 - Color and type of building materials;
 - Elevation of freestanding sign(s) identifying the dimensions (including total height and height between the bottom of the sign and the ground), area, color, materials, and means of illumination, and also identifying and showing dimensions of any electronic message center or other changeable copy sign areas; and
 - Gross floor area, in square feet, of each structure; floor area ratio, if a minimum floor area ratio standard applies; and the number of dwellings.
- ☐ **General landscaping plan:** The plan must be drawn to a scale of not less than one inch = 50 feet, and must show the elements required on the proposed site plan and all of the following, as listed in [ZDO Subsection 1102.02\(K\)](#):
 - Existing plants and groups and plants proposed;
 - Description of soil conditions; plans for soil treatment such as stockpiling of topsoil or addition of soil amendments; and plant selection requirements relating to soil conditions;
 - Erosion controls, including plant materials and soil stabilization, if any;
 - Irrigation systems;
 - Landscape-related structures such as fences, terraces, decks, patios, shelters, and play areas; and
 - Open space and recreational areas and facilities, if applicable.
- ☐ **Transportation improvement plan:** The plan must include proposed cross-sections for roads to be constructed or improved, including widths of travel lanes, bikeways, sidewalks, curbs, pedestrian pathways, and landscape strips. Identify the proposed landscape plan for any landscape strips, including street tree types, size, and location, and identify any proposed dedication of right-of-way.
- ☐ **RCO District and PMU1 site mater plan:** If the proposed development is in the Regional Center Office (RCO) District or a Planned Mixed Use 1 (PMU1) site, include any master plan required by [ZDO Subsection 1102.03\(B\)](#).
- ☐ **OA District master plan:** If the proposed development is in the Office Apartment (OA) District, include any master plan required by [ZDO Subsection 1102.03\(C\)](#).
- ☐ **Mobile vending unit narrative:** If the proposed development is for a mobile vending unit that exceeds the standards for both a level two and a level three mobile vending unit, include a narrative explaining how the proposal complies with the standards in [ZDO Subsection 837.05](#).

Note: Pursuant to [ZDO Subsection 1307.07\(C\)\(2\)](#), the Planning Director or designee may modify the preceding list of submittal requirements. Please consult the information provided in your pre-application conference.

FAQs

When is a Design Review permit required?

Approval of a Design Review permit is required by the Zoning and Development Ordinance (ZDO) for any development, redevelopment, expansions, and improvements in commercial and industrial zoning districts, except for uses approved through a zone change to Neighborhood Commercial (NC) District, and in the following residential zoning districts:

- High Density Residential (HDR)
- Medium Density Residential (MR-1)
- Medium High Density Residential (MR-2)
- Mountain Recreational Resort (MRR), except for detached single-family dwellings, manufactured homes, and their accessory uses if they are not part of a condominium development
- Planned Medium Density Residential (PMD)
- Regional Center High Density Residential (RCHDR)
- Special High Density Residential (SHD)
- Village Apartment (VA)
- Village Townhouse (VTH)

A Design Review permit is also required for specific types of residential development in other residential zoning districts, and for any other use as required by the Planning Director, the County Hearings Officer, or the Board of County Commissioners.

What is the permit application process?

Design Review permits are subject to a “Type II” land use application process, as provided for in [Section 1307](#) of the ZDO. Type II decisions include notice to owners of nearby land, the Community Planning Organization (if active), service providers (sewer, water, fire, etc.), and affected government agencies. If the application is approved, the applicant must comply with any conditions of approval identified in the decision. The application review procedure may be modified, pursuant to [Subsection 1102.04\(A\) or \(B\)](#), to include Design Review Committee review and recommendation to the Planning Director prior to issuance of the Planning Director’s decision. The Planning Director’s decision can be appealed to the County Land Use Hearings Officer.

What is needed for the County to approve a land use permit?

Applications for Design Review *may* be permitted after an evaluation by the County of applicable standards of the ZDO. The applicant is responsible for providing evidence that their proposal does or can meet those standards. In order to address the standards, the information requested in this application should be as thorough and complete as possible. A permit will only be approved or denied after a complete application is received and reviewed. The County approves an application only if it finds that the proposal meets the standards or can meet the standards with conditions.

Are all the submittal requirements listed in this application necessary?

County Staff, acting under the authority of the Planning Director per ZDO Subsection 1307.07(C)(2), has the ability to modify the submittal requirements for Design Review such that they are appropriate to the scope and context of the project. Any modifications to the submittal requirements should be discussed with Staff and identified through the required pre-application conference. Regardless of whether the submittal requirements are modified, it remains the applicant’s obligation to demonstrate that all approval criteria are met

FAQs continued

How long will it take the County to make a decision about an application?

The County makes every effort to issue a decision on a Type II land use application within 45 days of when we deem the application to be complete. State law generally requires a final County decision on a land use permit application in an urban area within 120 days of the application being deemed complete, and within 150 days for a land use permit in a rural area, although there are some exceptions.

If an application is submitted and then withdrawn, will a refund be given?

If a submitted Type II application is withdrawn before it is publicly noticed, 75% of the application fee paid, or the fee paid minus \$250, whichever is less, will be refunded. If a submitted application is withdrawn after it is publicly noticed, but before a decision is issued, 50% of the application fee paid, or the fee paid minus \$500, whichever is less, will be refunded. No refund will be given after a decision is issued.

Who can help answer additional questions?

For questions about the County's land use permit requirements and this application form, contact Planning and Zoning at **503-742-4500** or zoninginfo@clackamas.us. You can also find information online at the Planning and Zoning website: www.clackamas.us/planning.

Clackamas County is committed to providing meaningful access and will make reasonable accommodations, modifications, or provide translation, interpretation or other services upon request. Please contact us at 503-742-4545 or drenhard@clackamas.us.

503-742-4545: ¿Traducción e interpretación? | Требуется ли вам устный или письменный перевод?

翻译或口译 ? | Cần Biên dịch hoặc Phiên dịch? | 번역 또는 통역?



THE
BOOKIN
GROUP
LLC

Land Use &
Institutional
Planning

Project
Management

Policy Analysis

1020 SW Taylor St.
Suite 555
Portland, OR
97205
Telephone
503.241.2423

DATE: May 23, 2023

TO: Melissa Lord, Planner, Clackamas County Planning and Zoning

FROM: Debbie Cleek, Senior Planner, The Bookin Group

SUBJECT: Response to Incompleteness Letter for Oak Lodge Library and Concord Community Center Design Review
Z0083-23

This letter is in response to the request for additional information per the March 30, 2023, Incompleteness Letter related to the Design Review request for the new Oak Lodge Library. With the acceptance of this information, please deem the application complete.

Per the letter, the following information must be submitted for the application to be deemed complete:

1. *Statement of Feasibility from Oak Lodge for water, sewer and surface water feasibility. The statement of feasibility provided in the application materials, dated February 2, 2023, says specifically that this feasibility statement cannot be used for the Design Review application. Provide a statement of feasibility from Oak Lodge that can be used for the Design Review application.*

Response: An updated Statement of Feasibility, signed by Marcus Mead of Oak Lodge has been provided with this letter.

2. *The applicant should address the comments that were provided at the pre-app either in writing or on an updated site plan:*

a) SE Spaulding Court:

- i. *A 6-foot wide curb-tight sidewalk will be required along the north side of SE Spaulding Court site frontage.*
- ii. *Standard 6-inch curb shall be constructed along the entire site frontage of SE Spaulding Court.*
- iii. *The half cul-de-sac bulb shall be paved to the extent practicable and at a minimum provide a passenger vehicle turnaround (Standard Drawing C220). If an emergency vehicle turnaround is needed, the parking lot driveway may serve as part of the turnaround.*
- iv. *A concrete driveway approach will be required at the parking lot to delineate the public road from the parking lot outside the public right-of-way.*
- v. *On-street parking may be provided within the SE Spaulding Court right-of-way, as long as the spaces do not conflict with turnaround maneuvering.*

Response: The project team has begun discussions with County Engineering on how to design SE Spaulding to meet these requirements. A sketch of the current proposal is attached to this letter. The design presented would:

- Provides space for a standard C220 turnaround (purple zone) but requires a portion of ROW to be dedicated (green zone) unless this could be provided in an access easement.
- Provides space for the county fire truck turnaround, but requires an access easement (orange zone)

- Potentially would grant a ROW vacation (yellow zone) so that we don't have to extend Spaulding at 30' wide all the way to the end if the fire truck turnaround.
- Stopping Spaulding short would also allow the sidewalk to stop where we currently want it to stop (blue zone).
- Extends the pavement road taper up Spaulding a little further to make the transition smoother.

We assume these discussions will continue during the review of the Design Review until a mutually agreeable solution is reached.

3. *Sheet A3.21 is referenced on the plans but not provided. Please submit.*

Response: It is our understanding that this plan sheet was requested in order to see the parapet details on the new library building. Sheet A3.21 has been provided with this response letter.

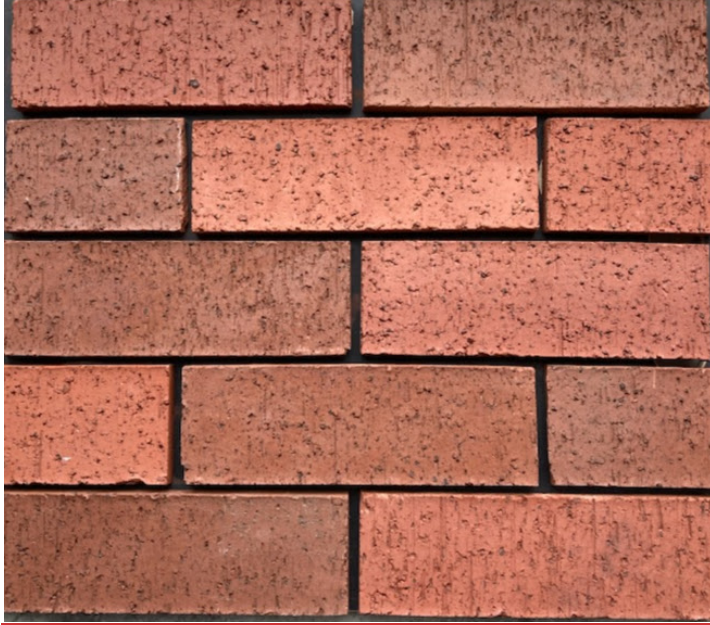
4. *Building materials:*

a. *Provide additional details regarding the brick proposed. Will it be a brick veneer or full brick?*

Response: The brick will be a brick veneer. The basis of design is a Norman size; (2-1/2 x 11-1/2 in. face, 3-1/2 in. depth) installed in a running bond pattern. The brick veneer will be provided by local supplier Mutual Materials, with a color mix of 60% 'Columbia Red' and 40% 'Ruby' in mission texture - with colors pulled from the existing Concord schools brick mix 'Autumn Blend'. We have provided images of the proposed brick mix for both the Concord School and the new library building.



1. Existing Brick Mix (Autumn blend in rug texture)



2. Proposed Brick Mix (Columbia Red/Ruby Blend in Mission Texture)

- b. Provide additional details about the windows proposed. What transparency value will they have?*

Response: The window glass is a combination of Vitroglazing's Solarban 60 (on the north and east facades, with a VLT 70, VLR 11/12 (ex/int)) and Solarban 70 (on the south and west facades, with a VLT 64 and VLR 13/14 (ex/int)). In the areas directly adjacent to landscaping, a bird friendly frit pattern or film will be applied to limit bird strikes.

5. *ZDO Section 1005.05. No response was provided in the project narrative regarding how the project complies with this subsection.*

Response: ZDO Section 1005.05 are Additional Requirements. Developments are required to comply with a minimum of one of the techniques per 20,000 square feet of site area with a maximum of 5. The site is 257,875 square feet so 5 techniques are required. The following techniques will be provided on the site:

A. Install a solar energy system in the development.

A 72kW PV array is designed on the roof of the new library. This will account for approximately 63% of the building's energy use.

B. Use passive solar heating or cooling techniques to reduce energy consumption. Examples of techniques:

- 1. Modulate building masses to maximize solar access.*
- 2. For developments with more than one structure, locate taller structures to minimize negative impacts on solar access for the development site and adjacent sites.*
- 3. Locate buildings to maximize windbreaks.*
- 4. Locate structures and landscaping to avoid winter shading on the south side and optimize summer shading on the west and southwest sides of buildings.*
- 5. Utilize deciduous trees to provide summer shade and allow winter sun.*
- 6. Utilize deciduous vines on fences, trellises, and arbors to provide summer shade.*

7. *Locate and form berms to protect buildings and exterior use spaces against winter winds or utilize dense evergreens or conifers to screen winter wind and protect against hostile winter elements.*
8. *Provide skylights or clerestory windows to provide natural lighting, and/or solar heating of interior spaces.*

Technique 8 is utilized: Clerestory windows are located on the north and east sides of the main reading room.

- C. *Use highly reflective (high albedo) materials on roof surfaces.*

The library has a white TPO roof with an initial SRI of 82.

- G. *Provide additional landscaping area at least 10 percent above the requirements for the site pursuant to Table 1009-1. For example, if the minimum area requirement is 20 percent, then 22 percent shall be provided. Credit shall be given for green roofs or other areas of vegetation that exceed the minimum area requirements.*

According to Table 1009-1 the area of the site in the R7 and R8.5 districts are required to provide 25% landscaping. Pedestrian amenities may comprise a maximum of one-third of the minimum landscaped area. There is no minimum landscaping requirement for the OSM zone. Within the 65,082 sq. ft. of the site in the R7 and R8.5 districts a total of 26,333 sq. ft. will be landscaped or provided as pedestrian amenities which equates to 40%.

- K. *Lay out sites and locate buildings and on-site vehicular circulation to create functional open areas such as plazas, courtyards, outdoor recreation areas, miniparks, and accessways that are open to the general public.*

The new building was sited to maximize area for a public park north of the building. Onsite vehicular circulation was co-located and condensed to maximize open, landscaped space. A public plaza is located between the parking lot and buildings.

6. *Lighting plan. Provide a supplemental lighting plan showing the footcandles of each lighting fixture. A standard footcandle diagram can be provided for the lighting types that are used repeatedly if that is preferable for the design team. e.g. one diagram with dimensions can be provided for the bollard walkway light.*

Response: Sheet E0.81 – Lighting Photometrics Plan and Sheet E0.02 – Luminaire Schedule have been provided with this letter

7. *Interpretive signs. Please identify which sign on Sheet SG.202 corresponds to the “interpretive signs” shown on Sheet L1.01.*

Response: The interpretative signage shown on the original proposal have been eliminated from the project. The references to these signs have been removed from the plans.

ADVISORY NOTES:

1. *A Variance land use application is required to be submitted to address the setback variance requests that are proposed. Land use application forms can be found online here: <https://www.clackamas.us/planning/supplemental.html>*

Response: The Spaulding Court improvements proposed by our engineer includes vacating the southern portion of the Spaulding Court right-of-way. If this vacation occurs then the location of the new building would meet the setback requirement to Spaulding Court. We plan to submit a Vacation application right away, but it might not be completed by the time the Design Review is ready to be approved. Therefore, we would like to request that the

application be deemed complete without a Variance application, and if necessary a condition of approval be added on to the Design Review approval that requires either a Variance or a Vacation be completed before building permits are issued.

2. *There does not appear to be any wall-mounted lighting at the public entrances to the library or to the new accessible entrance of the community center shown on the lighting plan but is referenced in the project narrative. You may want to update your plans or narrative to align with one another. If there are lights at the entrances shown on the plans, please let me know on which sheet I can find them.*

Response: The narrative incorrectly describes the lighting proposed at the entrances. At the library entry, recessed ceiling mounted down light fixtures will be provided in the ceiling of the overhang. A linear fixture will also provide back-lighting for the metal screen at the main entrance. This proposed lighting has been added to the site lighting plan for reference.

No additional exterior lighting is currently proposed at the accessible entrance to the community center. Adequate lighting for safety and wayfinding will be provided via the proposed site lighting, with light levels as indicated in the provided photometric plan.

3. *It appears as though the proposal does not comply with ZDO Section 1005.03(B)(2) and there are no design modifications requested at this time, pursuant to Section 1005.06.*

Response: The new library building does not meet Section 1005.03(B)(2) since no public entry to the building is proposed to face toward Spaulding Street. Therefore, a Modification to this standard is being requested with this letter. An application form for the Modification has been provided with this letter. The application fee will be paid once you provide instructions to us about how and when this fee should be paid. The Approval Criteria of Section 1005.06 is addressed below:

1005.06 MODIFICATIONS

Modification of any standard identified in Subsections 1005.02 and 1005.03 may be approved as part of design review if the proposed modification will result in a development that achieves the purposes stated in Subsection 1005.01 as well or better than the requirement listed.

Response: The Spaulding Street vehicle entrance to the site is secondary to Concord Road entrance, since accessing the site via Spaulding requires driving on a dead-end, under-improved Local Service Street through a quiet residential neighborhood. The project is specifically trying to limit the amount of traffic that will drive through the neighborhood to access the site, by encouraging the Spaulding parking lot to only be used only by staff and people accessing the park. All other visitors to the site will be encouraged to use the main parking lot accessed by Concord Road. If a public entrance to the library were provided facing Spaulding Street it would make it very convenient and desirable to use the Spaulding lot, which would be contrary to the message that project is trying to convey by discouraging traffic from cutting through the residential neighborhood.

Instead, the site and buildings have been oriented toward Concord Road, a Minor Arterial that is well suited to handle the traffic from this project. This orientation toward Concord is the historical precedent set by the Concord School, and the new library building is responding to this historical pattern. The main entrance to the library will be orientated toward the accessible plaza that runs in front of both buildings and provides a clear path that leads directly from the street and parking lot. This layout provides easy and intuitive wayfinding across the site. In addition, the library entrance will orient toward the park, to help integrate with this use of the site and tying all of the activities on site together in a cohesive design.

The requested Modification to eliminate the Spaulding facing entrance will result in development that achieves the purpose stated in Subsection 1005.01 as well or better than if a Spaulding facing entrance was provided. Specifically, the Concord-orientated entrance will help to “support community interaction by creating lively, safe, attractive public use space”. The proposed accessible plaza, with the library entrance orientated towards it will focus all of the public interaction on the site along a single corridor that will feature attractive paving, landscaping and lighting. Visitors to the site will have an opportunity to interact with each other as they use this main pathway and will not be scattered all over the site by parking and using a variety of paths. This criterion is met.

4. Property Line Adjustment with the Walmart Property.

Response: The County is still in negotiations with Walmart, but the request is now for an easement over Walmart property, not to obtain ownership of this section of their property. Therefore, a Property Line Adjustment is not necessary. Because use of the Walmart property has not been obtained yet all work proposed in this area has been removed from the plans. If NCPRD can obtain an easement over this property in the future an amendment to the Design Review will be requested.

If you need any additional information for this application, please contact me at cleek@bookingroup.com. Thank you.

Attachments

Preliminary Statement of Feasibility (OLWSA)
Spaulding Court Preliminary Design
Sheet 3.21
Sheet E0.02 – Luminaire Schedule
Sheet E0.81 - Lighting Photometrics Plan
Modification Application Form

I. SUMMARY OF PROPOSAL

Owner: Jason Varga, Project Manager – Oak Lodge and Gladstone Community Project
Clackamas County
150 Beavercreek Rd
Oregon City, OR 97045
503-351-4012
JVarga@clackamas.us

Land Use Planner: Debbie Cleek, Principal
The Bookin Group
1020 SW Taylor Street, Suite 555
Portland, OR 97205
503-241-2423
cleek@bookingroup.com

Architect: Liz Manser, Architect
Opsis Architecture
920 NW 17th Avenue
Portland, OR 97209
503-525-9511
liz@opsisarch.com

Request: Design Review for a Concord Community Center and Oak Lodge Library, with a two Variances.

Location: 3811 SE Concord Road

Tax Lot: 21E12AD 02900

Site Size: 5.92 acres

Current Zoning: OSM (Open Space Management) and R-7 & R-8.5 (Low Density Residential)

Summary: The request is for the redevelopment of the historic Concord Elementary School site. Clackamas County and their partner, North Clackamas Parks and Recreation District (NCPRD) plan to redevelop the site with the Concord Community Center located within the existing school building and the new Oak Lodge Library as a new free-standing building constructed adjacent to the school. The existing school building will include indoor recreation space, community space, and the NCPRD administrative offices (approved under a previous Conditional Use review). The new 15,362 sq. ft. library building will be a single-story structure used exclusively for library functions. The remainder of the site will be redeveloped with an upgraded park facility and parking to support these uses. Most of these uses are permitted outright in the OSM, R-7 and R-8.5 zones, however, the new library building will straddle the R8.5 and OSM zones and requires a conditional use in both zones (submitted as application number Z0020-23, currently under review). The new library building will also require a Variance to the front yard setback standard on Spaulding Street in the R-7 and R-8.5 zones and a Variance to the residential setback for a Government Owned Recreational Facility.

Pre-Application Conference: A Pre-Application Conference (ZPAC 0065-22) to discuss the proposal was held on June 7, 2022.

II. EXISTING CONDITIONS

EXISTING SITE CONDITIONS

Note: All references to cardinal directions refer to the “plan” north, south, east and west, since this site orientated approximately 45 degrees off the north/south axis.

Vicinity. The subject site is located north of SE Concord Road directly west of SE Olive Street. SE Spaulding Street terminates on the east side of the site. The site is approximately 600 feet east of McLoughlin Blvd (Highway 99E) and approximately 5 miles north of Interstate 205. The site is located in the community of Oak Grove in unincorporated Clackamas County. Though the site is addressed in Milwaukie the site is not within the city limits of Milwaukie.

Surrounding Uses. South and East of the site, properties are developed with primarily single-family residential uses. The properties west of the site all front on to McLoughlin Blvd and are developed with commercial uses, including a big box retail store, a healthcare clinic, gas station and an office supply store. South of Concord Road and on the west side of McLoughlin Blvd the properties are all developed with commercial uses that are similar in size and scale to those surrounding the site.

Site Description. The site is developed with the existing 46,400 sq. ft. school building in the southeast corner of the site. The southwest corner includes a paved parking lot, a playground and a covered picnic/play shelter. The north side of the site is developed with a playing field that includes two baseball diamonds. SE Olive Street and SE Spaulding Street crisscross the site as paved walkways located in the vacated rights-of-ways. Both streets are closed to vehicle traffic. There are 16 paved parking spaces located on the north side of the school building (partially located in the Spaulding Street cul-de-sac). Another 35 parking spaces are located south of the school in the paved lot accessed by Concord Road. A second vehicle entrance from Concord Road accesses a maintenance area on the east side of the school building.

The site slopes gradually downhill from the northeast corner toward the southwest corner. East of the school building the site is banked to meet the grade of the adjacent residential property. The playing fields on the north side of the site are planted with grass, and the remainder of the site is landscaped with grass, ornamental plantings and mature trees surrounding the school building on the south and west sides.

It should be noted that the County is in the process of trying to obtain an easement over the south half of the vacated Olive Avenue right-of-way that is currently owned by Walmart (the property owner south of the site).

Zoning and Comprehensive Plan Designation. The site is partially zoned R-7/R-8.5, both of which coincide with the Urban Low Density Residential Comprehensive Plan designation and require either a 7,000 and 8,500 square foot minimum lot size respectively. The remainder of the site is zoned Open Space Management, which is intended to preserve the County’s open space resources. The OSM zoned area has a Comprehensive Plan Designation of Open Space.

SITE OPERATIONS

Ownership. The site is owned by the North Clackamas Parks and Recreation District (NCPRD) who bought the property in late March 2018 from the North Clackamas School District (NCSD).

NCPRD Purpose and Mission. North Clackamas Parks and Recreation District (NCPRD) is a service district of Clackamas County dedicated to providing exceptional parks and recreation programs, facilities and services. Voters approved the formation of the district in 1990 because they saw the need for greater parks and recreation services in the north end of the County. The district – which serves more than 105,000 residents in a 27-square mile area – includes the city of Milwaukie and a large area of unincorporated Clackamas County.

NCPRD’s mission is to enrich community vitality and promote healthy living through parks and recreation. NCPRD meets this mission by providing 32 parks, acres of natural areas, and a network of trails for their residents to enjoy. Additionally, NCPRD offers a wide range of programs, services and events, and operates several recreational facilities.

Current Program on the Site. The North Clackamas School District closed the school in 2014 and the property was sold to NCPRD in 2018. Prior to the COVID-19 pandemic, the site and building were utilized by NCPRD to serve intermittent recreational needs, indoor gym activities, and community meeting space; Clackamas County Sheriff Instructional activities; and general use by the neighborhood of the outdoor play equipment, covered play area and open space. All of these functions ceased during the pandemic but have begun to resume again on the site. Additionally, NCPRD are in the process of relocating their district offices into the school building.

PROJECT BACKGROUND

Historic Significance of the Site. A Historical Resource Assessment of the site was done in 2020 by Architectural Resources Group. According to this study, the Concord site was first used as a school site for the Oak Grove community in 1890. The original school building was demolished in 1936 when the current building was constructed. The current Concord School building was constructed from a design by the prominent Oregon architect F.M. Stokes and partially funded with a Federal Emergency Administration of Public Works grant. The brick building is a good example of WPA-era construction, and the only such example standing in the Oak Grove community. To accommodate growing student populations, a rear wing was added to the building in 1948. The building was used continuously as a school from its construction in 1936 until it was closed by the district in 2014.

The building is eligible to be on the National Register of Historic Places but is not listed at this time. NCPRD’s purchase of the property was an important step toward preserving the property in public ownership and aligns with substantial community feedback to protect and preserve it.

Project Background. In October 2017, the County and City of Gladstone entered into a settlement agreement in which the County agreed to construct and manage two new libraries – a 6,000-square-foot facility in the City of Gladstone and an approximately 19,500-square-foot facility in the Oak Lodge Library service area. The agreement called for a “one library, two building” approach, with both libraries operated

by the County to achieve economies of scale and to best provide library services to the Oak Lodge and Gladstone service areas.

In a similar timeframe to this settlement agreement, NCPRD and the North Clackamas School District (NCSD) entered into a strategic partnership to acquire three NCSD properties, including the Concord Property in Oak Grove. Since Oak Lodge Library and NCPRD are both BCS divisions, it was decided to pool resources and use time and money efficiently by creating a joint process to plan for the Concord Property and the Oak Lodge and Gladstone libraries. A process outline was approved by the BCC in 2018.

Community Outreach. The redevelopment concept proposed with this application represents a year-long master planning effort. Starting in 2019 a 15-member community task force was formed to help advise NCPRD's Board of Directors on the best future use of the Concord property. The task force - comprised mainly of residents of the NCPRD and Oak Lodge Library service areas - studied alternatives, determined a preferred design, and provided a final recommendation to the Clackamas Board of County Commissioners.

The work of the task force was informed by a robust community outreach effort that included a high priority on engaging under-represented communities such as Spanish speaking, low-income, and youth groups. In fall of 2019, over 350 people attended the first open house and over 400 participants also provided input on an online and printed survey (in English and Spanish). A second open house was held online in August 2020, to gather feedback on three potential design alternatives and a second survey was completed by 269 participants. In addition, special focus groups for Spanish speaking people and teens were held at Oak Grove Elementary School and the Aquatic Park.

The site masterplan approved by the BCC in January 2021 is a holistic solution that best addresses the needs and desires of both the County and the community. It represents a balanced approach to the provision of indoor and outdoor recreation, community meeting and event opportunities, and library services, within one central location.

EXISTING DEVELOPMENT

Structures. The site includes a 46,400 square foot, 2-story building. In addition, there is an open-air structure covering an existing play area on the west side of the site.

Vehicular Parking. On-site vehicular parking is provided in two parking lots, which combined provide parking for 51 vehicles. A portion of this parking is located within the Spaulding Street right-of-way that dead ends at the site.

Existing Utilities and Services. The existing infrastructure that serves the site is described below:

- **Water Service:** Water service to the site is provided by the Oak Lodge Water Service District. There is an existing 6-inch water main in SE Concord Road available to serve the project. There is also an existing water main in SE Spaulding Avenue. Fire hydrants are located at both the southwest and northwest corners of the property. A Statement of Feasibility verifying the adequacy of the water system has been provided as Exhibit A.

- Sanitary/Stormwater Sewer Service: Sewer and stormwater disposal service for the site is provided by the Oak Lodge Water Service District. A existing 8-inch sanitary sewer/wastewater line is located in SE Concord Road to serve the site. A second line also exists in SE Spaulding Avenue. A Statement of Feasibility verifying the adequacy of the sewer/stormwater system has been provided as Exhibit A.
- Fire/Police Protection: Fire service is provided to the site from the Clackamas Fire District #1 with the nearest station being the Oak Grove Station #3. The site is provided with police services from the Clackamas County Sherriff Department.
- School Facilities: The site is served by the North Clackamas School District. It is assumed that this project will not create any proposal capacity issues for the school district since it does not involve any new housing.

Existing Transportation System. The site has excellent connections to the surrounding transportation network with direct access to major travel routes including NE McLoughlin Boulevard (Highway 99E) just west of the site and SE Oatfield Road to the east. The streets fronting the site include:

- SE Concord Road is classified by Clackamas County as a Minor Arterial on the Urban Transportation System Plan. In addition, this street is classified a Bikeway and Essential Pedestrian Arterial. The roadway has a two-lane cross-section and has a posted speed of 35 mph. On-street parking and pick-up/drop-off area is provided along the north side of the roadway at the site frontage. Curbs and sidewalks are provided along both side of the roadway, though the sidewalks are curb-tight with no planting strip. A designated bike lane is provided on both sites of the street.
- SE Spaulding Avenue is classified as a Local Street on the TSP. The approximately 20-foot wide roadway is paved but includes no designated parking strip, curbs, planting strip or sidewalks. This street dead-ends at the east edge of the site at a paved, striped parking lot that serves the existing school building.
- SE Olive Avenue is classified as a Local Street on the TSP. The approximately 20-foot wide roadway is paved and includes a curb-tight sidewalk on the west side only. This street improvement ends at the north edge of the site, but a paved pedestrian path continues through this site in the vacated right-of-way.

Transit Availability. SE Oatfield Road and SE McLoughlin Boulevard are transit streets with bus access served by Tri-Met. Both the #33 (McLoughlin/King Rd) and the #99 (Macadam/McLoughlin) bus lines provide service on McLoughlin Boulevard with bus stops for both lines at the intersection with Concord Road. The #33 route provides frequent peak hour service with 15-minute or better headways most of the day. The #32 (Oatfield) bus line on SE Oatfield Road also provides nearby service to the site, with bus stops at the intersection with Concord Road. The Concord site is approximately 1.7 miles from the nearest MAX station - the SE Park Avenue station in Oak Grove.

III. PROPOSED PLAN

SUMMARY

Summary of Proposal. This request is to redevelop the site including renovating the existing Concord school building into the Concord Community Center and building a new 15,360 sq. ft. building for the new Oak Lodge Library. The school building will include indoor recreation space, community space, and the NCPRD administrative offices (approved under Conditional Use review Z0390-22). The remainder of the site will be redeveloped with an upgraded park facility and parking to support these uses.

Project Overview. The Oak Lodge Library is designed to integrate into a new community park design and harmonize with the historic 1936 Concord Elementary School which will be revitalized and transformed into a community center.

The library will be about 15,360 square feet. The single-story building will be set into the site's natural grade and situated adjacent to the existing Concord Elementary School. This strategic siting pulls from the concepts in the approved masterplan and creates a strong campus connection between the two buildings. The library layout is highly flexible with column-free space, secure after-hours access to the community meeting room, lounge seating oriented to views of the park-setting, and secure access to the park's amphitheater, which can be used for an outdoor story-time circle. Library program spaces include children's and teen libraries, centralized collection area, seed library, and study rooms including the History reading room. Operational efficiencies were of paramount importance in the layout that optimizes functionality with distinct yet open library zones, and consideration of security with enhanced sightlines for passive supervision from service desks and workroom offices. Areas designated for staff will include a workroom, with three staff offices and staff lounge. Support and utility spaces include janitor's closet, storage, a fire riser room, electrical room, and MDF room.

Envisioned as an extension of the community park, the new library's architecture draws from the DNA of the Concord Elementary School with its brick enclosure, white window frames, and recessed white plaster entry walls. The two-color red orange brick mix will be pulled from the colors existing in the Concord Elementary brick mix. The library's shared material palette offers a compatible but lighter and more open interpretation, with abundant daylighting through clerestories and windows that filter direct sunlight through veiled white perforated metal screens.

The orientation of the library is pulled from the existing school. To mitigate solar gain on the main southwest façade the perforated metal sunscreens will protect the soaring windows opening to the shared plaza. A large, north facing window opens to the park, and is visible when entering the library space from the lobby.

Sustainable design measures include a Dowel Laminated Timber (DLT) roof system selected for its carbon sequestering attributes, aesthetic warmth, and acoustical properties. Additional sustainable strategies include balanced daylight harvesting, on-site stormwater collection, efficient mechanical system, and a rooftop photovoltaic solar array.

The flat roof will have two main heights, with a raised section located above the main reading room, allowing balanced natural light from clerestory windows along the north and east. Internal roof drains will eliminate the need for exterior downspouts. Mechanical equipment will be contained in a mechanical well on the building's east side.

It is anticipated that the library will be staffed by no more than 4-5 staff members at any given time. About 3,000 visitor per month are expected to visit the library. The hours of operation will be:

- Monday, Friday, Saturday 10 am - 6 pm
- Tuesday and Thursday 12 pm - 8 pm
- Wednesday 10 am - 8 pm
- Sunday 11 am - 6 pm

With potential after hour use of community meeting room.

Construction of the new library is proposed to begin in the fall of 2023 and be completed in the winter of 2024.

The Concord Elementary School building will remain largely unchanged, and NCPRD will utilize the existing spaces to serve their program. The historic main entry is located at the top of grand stairs, and the current accessible entry is located on the façade facing Concord Road. Accessibility is a high priority for the Community Center, and a new accessible entry will be created on the NW corner of the building, adjacent to the new Library building. The new entry will have a welcoming, white metal canopy which visually relates to the library sunscreens and will communicate the entry to visitors. The new entry will lead to a new elevator and access to both levels. The remainder of the renovation scope will be limited to minor seismic upgrades not visible from the exterior, mechanical upgrades to increase the school's efficiency and occupant comfort, and a new roof.

The existing roof is composed of flat sections of built up roofing and sloped asphalt shingles. The asphalt shingles will be replaced with a standing seam metal roof. The new metal roof will be a custom color match to the existing shingles to maintain visual continuity. Existing rooftop mechanical equipment will be replaced with smaller, more efficient units. These units' locations may change slightly to accommodate the new mechanical zoning, but these will not be on the sloped portion of the roof and will be set back as far as possible from the roof edge. These units will be less visible than the existing units.

Construction of the Community Center renovation will run in tandem with the library and site development.

Site Design. The project will result in an overall community campus including the library, the community park with amenities and the community center.

The main vehicular and pedestrian access from the site will be off SE Concord Road. A new, enlarged parking lot will replace the existing parking, and will serve the park, library, and community center. The improved vehicular circulation will provide two entrances of SE Concord, a drop off area, designated ADA parking, and short-term parking for book return.

Directly east of the main parking lot, a shared plaza will connect the library and community center and provide pedestrian access to the park. The landscaped plaza will provide seating and a location for NCPRD to host community events. A rolled curb with removable bollards at the drop-off will provide maintenance access to the park.

A landscaped courtyard with meandering walking path and bollard lighting will be located between the community center and the library. This space can also be accessed off the public meeting room in the library.

Building Programs. The comprehensive building program was determined through task force input, public open houses, focus groups, and a public opinion survey. The library building entry and new,

accessible community center entry are oriented to create a shared public plaza. The programming for the individual uses will include:

Concord Community Center

- **Indoor Recreation Amenities**
 - Multi purpose fitness rooms
 - Existing gym to be utilized for community, cultural, and recreation use
- **Community Spaces**
 - Event room
 - Existing warming kitchen
 - Flexible meeting & classroom spaces
- **NCPRD District Administrative Offices (Already approved through Z0390-22)**
 - Reception area
 - Private and open offices
 - Conference/ meeting rooms
 - Storage

Oak Lodge Library

- Reading room and stacks
- Teen and children's areas
- Service and Reference Desks
- Multi-use room
- Staff work room
- Public computers
- Study areas
- History Area
- 'Friends of the Library' section
- Seed Library

The following table shows the preliminary breakdown of the individual uses:

Table III-1 Building Program

Building	Proposed Use	Area
Community Center Building	Recreation Facilities	15,861 sq. ft.
	Community Center	9,781 sq. ft.
	Office Use	19,058 sq. ft.
	Total	44,700 sq. ft.
Library Building	Library	15,362 sq. ft.
	Total	15,362 sq. ft.

The remainder of the site will be used as a community park and vehicle parking to serve the uses. The existing park facilities on the site will be refurbished and upgraded. The park facilities proposed include:

- Playground
- Concrete walking path
- Bicycle parking

- Potential park shelter
- Amphitheater steps
- Picnic tables
- Open 'activity' lawn
- New landscape improvements including trees, turf lawn area, and ornamental plantings

Parking. Vehicle Parking for the site will be provided in two parking lots. A large parking lot south of the building with two access point onto Concord Avenue will be the main parking area for visitors. A smaller parking lot will be located north of the library building and will be accessed from Spaulding Avenue. Combined these lots provide a total of 163 parking spaces. One additional parking space will be located within the Spaulding right-of-way that terminates at the site, bringing the total number of spaces provided to 164 spaces.

State rules adopted on January 1, 2023, prohibit enforcing parking mandates for developments within ½ mile of a functional frequent transit corridor. (OAR 660-012-0012(5)e, Section 3). This rule includes several types of corridors that meet this standard, including “Corridors with bus service arriving with a scheduled frequency of at least four times an hour during peak service”. SE McLoughlin Boulevard is located less than ½ mile southwest of the site and is served by Tri-Met bus line #33 (McLoughlin/King Rd). The #33 route provides frequent peak hour service with 15-minute or better headways most of the day. Therefore, the site qualifies for the parking exception laid out in the new state rules.

The 164 provided parking spaces will be adequate to serve the proposed uses on the site, based on the parking requirements set by the Institute of Transportation Engineers (ITE), which has standards that are more specific to the actual uses proposed on that site than the uses found in Table 1015-1 of the Clackamas Zoning and Development Ordinance:

- Library (ITE Code 590) – 2.4 spaces/1,000 sq. ft.
 - *Land Use Description: Public or Private. Contains shelved books, reading rooms or areas, sometimes meeting rooms.*
- Recreational Community Center (ITE Code 495) – 2.7 spaces/1,000 sq. ft.
 - *Land Use Description: Recreational community centers are facilities similar to and including YMCAs, often including classes, day care, meeting rooms, swimming pools, tennis racquetball, handball, weightlifting equipment, locker rooms, & food service*
- General Office (ITE Code 710) – 2.4 spaces/1,000 sq. ft.
- Local Park (ITE Code 411) – 5.08 spaces/acre
 - *Land Use Description: City-owned parks, varying widely as to location, type, and number of facilities, including boating / swimming facilities, ball fields, and picnic facilities.*

Using these standards, adequate parking for the site would be calculated as follows.

Table III-2 ITE Parking Requirements

Proposed Use	Area	Parking Ratio	Spaces Req'd.
Recreation Community Center	25,642 sq. ft.	2.7 spaces/1,000 sq. ft.	69
Office Use	19,058 sq. ft.	2.4 spaces/1,000 sq. ft.	45.74
Library	15,362 sq. ft.	2.5 spaces/1,000 sq. ft.	38.41
Park	1.94 acres	5.08 spaces/acre	9.14
Total			163 spaces

The library, community center and park will be symbiotic uses that will all serving the same community therefore it is anticipated that there will be a lot of cross-over visitors between the two buildings and the park. The Zoning Development Ordinance allows a 20% reduction for shared parking, which in this case would bring the number of parking spaces needed to serve the uses to 131 spaces. Therefore the 164 proposed parking spaces will provide ample parking for the uses.

DEVELOPMENT STANDARDS AND REQUIREMENTS

Dimensional Standards - R districts.

The dimensional standards for the R-7 and R8.5 districts are found in Section 315.04 of the Clackamas Zoning and Development Ordinance (ZDO) and the applicable standards are addressed below:

Maximum Lot Coverage: 50%

Response: The area of the R7 and R8.5 districts combined is 65,082 sq. ft. In this area the total proposed building coverage is 28,940 sq. ft. or 44%.

Maximum Building Height: 35 feet

Response: The maximum building height of the new library is 27 feet. The height of the existing school is 39 feet to the top of the roof peak. This exceed the height limit in the R districts, but the existing building is non-conforming and will not move further out of conformance with this proposal.

Maximum Front Setback: 15 feet

Response: The existing school building is 24 feet from the Concord Road lot line, 24 feet from the Spaulding Avenue right-of-way and 37 feet from the Spaulding Avenue lot line. The new library building is setback five feet from the Spaulding Avenue right-of-way in the portion of the site in the R7 district. As part of this Design Review a Variance to this standard is requested and discussed in detail in Section IV of this report.

Maximum Rear Setback: 20 feet

Response: Both buildings are setback more than 20 feet from the rear property lines.

Maximum Side Setback: 5 feet

Response: Both buildings are setback more than 5 feet from the side property lines.

Maximum Setback for Government Owned Recreational Uses (Table 315-1, footnote 19): 45 feet from any other lot in a residential zoning district.

Response: The existing school building will be converted to a Government Owned Recreational Facility and is therefore subject to this setback. The existing building is located within 24 feet of the nearest lot line on the east, so once it is converted to a Government Owned Recreational Facility it will not be able to meet this setback requirement. As part of this Design Review a Variance to this standard is requested and discussed in detail in Section IV of this report.

Dimensional Standards - OSM district.

The development standards of the OSM districts are found in Section 702.06 of the ZDO and are addressed below:

- A. *Landscape the site to produce a setting appropriate to its function.*

Response: The landscaping proposed for the site will be complementary to the park area of the site, with lush trees, shrubs and ornamental plantings surrounding the hardscaped portions of the park. The landscaping in the remainder of the site will be used to shade and buffer the parking lot and soften the buildings. All of these landscape treatments are appropriate for the various functions of the site.

- B. *Provide an efficient internal circulation system and facilities layout plan.*

Response: A network of pedestrian paths will connect all of the uses on the site to each other, to the parking lot and to all of the adjacent streets.

- C. *Maximize access for pedestrians, bicyclists, transit riders, and people with disabilities in active recreation areas.*

Response: The pedestrian network will provide access to the site for pedestrians and bicyclists and all paths will be ADA compliant. New bicycle racks are proposed outside of the community center and the library to maximize easy access for bicyclists.

- D. *Provide conveniences for users with disabilities.*

Response: The site will include ADA parking spaces and pathways that will provide access for uses with disabilities to all of the amenities on the site.

- E. *In the case of parks, conform to the classifications and standards in Policies 1.1 through 1.3 of the Parks and Recreation Section of Chapter 9, Open Space, Parks, and Historic Sites, of the Comprehensive Plan.*

Response: According Policies 1.1 through 1.3 of the Comprehensive Plan (found on Table 9-1) the size of the proposed park classifies it as a Neighborhood Park (2 to 20 acres in size). This park meets the criteria of this table based on the population and service area it is expected to serve. Additionally, it includes most of the facilities found at a Neighborhood Park including benches, play apparatus, picnic area, landscaping, free play area and parking.

- F. *Locate principal and accessory buildings a minimum of 10 feet from any lot in a residential zoning district.*

Response: The new library building will be located more than 10 feet from any of the adjacent residentially zoned lots.

1002 - Protection of Natural Features.

It is assumed that the standards of Section 1002 of the ZDO do not apply to this project since there are no steep hillsides, river or stream corridors or other significant natural areas on site, only a nominal number of trees will be removed.

1003 - Hazards to Safety.

It is assumed that the standards of Section 1003 of the ZDO do not apply to this project since the site is not in an area of land movement, in a flood hazard area or in a fire hazard area.

1004 – Historic Resources.

It is assumed that the standards of Section 1003 of the ZDO do not apply to this project since the site since the site does not contain any registered historic landmarks.

1005 - Site and Building Standards.

The Site and Building Design Standards are found in Section 1005 of the ZDO and are addressed below.

1005.02 GENERAL SITE DESIGN STANDARDS

- A. *Where feasible, cluster buildings within single and adjacent developments for efficient sharing of walkways, on-site vehicular circulation, connections to adjoining sites, parking, loading, transit-related facilities, plazas, recreation areas, and similar amenities.*

Response: The new library building will be directly adjacent to the existing school building to allow for efficiency with parking and on-site circulation and to keep as much of the site available for park use as practical.

- B. *Where feasible, design the site so that so that the longest building elevations can be oriented within 20 degrees of true south in order to maximize the south-facing dimensions.*

Response: The orientation of the new library is dictated in part by the location of the existing school building, and the alignment of the site, which is not lined up with the cardinal North/South axis, therefore meeting this standard on this site is not feasible for good site design.

- C. *Minimum setbacks may be reduced by up to 50 percent as needed to allow improved solar access when solar panels or other active or passive solar use is incorporated into the building plan.*

Response: This standard is not applicable.

- D. *A continuous, interconnected on-site walkway system meeting the following standards shall be provided.*

1. *Walkways shall directly connect each building public entrance accessible to the public to the nearest sidewalk or pedestrian pathway, and to all adjacent streets, including streets that dead-end at the development or to which the development is not oriented.*

Response: A new walkway system will be developed on site that will connect all the entrances of the community center and the library to Concord Road, Spaulding Avenue and Olive Avenue.

2. *Walkways shall connect each building to outdoor activity areas including parking lots, transit stops, children's play areas and plazas.*

Response: The new walkway will connect the park and children's play area to the buildings, parking lot and all adjacent streets.

3. *Walkways shall be illuminated. Separate lighting shall not be required if existing lighting adequately illuminates the walkway.*

Response: As shown on sheets E0.80 of the plan set, all of the walkways will be illuminated with new fixtures that will adequately light the paths.

4. *Walkways shall be constructed with a well-drained, hard-surfaced material or porous pavement and shall be at least five feet in unobstructed width.*

Response: All walkways will be 5 minimum feet in width and will be constructed of concrete.

5. *Standards for walkways through vehicular areas:*

- a. *Walkways crossing driveways, parking areas and loading areas shall be constructed to be clearly identifiable to motorists through the use of different paving material, raised elevation, warning signs or other similar methods.*

Response: The walkway that crosses the Spaulding Avenue parking lot will be constructed of concrete to distinguish it from the asphalt parking area. The walkway that crosses the portion of Spaulding Ave within the right of way will be marked with a painted crosswalk.

- b. *Where walkways are adjacent to driveways, they shall be separated by a raised curb, bollards, landscaping or other physical barrier.*

Response: In all the locations where the walkway runs adjacent to the parking areas the walkway will be raised and separated by a curb. Bollards will be provided at the rolled curb between the plaza and the main parking lot.

- c. *Inside the Portland Metropolitan Urban Growth Boundary (UGB), if the distance between the building public entrance and street is 75 feet or greater and located adjacent to a driveway or in a parking lot, the walkway shall be raised, with curbs, a minimum four-foot-wide landscape strip and shade trees planted a maximum of 30 feet on center.*

Response: The walkway that leads from Concord Road to the main entrance of the library is 5-feet wide, raised with curbs and shaded by trees that will be planted 30 feet on center.

- d. *The exclusive use of a painted crossing zone to make walkways identifiable to motorists may be used only for portions of walkways which are shorter than 30 feet and located across driveways, parking lots, or loading areas.*
- e. *Walkways bordering parking spaces shall be at least seven feet wide or a minimum of five feet wide when concrete bumpers, bollards, curbing, landscaping, or other similar improvements are provided which prevent parked vehicles or opening doors from obstructing the walkway.*

Response: No walkways will be located in an area where it could be obstructed by parked vehicles, so these standards do not apply.

6. *The interconnected onsite walkway system shall connect to walkways in adjacent developments, or stub to the adjacent property line if the adjacent land is vacant or is developed without walkways.*

Response: All adjacent properties are developed (primarily with single-dwelling houses) so providing a stubbed walkway to these developments would not be appropriate. There are no existing adjacent walkways that need to be connected to in this location.

E. *Inside the UGB, except for industrial developments, a minimum of 50 percent of the street frontage of the development site shall have buildings located at the minimum front yard depth line.*

Response: This standard is dictated by the location of the existing school building that is non-conforming, since less than 50 percent of the street frontage is currently occupied by the school building. The addition of the library building to the site will not move the site further out of conformance with this standard.

1. *If the minimum front yard depth standard is less than 20 feet, the front yard depth may be increased to 20 feet provided pedestrian amenities are developed within the yard.*

Response: This standard does not apply since the existing school is already setback farther than 20 feet from the Concord Road lot line.

2. *Primary building entrances for buildings used to comply with Subsection 1005.02(E), shall:*
 - a. *Face the street;*
 - b. *Be located at an angle facing both the street and a parking lot; or*
 - c. *Be located to the side of the building, provided that the walkway connecting to the street is a minimum of eight feet wide and is developed with landscaping and pedestrian amenities.*

Response: An existing building entrance of the school building faces directly onto Concord Road and will be maintained.

3. *If a development has frontage on more than one street, Subsection 1005.02(E) must be met on only one frontage, as follows:*
 - a. *If one of the streets is a major transit street, the standard shall be met on that street.*
 - b. *If neither or both are a major transit street, then the standard shall be met on the street with the higher functional classification.*
 - c. *If neither 1005.02(E)(3)(a) or (b) applies, then the standard shall be met on the longest frontage.*

Response: Of the three street frontages of the site (Concord, Spaulding and Olive) Concord Road has the highest functional classification, so having a main entrance of the community center facing this street meets this standard.

- F. *Inside the UGB, parking lots larger than three acres in size shall be built with major on-site vehicular circulation ways that include raised walkways with curbs, a minimum four-foot-wide landscape strip and shade trees planted a maximum of 30 feet on center.*

Response: The proposed parking lot will be under 3 acres in size so this standard does not apply.

- G. *New retail, office, mixed use, and institutional buildings located on major transit streets shall have at least one public entrance facing a major transit street, or street intersecting a major transit street.*

Response: None of the streets surrounding the site are classified as a major transit street so this standard does not apply.

1005.03 BUILDING DESIGN

Note: Responses to these building design standards only address the new library building, since converting the school building into the community center will only require minor exterior alterations, including a new ADA accessible entrance on the north side facing the library and a new roof.

- A. *The following standards apply to building facades visible from a public or private street or accessway and to all building facades where the primary entrance is located.*

Response: The majority of the new library building will not be visible from the adjacent streets since it will be set behind the existing school building. The exception to this is the north façade that is visible from Spaulding Avenue.

1. *Building facades shall be developed with architectural relief, variety and visual interest and shall avoid the effect of a single, long or massive wall with no relation to human size. Examples of elements that subdivide the wall: change in plane, texture, masonry pattern or color, or windows.*

Response: The north facades of the library building will provide visual interest through the use of building planes that will break various sections of the facade up into smaller sections. On the southwest façade of the building, where the main entrance is located there is a large, recessed alcove

around the entrance that is highlighted with a change in material and color. Additionally, there are large windows that will be screened with a metal panel to provide light to the interior of the building while providing visual interest to the façade.

2. *Building facades shall have particular architectural emphasis at entrances and along sidewalks and walkways.*

Response: As described above, the main entrance to the library will be emphasized with a recessed alcove and large windows to help identify the entrance.

3. *Provide visual interest through use of articulation, placement and design of windows and entrances, building trim, detailing, ornamentation, planters or modulating building masses.*

Response: The windows and doors of the library building have been designed to provide light into the interior of the building, but also to articulate the facades and provide views into the building.

4. *Utilize human scale, and proportion and rhythm in the design and placement of architectural features.*

Response: The library building has been designed at a human scale, with windows, doors and roof heights being inviting rather than imposing.

5. *Use architectural features which are consistent with the proposed use of the building, level and exposure to public view, exposure to natural elements, and ease of maintenance.*

Response: The library has been designed to portray that it is a public, civic building, though the use of brick, large storefront windows that offer views into the public spaces of the interior. A large, welcoming ramp provides universal accessibility to the main entry.

6. *When uses between ground-level spaces and upper stories differ, provide differentiation through use of bays or balconies for upper stories, and awnings, canopies, trim and other similar treatments for lower levels.*

Response: The library building is only one story, so this standard does not apply.

B. Requirements for building entries:

1. *Public entries shall be clearly defined, highly visible and sheltered with an overhang or other architectural feature, with a depth of at least four feet.*
2. *Commercial, mixed-use and institutional buildings sited to comply with 1005.02(E) shall have public entries that face streets and are open to the public during all business hours.*

Response: The public entry to the library building will be highly visible through the use of the white accent color and change in materials. Additionally, the glass around the entrance will help to identify it. The alcove sheltering the entrance will be more than 4 feet deep. The entry is accessed off of a public plaza, and emphasized with plantings, benches, and a large pedestrian ramp. Building signage, book lockers, and a book return further help identify the main entry.

C. The street-facing facade of commercial, mixed-use and institutional buildings sited to comply with 1005.02(E) shall meet the following requirements:

1. *Facades of buildings shall have transparent windows, display windows, entry areas, or arcades occupying a minimum of 60 percent of the first floor linear frontage.*
2. *Transparent windows shall occupy a minimum of 40 percent of the first floor linear frontage. Such windows shall be designed and placed for viewing access by pedestrians.*

3. *For large-format retail buildings greater than 50,000 square feet, features to enhance the pedestrian environment, other than transparent window, may be approved through design review. Such items may include, but are not limited to display cases, art, architectural features, wall articulation, landscaping, or seating, provided they are attractive to pedestrians, are built to human scale, and provide safety through informal surveillance.*

Response: No façade of the library building is required to comply with 1005.02.E, since the existing school building is closer to Concord Road and is already non-conforming with regard to this standard.

D. Requirements for roof design:

1. *For buildings with pitched roofs:*
 - a. *Eaves shall overhang at least 24 inches.*
 - b. *Roof vents shall be placed on the roof plane opposite the primary street.*

Response: The new library building is proposed with a flat roof so this standard does not apply.

2. *For buildings, other than industrial buildings, with flat roofs or without visible roof surfaces, a cornice or other architectural treatment shall be used to provide visual interest at the top of the building.*

Response: The proposed flat roof will be accented with a metal coping at the top of the building to provide additional visual interest.

E. Requirements for exterior building materials:

1. *Use architectural style, concepts, colors, materials and other features that are compatible with the neighborhood's intended visual identity.*
2. *Building materials shall be durable and consistent with the proposed use of the building, level and exposure to public view, exposure to natural elements, and ease of maintenance.*
3. *Walls shall be surfaced with brick, tile, masonry, stucco, stone or synthetic equivalent, pre-cast masonry, gypsum reinforced fiber concrete, wood lap siding, architecturally treated concrete, glass, wood, metal, or a combination of these materials.*
4. *The surfaces of metal exterior building materials that are subject to rust or corrosion shall be coated to inhibit such rust and corrosion, and the surfaces of metal exterior building materials with rust or corrosion shall be stabilized and coated to inhibit future rust and corrosion.*

Response: The new library building is proposed to be constructed primarily of brick in order to match the exiting school building. Brick is a durable material, and easy to maintain. The brick will be accented by metal paneling and metal window trim that will be powder-coated white to prevent rust and compliment the white trim of the existing school building. The entry alcove will be stucco to help bring visual interest and warmth to visitors.

G. Requirements to increase safety and surveillance:

1. *Locate buildings and windows to maximize potential for surveillance of entryways, walkways, parking, recreation and laundry areas.*
2. *Provide adequate lighting for entryways, walkways, parking, recreation and laundry areas.*
3. *Locate parking and automobile circulation areas to permit easy police patrol.*
4. *Design landscaping to allow for surveillance opportunities.*
5. *Locate mail boxes where they are easily visible and accessible.*
6. *Limit fences, walls and, except for trees, landscaping between a parking lot and a street to a maximum of 30 inches in height.*
7. *Locate play areas for clear parental monitoring.*

Response: The building windows will be large and have been designed to strategically provide clear views out to the entry of the building and into the park. Lighting will be provided throughout the site to assure that all public areas are adequately lit. The proposed parking lot will be located adjacent to Concord Road to allow easy surveillance by police, and no fencing is proposed. The playground will be located near the entry to the park, with attention to site lines, and adjacency to benches for parental monitoring.

H. Solar access requirements:

- 1. Except for uses with greater cooling needs than heating needs, such as many retail uses, concentrate window areas on the south side of buildings (within 20 degrees of due south) where there is good southern exposure.*
- 2. Provide overhangs, balconies, or other shading devices to prevent excessive summer heat gains.*
- 3. Use architectural features, shape of buildings, fences, natural landforms, berms, and vegetation to catch and direct summer breezes for natural cooling, and minimize effects of winter winds.*

Response: The new building has been designed with large windows placed to allow the use of natural light in the building without increasing heat gains. Additionally, the overhangs around the entrance and the screening over the southwest facing windows will reduce heat loads in the summertime. High performance glazing will help minimize heat gain.

J. Requirements for screening mechanical equipment:

- 1. Rooftop mechanical equipment, except for solar energy systems, shall be screened from view by the use of parapet walls or a sight-obscuring enclosure around the equipment. The screen shall be constructed of one of the primary materials used on the primary facades, and shall be an integral part of the building's architectural design.*

Response: The new rooftop equipment on the library will be placed into a recessed well that will be screened with a brick wall and the building parapet to assure that none of the equipment is visible. New mechanical units will be added to the community center roof that will be smaller than the existing units and will be pushed back from the roof edge as far as possible to obscure them from sight.

- 2. Ground mounted mechanical equipment shall be located away from the intersection of two public streets, to the extent practicable, and shall be screened by ornamental fences, screening enclosures, or landscaping that blocks at least 80% of the view.*

Response: Two new ground-mounted mechanical units will be placed on the east side (rear) of the community center and will be partially screened by the new trash enclosure and existing building.

- 3. Wall mounted mechanical equipment shall not be placed on the front of a building or on a facade that faces a street. Wall mounted mechanical equipment that extends six inches or more from the outer building wall shall be screened from view from the streets; from residential, public, and institutional properties; and from public areas of the site or adjacent sites through one of the screening techniques used in 1005.03(J)(1) or (2).*

Response: No wall mounted mechanical equipment is proposed.

1005.04 OUTDOOR LIGHTING

A. Outdoor lighting devices:

- 1. Shall be architecturally integrated with the character of the associated structures, site design and landscape.*
- 2. Shall not direct light skyward.*

3. *Shall direct downward and shield light; or direct light specifically toward walls, landscape elements or other similar features, so that light is directed within the boundaries of the subject property;*
4. *Shall be suitable for the use they serve, e.g. bollard lights along walkways, pole mounted lights for parking lots;*
5. *Shall be compatible with the scale and intensity of uses they are serving. Height of pole mounted fixtures shall not exceed 25 feet or the height of the tallest structure onsite, whichever is less; and*
6. *At entrances, shall be glare-free. Entrance lighting may not exceed a height of 12 feet and must be directed downward.*

Response: The location of All new lighting is shown on Sheet E0.80 and the proposed fixtures are shown on E0.20. All lighting has been designed to be integrated with the site features and to limit light trespass onto adjacent lots and skyward and prevent glare. No light fixtures will be over 25 feet tall and the proposed entrance lighting will not exceed a height of 12 feet. Bollard lights will be provided at the park paths, and pedestrian scale pole lights will be provided at the main plaza and along the walkway along the main façade of the existing school building. Integrated LED strip fixtures will help illuminate the sunscreens at night, providing a soft glow behind the perforated metal.

1006 – Utilities, Street Lighting, Water Supply, Sewage Disposal, Surface Water Management and Erosion Control.

1006.02 STREET LIGHTS

Street lights are required for all development inside the Portland Metropolitan Urban Growth Boundary. The following standards apply:

- A. *Street lighting shall be installed pursuant to the requirements of Clackamas County Service District No. 5 and the electric company serving the development. A street light shall be installed where a new road intersects a County road right- of-way and, in the case of subdivisions, at every intersection within the subdivision.*

Response: No new street lighting is proposed with this project since the existing street lighting in the area is sufficient.

1006.03 WATER SUPPLY

- A. *All development which has a need for, or will be provided with, public or community water service shall install water service facilities and grant necessary easements pursuant to the requirements of the district or company serving the development.*
- B. *Approval of a development that requires public or community water service shall be granted only if the applicant provides a preliminary statement of feasibility from the water system service provider.*

Response: Water for the new library building will come from the public water main on Concord Road. The existing school building will continue to get water service from this main as well. A preliminary statement of feasibility for this this proposed water service has been provided by the Oak Lodge Water Service Authority (Exhibit A).

1006.04 SANITARY SEWER SERVICE

- A. *All development that has a need for sanitary sewers shall install the facilities pursuant to the requirements of the district or company serving the development.*
- B. *Approval of a development that requires sanitary sewer service shall be granted only if the applicant provides a preliminary statement of feasibility from the sanitary sewage treatment service provider and the collection system service provider.*

Response: Sanitary sewer service for the new library building will come from the public sewer line on Concord Road. The existing school building will continue to sewer service from this line as well. A

preliminary statement of feasibility for this this proposed sewer service has been provided by the Oak Lodge Water Service Authority (Exhibit A).

1006.06 SURFACE WATER MANAGEMENT AND EROSION CONTROL

- A. *Positive drainage and adequate conveyance of surface water shall be provided from roofs, footings, foundations, and other impervious or near-impervious surfaces to an appropriate discharge point.*
- B. *The requirements of the surface water management regulatory authority apply. If the County is the surface water management regulatory authority, the surface water management requirements of the Clackamas County Roadway Standards apply.*
- C. *Approval of a development shall be granted only if the applicant provides a preliminary statement of feasibility from the surface water management regulatory authority. The statement shall verify that adequate surface water management, treatment and conveyance is available to serve the development or can be made available through improvements completed by the developer or the system owner.*

Response: Stormwater disposal for the new library building, the parking lot and all other new impervious surfaces will be to the stormwater disposal line in Concord Road. A series of stormwater planters along the new building and at the edge of the parking lot will provide water quality prior to disposal. A preliminary statement of feasibility for this this proposed system has been provided by the Oak Lodge Water Service Authority (Exhibit A).

- D. *Development shall be planned, designed, constructed, and maintained to:*
 - 1. *Protect and preserve existing natural drainage channels to the maximum practicable extent;*
 - 2. *Protect development from flood hazards;*
 - 3. *Provide a system by which water within the development will be controlled without causing damage or harm to the natural environment, or to property or persons within the drainage basin;*
 - 4. *Ensure that waters drained from the development are substantially free of pollutants, including sedimentary materials, through such construction and drainage techniques as sedimentation ponds, reseeding, and phasing of grading; and*
 - 5. *Ensure that waters are drained from the development in such a manner that will not cause erosion to any greater extent than would occur in the absence of development.*

Response: Erosion control measures will be implemented throughout construction to assure that all natural drainage channels are protected, no water will drain onto neighboring properties and all drainage is free of pollutants and sedimentary materials.

1007 – Roads and Connectivity

1007.01 GENERAL PROVISIONS

- A. *The location, alignment, design, grade, width, and capacity of all roads shall be planned, coordinated, and controlled by the Department of Transportation and Development and shall conform to Section 1007, Chapters 5 and 10 of the Comprehensive Plan, and the Clackamas County Roadway Standards. Where conflicts occur between Section 1007, the Comprehensive Plan, and the Clackamas County Roadway Standards, the Comprehensive Plan shall control.*
- B. *Right-of-way dedications and improvements shall be required of all new developments, including partitions, subdivisions, multifamily dwellings, duplexes, triplexes, quadplexes, townhouses, cottage clusters, detached single- family dwellings, and commercial, industrial, and institutional uses, consistent with Section 1007, Chapters 5 and 10 of the Comprehensive Plan, and the Clackamas County Roadway Standards.*

Response: Improvements in the right-of-way include closing the existing curb cut on Concord Road and rebuilding the public sidewalk in this location as well as creating two new curb cuts on Concord to line up with the proposed parking lot circulation. Additionally, a section of the Spaulding Avenue right-of-way will be paved with new asphalt. Finally, new striping is proposed on Risley Avenue – north of the site – to prevent left hand turns as part of the mitigation recommended by the Traffic Impact Analysis. Otherwise, no additional improvements or dedications are proposed or required for the project. No through streets or alignments with other streets are required for this site.

1009 – Landscaping.

1009.01 GENERAL PROVISIONS

- A. *Landscaping materials shall be selected and sited to produce a hardy and low maintenance landscaped area with an emphasis on fast-growing plants. Selection shall include consideration of soil type and depth, spacing, exposure to sun and wind, slope and contours of the subject property, building walls and overhangs, and compatibility with existing vegetation to be preserved. Notwithstanding the requirement for hardiness, annuals are permitted as provided in Subsection 1009.01(B).*
- B. *A variety of plants, intermixed throughout landscaped areas, shall be provided, as follows:*
 - 1. *Evergreen and deciduous;*
 - 2. *Trees, shrubs, and groundcover;*
 - 3. *Plants of varying textures;*
 - 4. *Plants of varying widths and heights at maturity; and*
 - 5. *Plants with seasonal color interest (e.g., foliage, flowering perennials, annuals).*
- C. *The planting of invasive non-native or noxious vegetation shall be prohibited, and existing invasive non-native or noxious vegetation shall be removed.*

Response: As shown on the landscape plans (Sheets L3.01 and L3.02) the landscaping proposed throughout the site has been selected to be hardy and low maintenance. A variety of plants have been selected to provide shade, visual interest, color and texture throughout the site. No invasive non-native plants are proposed.

1009.02 MINIMUM AREA STANDARDS

- A. *Table 1009-1, Minimum Landscaped Area, establishes the minimum percentage of the area of the subject property that shall be landscaped.*

Response: According to Table 1009-1 the area of the site in the R7 and R8.5 districts are required to provide 25% landscaping. Pedestrian amenities may comprise a maximum of one-third of the minimum landscaped area. There is no minimum landscaping requirement for the OSM zone. Within the 65,082 sq. ft. of the site in the R7 and R8.5 districts a total of 26,333 sq. ft. will be landscaped or provided as pedestrian amenities which equates to 40%.

1009.03 SURFACE PARKING AND LOADING AREA LANDSCAPING

- A. *Surface parking areas that include more than 15 parking spaces shall comply with the following landscaping requirements:*
 - 1. *Twenty-five square feet of landscaping per parking space, excluding perimeter parking spaces, shall be provided, except that the standard shall be reduced to 20 square feet for each parking space developed entirely with porous pavement.*

Response: Landscaping has been provided in the parking lot at a rate of 25 sq. ft. per parking space. The large parking lot contains 158 parking spaces, and 4,043 square feet of landscaping has been provided. The small parking lot contains 6 parking spaces, and 175 square feet of landscaping has been provided. Therefore, both parking lots exceed this requirement.

2. *One landscape swale located between two rows of parking spaces, as shown in Figure 1009-1, is required for every six rows of parking spaces, unless all parking spaces are developed entirely with porous pavement. Additional swales beyond the minimum requirement are allowed.*

Response: A 4 foot wide swale has been provided in the center of the parking lot between two of the rows to meet this requirement for the 12 rows of parking provided.

3. *Interior landscaping not developed as swales pursuant to Subsection 1009.03(A)(2) shall comply with the following standards:*
 - a. *It shall be arranged in areas at the ends of rows of parking or between parking spaces within rows of parking. See Figure 1009-2.*
 - b. *It may join perimeter landscaping as long as the interior landscape area extends at least four feet into the parking area from the perimeter landscape line. See Figure 1009-2.*
 - c. *Landscaping that abuts, but does not extend into, the parking area may be included as interior landscaping if all of the following are met:*
 - i. *The abutting landscaped area must be in addition to required perimeter landscaping;*
 - ii. *Only the first 10 feet of the abutting landscaped area, measured from the edge of the parking area, may be included as interior landscaping; and*
 - iii. *The landscaped area is not abutting and parallel to required perimeter landscaping. See Figure 1009-2.*
 - d. *The interior length and width of landscaped areas shall be a minimum of four feet.*

Response: The interior landscaping area included in the overall calculation include the areas at the end of the parking rows, the islands that jut out into the parking lot and some of the larger perimeter areas that are not being used for required perimeter landscaping. All these areas are more that four feet in width.

4. *Interior landscaped areas, including swales, shall include a minimum of one tree located every eight interior parking spaces, or fraction thereof.*

Response: In the large parking lot there are 158 spaces and a total of 30 trees have been provided in the interior landscaping. In the small parking lot there are 6 spaces and a total of 2 trees have been provided in the interior landscaping. Therefore, both parking lots exceed this standard.

B. *Perimeter landscaping requirements for surface parking and loading areas adjacent to abutting lots or rights-of-way are as follows:*

1. *A landscaping strip with a minimum width of five feet shall be provided adjacent to the perimeter of the surface parking or loading area.*
2. *The required landscaping strips shall comply with the following standards:*
 - a. *Sufficient low shrubs shall be planted to form a continuous screen three feet high and 95 percent opaque, year-round; or a three-foot-high masonry wall or berm may be substituted for the shrubs. When applied along front lot lines, the screen or wall is to be placed along the interior side of the landscaping strip and shall be 30 inches high instead of three feet high.*
 - b. *In addition, one tree is required for every 30 linear feet of landscaping strip, or as otherwise required to provide a tree canopy over the landscaping strip.*
 - c. *Ground cover plants must fully cover the remainder of the landscaped area.*

Response: Five foot wide perimeter landscaping strips have been provided adjacent to Concord Road, along the west property line and along the east property line adjacent to the parking lot near Spaulding Avenue. These areas are proposed to be planted with ornamental shrubs and ground cover as well as a tree every 30 linear feet.

1009.04 SCREENING AND BUFFERING

- A. *Screening shall be used to eliminate or reduce the visual impacts of the following:*
 - 1. *Service areas and facilities, such as loading areas and receptacles for solid waste or recyclable materials;*
- B. *Screening shall be accomplished by the use of sight-obscuring evergreen plantings, vegetated earth berms, masonry walls, sight-obscuring fences, proper siting of disruptive elements, building placement, or other design techniques.*
- C. *Screening shall be required to substantially block any view of material or equipment from any point located on a street or accessway adjacent to the subject property. Screening from walkways is required only for receptacles for solid waste or recyclable materials. A sight-obscuring fence at least six feet in height and up to a maximum of 10 feet in height shall be required around the material or equipment.*

Response: The solid waste and recycling area for the site shall be located to the east of the community center building in an area that will be screened with a 6' tall chain link fence fitted with sight-obscuring slats. Additionally, this area will be buffered from the neighboring residential properties by the existing landscaping and grade change. This solid waste and recycling area will be located where the existing school currently stores solid waste and recycling.

1010 – Signs.

1010.05 DESIGN REVIEW

The size, materials, design, color, lighting, and location of signs and supporting structures for all permanent signs greater than 60 square feet in area, shall be subject to design review pursuant to Section 1102 and the following criteria:

- A. *Design: Signs shall be designed to be compatible with other development on the site, other nearby signs, other elements of street and site furniture, and adjacent structures. Compatibility shall be determined by the relationships of the elements of form, proportion, scale, color, materials, surface treatment, overall sign size, and the size and style of lettering.*
- B. *Scale: The scale of the sign, letter size, and design shall be appropriate for roadway or walkway visibility.*

Response: The signs proposed with the project are shown on Sheet SG.202. These include a wall mounted sign on the new library, a canopy mounted sign at the Community Center entry, a monument sign along Concord Road and interior site wayfinding signs. These signs have been designed to be compatible with the existing school building and the new library building in terms of size, scale and materials. These signs will be able to be visible from the adjacent street without overwhelming the surrounding residential uses. The existing Concord School site sign will be removed.

1011 – Open Space and Parks.

1011.02 DEVELOPMENT STANDARDS AND LIMITATIONS

- A. *Site planning and development shall avoid disturbance of identified open space resources, except as provided in Subsections 1011.02(B) and (C). Full use should be made of density transfers pursuant to Section 1012, Lot Size and Density, siting of structures and roads, and other appropriate means of designing the development around the open space.*

Response: The existing park area of the site is being preserved and enhanced with this project. The area is not designated as a high-priority open space, so no additional requirements of this section apply to this park.

1012 Lot Size and Density and 1013 Planned Unit Developments.

The standards of these two sections do not apply to this project since there is no land division or planned unit development proposed with this project.

1015 Parking and Loading.

1015.01 GENERAL STANDARDS

- A. *Inside the Portland Metropolitan Urban Growth Boundary (UGB), parking, loading, and maneuvering areas shall be hard-surfaced, unless a permeable surface is required for surface water management pursuant to the regulations of the surface water management authority or in order to comply with Subsection 1006.06.*

Response: All new parking areas will be constructed with asphalt surfaces.

1015.02 MOTOR VEHICLE PARKING AREA STANDARDS

- A. *Off-street parking areas shall be designed to meet the following requirements:*
- Automobile parking spaces shall be a minimum of 8.5 feet wide and 16 feet long, except that parallel spaces shall be a minimum of 8.5 feet wide and 22 feet long.*

Response: All parking spaces on site have been designed to meet this minimum size standard.

- Double-loaded, 90-degree angle parking bays shall be utilized where possible.*

Response: All parking spaces on the site are 90-degree spaces and the majority are double-loaded.

- A minimum of one parking space or five percent of the required spaces, whichever is greater, shall be marked and signed for use as carpool/vanpool spaces. These spaces shall be the closest employee automobile parking spaces to the building entrances normally used by employees, but shall not take priority over any spaces required for individuals with disabilities.*

Response: One carpool parking space is provided in the main parking lot next to the ADA parking spaces.

- Except for parallel spaces, parking spaces heading into landscaped areas or along the perimeter of a parking lot shall be provided with a sturdy tire stop at least four inches high and located two feet within the space to prevent any portion of a car within the lot from extending over the property line.*

Response: All perimeter parking spaces will include a tire stop.

- B. *Parking Minimums: The minimum number of parking spaces listed in Tables 1015-1, Automobile Parking Space Requirements, applies unless modified in Subsection 1015.02(D).*

Response: State rules adopted on January 1, 2023 prohibit enforcing parking mandates for developments within ½ mile of a functional frequent transit corridor. (OAR 660-012-0012(5)e, Section 3). This rule includes several types of corridors that meet this standard, including “Corridors with bus service arriving with a scheduled frequency of at least four times an hour during peak service”. SE McLoughlin Boulevard is located less than ½ mile southwest of the site and is served by Tri-Met bus line #33 (McLoughlin/King Rd). The #33 route provides frequent peak hour service with 15-minute or better headways most of the day. Therefore, the site qualifies for the parking exception laid out in the new state rules and no minimum parking is required.

- C. *Parking Maximums:*

1. *Within the UGB, the parking maximums listed for Urban Zone A in Table 1015-1 apply when an area has 20-minute peak hour transit service within one-quarter mile walking distance for bus transit or one-half mile walking distance for light rail transit.*

Response: The proposed parking is below the minimum parking requirements of Table 1015-1 and therefore also is below the maximum requirements listed on this table.

1015.03 BICYCLE PARKING STANDARDS

A. *Bicycle parking areas shall meet the following on-site locational requirements:*

1. *Bicycle parking racks shall be located in proximity to an entrance but shall not conflict with pedestrian needs.*
2. *At least 75 percent of the bicycle parking spaces shall be located within 50 feet of a public entrance to the building.*
3. *Bicycle parking may be provided within a building, if the location is easily accessible for bicycles.*
4. *Bicycle parking for multiple uses, or a facility with multiple structures, may be clustered in one or several locations within 50 feet of each building's entrance.*
5. *If the bicycle parking is not easily visible from the street or main building entrance, then a sign must be posted near the building entrance indicating the location of the parking facilities.*

Response: New bicycle racks are proposed next to the entrance to the library and to the community center, within 50 feet of the entrance of each of these buildings.

B. *Bicycle parking shall be designed to meet the following requirements:*

1. *When more than seven bicycle parking spaces are required, a minimum of 50 percent of the spaces shall be covered. All of the required bicycle spaces for schools, park-and-ride lots, congregate housing facilities, quadplexes, and multifamily dwellings shall be covered.*
2. *Cover for bicycle parking may be provided by building or roof overhangs, awnings, bicycle lockers, bicycle storage within buildings, or freestanding shelters.*
3. *When more than 15 covered bicycle parking spaces are required, 50 percent of the required covered spaces shall be enclosed and offer a high level of security, e.g., bicycle lockers or a locked cage or room with locking facilities inside, to provide safe long-term parking.*
4. *Required bicycle parking spaces shall be illuminated.*
5. *Required bicycle parking areas shall be clearly marked and reserved for bicycle parking only.*
6. *Bicycle parking space dimensions and standards:*
 - a. *Bicycle parking spaces must be at least six feet long and two feet wide, and in covered situations the overhead clearance must be at least seven feet.*
 - b. *An aisle a minimum of five feet wide must be provided for bicycle maneuvering.*
 - c. *Bicycle racks must hold bicycles securely by the frame and be securely anchored.*
 - d. *Hanging bicycle racks and/or enclosed, stackable bike lockers may be substituted for surface racks if comparable dimensions, maneuvering, and clearance are provided to the user.*
 - e. *Bicycle racks must accommodate both:*
 - i. *Locking the frame and one wheel to the rack with a high-security U- shaped shackle lock; and*
 - ii. *Locking the frame and both wheels without removal of wheels to the rack with a chain or cable not longer than six feet.*
7. *The minimum number of bicycle parking spaces listed in Table 1015-3, Minimum Required Bicycle Parking Spaces, are required. If a listed use is located with the Portland Metropolitan Urban Growth Boundary (UGB), it shall have a minimum of two bicycle parking spaces or the number required by Table 1015-3, whichever is greater.*

Response: Per Table 1015-1, a total of 1 bicycle parking space per 40 person design capacity is required for a Public Assembly Place. In the library the public meeting room is designed for 46 occupants, requiring 1 stall. In the community center the public meeting room is designed for 135 occupants, requiring 3.4 stalls. Therefore, the combined public meeting rooms in the project will require 4 spaces. Five staple-style bicycle racks are proposed outside of the community center main entrance to provide a total of 10 bicycle parking spaces to meet this standard.

Additionally, the community park will require 5 spaces per acre. The park is 2 acres in size, requiring 10 spaces. A minimum of 8 staple-style bicycle racks are proposed near the entrance to the park to provide a total of 16 bicycle parking spaces to meet this standard.

All spaces shall be illuminated and will be designed to be at least 6 feet long with a 5 foot maneuvering aisle. The staple style of rack is designed to lock both the frame and the wheel of the bike.

1015.04 OFF-STREET LOADING STANDARDS

- A. *No area shall be considered a loading berth unless it can be shown that the area is accessible and usable for that purpose, and has maneuvering area for vehicles.*
- B. *In cases of expansion of a building or use, that prior to the expansion, does not meet the minimum loading berth requirements in Table 1015-4, Minimum Required Off-Street Loading Berths, the following provisions shall apply:*
 - 1. *The minimum number of additional loading berths required shall be based only on the floor area or capacity added and not on the area or capacity existing prior to the expansion.*
 - 2. *If the expansion covers any pre-expansion loading berths, lost loading berths shall be replaced, in addition to any required additional berths.*
- C. *In the event several uses occupy a single structure or parcel of land and share the same loading berths, the total requirement for off-street loading shall be reduced by up to 25 percent of the sum of the requirements of the several uses computed separately.*
- D. *The minimum off-street loading berths listed in Table 1015-4 are required.*

Response: According to 1015-4, no loading berth is required for this project. No loading area is provided, but there will be some 5 minute parking spaces in the lot that can be used for occasional deliveries.

1017 - Solar Access.

The standards of Section 1017 of the ZDO do not apply to this project since it is not a subdivision, partition or replat.

1021 – Solid Waste and Recyclable Material Collection.

1021.03 GENERAL STANDARDS

- A. *Pads: Compactors, containers, and drop boxes shall be located on a level Portland Cement concrete pad, a minimum four inches thick, at ground level or other location compatible with the local collection service franchisee's equipment at the time of construction. The pad shall be designed to discharge surface water runoff to avoid ponding.*

Response: The trash collection area will be located behind the community center on the existing asphalt surface that will serve to meet these standards.

- B. *Recycling and Solid Waste Service Areas:*

1. *Recycling receptacles shall be designed and located to serve the collection requirements for the specific type of material.*
2. *Recycling service areas shall be located in close proximity to the solid waste container areas and be accessible to the local collection service franchisee's equipment.*
3. *Recycling receptacles or shelters located outside a structure shall have lids and be covered by a roof constructed of water- and insect-resistive material.*
4. *The location of recycling service areas and method of storage shall be approved by the local fire marshal.*
5. *Recycling and solid waste service areas shall be at ground level and be accessible to the local collection service franchisee.*
6. *Recycling and solid waste service areas shall be used only for storing solid waste and recyclable materials.*
7. *Recycling and solid waste service areas and equipment shall be maintained in a clean and safe condition pursuant to Chapter 10.03, Solid Waste and Wastes Management, of the Clackamas County Code.*

Response: The new trash enclosure will hold containers for both recycling and waste collection.

1021.05 RECEPTACLE STANDARDS

A. *Containers: Enclosures shall be designed consistent with the following standards:*

1. *Length and width of the service container.*
2. *A minimum of two feet, including pad area, shall be provided around the sides and rear of each container.*
3. *A minimum three feet, including pad area, shall be provided in front of each container for maneuverability in depositing solid waste or recyclable materials. In cases where the containers face each other, a minimum four feet shall be provided.*
4. *Containers two cubic yards or less in size shall be provided with a minimum nine feet of unobstructed overhead or vertical clearance for servicing.*

Response: The new trash enclosure had been designed to provide room for two service containers (trash and recycling) and will have the required clearance to assure that all maneuverability standards are met.

1021.06 VEHICLE ACCESS

1. *Vehicular access to the front of a container pad, shelter, or enclosure shall be a minimum of 45 feet long and a minimum of 12 feet wide.*
2. *Vehicular access to service a drop box or compactor shall include the pad length required in Subsection 1021.06(A) plus a minimum of 65 feet in front of the loading hook placement position.*
3. *The vehicular access to a pad or enclosure shall be hard-surfaced consistent with the off-street parking provisions of Section 1015, Parking and Loading.*

Response: The enclosure will be located in an area with adequate vehicle access, in a location that the service provider is currently accessing.

IV. LEGAL FINDINGS

APPROVAL CRITERIA

Introduction. The purpose of this section is to demonstrate that the proposed library and community center complies with the approval criteria of the ZDO.

Approval Criteria for Design Review.

The approval criteria for the Design Review are found in Section 1102.03 and are addressed below.

- A. *The proposed development shall be subject to Section 1000, Development Standards, and the standards of the applicable zoning district.*

Response: As shown in the previous section, the proposal meets all the applicable standards of Section 1000. The proposal also meets all the standards of the R7, R8.5 and OSM zoning districts with exception of the standards that variances are requested for. These variances are addressed below. With approval of these variances this criterion will be met.

- B. *As part of design review in the RCO District and for the PMU1 site...*

Response: This approval criterion does not apply to this project since it is not located in the RCO District.

- C. *As part of design review of development of any portion of the OA District...*

Response: This approval criterion does not apply to this project since it is not located in the OA District.

Approval Criteria for Variances.

Overview of Variances. Two variances are requested to the dimensional standards of the R-7 and R-8.5 zoning districts with this proposal.

The first variance is for the existing school building that currently sits 24 feet from the east property line, which is the closest residentially zoned property adjacent to the building. When the building is converted to a Government Owned Recreational Facility it will trigger a 45-foot setback from this property line (Table 315-1, footnote 19). As a school facility the building was in conformance with all setback standards, but converting the building to a recreational facility will move it out of conformance due to this new larger setback, so a variance to this standard is requested.

The second variance is to the front yard setback from Spaulding Avenue for the new library. Spaulding is an unusually shaped right-of-way that dead ends into the site on the eastern side. This right-of-way is not improved and has long been used as a parking lot for the park. No setback is required from this street for the portions of the site that are zoned OSM. However, for the portion of this right-of-way that is in the R-7 and R-8.5 districts this street is considered a front lot line, requiring a 15 foot setback. The building will be setback 5'8" from this right-of-way at the narrowest point, therefore a variance to the front setback is required.

Approval Criteria. The approval criteria for a Variance are found in Section 1205.02 and are addressed below.

A. *If the proposed variance is to any of the following standards, it shall not reduce the minimum by more than 10 percent; however, the 10-percent limit does not apply to the partition of a lot of record that is divided by a public road:*

1. *Minimum lot size;*
2. *Minimum average lot size; and*
3. *District land area.*

Response: Both variances are related to setback standards and not any of the standards listed above, so this criterion does not apply.

B. *Compliance with the applicable dimensional standard of this Ordinance would create a hardship due to one or more of the following conditions:*

1. *The physical characteristics of the land, improvements, or uses are not typical of the area.*
2. *The subject property cannot be developed to an extent comparable with other similar properties in the area if the standard is satisfied.*
3. *The subject property is an Urban Low Density Residential, RA-1, RRFF-5, FF-10, or HR District, the requested variance is to the minimum lot size standard, and more than 50 percent of the lots of record that are within one-half mile of the subject property and located in the same zoning district as the subject property are smaller than the minimum lot size standard.*
4. *Compliance with the standard would eliminate a significant natural feature of the subject property.*
5. *Compliance with the standard would reduce or impair the use of solar potential on the subject property or adjacent properties.*

Response: The physical characteristics of the property are not typical of the area since the site is zoned residentially but has been developed with an institutional building for over 100 years. As such, the desire to keep the historic Concord school building on the site prohibits it from being developed for residential purposes similar to other residential properties in the surrounding area. Furthermore, the location of the existing structure and the desire to keep as much of the park area intact dictates how the rest of the site can be developed, and where the new building could be placed.

The site is located in several different zoning districts (R-7, R-8.5 and OSM) so development standards are not consistently applied across the site. In the example of the front setback to the Spaulding Avenue right-of-way, in the portion of the site zoned residentially there is a 15 foot setback requirement but in the portion of the site zoned OSM there is no setback required at all. The multiple zones on the site are compounded by the irregular shape of the lot and the unusual configuration of the Spaulding Avenue right-of-way dead ending into the site. Additionally, the platted right-of-way for Spaulding is not reflective of how this street is used, since the right-of-way has historically been used as a parking lot for the park and will continue to serve as access to parking with the new development. Taking all these factors into consideration, it was very difficult to site the new library on the property in a way that maintained the park and provided adequate parking to serve the uses.

Another important design factor was assuring that the new building did not detract from the design of the historic school building. The southern edge of the library was specifically aligned with the school building so that views into the site from Concord Road would not be dominated by the new building and would emphasize the historic school. Moving the building further south to meet the 15 foot setback from Spaulding would dramatically change the visual relationship between the two buildings and de-

emphasis the historic school. It would also reduce the visual connection from the plaza and parking lot into the park.

To summarize, all of the challenges presented by the location of the existing building, the zoning of the site and the configuration of the parcel and right-of-way presented a hardship to developing the site in compliance with the R-7/R-8.5 standards which would ordinarily be applied to a residential development. This criterion is met.

- C. *Strict adherence to the dimensional standard is unnecessary because the proposed variance from the standard will reasonably satisfy all the following objectives:*

1. *Will not adversely affect the function or appearance of the development and use on the subject property;*

Response: The variance to the existing school building to allow it to be converted to a community center will not adversely affect the appearance or the function of the site since only minor changes are proposed to the exterior of this building and from the neighborhood perspective it will continue to function as it has historically by serving the surrounding community.

The variance to the front yard setback from Spaulding Avenue will not adversely affect the appearance or the function of the site because as described above, Spaulding has historically not functioned as a typical public street. Allowing the new building to be developed closer to this platted right-of-way will not affect the functionality of this street in any way.

2. *Will not impose limitations on other properties and uses in the area, including uses that would be allowed on vacant or underdeveloped properties; and*

Response: The proposed variances will not impose any limitations on surrounding properties since the site will function in a way that is similar to its historic use pattern. The existing building will not be any closer to the adjacent residential properties than what currently exist on the site. The new building will be over 80 feet from the closest residential property to maintain privacy.

3. *Will result in the minimum variance needed to alleviate the hardship.*

Response: Both proposed variances are the minimum required to develop the site while preserving as much of the existing park as practical. This criterion is met.

- D. *The proposed variance is consistent with the applicable goals and policies of the Comprehensive Plan.*

Response: There are no specific goals or policies of the Comprehensive Plan that address this situation since the site is being developed with institutional uses and the goals and policies of the Medium Density Residential designation are focused on residential uses. Therefore, the proposed variances are consistent with these goals and policies and this criterion is met.

CONCLUSION

As shown in this report, the requested Design Review meets all the development standards of the ZDO applicable to the site. Approval of the Design Review will allow the development of a modern and efficient new library and a renovation of the beloved Concord School into a new community center. The new building is well designed and will integrate well with the park and other site amenities. The two proposed Variances are nominal requests to compensate for the unique challenges presented by the site and zoning. Therefore, this Design Review request should be approved.



Instructions for PRELIMINARY STATEMENTS OF FEASIBILITY

Instructions to Applicant:

The attached *Preliminary Statement of Feasibility* form is to be completed by the applicable sanitary sewer service provider, surface water management authority, and water service provider. Where there is no surface water management service district for the subject property, this form is to be provided to the Clackamas County Department of Transportation and Development, Transportation Engineering Division. *Preliminary Statements of Feasibility* are not required for onsite wastewater treatment facilities (e.g., septic tanks) or water service by private well.

Completed *Preliminary Statement of Feasibility* forms must be submitted with a land use application for design review, a partition, a subdivision, conditional use permit, or zone change.

It is the responsibility of the applicant for a land use application to provide a copy of this form to each service provider for the subject property. A service provider may require the submission of detailed plans and/or engineering data prior to determining whether a *Preliminary Statement of Feasibility* will be issued. Contact the service providers for details.

The forms must be dated no more than one year prior to submittal of a complete land use application.

Instructions to Reviewing Service Provider or Surface Water Management Authority:

A development is proposed within your service area. Please complete the attached *Preliminary Statement of Feasibility* to indicate whether adequate service can be provided to this development.

If adequate service can be provided only with the implementation of certain conditions of approval, you may attach such conditions to the completed form. Completion of the *Preliminary Statement of Feasibility* does not imply that additional requirements (e.g., plan submittals) may not be imposed by your agency once a land use application for the prospective development is filed.

Clackamas County Planning & Zoning will continue to provide notice to you of land use applications for property within your service area. This will allow you to determine whether the submitted development proposal differs from the plans reviewed by your agency in conjunction with the completion of this statement. This will also allow you to provide additional comments as necessary.

Clackamas County is committed to providing meaningful access and will make reasonable accommodations, modifications, or provide translation, interpretation or other services upon request. Please contact us at 503-742-4545 or drenhard@clackamas.us.

503-742-4545: ¿Traducción e interpretación? | Требуется ли вам устный или письменный перевод?
翻译或口译? | Cần Biên dịch hoặc Phiên dịch? | 번역 또는 통역?



**Planning and Zoning
Department of Transportation and Development**

Development Services Building
150 Beavercreek Road | Oregon City, OR 97045
503-742-4500 | zoninginfo@clackamas.us
www.clackamas.us/planning

PRELIMINARY STATEMENT OF FEASIBILITY

TO BE COMPLETED BY APPLICANT		
Applicant name: Debbie Cleek	Applicant email: cleek@bookingroup.com	Applicant phone: 503-789-3211
Project engineer: Josh Lighthipe - KPFF	Project engineer email: josh.lighthipe@kpff.com	Project engineer phone: 503-542-3860
Site address: 3811 SW Concord Road		
Map and tax lot #: Township: _____ Range: <u>21</u> Section: <u>12AD</u> Tax Lot: <u>02900</u> Township: _____ Range: _____ Section: _____ Tax Lot: _____ Township: _____ Range: _____ Section: _____ Tax Lot: _____		

TO BE COMPLETED BY SERVICE PROVIDER / SURFACE WATER MANAGEMENT AUTHORITY	
Name of service provider / surface water management authority: Oak Lodge Water Services Authority	Name and title of authorized representative: Markus Mead, Development Review Specialist
Representative email: permits@OLWSD.org	Representative phone: 503-353-5205
Check all that apply: Water Service <input checked="" type="checkbox"/> Water service, <i>including fire flows</i> , is available in levels appropriate for the development and adequate water system capacity is available in source, supply, treatment, transmission, storage, and distribution, or such levels and capacity can be made available through improvements completed by the developer or the system owner. <input type="checkbox"/> Water service is adequate <i>with the exception of fire flows</i> . The applicant shall provide a statement from the fire district serving the subject property that states that an alternate method of fire protection, such as an on-site water source or sprinkler system, is acceptable. <input type="checkbox"/> Adequate water service <i>cannot</i> be provided. Sanitary Sewer Service <input checked="" type="checkbox"/> Sanitary sewer capacity in the wastewater treatment system and the sanitary sewage collection system is available to serve the development or can be made available through improvements completed by the developer or the system owner. <input type="checkbox"/> Adequate sanitary sewer service <i>cannot</i> be provided. Surface Water Management, Treatment, and Conveyance <input checked="" type="checkbox"/> Adequate surface water management, treatment, and conveyance is available to serve the development or can be made available through improvements completed by the developer or the system owner. <input type="checkbox"/> Adequate surface water management, treatment, and conveyance <i>cannot</i> be provided.	
Is this statement issued subject to any conditions of approval? <input checked="" type="checkbox"/> YES, and those conditions are attached. <input type="checkbox"/> NO	
Signature of authorized representative: <i>Markus Mead</i>	Date of signature: Feb. 2, 2023

These comments are for application Z0020-23

This statement is signed assuming that a separate feasibility statement will be submitted to Oak Lodge for the Design Review land use application, when the proposed utility demand will be quantified by the owner for Oak Lodge to review.

No utility demand information for fire or domestic water, wastewater or stormwater has been submitted for this statement and all will reviewed for the associated Design Review land use application.



**Planning and Zoning
Department of Transportation and Development**

Development Services Building
150 Beaver Creek Road | Oregon City, OR 97045
503-742-4500 | zoninginfo@clackamas.us
www.clackamas.us/planning

PRELIMINARY STATEMENT OF FEASIBILITY

TO BE COMPLETED BY APPLICANT		
Applicant name:	Applicant email:	Applicant phone:
Project engineer:	Project engineer email:	Project engineer phone:
Site address:		
Map and tax lot #: Township: _____ Range: _____ Section: _____ Tax Lot: _____ Township: _____ Range: _____ Section: _____ Tax Lot: _____ Township: _____ Range: _____ Section: _____ Tax Lot: _____		

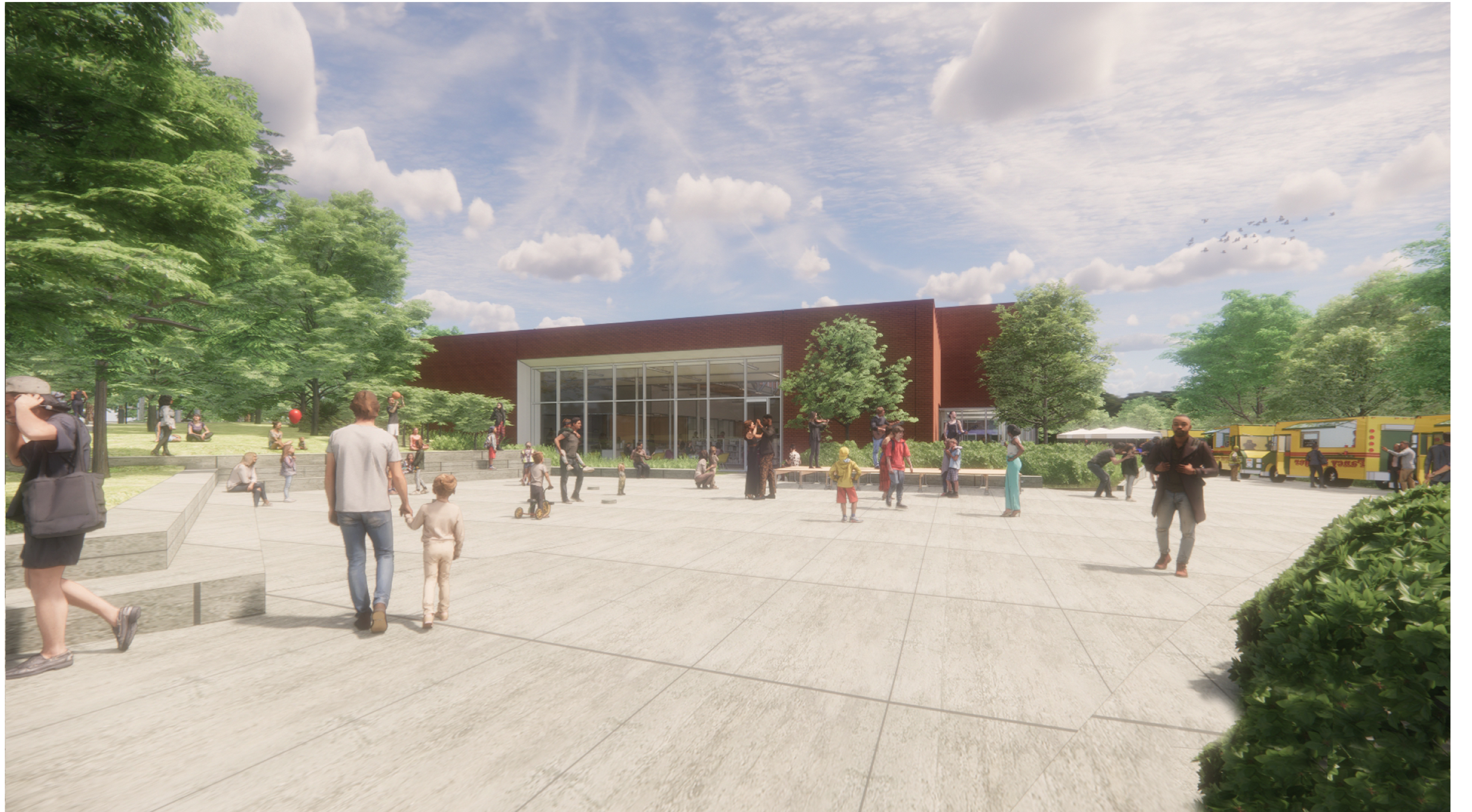
TO BE COMPLETED BY SERVICE PROVIDER / SURFACE WATER MANAGEMENT AUTHORITY	
Name of service provider / surface water management authority:	Name and title of authorized representative:
Representative email:	Representative phone:
Check all that apply: Water Service <input type="checkbox"/> Water service, <i>including fire flows</i> , is available in levels appropriate for the development and adequate water system capacity is available in source, supply, treatment, transmission, storage, and distribution, or such levels and capacity can be made available through improvements completed by the developer or the system owner. <input type="checkbox"/> Water service is adequate <i>with the exception of fire flows</i> . The applicant shall provide a statement from the fire district serving the subject property that states that an alternate method of fire protection, such as an on-site water source or sprinkler system, is acceptable. <input type="checkbox"/> Adequate water service <i>cannot</i> be provided. Sanitary Sewer Service <input type="checkbox"/> Sanitary sewer capacity in the wastewater treatment system and the sanitary sewage collection system is available to serve the development or can be made available through improvements completed by the developer or the system owner. <input type="checkbox"/> Adequate sanitary sewer service <i>cannot</i> be provided. Surface Water Management, Treatment, and Conveyance <input type="checkbox"/> Adequate surface water management, treatment, and conveyance is available to serve the development or can be made available through improvements completed by the developer or the system owner. <input type="checkbox"/> Adequate surface water management, treatment, and conveyance <i>cannot</i> be provided.	
Is this statement issued subject to any conditions of approval? <input type="checkbox"/> YES, and those conditions are attached. <input type="checkbox"/> NO	
Signature of authorized representative: <i>Markus Mead</i>	Date of signature: April 18, 2023

This statement of feasibility is signed by Oak Lodge with the following conditions.

Disclaimer:

The District signs preliminary statements of feasibility for Surfacewater management as the Surfacewater management authority subject to the following conditions: The property owner is responsible for substantiating Surfacewater compliance and performance. This is demonstrated through a preliminary storm water report and plan submitted for the preliminary statement of feasibility. OLWSD does not own the storm water conveyance system and cannot authorize connections to that system. The owner of the system reconciles existing capacity to proposed impacts. Some development proposals may require use of public easements which OLWSD cannot determine access rights. Other conditions may apply depending on the proposal.

1. Stormwater treatment could meet OLWSD standards and is to be constructed by the applicant and the design approved by an Oak Lodge permit following Land Use application approval.
2. Preliminary data provided by the applicant substantiate the ability to meet Oak Lodge stormwater standards.





Revisions to Sheet	Date
Revision	

Status: **DESIGN REVIEW**
 REV 1

Date: **05.22.2023**

Sheet Title

SHEET INDEX
 AND GENERAL
 NOTES

Sheet No.

G0.00

Job No.

4775 - 07

SHEET INDEX

NOT ISSUED ☐ ISSUED ☒ ISSUED FOR REFERENCE ONLY ☐ FRO ☐

SHEET NUMBER	SHEET NAME	SCHEMATIC DESIGN	50% DESIGN DEVELOPMENT	CONDITIONAL USE PACKAGE	100% DESIGN DEVELOPMENT	DESIGN REVIEW	50% CONSTRUCTION DOCUMENTS	100% CONSTRUCTION DOCUMENTS
GENERAL								
G0.00	SHEET INDEX AND GENERAL NOTES	*	*	*	*	FRO	*	*
G0.01	ZONING DIAGRAMS				FRO	*	FRO	*
G0.02	ARCHITECTURAL ABBREVIATIONS AND SYMBOLS	*	*	*	*	*	*	*
G0.03	CAMPUS EXTERIOR ELEVATIONS		FRO	FRO	FRO	FRO	FRO	FRO
G0.20	CODE ANALYSIS	*	*	*	*	*	*	*
G0.31	FIRE & LIFE SAFETY PLAN	*	*	*	*	*	*	*
CIVIL								
C0.01	COVER SHEET	*	*	*	*	*	*	*
C0.02	EXISTING CONDITIONS	*	*	*	*	FRO	*	*
C0.03	FIRE ACCESS					FRO	*	*
C1.00	DEMOLITION PLAN					FRO	*	*
C2.00	SITE PLAN - OVERALL	*	*	*	*	*	*	*
C2.01	SITE PLAN - AREA 1				*	*	*	*
C2.02	SITE PLAN - AREA 2				*	*	*	*
C2.03	SITE PLAN - AREA 3				*	*	*	*
C2.10	STREET IMPROVEMENTS - SE CONCORD RD	*	*	*	*	FRO	*	*
C2.11	STREET IMPROVEMENTS - SE RISLEY AVE					*	*	*
C3.00	GRADING PLAN - OVERALL				FRO	FRO	*	*
C3.01	GRADING PLAN - AREA 1					*	*	*
C3.02	GRADING PLAN - AREA 2					*	*	*
C3.03	GRADING PLAN - AREA 3					*	*	*
C3.10	GRADING ENLARGEMENT				FRO	*	*	*
C4.00	UTILITY PLAN - OVERALL	*	*	*	*	FRO	*	*
C4.01	UTILITY PLAN - AREA 1				*	*	*	*
C4.02	UTILITY PLAN - AREA 2				*	*	*	*
C4.03	UTILITY PLAN - AREA 3				*	*	*	*
C4.10	PUBLIC UTILITY SANITARY MAIN PLAN & PROFILE			*	*	*	*	*
C4.20	PUBLIC UTILITY STORM MAIN PLAN & PROFILE			*	*	*	*	*
C4.30	PUBLIC UTILITY WATER MAIN PLAN & PROFILE			*	*	*	*	*
C5.00	CIVIL DETAILS	*	*	*	*	*	*	*
C5.01	CIVIL DETAILS	*	*	*	*	*	*	*
C5.02	CIVIL DETAILS	*	*	*	*	*	*	*
C5.03	CIVIL DETAILS	*	*	*	*	*	*	*
C5.04	CLACKAMAS COUNTY DETAILS					*	*	*
C5.05	OAK LODGE WATER SERVICES DETAILS	*	*	*	*	*	*	*
C5.06	OAK LODGE WATER SERVICES DETAILS	*	*	*	*	*	*	*
C5.07	ODOT DETAILS					*	*	*
C6.00	EROSION AND SEDIMENT CONTROL PLAN					*	*	*
C6.01	EROSION AND SEDIMENT CONTROL DETAILS					*	*	*
LANDSCAPE								
L1.01	MATERIALS PLAN	*	*	*	*	FRO	*	*
L2.01	LAYOUT PLAN	*	*	*	*	*	*	*
L3.01	PLANTING PLAN	*	*	*	*	FRO	*	*
L3.02	PLANT SCHEDULE	*	*	*	*	*	*	*
L4.01	IRRIGATION PLAN					FRO	*	*
L4.02	DETAILS					*	FRO	*
L5.01	DETAILS					*	*	*
L5.02	DETAILS					*	*	*
L5.03	DETAILS					*	*	*
L5.04	DETAILS					*	*	*
L5.05	DETAILS					*	*	*
ARCHITECTURAL								
A0.40	EXTERIOR WALL ASSEMBLY TYPES	*	*	*	*	*	*	*
A0.50	INTERIOR WALL ASSEMBLY TYPES	*	*	*	*	*	*	*
A0.60	HORIZONTAL ASSEMBLY TYPES	*	*	*	*	*	*	*
A0.70	DOOR SCHEDULE AND DOOR TYPES	*	*	*	*	*	*	*
A0.80	ARCHITECTURAL SITE PLAN	*	*	FRO	*	FRO	*	*
A0.90	ENLARGED SITE PLAN	*	*	*	*	*	*	*
A1.01	FLOOR PLAN LEVEL 01	*	*	FRO	*	FRO	*	*
A1.02	CLERESTORY PLAN	*	*	*	*	*	*	*
A1.03	ROOF PLAN	*	*	*	*	FRO	*	*
A1.05	FINISH PLAN LEVEL 01	*	*	*	*	*	*	*
A1.06	FURNITURE PLAN LEVEL 01	*	*	*	*	*	*	*
A1.20	SLAB PLAN LEVEL 01	*	*	*	*	FRO	FRO	*
A1.61	REFLECTED CEILING PLAN LEVEL 01	*	*	*	*	*	*	*
A1.62	RCP DLT AND FIRE SUPPRESSION				FRO	FRO	FRO	FRO
A2.10	EXTERIOR ELEVATIONS	*	*	*	*	FRO	*	*
A2.11	EXTERIOR ELEVATIONS	*	*	*	*	FRO	*	*
A2.20	ENLARGED EXTERIOR ELEVATIONS	*	*	*	*	FRO	*	*

SHEETS IDENTIFIED IN RED TEXT ARE NEW SHEETS IN
 THE 'DESIGN REVIEW_REV 1' ISSUANCE

SHEET NUMBER	SHEET NAME	SCHEMATIC DESIGN	50% DESIGN DEVELOPMENT	CONDITIONAL USE PACKAGE	100% DESIGN DEVELOPMENT	DESIGN REVIEW	50% CONSTRUCTION DOCUMENTS	100% CONSTRUCTION DOCUMENTS
MECHANICAL								
M0.01	SYMBOL LIST AND GENERAL NOTES - MECHANICAL	*	*	*	*	*	*	*
M0.02	SCHEDULES - MECHANICAL	*	*	*	*	*	*	*
M1.00	UNDERGROUND PLAN - MECHANICAL					*	*	*
M1.01	FIRST FLOOR PLAN - MECHANICAL	*	*	*	*	*	*	*
M1.02	ZONING PLAN - MECHANICAL	*	*	*	*	*	*	*
M1.03	ROOF PLAN - MECHANICAL	*	*	*	*	*	*	*
M4.01	ENLARGED PLANS AND SECTIONS - MECHANICAL	*	*	*	*	*	*	*
M6.01	DETAILS - MECHANICAL	*	*	*	*	*	*	*
PLUMBING								
P0.01	SYMBOL LIST AND GENERAL NOTES - PLUMBING		*	*	*	*	*	*
P0.02	SCHEDULES - PLUMBING		*	*	*	*	*	*
P1.00	UNDERGROUND PLAN - PLUMBING		*	*	*	*	*	*
P1.01	FIRST FLOOR PLAN - PLUMBING		*	*	*	*	*	*
P1.03	ROOF PLAN - PLUMBING		*	*	*	*	*	*
P3.01	ENLARGED PLANS AND SECTIONS - PLUMBING		*	*	*	*	*	*
P5.01	DETAILS - PLUMBING		*	*	*	*	*	*
ELECTRICAL								
E0.01	SYMBOL LIST AND GENERAL NOTES - ELECTRICAL	*	*	*	*	*	*	*
E0.02	LUMINAIRE SCHEDULE		*	*	*	FRO	*	*
E0.80	SITE PLAN - ELECTRICAL	*	*	*	*	FRO	*	*
E0.81	SITE PLAN - LIGHTING PHOTOMETRICS	*	*	*	*	FRO	*	*
E1.02	MEZZANINE FLOOR PLAN - LIGHTING	*	*	*	*	*	*	*
E2.01	FIRST FLOOR PLAN - POWER	*	*	*	*	*	*	*
E2.03	ROOF PLAN - POWER	*	*	*	*	*	*	*
E4.01	ENLARGED PLANS AND SECTIONS - ELECTRICAL	*	*	*	*	*	*	*
E5.01	SINGLE LINE DIAGRAMS - ELECTRICAL	*	*	*	*	*	*	*
E6.01	SCHEDULES - ELECTRICAL	*	*	*	*	*	*	*
E7.01	DETAILS - ELECTRICAL	*	*	*	*	*	*	*
TECHNOLOGY								
T0.01	SYMBOL LIST AND GENERAL NOTES - TECHNOLOGY		*	*	*	*	*	*
T0.08	SITE PLAN - TECHNOLOGY		*	*	*	*	*	*
T1.01	FIRST FLOOR PLAN - TECHNOLOGY		*	*	*	*	*	*
T4.01	ENLARGED PLANS AND SECTIONS - TECHNOLOGY		*	*	*	*	*	*
T7.01	DETAILS - TECHNOLOGY		*	*	*	*	*	*
SIGNAGE								
SG.100	SITE PLAN - LIBRARY & PARK		*	*	*	*	*	*
SG.101	FLOOR PLAN - LIBRARY		*	*	*	*	*	*
SG.200	MESSAGE SCHEDULE		*	*	*	*	*	*
SG.201	COLOR & TYPOGRAPHY		*	*	*	*	*	*
SG.202	EXTERIOR SIGN FAMILY		*	*	*	FRO	*	*
SG.203	INTERIOR SIGN FAMILY		*	*	*	*	*	*
SG.300	SIGN TYPE AA1		*	*	*	*	*	*
SG.301	SIGN TYPE AA2		*	*	*	*	*	*
SG.302	SIGN TYPES CC1 & DD1		*	*	*	*	*	*
SG.303	SIGN TYPES FF1 & GG1		*	*	*	*	*	*
SG.400	SIGN TYPES A1, A2, A3 & A4		*	*	*	*	*	*
SG.401	SIGN TYPES B1 & B2		*	*	*	*	*	*
SG.402	SIGN TYPES B3 & B4		*	*	*	*	*	*
SG.403	SIGN TYPE C1		*	*	*	*	*	*
SG.404	SIGN TYPE C1 & C2		*	*	*	*	*	*
SG.405	SIGN TYPE E1		*	*	*	*	*	*
STRUCTURAL								
S0.01	GENERAL STRUCTURAL NOTES	*	*	*	*	*	*	*
S0.02	GENERAL STRUCTURAL NOTES	*	*	*	*	*	*	*
S0.03	SYMBOLS & ABBREVIATIONS	*	*	*	*	*	*	*
S0.04	SPECIAL INSPECTION REQUIREMENTS	*	*	*	*	*	*	*
S1.01	FOUNDATION PLAN	*	*	*	*	*	*	*
S1.02	PARTIAL PLAN MEZZANINE LEVEL	*	*	*	*	*	*	*
S1.03	ROOF FRAMING PLAN	*	*	*	*	*	*	*
S3.01	EXTERIOR ELEVATIONS	*	*	*	*	*	*	*
S3.02	EXTERIOR ELEVATIONS	*	*	*	*	*	*	*
S4.01	THRUSS ELEVATIONS	*	*	*	*	*	*	*
S5.01	CONCRETE DETAILS	*	*	*	*	*	*	*
S5.02	CONCRETE DETAILS	*	*	*	*	*	*	*
S6.01	STEEL DETAILS	*	*	*	*	*	*	*
S6.02	STEEL DETAILS	*	*	*	*	*	*	*
S6.05	STEEL DETAILS	*	*	*	*	*	*	*
S6.06	STEEL DETAILS	*	*	*	*	*	*	*
S6.07	STEEL DETAILS	*	*	*	*	*	*	*
S6.08	STEEL DETAILS	*	*	*	*	*	*	*
S6.09	STEEL DETAILS	*	*	*	*	*	*	*
S6.10	STEEL DETAILS	*	*	*	*	*	*	*
S6.51	METAL DECK DETAILS	*	*	*	*	*	*	*
S7.01	WOOD DETAILS	*	*	*	*	*	*	*
S8.01	METAL STUD DETAILS	*	*	*	*	*	*	*
S8.02	METAL STUD DETAILS	*	*	*	*	*	*	*

DETAIL CELL LOCATION KEY

17	13	9	5	1
18	14	10	6	2
19	15	11	7	3
20	16	12	8	4

DEFERRED SUBMITTALS

- SUPPORTS AND SEISMIC BRACING OF PLUMBING EQUIPMENT DELEGATED DESIGN (SPEC 22 0 48)
- SUPPORTS AND SEISMIC BRACING OF PLUMBING EQUIPMENT DELEGATED DESIGN (23 05 48)
- ACOUSTICAL PANEL CEILINGS DELEGATED DESIGN (SPEC 09 51 13)
- ALUMINUM-FRAMED ENTRANCES AND STOREFRONTS DELEGATED DESIGN (SPEC 08 41 13)
- FALL PROTECTION: DELEGATED DESIGN (SPEC 11 24 25)

REFERENCE DOCUMENTS

- LIMITED HAZARDOUS BUILDING MATERIALS SURVEY REPORT: CONCORD ELEMENTARY SCHOOL, DATED JULY 2017
- GEOPHYSICAL SURVEY AND UST DECOMMISSIONING COST ESTIMATE. DATED MAY 24, 2017
- SOIL INFILTRATION TESTING MEMORANDUM: DATED JANUARY 27, 2023
- GEO TECHNICAL INVESTIGATION AND SITE-SPECIFIC SEISMIC HAZARD EVALUATION: OAK LODGE COMMUNITY PROJECT, REVISED 04.17.200

ALTERNATES

- IN ADDITION TO EXTERIOR PLAZA, PROVIDE WATER FEATURE AS DETAILED IN LANDSCAPE DRAWINGS AND RELATED UTILITIES AS SHOWN IN CIVIL DRAWINGS, AND AS SPECIFIED IN DIVISIONS 22 "PLUMBING", 32 "EXTERIOR IMPROVEMENTS" AND 33 "UTILITIES".
- IN ADDITION TO PROVIDING SEALED CONCRETE, PROVIDE POLISHED CONCRETE FINISH AS INDICATED IN DRAWINGS AND AS SPECIFIED IN SECTION 03 35 43 "POLISHED CONCRETE FINISHING".
- IN ADDITION TO PROVIDING SEALED CONCRETE, PROVIDE FLOOR TILE AT ALL RESTROOMS AS INDICATED IN DRAWINGS AND AS SPECIFIED IN SECTION 09 30 00 "TILING".
- IN ADDITION TO PROVIDING PAINTED GYPSUM WALL BOARD, PROVIDE STRETCHED-FABRIC WALL PANEL SYSTEM, AWP-2, AS INDICATED IN DRAWINGS AND AS SPECIFIED IN SECTION 09 94 36 "SOUND-ABSORBING UNITS"

RELATED PERMITS

- CLACKAMAS COUNTY BUILDING
 - BUILDING - COMMERCIAL NEW
 - BUILDING - COMMERCIAL NEW (UNDERGROUND FIRELINE)
 - BUILDING - PLUMBING (INTERIOR)
 - BUILDING - PLUMBING - (SITE WORK)
 - BUILDING - MECHANICAL COMMERCIAL
 - BUILDING - FIRE SUPPRESSION: DELEGATED DESIGN
- BUILDING - FIRE AND LIFE SAFETY SYSTEMS: ALARMS, SIGNALING, CALL SYSTEM, MANUAL FIRE ALARM SYSTEM TO ACTIVATE AN EMERGENCY VOICE/ALARM COMMUNICATIONS SYSTEM: DELEGATED DESIGN
- BUILDING - ELECTRICAL
- BUILDING - ELECTRICAL - LOW VOLTAGE
- BUILDING - GRAZING
- BUILDING - RENEWABLE ENERGY - PV: DELEGATED DESIGN
- SIGNAGE

CLACKAMAS COUNTY DEVELOPMENT ENGINEERING

- DEVELOPMENT PERMIT

CLACKAMAS COUNTY PLANNING

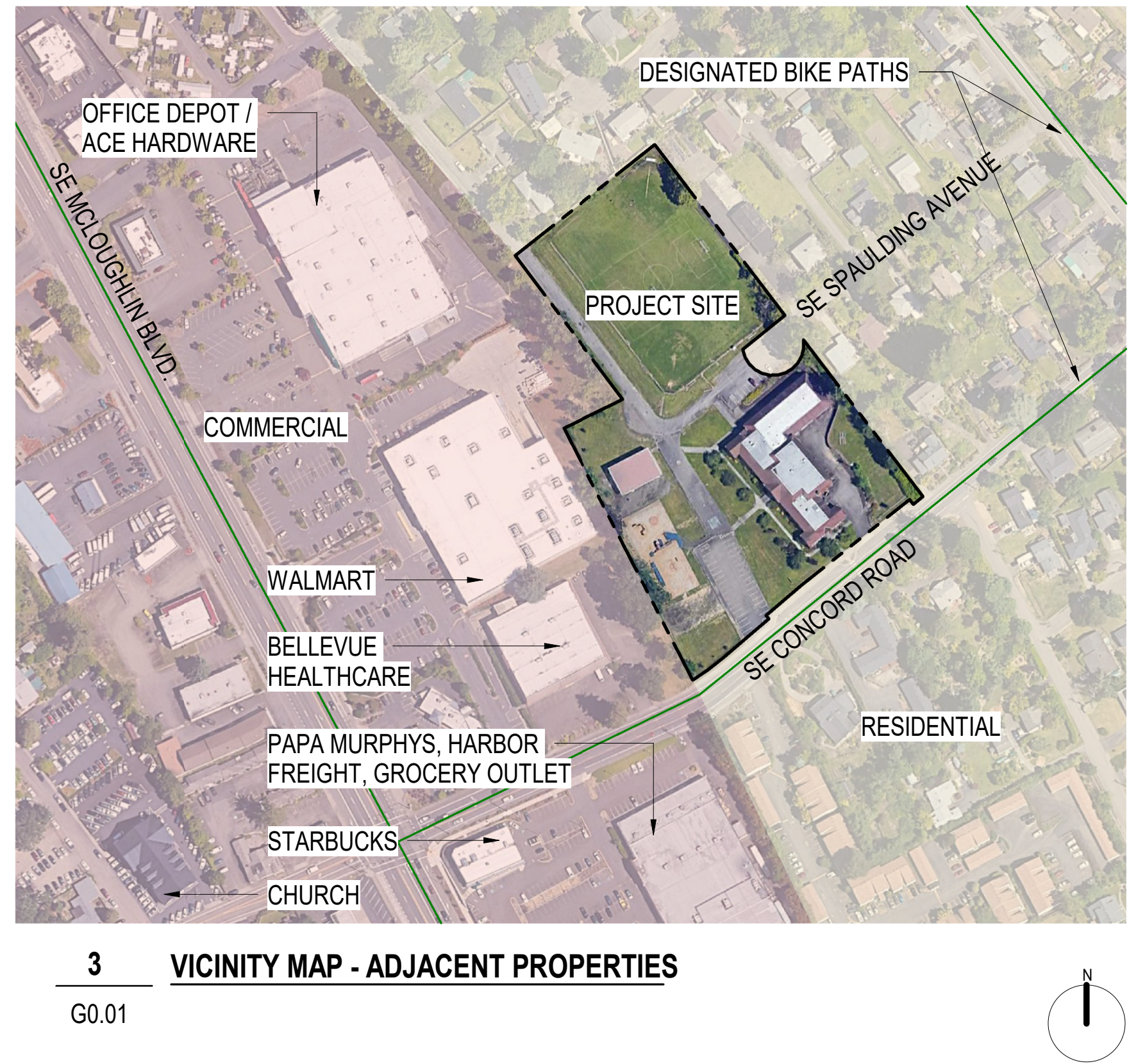
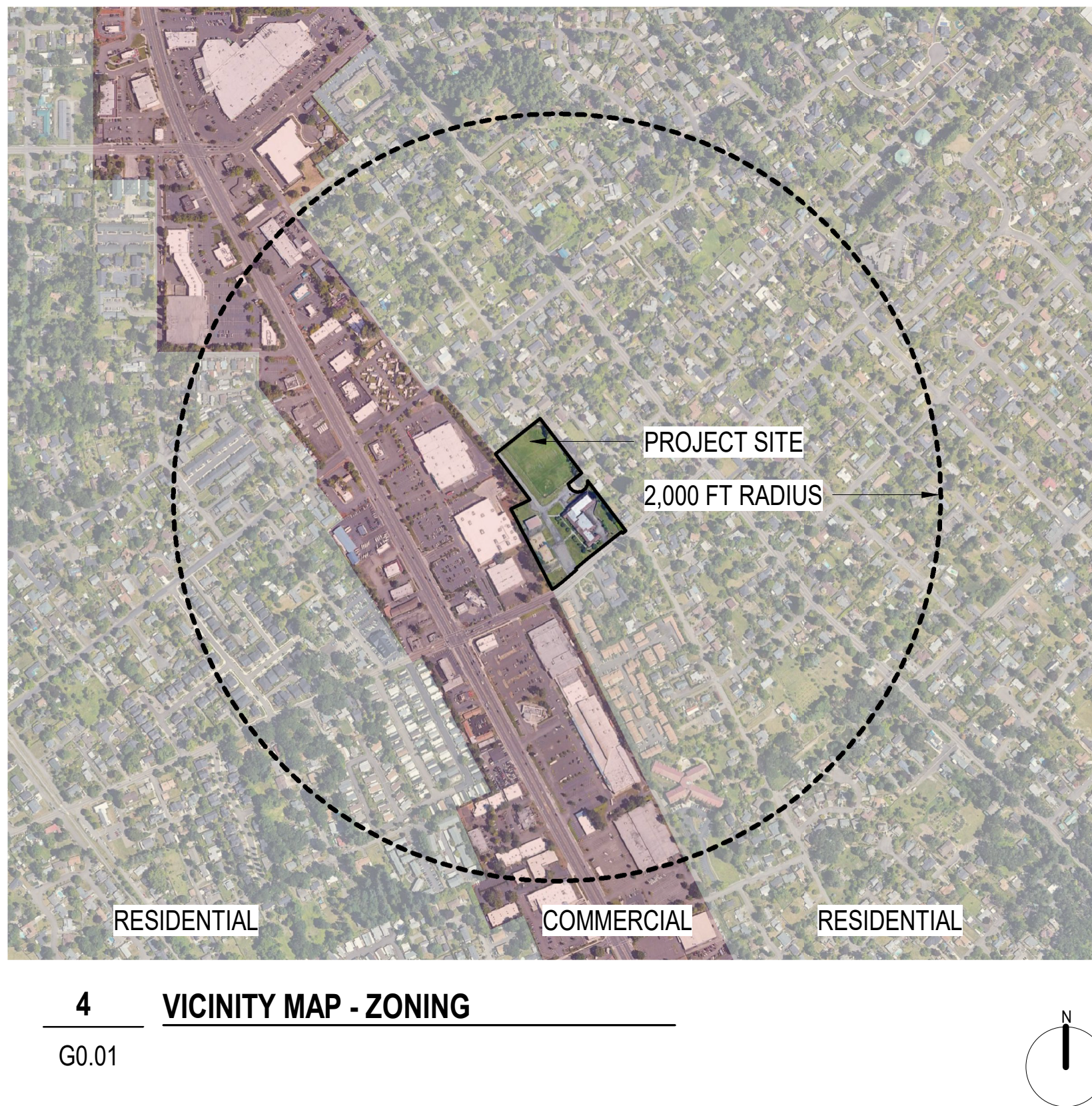
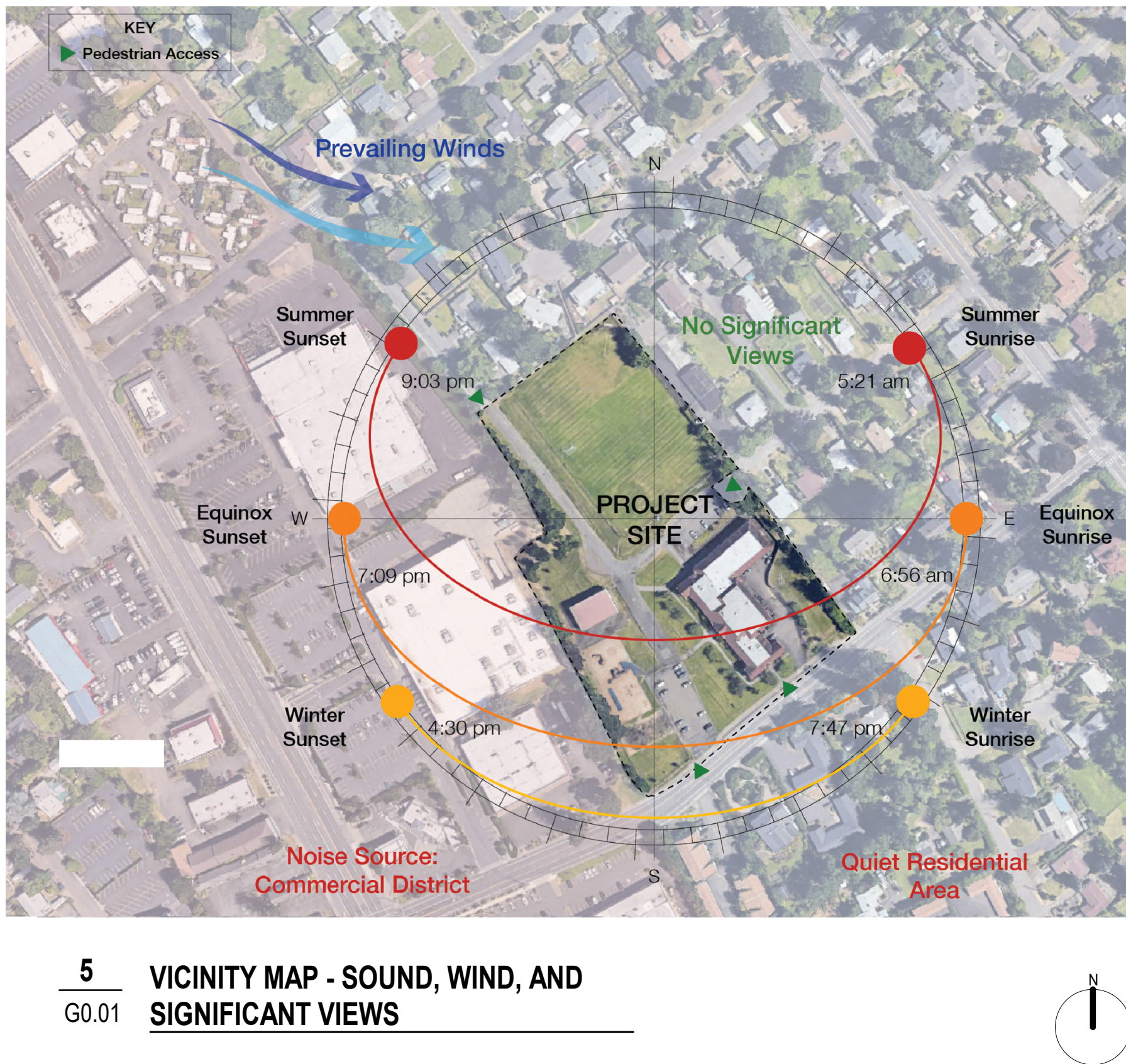
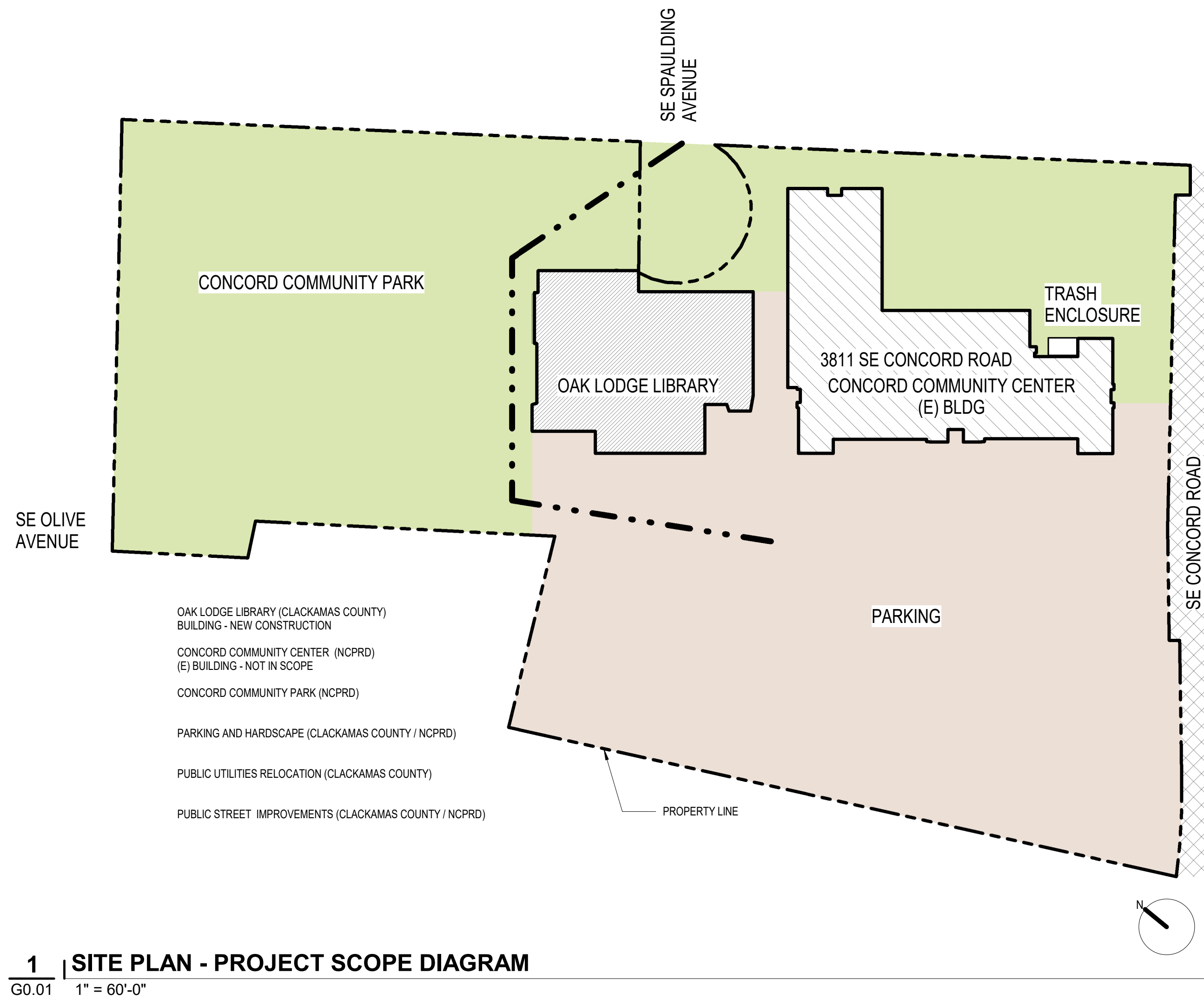
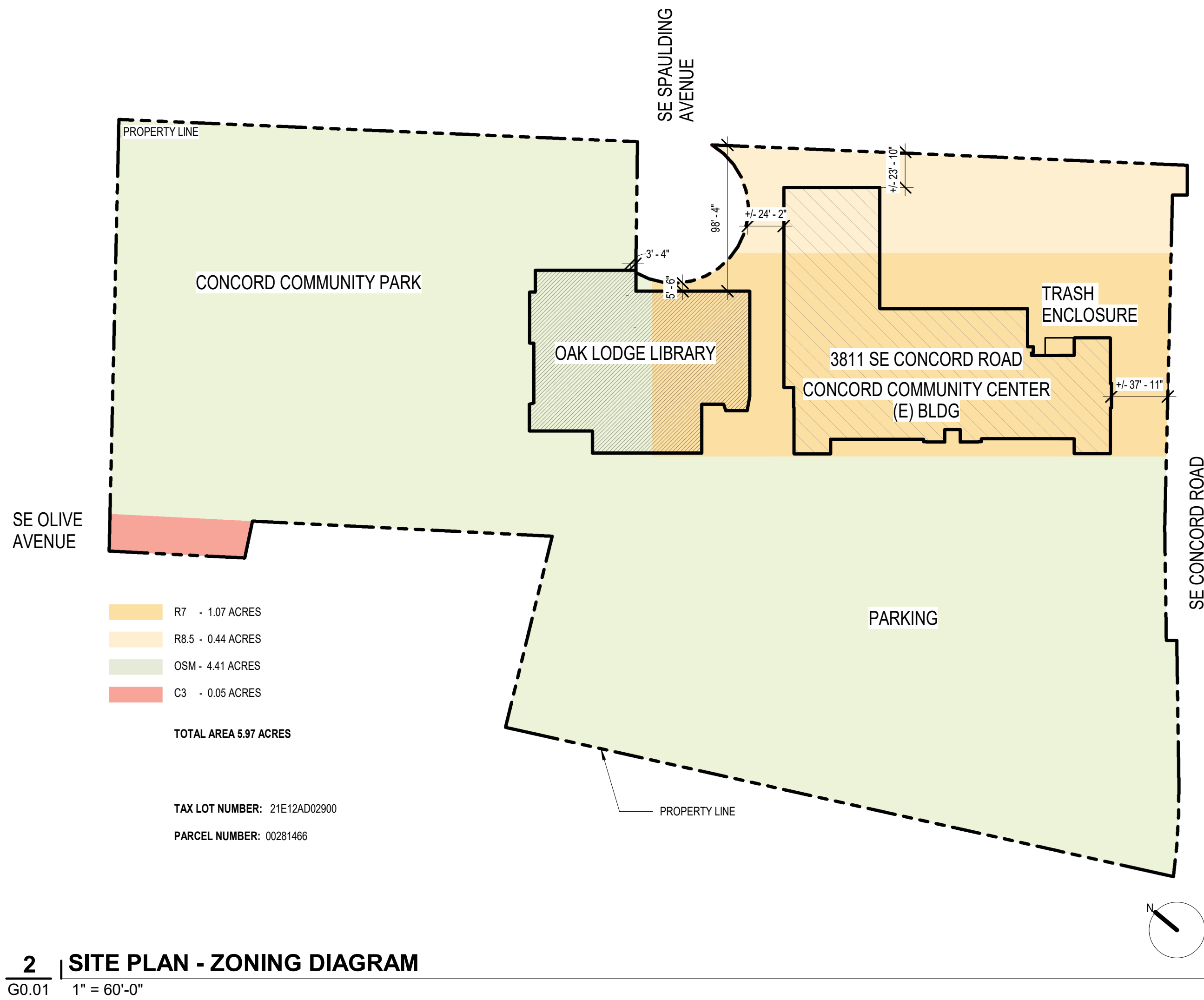
- 20020-23 CONDITIONAL USE PERMIT
- 20083-23 DESIGN REVIEW TYPE II

STATE OF OREGON DEPARTMENT OF ENVIRONMENTAL QUALITY (DEQ)

- 1200C

PROJECT CONTACTS

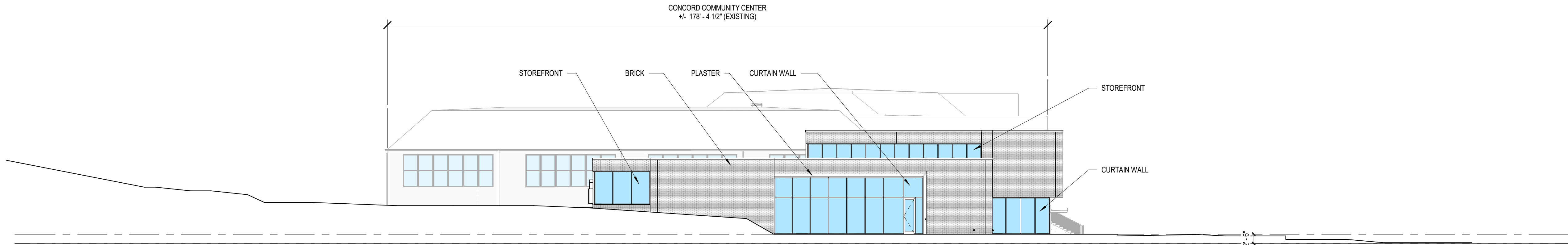
OWNER	ARCHITECT	LIBRARY ARCHITECT	CIVIL	LANDSCAPE	STRUCTURAL	MEP	ACOUSTICAL	CODE CONSULTANT	SIGNAGE CONSULTANT	CMGC
Clackamas County 150 Beaver Creek Rd. Oregon City, Oregon 97045 (503) 867-2820 Contact: Jason Varga	Opis Architecture 920 NW 17th Ave. Portland, Oregon 97209 (503) 525-9511 Contact: Sina Meier	Johnston Architects 100 NE Northlake Way #200 Seattle, Washington 98105 (206) 523-6150 Contact: Mona Zellers	KPFF Consulting Engineers 111 SW 5th Ave. #2600 Portland, Oregon 97204 (503) 227-3251 Contact: Josh Lightrope	Lango Hansen 1100 NW Gisan St. #3b Portland, Oregon 97209 (503) 295-2437 Contact: Kurt Lango	Catena Consulting Engineers 1500 NE Irving St. Suite 412 Portland, Oregon 97232 (503) 444-4797 Contact: Jared Lewis	Interface Engineering 100 SW Main St. #1600 Portland, Oregon 97204 (503) 382-2266 Contact: Andy Fritch	ABD Engineering & Design 321 SE Fourth Ave. Suite 700 Portland, Oregon 97204 (503) 444-5656 Contact: Melinda Miller	Code Unlimited 12655 SW Center St. #350 Beaverton, Oregon 97005 (503) 336-9554 Contact: Tanya Wuerzt	Mayer / Reed 319 SW Washington St. #20 Portland, Oregon 97204 (503) 665-0165 Contact: Kathy Fry	P&C Construction 2133 NW York St. Portland, OR 97210 (503) 665-0165 Contact: Parker Verhaeghe



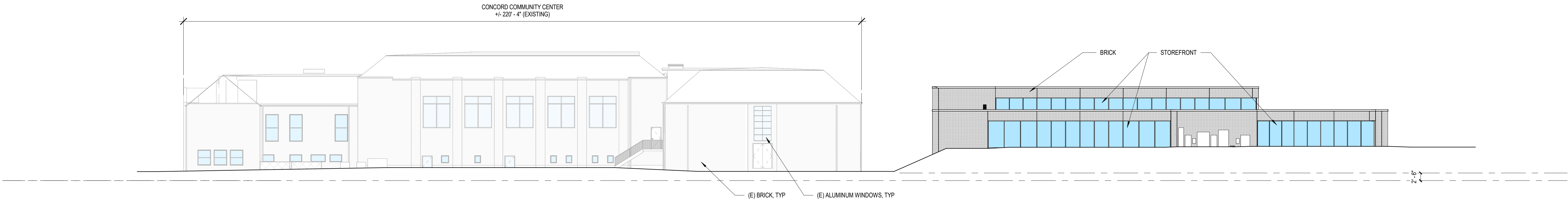
plotted: 6/5/2023 11:16:36 AM
 sheet size: 30" x 42"



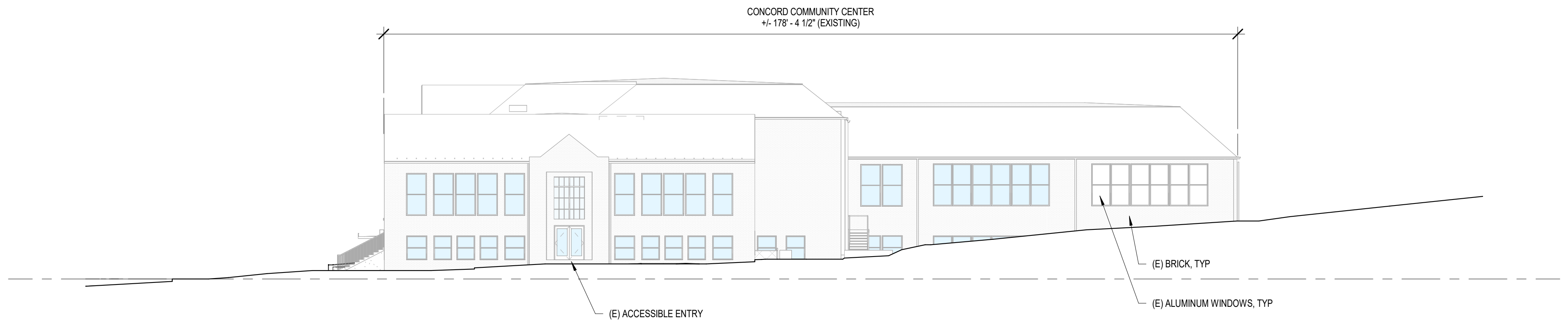
1 | OVERALL SOUTH ELEVATION - FOR REFERENCE ONLY
 G0.03 1/16" = 1'-0"



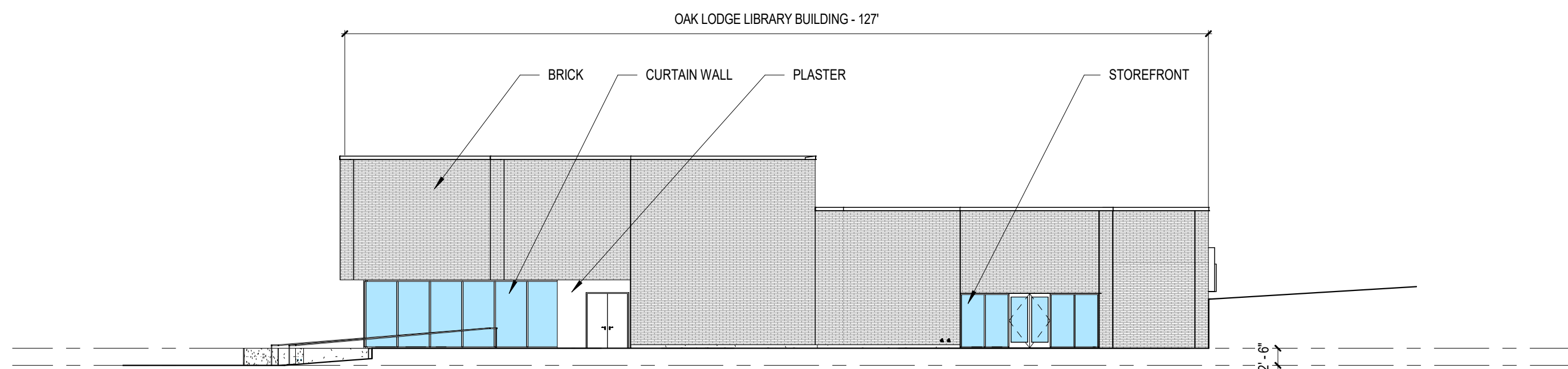
2 | OVERALL WEST ELEVATION - FOR REFERENCE ONLY
 G0.03 1/16" = 1'-0"



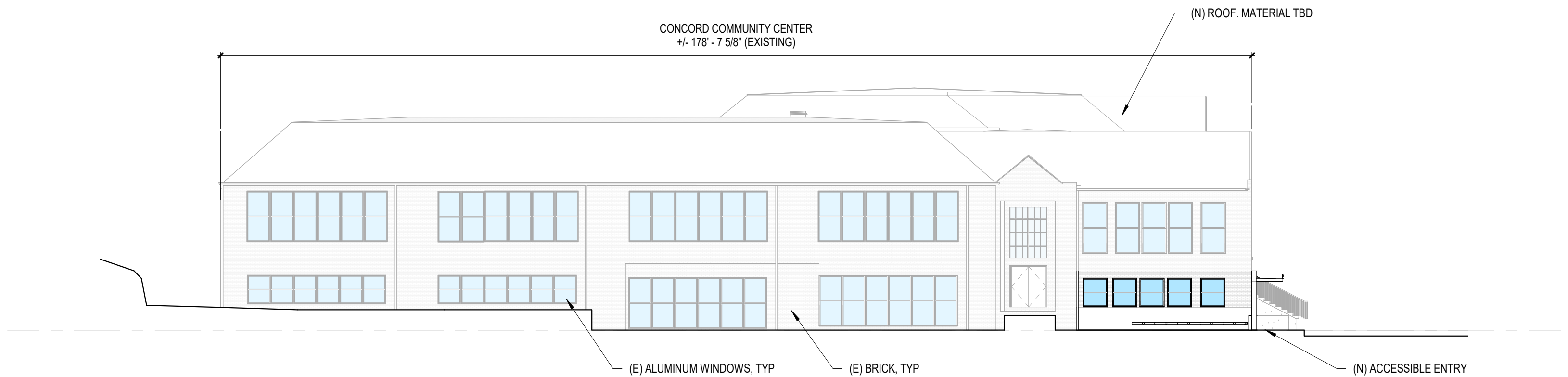
3 | OVERALL NORTH ELEVATION - FOR REFERENCE ONLY
 G0.03 1/16" = 1'-0"



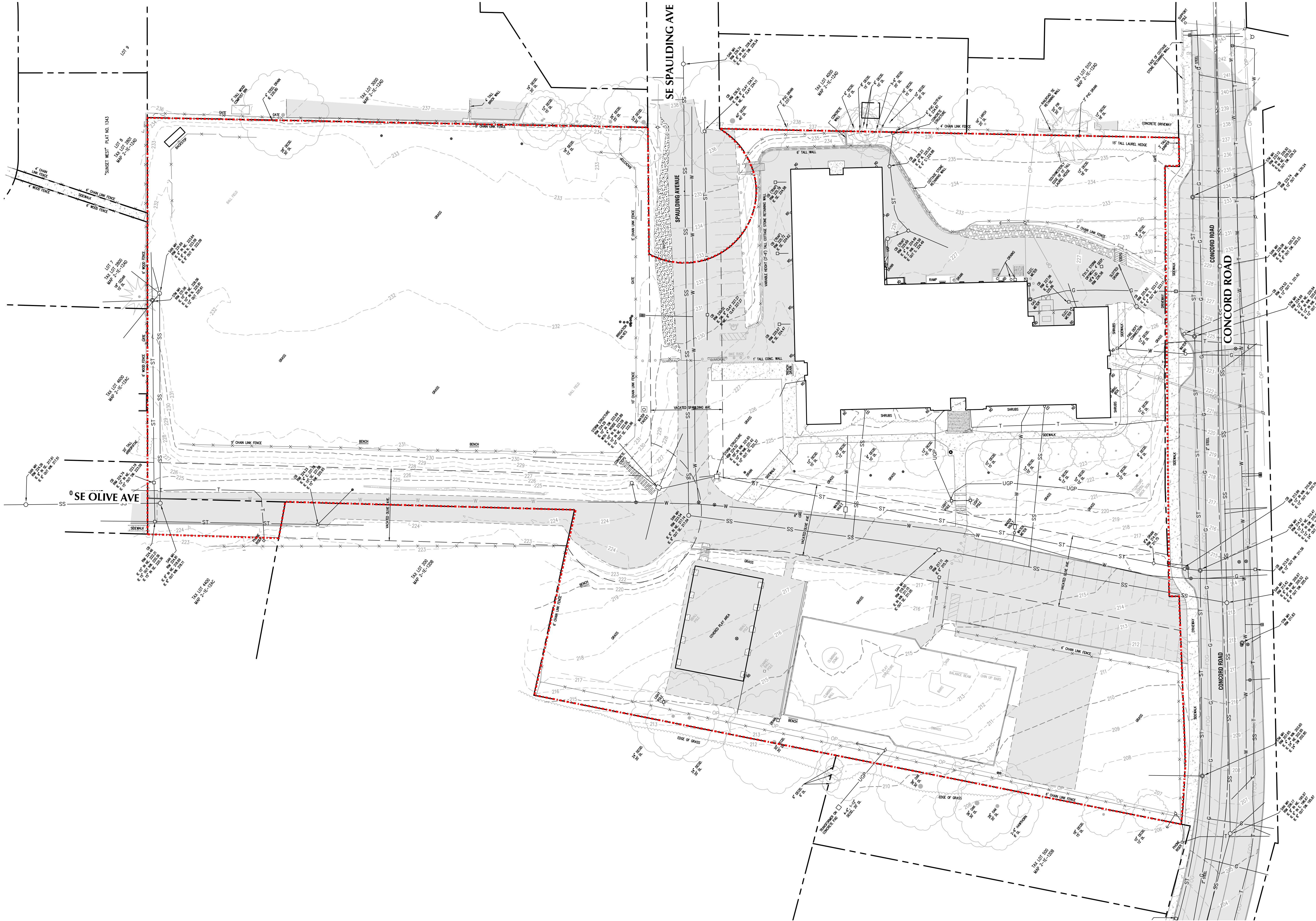
4 | OVERALL EAST ELEVATION - FOR REFERENCE ONLY
 G0.03 1/16" = 1'-0"



5 | GARDEN ELEVATION EAST - FOR REFERENCE ONLY
 G0.03 1/16" = 1'-0"



6 | GARDEN ELEVATION WEST - FOR REFERENCE ONLY
 G0.03 1/16" = 1'-0"



NOTES

- UTILITY INFORMATION SHOWN ON THIS MAP IS BASED UPON OBSERVED FEATURES, INCLUDING TONE MARKS BY PUBLIC AND PRIVATE UTILITY LOCATORS. NO WARRANTIES ARE MADE REGARDING THE ACCURACY OR COMPLETENESS OF THE UTILITY INFORMATION SHOWN. ADDITIONAL UTILITIES MAY EXIST. INTERESTED PARTIES ARE HEREBY ADVISED THAT UTILITY LOCATIONS SHOULD BE VERIFIED PRIOR TO DESIGN OR CONSTRUCTION OF ANY CRITICAL ITEMS.
- VERTICAL DATUM: NAVD '88, OREGON REALTIME GNSS NETWORK (ORGN).
- HORIZONTAL DATUM: OREGON COORDINATE REFERENCE SYSTEM, PORTLAND ZONE, BASED UPON OBSERVATIONS TIED TO THE OREGON REAL TIME GNSS NETWORK, (ORGN) NAD '83 (2011) EPOCH 2010.00
- PUBLIC UTILITIES NOTIFIED BY OREGON UTILITY NOTIFICATION CENTER, TICKET NUMBER 1929282:

CLACKAMAS COUNTY D.O.T.	503-722-6301
COMCAST	800-778-9140
HENKELS & MCCOY	503-577-2051
MCI	800-624-9675
NW NATURAL	503-220-2415
OAK LODGE WATER SERVICES	503-654-7765
PORTLAND GENERAL ELECTRIC	503-255-4634
CENTURYLINK	800-778-9140
- CONTOUR INTERVAL IS ONE FOOT.
- TOPOGRAPHIC FEATURES SHOWN ON THIS MAP WERE LOCATED USING STANDARD PRECISION TOPOGRAPHIC MAPPING PROCEDURES. THIRD PARTY USERS OF DATA FROM THIS MAP PROVIDED VIA AUTOCAD DRAWING FILES OR DATA EXCHANGE FILES SHOULD NOT RELY ON ANY AUTOCAD GENERATED INFORMATION WHICH IS BEYOND THE LIMITS OF PRECISION OF THIS MAP. THIRD PARTIES USING DATA FROM THIS MAP IN AN AUTOCAD FORMAT SHOULD VERIFY ANY ELEMENTS REQUIRING PRECISE LOCATIONS PRIOR TO COMMENCEMENT OF ANY CRITICAL DESIGN OR CONSTRUCTION. CONTACT COMPASS LAND SURVEYORS FOR FURTHER INFORMATION. FURTHERMORE, COMPASS LAND SURVEYORS WILL NOT BE RESPONSIBLE NOR HELD LIABLE FOR ANY DESIGN OR CONSTRUCTION RELATED PROBLEMS THAT ARISE OUT OF THIRD PARTY USAGE OF THIS MAP (IN AUTOCAD OR OTHER FORMAT) FOR ANY PURPOSE OTHER THAN SPECIFICALLY STATED HEREIN. THIS STATEMENT IS AN OFFICIAL PART OF THIS MAP.
- THIS DOES NOT CONSTITUTE A BOUNDARY SURVEY AND SHOULD NOT BE CONSTRUED AS SUCH. PROPERTY LINES ARE BASED ON RECORDED SURVEYS.

LEGEND

- | | |
|-------|----------------------------|
| — | CURB |
| - - - | DITCH |
| - - - | EDGE OF PAVEMENT |
| G | GAS |
| OP | OVERHEAD POWER |
| SS | SANITARY SEWER |
| ST | STORM SEWER |
| T | UNDERGROUND COMMUNICATIONS |
| TEL | OVERHEAD COMMUNICATIONS |
| UGP | UNDERGROUND POWER |
| TV | UNDERGROUND TV |
| W | WATER |
-
- | | |
|--|----------|
| | ASPHALT |
| | CONCRETE |
| | GRAVEL |
-
- | | |
|--|---------------------|
| | BOLLARD |
| | CLEANOUT |
| | FIRE HYDRANT |
| | GAS VALVE |
| | IRRIGATION VALVE |
| | MAILBOX |
| | ROOF DRAIN |
| | SIGN |
| | UTILITY POLE |
| | UTILITY POLE ANCHOR |
| | WATER METER |
| | WATER VALVE |

DISCLAIMER:

THIS SHEET REPRESENTS EXISTING SITE CONDITIONS BASED ON A LAND SURVEY PROVIDED BY KPFF OR BY OTHERS (NOT COMPLETED UNDER KPFF DIRECT SUPERVISION). ALL INFORMATION SHOWN HEREON MAY OR MAY NOT EXPLICITLY REFLECT THE ACTUAL SURVEY DELIVERED FOR THE PURPOSE OF THIS PROJECT SITE. THIS INFORMATION WAS RELIED UPON FOR CIVIL DESIGN PURPOSES. SURVEY COMPLETED BY: COMPASS LAND SURVEYORS DEC. 2019

Project Owner:
Clackamas County & NCPRD



Project Name:
Oak Lodge Library and Community Park

Project Address:
3811 SE Concord Road, Milwaukie, OR 97267

10/09/2022

THESE DRAWINGS ARE THE PROPERTY OF OPSIS ARCHITECTURE LLP AND ARE NOT TO BE USED OR REPRODUCED IN ANY MANNER WITHOUT PRIOR WRITTEN PERMISSION.

Revisions to Sheet	
Revision	Date
100% CD	05/05/2023

Status: **DESIGN REVIEW REV 1**

Date: **05.22.2023**

Sheet Title

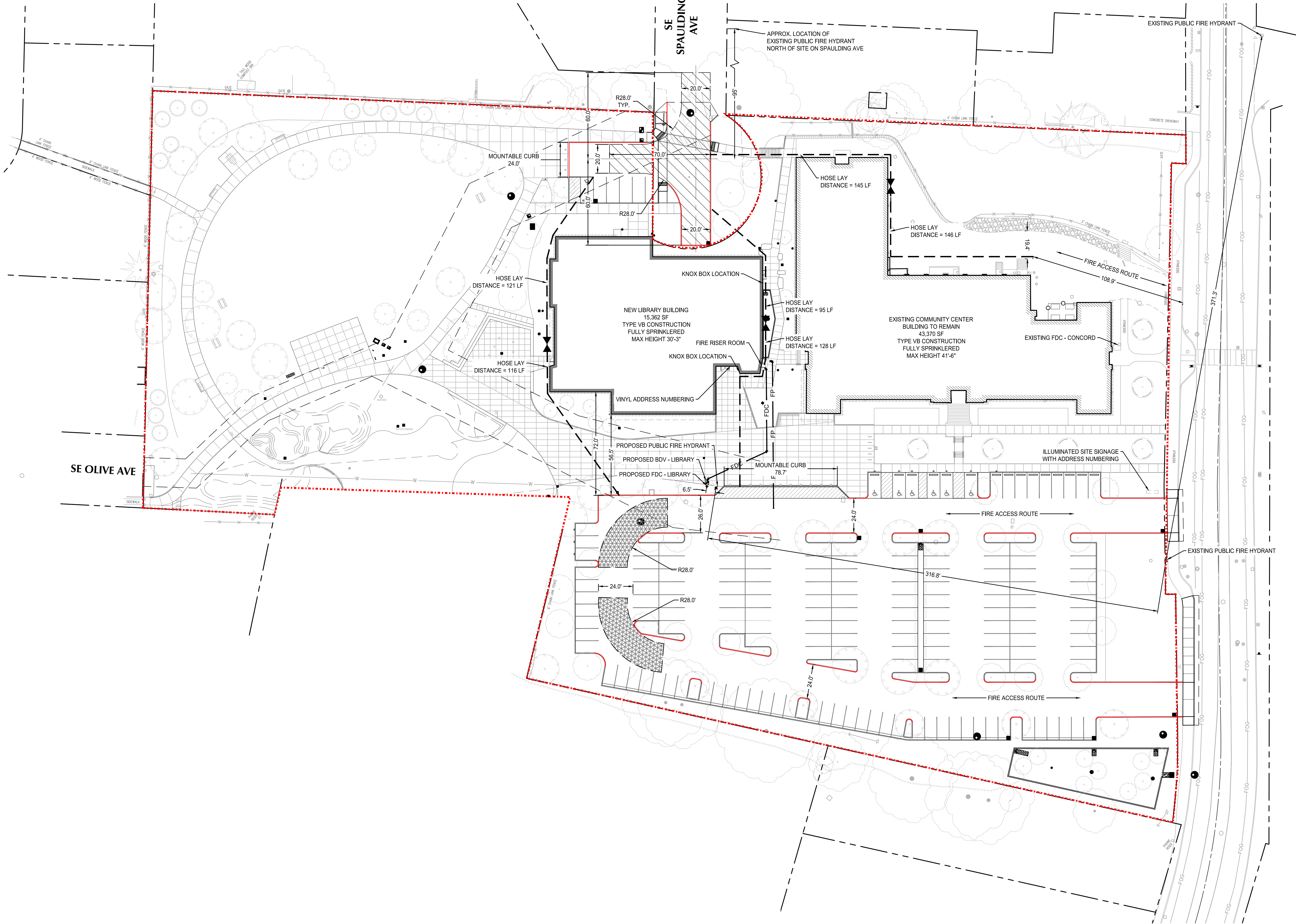
EXISTING CONDITIONS

Sheet No.

C0.02

Job No.

4775 - 07



SHEET NOTES

- FIRE APPARATUS ACCESS ROADS SHALL BE IN ACCORDANCE WITH THE 2022 OREGON FIRE CODE.
- FLOW TEST RESULTS**
HYDRANT LOCATION: SE SPAULDING AVE & SE OLIVE AVE
DATE TESTED: 13 OCTOBER, 2022
STATIC: 105 PSI
RESIDUAL: 95 PSI
FLOWED: 1353 GPM
ESTIMATED FLOW @ 20 PSI: 4297 GPM
- CURBS IN FIRE ACCESS ZONES SHALL BE PAINTED RED WITH WHITE "NO PARKING FIRE LANE" STENCIL AT A MINIMUM OF 20' ON CENTER. TEXT SHALL BE 1 INCH WIDE BY 6 INCHES HIGH PER OFC 503.3.

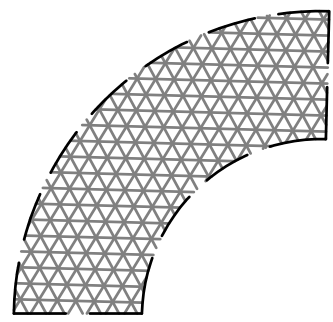
UTILITY LABEL LEGEND

STRUCTURE TYPE

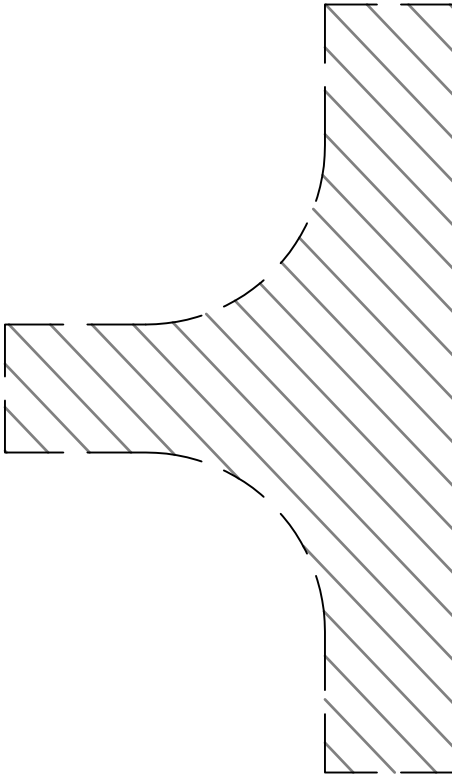
CALLOUT	DESCRIPTION
BDV	BALL DRIP VALVE
FDC	FIRE DEPARTMENT CONNECTION
FH	FIRE HYDRANT (PRIVATE OR PUBLIC AS NOTED)

SHEET LEGEND

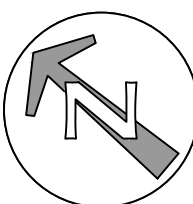
- HOSE STRETCH DISTANCE LINE, LENGTH AS NOTED.
- CURB PAINTED RED WITH STENCIL. SEE SHEET NOTE 3. (SHOWN AT AN OFFSET FROM CURB FOR CLARITY.)



28' RADIUS INSIDE AND 48' RADIUS OUTSIDE ON FIRE ACCESS ROAD

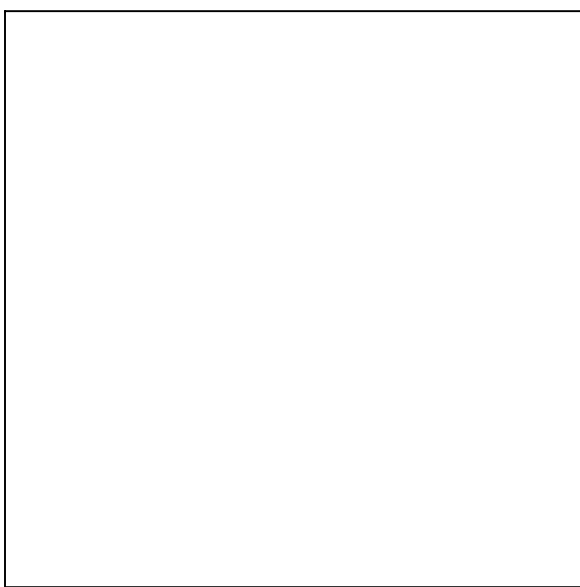
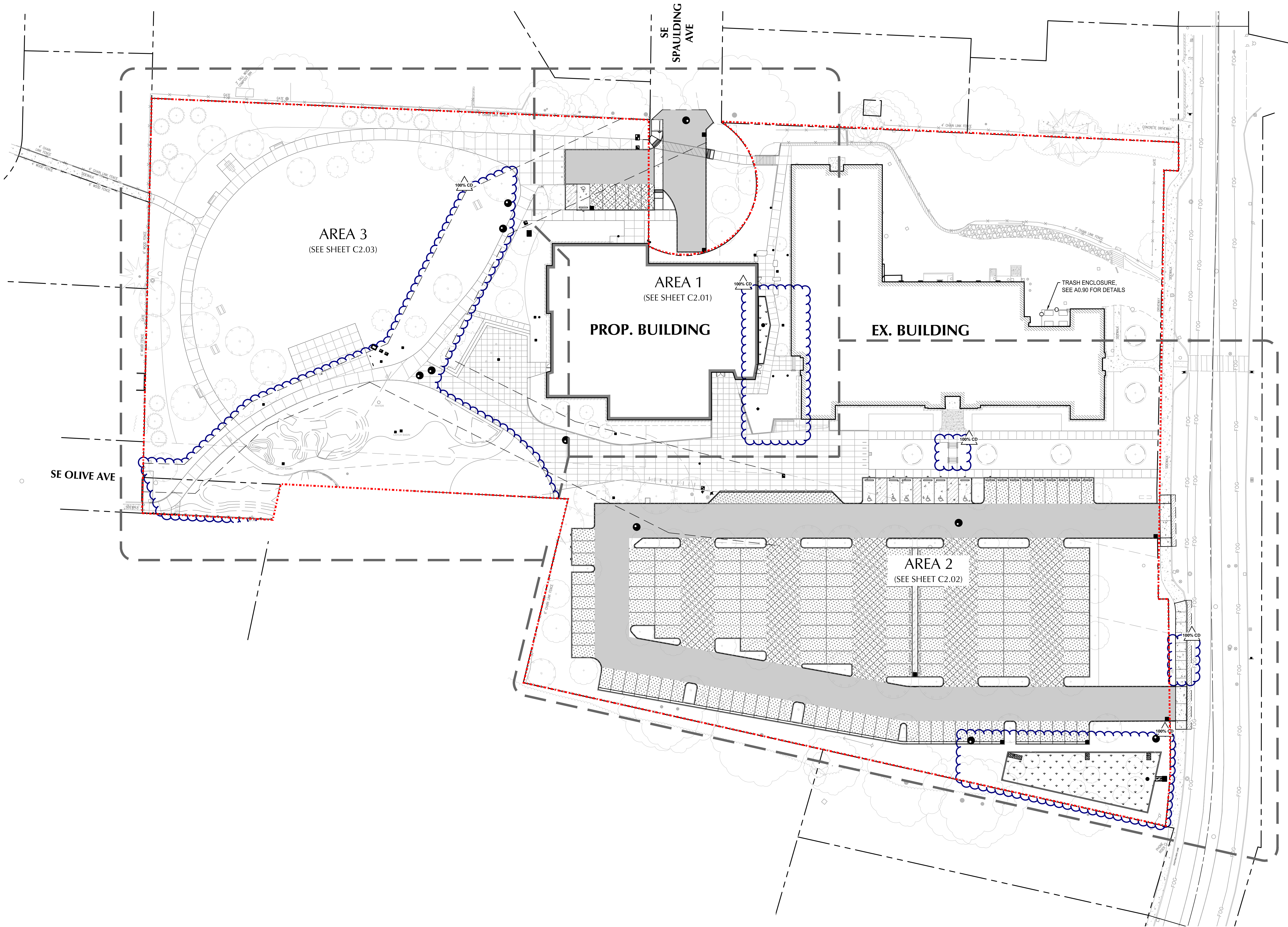


ALTERNATE FIRE TRUCK TURNAROUND



plotted: 8/25/2022 3:01:11 PM
sheet size: 30" x 42"

File: N:\c\p\2022\20220309-nrcprd-concord-property\CAD\PLT\20220309-20-SITE.rwg TAB.C2.00
Plotted: 5/4/23 at 8:48am By: NOaks



SHEET NOTES

1. ALL DIMENSIONS ARE TO FACE OF CURB OR FACE OF WALL.
2. ALL CONCRETE PAVEMENT JOINTS SHALL BE CONSTRUCTED PER DETAIL 7/C5.00.
3. PROPOSED FRONTAGE IMPROVEMENTS IN RIGHT-OF-WAY SHOWN FOR REFERENCE ONLY. TO BE PERMITTED UNDER SEPARATE PUBLIC WORKS PERMIT.
4. CURBS IN FIRE ACCESS ZONES SHALL BE PAINTED RED WITH WHITE "NO PARKING FIRE LANE" STENCIL AT A MINIMUM OF 20' ON CENTER. TEXT SHALL BE IN 1 INCH WIDE BY 6 INCHES HIGH PER OFC 503.3

SHEET LEGEND

-----	PROPERTY/ROW LINE	
=====	CURB PAINTED RED WITH STENCIL. SEE SHEET NOTE 4	
[Pattern]	STORMWATER PLANTER	(LS) (C5.00)
[Pattern]	HEAVY (ACCESS ROAD) ASPHALT PAVEMENT SECTION	(1A) (C5.00)
[Pattern]	MEDIUM (DRIVE AISLE) ASPHALT PAVEMENT SECTION	(1A) (C5.00)
[Pattern]	STANDARD (PARKING AREA) ASPHALT PAVEMENT SECTION	(1A) (C5.00)
[Pattern]	VEHICULAR CONCRETE PAVEMENT	(1B) (C5.00)



111 SW Fifth Ave., Suite 2600
Portland, OR 97204
O: 503.542.3860
F: 503.274.4661
www.kpff.com

www.opsisarch.com

PRELIMINARY
NOT FOR
CONSTRUCTION

Project Owner:
**Clackamas County &
NCPRD**



Project Name:
**Oak Lodge Library and
Community Park**

Project Address:
**3811 SE Concord Road,
Milwaukie, OR 97267**

10/9/2022

THESE DRAWINGS ARE THE PROPERTY OF OPSIS ARCHITECTURE LLP AND ARE NOT TO BE USED OR REPRODUCED IN ANY MANNER WITHOUT PRIOR WRITTEN PERMISSION.

Revisions to Sheet

Revision	Date
100% CD	05/05/2023

Status: **DESIGN REVIEW**
REV 1

Date: **05.22.2023**

Sheet Title

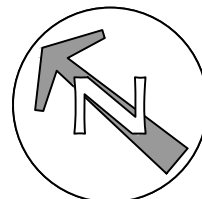
**SITE PLAN -
OVERALL**

Sheet No.

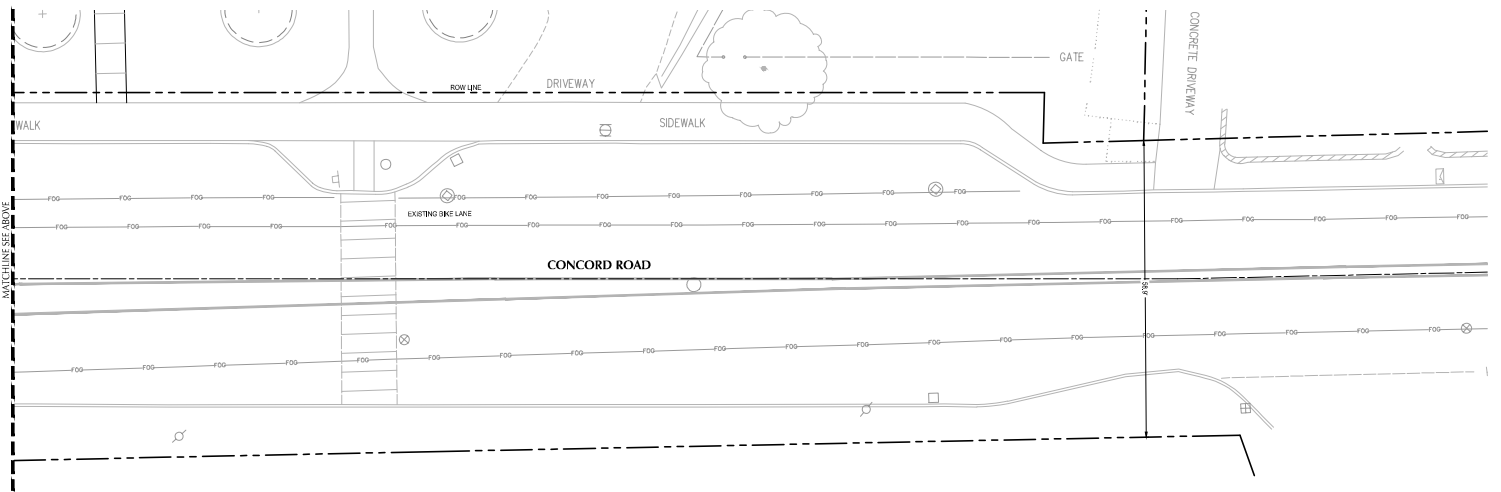
C2.00

Job No.

4775 - 07



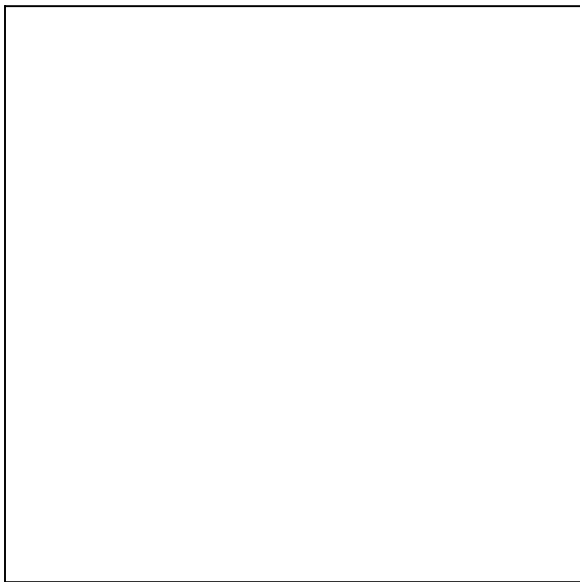
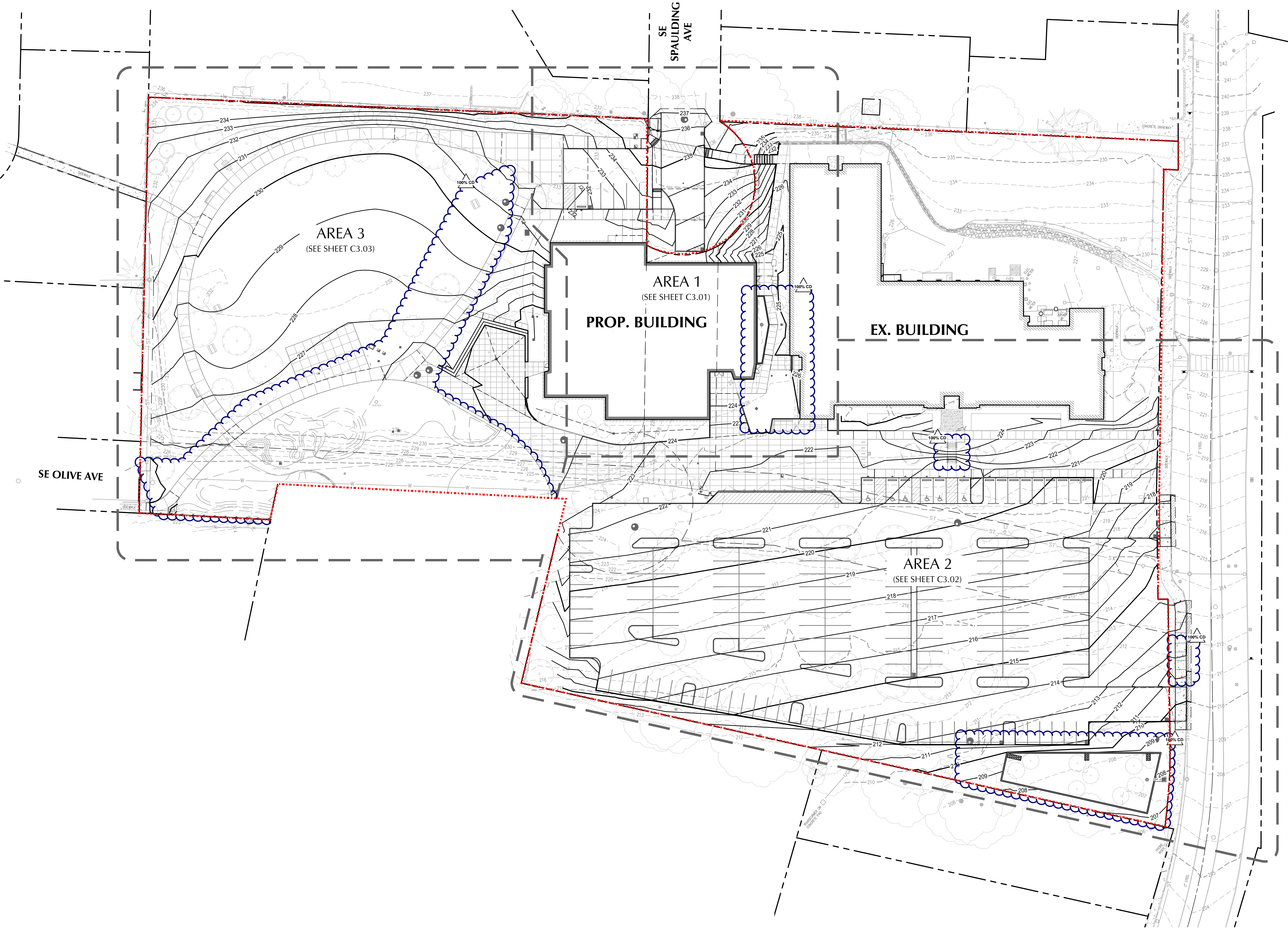
SCALE
1 INCH = 30 FEET
30 0 30 60



4775 - 07

plotted: 8/25/2022 3:01:11 PM
sheet size: 30" x 42"

File: \\c:\projects\civil\projects\p\2022\22003038-ncprd-concord-property\CAD\PILOT\22003038-30-CD.dwg TAB: C3.00
Plotted: 5/1/23 at 6:19pm By: NOoks



SHEET NOTES

- ALL DIMENSIONS ARE TO FACE OF CURB OR FACE OF WALL.
- SLOPES PROVIDED ON SLOPE ARROW ARE FOR REFERENCE ONLY.
- ALL ACCESSIBLE ROUTES SHALL COMPLY WITH CURRENT ADA ACCESSIBILITY GUIDELINES FOR BUILDING AND FACILITIES (ADAAG)
- ALL WALKWAYS ON ACCESSIBLE ROUTES ARE DESIGNED TO NOT REQUIRE HANDRAILS UNLESS NOTED OTHERWISE. THEREFORE RAMPS ON THOSE ROUTES WITH SLOPES STEEPER THAN 4.5% AND LESS THAN 7.8% SHALL NOT EXCEED 0.5' RISE.
- ALL SIDEWALK PAVEMENT JOINTS SHALL BE CONSTRUCTED PER DETAIL 7C-301.

KEY NOTES

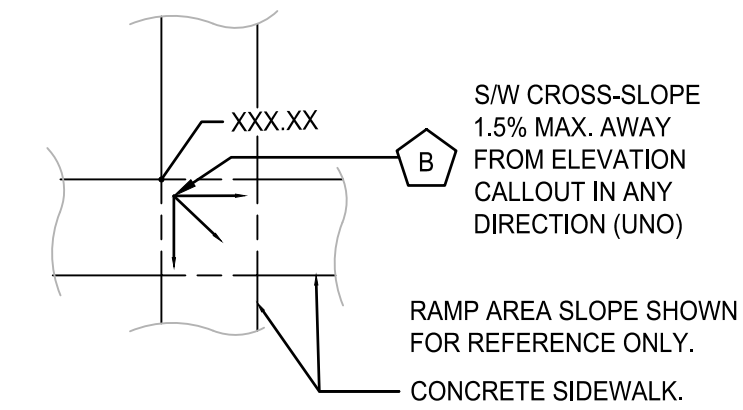
NOTE	DESCRIPTION	DETAIL REF.
CH	CONCRETE DRAINAGE CHANNEL	6/C5.02
DG	DETENTION GALLERY ZONE UNDER STORM PLANTER	4/C5.02
SPD	STORM PLANTER WITH DETENTION	4/C5.02

GRADING KEY NOTES

- NOTE DESCRIPTION**
- A LANDING AT EX. DOOR. TYPICAL GRADING SHALL BE: TOP OF CONCRETE DOOR + FFE MINUS 0.02 FT. SLOPE CONCRETE 1.5% AWAY FROM BLDG. (SPOT ELEVATIONS MAY NOT BE CORRECT. NOTIFY ENGINEER OF DISCREPANCIES)
- B LANDING ZONE. ACCESSIBLE ROUTE THROUGH THIS ZONE REQUIRES NO MORE THAN 2% SLOPE IN ANY DIRECTION.
- C WALKWAY SLOPES DOWN FROM LANDING ZONE AS REQUIRED TO MATCH EX. GRADE. SLOPE SHALL NOT EXCEED 5%. SEE SHEET NOTE 4
- D WALKWAY REPLACEMENTS SHALL:
- BE REINSTALLED IN EXISTING LOCATIONS, UNLESS NOTED OTHERWISE
- MAINTAIN 1.5% TYPICAL CROSS-SLOPE TO ALLOW DRAINAGE (2% MAX)
- RUNNING SLOPE SHALL NOT EXCEED 4.5% UNLESS NOTED OTHERWISE
- E WALKWAY RAMP SLOPE. RISE >0.5' AND SLOPE >5% REQUIRES HANDRAILS BOTH SIDES PER ARCH DETAILS.

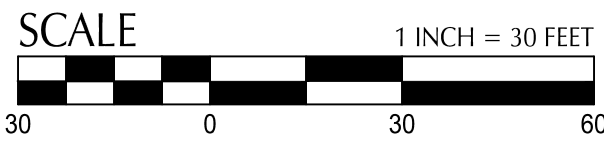
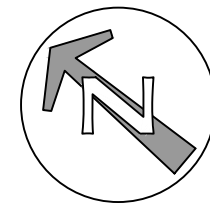
GRADING LABEL LEGEND

CALLOUT	DESCRIPTION
X.X%	GRADING SLOPE AND DIRECTION (DOWNHILL)
[X.X%]	SLOPE ORIENTATION INDICATING DIRECTION OF MAXIMUM GRADE (DOWNHILL)
SPOT ELEVATION	DESCRIPTION LISTED BELOW. NO DESCRIPTION MEANS TP OR TG
XXXX XX	BOTTOM OF STEP
BS	BOTTOM OF WALL
EG	EXISTING GRADE
FF	FINISHED FLOOR
FL	FLOW LINE
G	GUTTER
HP	HIGH POINT
LP	LOW POINT
RIM	RIM OF STRUCTURE
TC	TOP OF CURB
TG	TOP OF GROUND
TP	TOP OF PAVEMENT
TS	TOP OF STEP
TW	TOP WALL
(XXXXX)	EXISTING GRADE (MATCH WHERE APPLICABLE)



SHEET LEGEND

---	GRADE BREAK
---	EX. CONTOUR MINOR
---	EX. CONTOUR MAJOR
---	CONTOUR MINOR (FG)
---	CONTOUR MAJOR (FG)
---	GRADING LIMITS



opsis

JA

kpff

111 SW Fifth Ave., Suite 2600
Portland, OR 97204
P: 503.542.3860
F: 503.274.4661
www.kpff.com

www.opsisarch.com

PRELIMINARY
NOT FOR
CONSTRUCTION

Project Owner:
**Clackamas County &
NCPRD**



Project Name:
**Oak Lodge Library and
Community Park**

Project Address:
**3811 SE Concord Road,
Milwaukie, OR 97267**

10/19/2022

THESE DRAWINGS ARE THE PROPERTY OF OPSIS ARCHITECTURE LLP AND ARE NOT TO BE USED OR REPRODUCED IN ANY MANNER WITHOUT PRIOR WRITTEN PERMISSION.

Revisions to Sheet	Date
100% CD	05/05/2023

Status: **DESIGN REVIEW**
REV 1

Date: **05.22.2023**

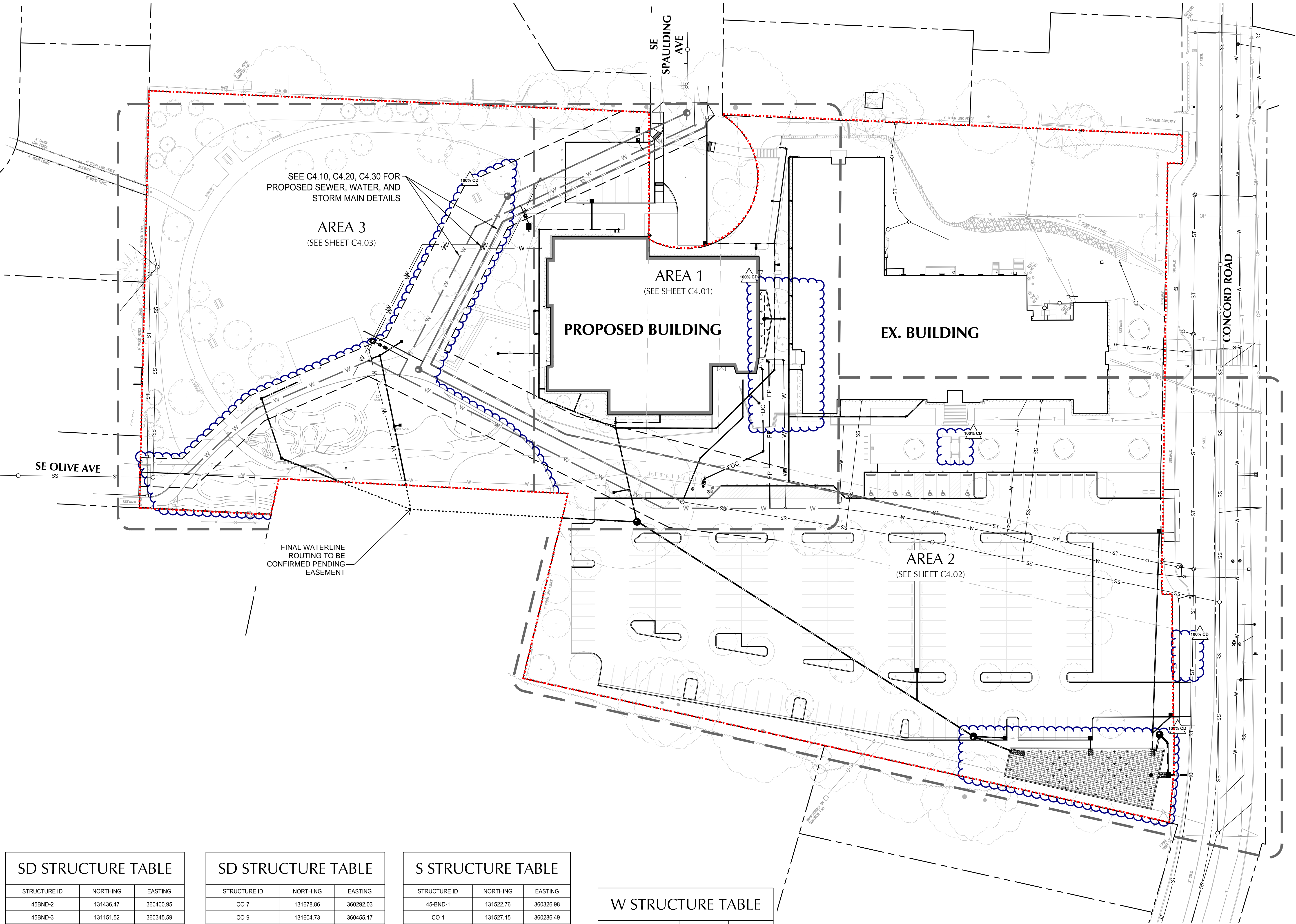
Sheet Title
**GRADING PLAN -
OVERALL**

Sheet No.

C3.00

Job No.

4775 - 07



SD STRUCTURE TABLE		
STRUCTURE ID	NORTHING	EASTING
45BND-2	131436.47	360400.95
45BND-3	131151.52	360345.59
90BND-1	131620.44	360489.66
90BND-2	131615.59	360486.01
ADL-1	131737.94	360214.03
ADL-2	131743.16	360196.91
ADL-3	131786.58	360120.80
ADL-4	131681.15	360290.09
ADL-5	131670.36	360278.25
ADL-6	131591.93	360422.75
ADL-7	131572.52	360424.14
ADL-8	131545.21	360398.00
ADL-9	131520.79	360342.01
ADL-10	131557.57	360229.38
ADL-11	131585.53	360264.35
ADP	131681.44	360251.09
BWV	131588.00	360267.28
CB-3	131239.79	360274.83
CB-4	131194.37	360313.24
CB-5	131250.18	360453.05
CB-6	131161.46	360360.74
CB2-2	131621.28	360402.39
CB2-3	131699.36	360373.06
CB3-1	131136.75	360328.45
CO-5	131673.24	360370.98

SD STRUCTURE TABLE		
STRUCTURE ID	NORTHING	EASTING
CO-7	131678.86	360292.03
CO-9	131604.73	360455.17
CO-10	131584.34	360433.63
CO-11	131527.42	360366.35
CO-13	131655.44	360382.18
CO-14	131653.71	360382.09
FCMH	131159.24	360346.17
MH-1	131532.07	360224.18
OV-1	131145.61	360320.81
OV-2	131555.80	360389.05
STUB-1	131672.01	360369.54
STUB-3	131640.78	360253.19
STUB-5	131775.15	360145.22

S STRUCTURE TABLE		
STRUCTURE ID	NORTHING	EASTING
45-BND-1	131522.76	360326.98
CO-1	131527.15	360286.49
STUB-1	131762.69	360202.56
STUB-2	131539.73	360347.11

FP STRUCTURE TABLE		
STRUCTURE ID	NORTHING	EASTING
67.5BND	131496.68	360318.14
90BND-1	131534.36	360368.65
90BND-2	131534.40	360362.06
BDV-1	131514.35	360274.91
FDC-1	131512.94	360272.73
STUB-1	131535.68	360367.54
STUB-2	131535.15	360361.42

W STRUCTURE TABLE		
STRUCTURE ID	NORTHING	EASTING
8"X4" TEE-1	131696.75	360424.05
22BND-1	131784.72	360113.31
45BND-1	131746.68	360189.37
90BND-2	131527.15	360376.03
IRRIGATION METER	131703.13	360427.00
STUB-4	131720.14	360329.72
STUB-5	131737.80	360363.10
TEE-2	131459.49	360298.01
TEE-4	131723.91	360194.65
WM-1	131476.74	360317.81
WM-2	131743.84	360203.43
WM-3	131728.77	360336.18

SHEET NOTES

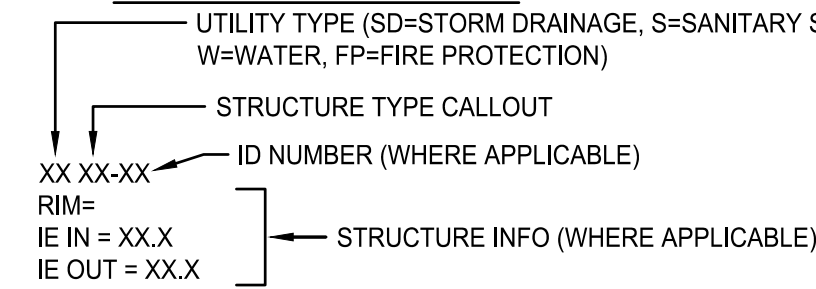
- ON-SITE PIPE BEDDING AND BACKFILL FOR ALL UTILITIES SHALL BE DONE PER DETAIL 11C5.01.
- PUBLIC PIPE BEDDING AND TRENCH BACKFILL AND SURFACING PER OLWSD DWG NO. 402/C5.04.
- STRUCTURES LOCATIONS ARE BASED ON CENTER OF STRUCTURE. SEE UTILITY STRUCTURE TABLES ON SHEET C4.00.
- FIELD VERIFY LOCATION, SIZE, AND IE OF ALL EXISTING UTILITY CONNECTIONS PRIOR TO CONSTRUCTION. NOTIFY ENGINEER WHERE CONNECTION ARE FOUND TO DIFFER FROM ASSUMPTIONS. MAY REQUIRE REDESIGN.
- SLOPE STORM LATERAL PIPES AT 2% MIN. UNLESS NOTED OTHERWISE.

UTILITY KEY NOTES

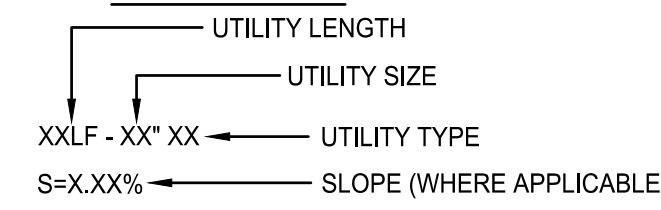
NOTE	DESCRIPTION	DETAIL REF.
1	CONNECT TO EXISTING MAIN. SEE SHEET NOTE 4.	
2	CONNECT TO EXISTING MANHOLE.	
DC	DOUBLE CHECK	11/C5.01
DF	DRINKING FOUNTAIN. SEE I/S PLANS	
ESD	RECONNECT EXISTING STORM DRAIN/ROOF DRAIN TO PROPOSED STORM PIPE	
FDC	FIRE DEPARTMENT CONNECTION. SEE PLUMBING PLANS FOR CONTINUATION.	
FND	PERIMETER FOUNDATION DRAIN	9/C5.02
FP	FIRE PROTECTION LINE CONNECTION. SEE PLUMBING PLANS FOR CONTINUATION.	
HB	PEDESTAL HOSE BIB. PRODUCT SHALL BE FOR POTABLE WATER USE, HEAVY DUTY, VANDAL RESISTANT WITH SURFACE MOUNTING, AND FREEZE RESISTANT. PROVIDE SUBMITTALS AND COLOR OPTIONS TO ARCHITECT FOR APPROVAL.	
IR	IRRIGATION POINT OF CONNECTION. SEE IRRIGATION PLANS FOR CONTINUATION.	
RDN	ROOF DRAIN NOZZLE. SEE PLUMBING PLANS.	
RP	RIP-RAP PROTECTION	
RWD	RETAINING WALL DRAIN	10/C5.02
S	CONNECT TO WASTE LINE. SEE PLUMBING PLANS FOR CONTINUATION. SIZE AS NOTED.	
SD	CONNECT TO STORM DRAIN/ROOF DRAIN. SEE PLUMBING PLANS FOR CONTINUATION. SIZE AND IE AS NOTED.	
SPD	STORM PLANTER WITH DETENTION	
SPL	LINED STORMWATER PLANTER. ID AND SIZE AS NOTED.	
ST	SOAKAGE TRENCH	6/C5.02
SUB	SUBDRAINAGE UNDER PLAY SURFACE	13/C5.01
USD	UNDERSLAB DRAINAGE. INSTALL 36" TO 48" BELOW FF. COORDINATE WITH MECHANICAL FOR ACTUAL DEPTH.	8/C5.00
W	CONNECT TO COLD WATER SYSTEM. SEE PLUMBING PLANS FOR CONTINUATION. SIZE AS NOTED.	
WF	CONNECT TO COLD WATER SYSTEM, TO SUPPLY WATER FOR INTERACTIVE FOUNTAIN. SEE PLUMBING FOR CONTINUATION. SIZE AS NOTED.	
WM	WATER METER. APPROX. SIZE AS NOTED. COORDINATE WITH OLWSD FOR INSTALLATION.	
!!	UTILITY CROSSING. PROVIDE 12" MIN. CLEARANCE. UNO.	

UTILITY LABEL LEGEND

STRUCTURE LABEL



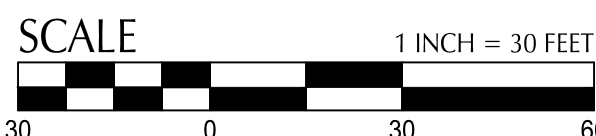
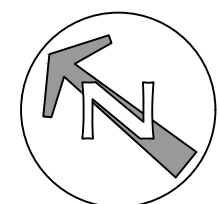
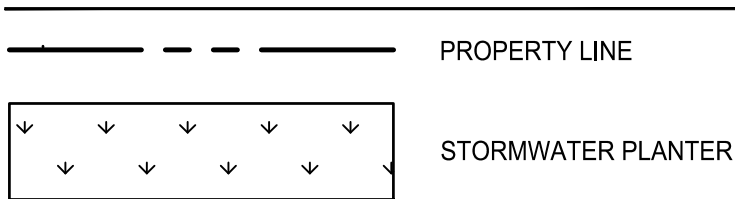
PIPE LABEL



STRUCTURE TYPE

CALLOUT	DESCRIPTION	DETAIL REF.
11BND	11.25' BEND	
22BND	22.5' BEND	
45BND	45' BEND	
90BND	90' BEND	
XBEND	COMBINED FITTINGS TO ACHIEVE ANGLE	
ADL	AREA DRAIN IN LANDSCAPE	3B/C5.01
ADP	AREA DRAIN IN PAVEMENT	3A/C5.01
BDV	BALL DRIP VALVE	12/C5.01
BWV	BACKWATER VALVE	14/C5.01
CB	CATCH BASIN	4/C5.01
CB2	CATCH BASIN - TYPE 2	16/C5.01
CB3	CONCRETE CATCH BASIN	7/C5.02
CO	CLEANOUT	2/C5.01
CONN	CONNECT TO EX. PIPE. SEE SHEET NOTE 4.	
DCD	DOUBLE CHECK DETECTOR VALVE	
FCMH	FLOW CONTROL MANHOLE	9/C5.01
FDC	FIRE DEPARTMENT CONNECTION	6/C5.01
MH	MANHOLE	10/C5.01
OF	OUTFALL	3/C5.02
OV	OVERFLOW INLET - TYPE 1	9/C5.01
OV2	OVERFLOW INLET - TYPE 2	4/C5.02
SEDMH	SEDIMENTATION MANHOLE	8/C5.02
STUB	STUB	
TEE	TEE CONNECTION	
VLT	WATER VALVE BOX	

SHEET LEGEND



PRELIMINARY
NOT FOR
CONSTRUCTION

Project Owner:
Clackamas County & NCPRD



Project Name:
Oak Lodge Library and Community Park

Project Address:
3811 SE Concord Road, Milwaukie, OR 97267

10/19/2022

THESE DRAWINGS ARE THE PROPERTY OF OPSIS ARCHITECTURE LLP AND ARE NOT TO BE USED OR REPRODUCED IN ANY MANNER WITHOUT PRIOR WRITTEN PERMISSION.

Revisions to Sheet	
Revision	Date
100% CD	05/05/2023

Status: **DESIGN REVIEW**
 REV 1

Date: **05.22.2023**

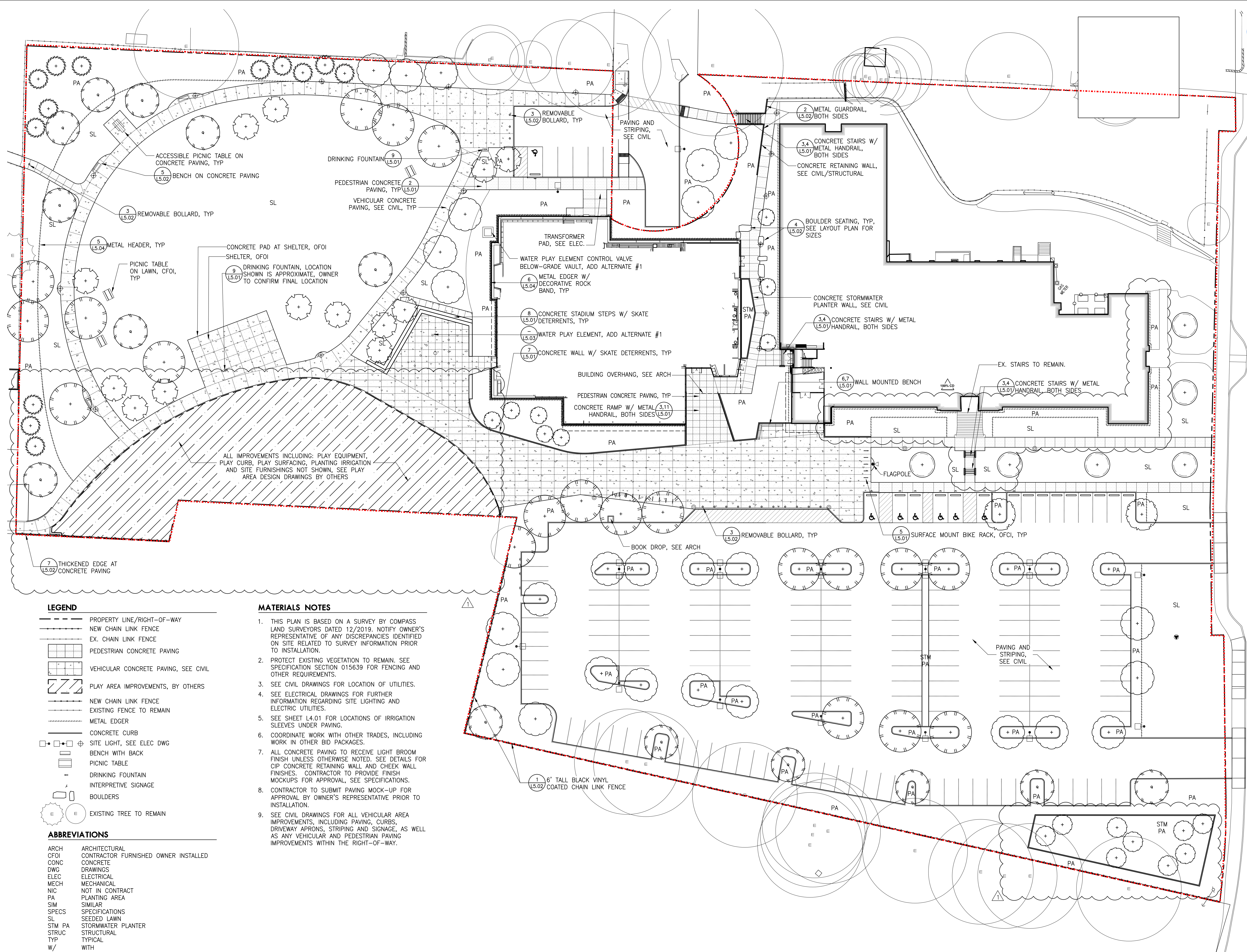
Sheet Title
UTILITY PLAN - OVERALL

Sheet No.

C4.00

Job No.

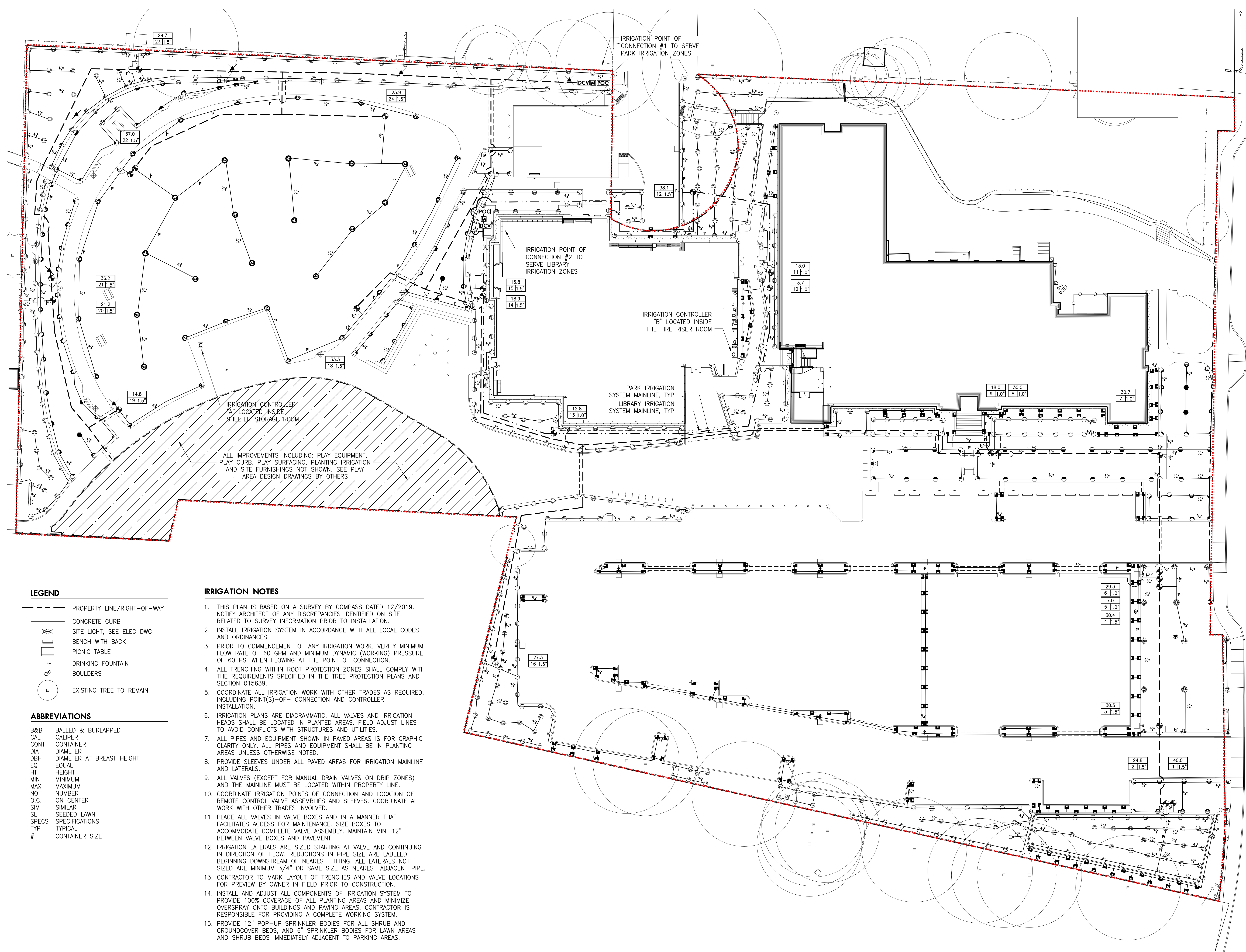
4775 - 07





























PLANT SCHEDULE
















SYMBOL	ABBR	BOTANICAL NAME	COMMON NAME	SIZE/CONDITION	SPACING
TREES					
	AC	Acer circinatum	Vine Maple	8' HT, MULTI-STEM, B&B	as shown
	AG	Acer griesum	Paperbark Maple	12' HT, MULTI-STEM, B&B	as shown
	OV	Ostrya virginiana	Hophornbeam	3" CAL., B&B	as shown
	PM	Pseudotsuga menziesii	Douglas Fir	8' HT., B&B	as shown
	PR	Prunus x yedoensis 'Akebono'	Yoshino Cherry	3" CAL., B&B	as shown
	NS	Nyssa sylvatica	Black Tupelo	3" CAL., B&B	as shown
	QC	Quercus crysolepis	Canyon Live Oak	3" CAL/B&B	as shown
	QG	Quercus garryana	Oregon White Oak	1" CAL., B&B	as shown
	ZS	Zelkova serrata 'Village Green'	Village Green Zelkova	3" CAL., B&B	as shown
ORNAMENTAL SHRUBS AND GROUND COVERS					
	PEAH	Pennisetum alopecuroides 'Hameln'	Little Bunny Grass	#1/CONT	18" O.C.
	BEBU	Berberis buxifolia 'Nano'	Dwarf Magellin Barberry	#2/CONT	8" O.C.
	BLSP	Blechnum spicant	Deer Fern	#2/CONT	18" O.C.
	CACL	Caryopteris x clandonensis	Dark Knight Bluebeard	#2/CONT.	as shown
	CIOB	Cistus obtusifolia	Rock Rose	#3/CONT	as shown
	HAMA	Hamamelis intermedia Sunburst	Witch Hazel	#5/CONT	8" O.C.
	HESP	Helleborus spp.	Lenten Rose	#1/CONT	12" O.C.
	ILGL	Ilex glabra 'Shamrock'	Shamrock Holly	#3/CONT	36" O.C.
	JUHO	Juniperus horizontalis 'Bar Harbor'	Creeping Juniper	#2/CONT.	36" O.C.
	KALA	Kalmia latifolia 'Elf'	Dwarf Kalmia	#5/CONT	36" O.C.
	LJJA	Ligustrum japonicum	Japanese Privet	#5/CONT	36" O.C.
	MARE	Mahonia repens	Low Oregon Grape	#3/CONT	24" O.C.
	NADO	Nandina domestica 'Moon Bay'	Moon Bay Heavenly Bamboo	#1/CONT	24" O.C.
	OSBU	Osmanthus x burkwoodii	Burkwood Osmanthus	#5/CONT, 3' HT	as shown
	PIJA	Pieris japonica	Japanese Pieris	#5/CONT	as shown
	POFR	Potentilla fruticosa 'Red Ace'	Red Ace Potentilla	#2/CONT.	as shown
	POMU	Polystichum munitum	Sword Fern	#3/CONT	30" O.C.
	RHDE	Rhaphiolepis x delocurii 'Georgia Petite'	Georgia Petite Indian Hawthorn	#3/CONT	30" O.C.
	SARU	Sarcococca ruscifolia	Sweet Box	#5/CONT	30" O.C.
	SKRE	Skimmia reevesiana	Reeves Skimmia	#3/CONT	30" O.C.
	SEAU	Sesleria autumnalis	Autumn Moor Grass	#3/CONT	as shown
STORMWATER PLANTER TREES					
	AC	Acer circinatum	Vine Maple	7' HT, B&B	as shown
STORMWATER FACILITY SHRUBS AND GROUND COVERS					
	SPJA	Spiraea japonica 'Little Princess'	Little Princess Spiraea	#1/CONT	18" O.C.
	DECE	Deschampsia cespitosa	Tufted Hairgrass	#1/CONT	18" O.C.
	ELMA	Eleocharis macrostachya	Creeping Spikerush	#1/CONT	12" O.C.
	JUEF	Juncus effusus var. pacificus	Soft Rush	#1/CONT	as shown
	POMU	Polystichum munitum	Sword Fern	#1/CONT	as shown
	SPBE	Spiraea betulifolia var. lucida	Shiny-leaf Spiraea	#1/CONT	30" O.C.
	VAOV	Vaccinium ovatum	Evergreen Huckleberry	#5/CONT, 30" HT.	48" O.C.
	VIDE	Viburnum edule	Highbush Cranberry	#5/CONT, 30" HT.	48" O.C.



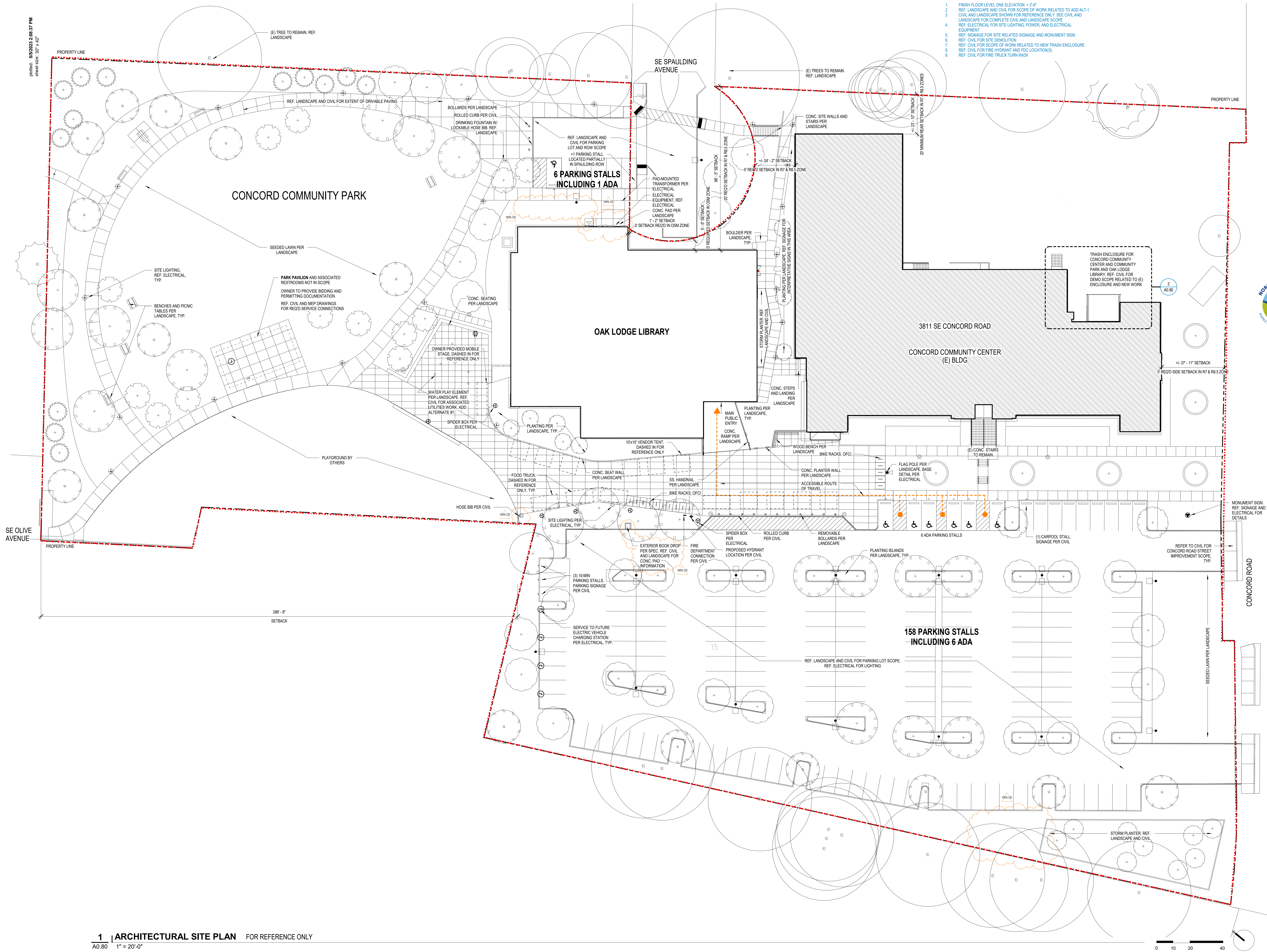
IRRIGATION LEGEND

EQUIPMENT	
Symbol	Description
	REMOTE CONTROL VALVE
	ISOLATION VALVE
	QUICK COUPLER
	CONTROLLER, SEE SPECS AND DETAILS
	POINT-OF-CONNECTION
	WATER METER, BY OTHERS
	DOUBLE-CHECK VALVE, SEE CIVIL
	PARK MAINLINE, SCH. 40 PVC, 2.5" OR AS NOTED
	LIBRARY MAINLINE, SCH. 40 PVC, 2.5" OR AS NOTED
	IRRIGATION SLEEVE, SCH. 40 PVC, 4" OR AS NOTED
	LATERAL LINE, CLASS 200 PVC, SIZE AS NOTED
	ELECTRICAL CONDUIT
	23.8 — GALLONS PER MINUTE 8 1/2" — VALVE SIZE — ZONE NUMBER

ROTORS							
Sym	Rotor	Nozzle	Arc	GPM	PSI	Radius	
	RAINBIRD 5000 MPR	25	90°/120°/180°/360°	1.54	45	25'	
	RAINBIRD 5000 MPR	30	90°/120°/180°/360°	2.07	45	30'	
	RAINBIRD 5000 MPR	35	90°/120°/180°/360°	2.51	45	35'	
	RAINBIRD FALCON 6504	4	40-360°	3.7	50	41'	
	RAINBIRD FALCON 6504	6	40-360°	5.5	50	49'	
	RAINBIRD FALCON 6504	8	40-360°	7.4	50	51'	
	RAINBIRD FALCON 6504	10	40-360°	9.1	50	53'	
	RAINBIRD FALCON 6504	12	40-360°	11.0	50	55'	
	RAINBIRD FALCON 6504	14	40-360°	12.7	50	59'	
	RAINBIRD FALCON 6504	16	40-360°	14.3	50	61'	
	RAINBIRD FALCON 6504	18	40-360°	17.1	60	63'	

SPRAY HEADS – MP ROTATOR NOZZLES					
Sym	Spray Head	Nozzle	Arc	GPM	Radius
	HUNTER PRO-SPRAY PRS40	MP CORNER	45°-105°	.19-.45	11'-14'
	HUNTER PRO-SPRAY PRS40	MP1000 90-210	90°-210°	.21-.49	11'-14'
	HUNTER PRO-SPRAY PRS40	MP1000 210-270	210°-270°	.49-.63	11'-14'
	HUNTER PRO-SPRAY PRS40	MP1000 360	360°	.75	11'-14'
	HUNTER PRO-SPRAY PRS40	MP2000 90-210	90°-210°	.43-.86	15'-20'
	HUNTER PRO-SPRAY PRS40	MP2000 210-270	210°-270°	.86-1.10	15'-20'
	HUNTER PRO-SPRAY PRS40	MP2000 360	360°	1.48	15'-20'
	HUNTER PRO-SPRAY PRS40	MP3000 90-210	90°-210°	.86-2.12	23'-30'
	HUNTER PRO-SPRAY PRS40	MP3000 210-270	210°-270°	2.12-2.73	23'-30'
	HUNTER PRO-SPRAY PRS40	MP3000 360	360°	3.64	23'-30'
	HUNTER PRO-SPRAY PRS40	MP3500 90-210	210°	2.12	31'-35'
	HUNTER PRO-SPRAY PRS40	MPSS530		.44	5'x30'
	HUNTER PRO-SPRAY PRS40	MPLCS515		.22	5'x15'
	HUNTER PRO-SPRAY PRS40	MPRCS515		.22	5'x15'
	HUNTER RZWS-36			.25	N/A

plotted: 6/6/2023 2:08:37 PM
sheet size: 30" x 42"



SITE PLAN SHEET NOTES

1. FINISH FLOOR LEVEL ONE ELEVATION + 2'-6"
2. REF. LANDSCAPE AND CIVIL FOR SCOPE OF WORK RELATED TO ADD ALT-1
3. CIVIL AND LANDSCAPE SHOWN FOR REFERENCE ONLY. SEE CIVIL AND LANDSCAPE FOR COMPLETE CIVIL AND LANDSCAPE SCOPE.
4. REF. ELECTRICAL FOR SITE LIGHTING, POWER, AND ELECTRICAL EQUIPMENT.
5. REF. SIGNAGE FOR SITE RELATED SIGNAGE AND MONUMENT SIGN.
6. REF. CIVIL FOR SITE DEMOLITION.
7. REF. CIVIL FOR SCOPE OF WORK RELATED TO NEW TRASH ENCLOSURE.
8. REF. CIVIL FOR FIRE HYDRANT AND FDC LOCATIONS(S).
9. REF. CIVIL FOR FIRE TRUCK TURN RADI.



www.opsisarch.com

Project Owner:
**Clackamas County / North
Clackamas Parks &
Recreation District**



Project Name:
**Oak Lodge Library and
Community Park**

Project Address:
**3811 SE Concord Road,
Milwaukie, OR 97267**

10/09/2023

THESE DRAWINGS ARE THE PROPERTY OF OPSIA ARCHITECTURE LLP AND ARE NOT TO BE REPRODUCED OR REPRODUCED IN ANY MANNER WITHOUT PRIOR WRITTEN PERMISSION.

Revisions to Sheet	
Revision	Date
100% CD	05/05/2023

Status: **DESIGN REVIEW
REV 1**

Date: **05.22.2023**

Sheet Title
**ARCHITECTURAL
SITE PLAN**

FOR REFERENCE ONLY

Sheet No.

A0.80

Job No.

4775 - 07

FLOOR PLANS SHEET NOTES

- REFERENCE SHEET 00.02 FOR MOUNTING HEIGHTS AND GENERAL INFORMATION
- REFERENCE LIGHTING / ELECTRICAL FOR LIGHTING TYPES. NOT ALL LIGHTING IS SHOWN ON THE ARCHITECTURAL PLAN
- REFERENCE EXTERIOR ELEVATIONS FOR EXTERIOR MATERIALS
- ALL OUTSIDE INTERIOR CORNERS WITHOUT FRL WALL COVERING TO HAVE 4" HIGH S.S. CORNER GUARDS
- ALL FURNITURE SHOWN FOR REFERENCE ONLY - OFOL
- PROVIDE BLOCKING AS REQUIRED FOR ALL LOCATIONS TO RECEIVE FRP PANEL FINISH
- PROVIDE BLOCKING AT LOCATIONS TO RECEIVE NEW TOILET ACCESSORIES
- REFERENCE SHEET A1.20 FOR SLAB DIMENSIONS

FLOOR PLAN LEGEND

CASEWORK/MILLWORK
 REFERENCE INTERIOR ELEVATIONS AND
 INTERIOR DETAILS FOR ADDITIONAL INFORMATION

Project Owner:
 Clackamas County / North
 Clackamas Parks &
 Recreation District



Project Name:
 Oak Lodge Library and
 Community Park

Project Address:
 3811 SE Concord Road,
 Milwaukie, OR 97267

10/09/2023

THESE DRAWINGS ARE THE PROPERTY OF OPSIS ARCHITECTURE
 LLP AND ARE NOT TO BE REPRODUCED OR REPRODUCED IN ANY MANNER
 WITHOUT EXPRESS WRITTEN PERMISSION.

Revisions to Sheet	
Revision	Date
100% CD	05/05/2023

Status: DESIGN REVIEW
 REV 1

Date: 05.22.2023

Sheet Title

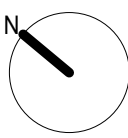
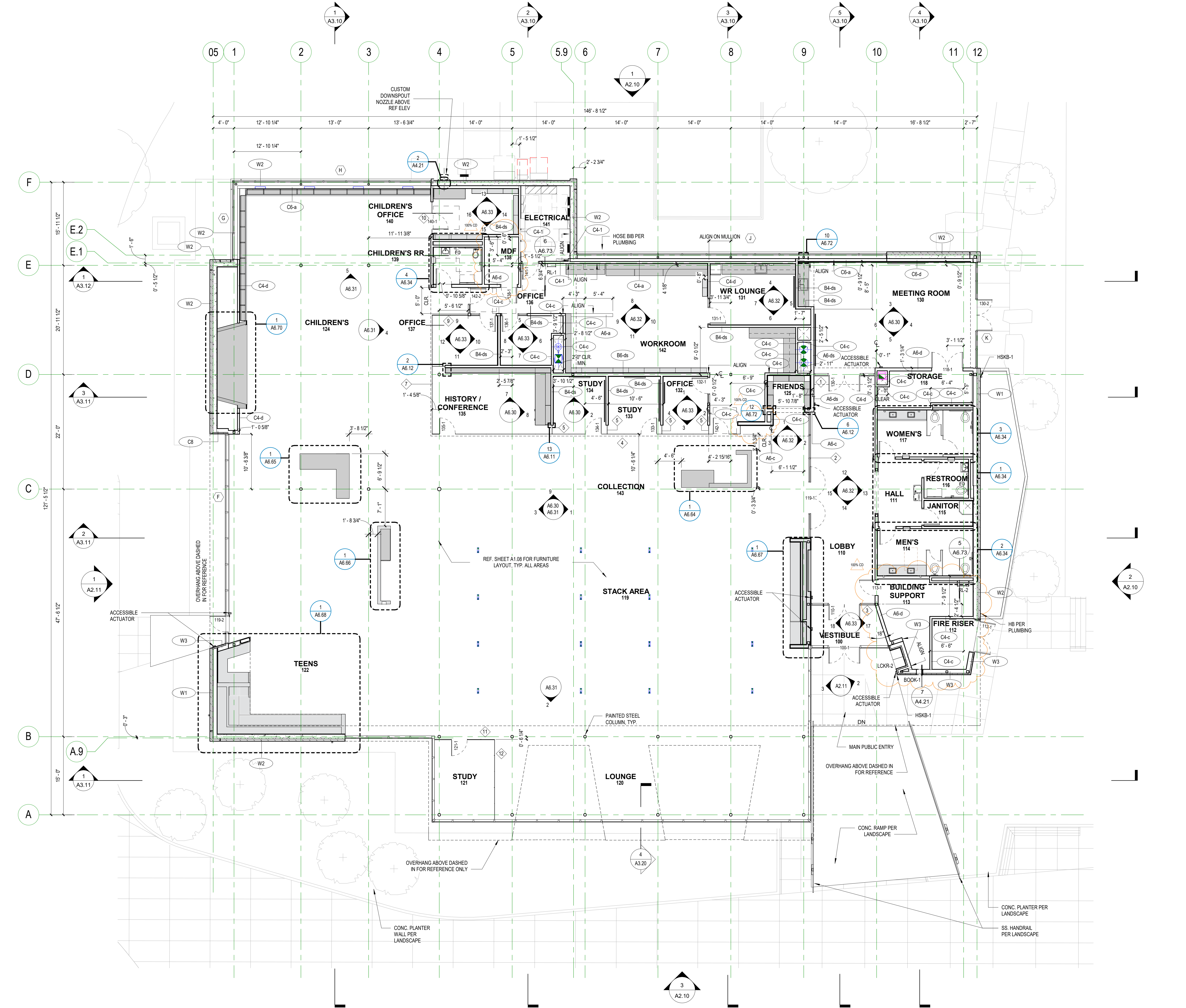
FLOOR PLAN
 LEVEL 01

Sheet No.

A1.01

Job No.

4775 - 07



EXTERIOR ELEVATIONS SHEET NOTES

- REFERENCE SPEC FOR EXTERIOR MATERIALS
- REFERENCE LANDSCAPE FOR GRADING
- ALL EXPOSED EXTERIOR SEALANT AT BRICK TO BE SANDED AND SET AT SIMILAR DEPTH TO MORTAR



www.opsisarch.com

Project Owner:
 Clackamas County / North
 Clackamas Parks &
 Recreation District



Project Name:
 Oak Lodge Library and
 Community Park

Project Address:
 3811 SE Concord Road,
 Milwaukie, OR 97267

10/01/2023

THESE DRAWINGS ARE THE PROPERTY OF OPSIS ARCHITECTURE
 LLP AND ARE NOT TO BE REPRODUCED OR REPRODUCED IN ANY MANNER
 WITHOUT WRITTEN PERMISSION.

Revisions to Sheet	
Revision	Date

Status: DESIGN REVIEW
 REV 1

Date: 05.22.2023

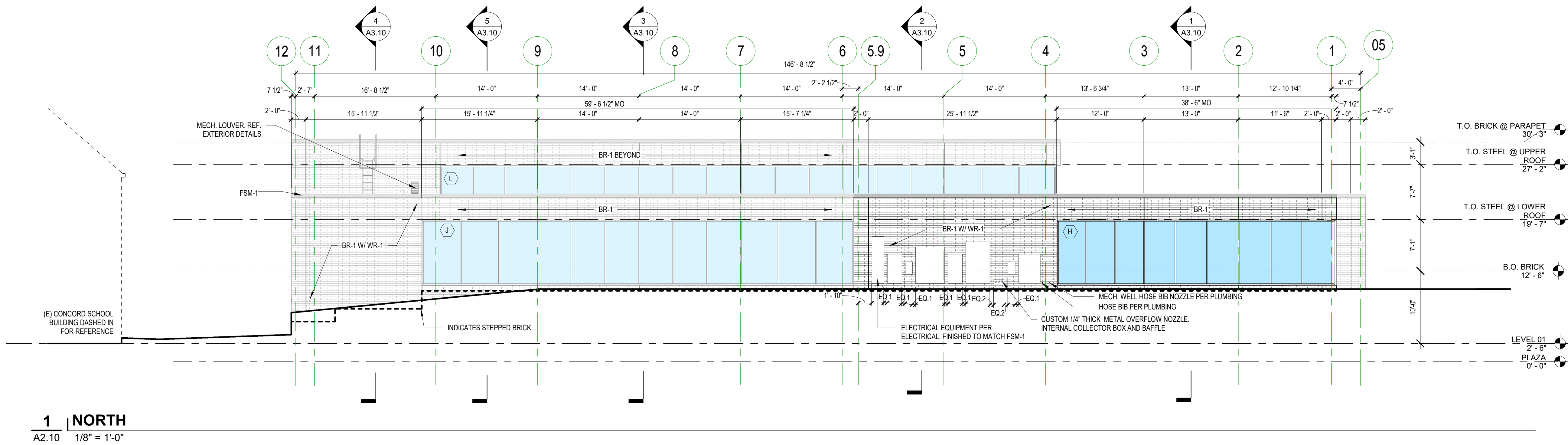
Sheet Title
 EXTERIOR
 ELEVATIONS

Sheet No.

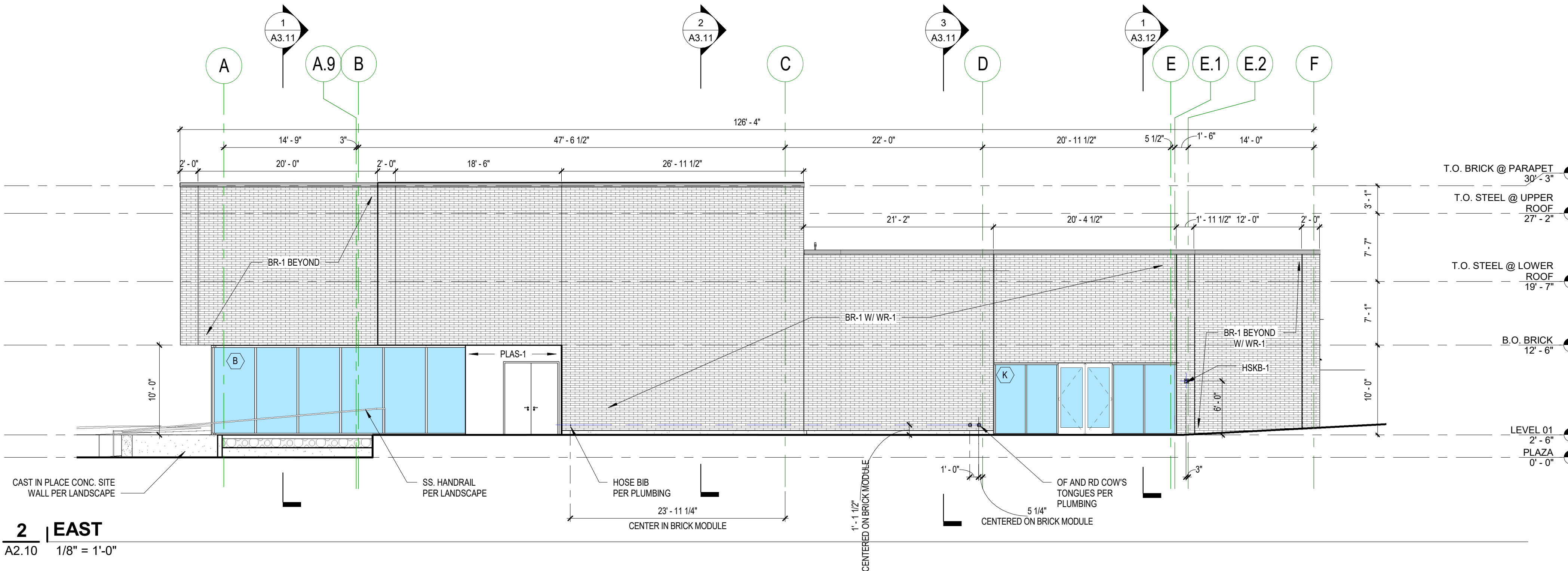
A2.10

Job No.

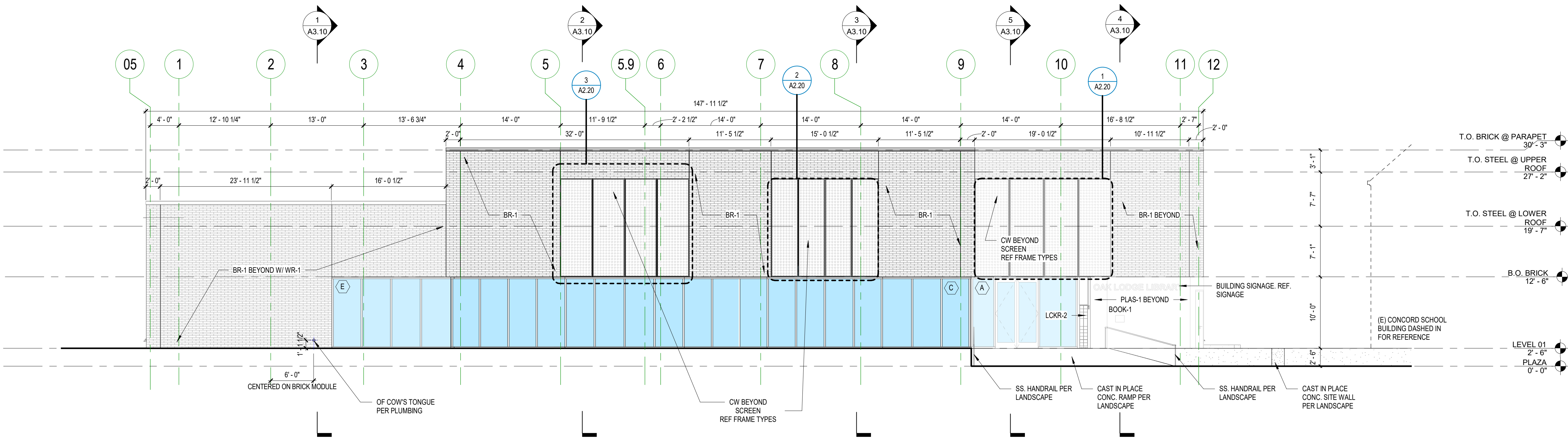
4775 - 07



1 NORTH
 A2.10 1/8" = 1'-0"



2 EAST
 A2.10 1/8" = 1'-0"



3 SOUTH
 A2.10 1/8" = 1'-0"

plotted: 6/6/2023 2:28:37 PM
 sheet size: 30" x 42"

EXTERIOR ELEVATIONS SHEET NOTES

- REFERENCE SPEC FOR EXTERIOR MATERIALS
- REFERENCE LANDSCAPE FOR GRADING
- ALL EXPOSED EXTERIOR SEALANT AT BRICK TO BE SANDED AND SET AT SIMILAR DEPTH TO MORTAR



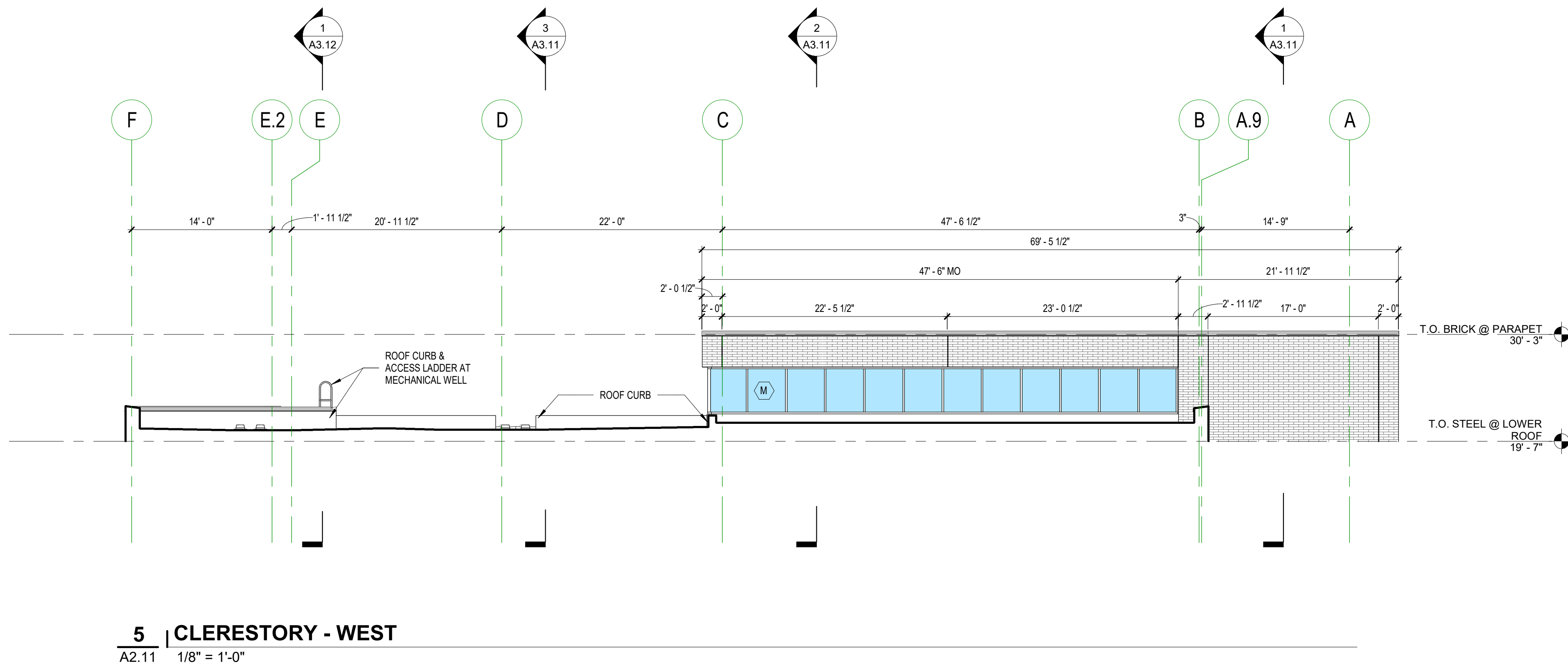
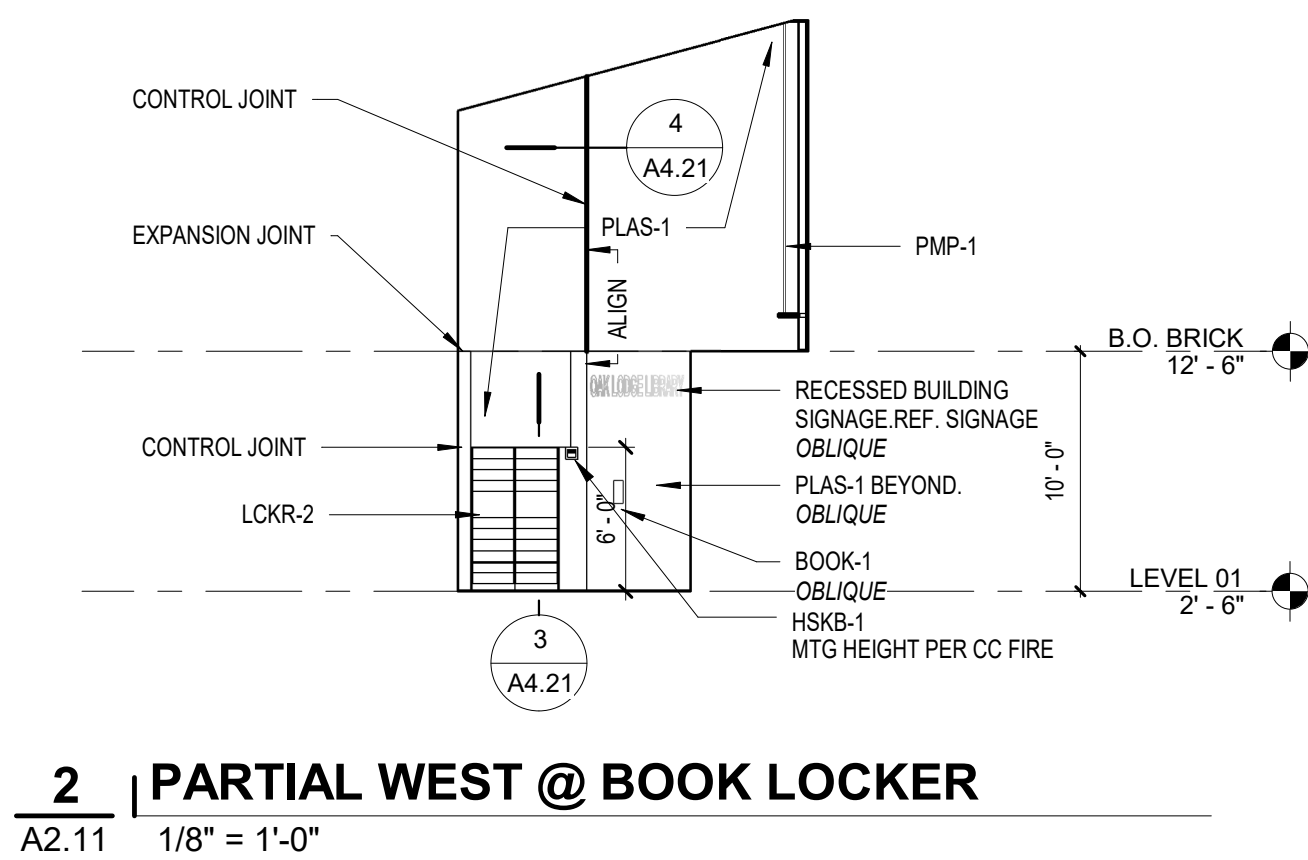
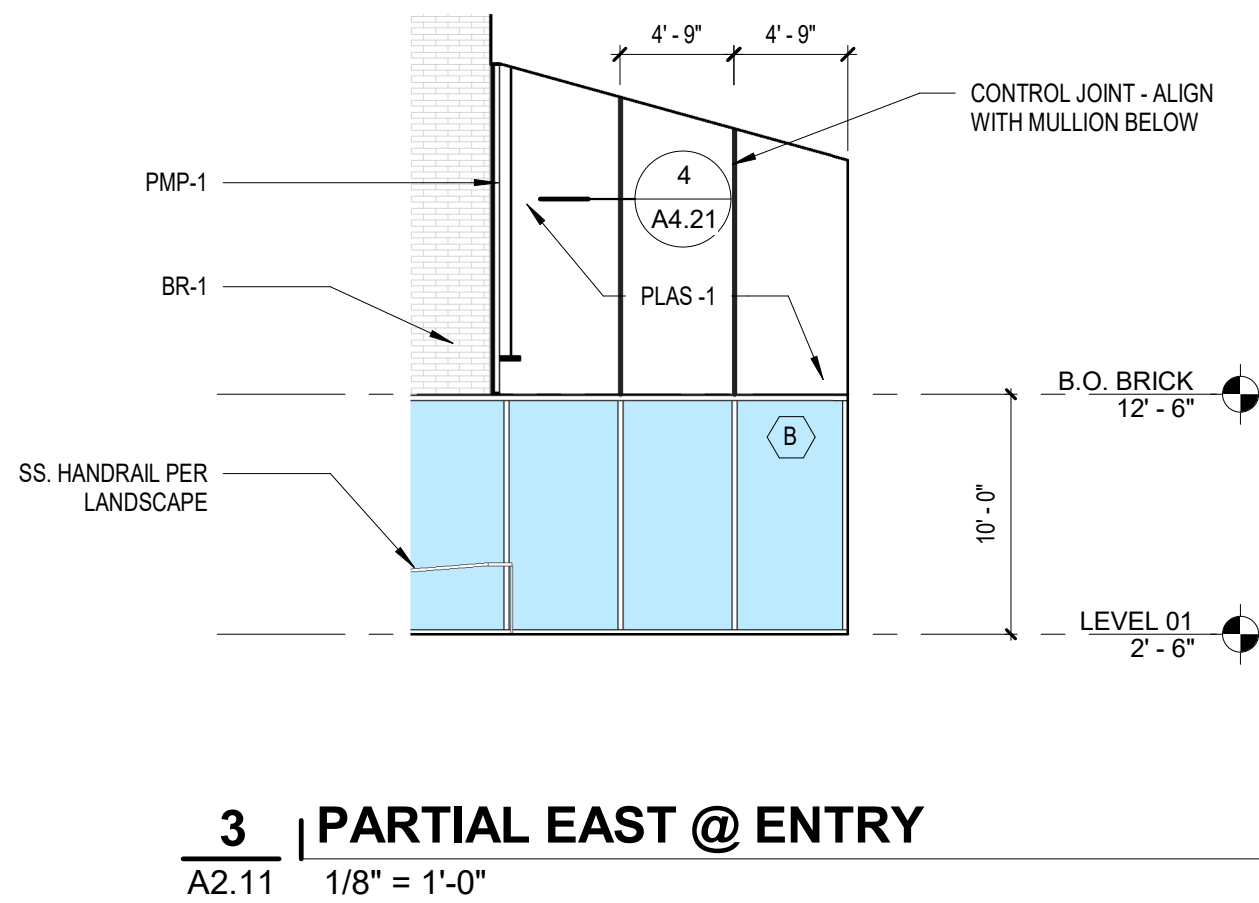
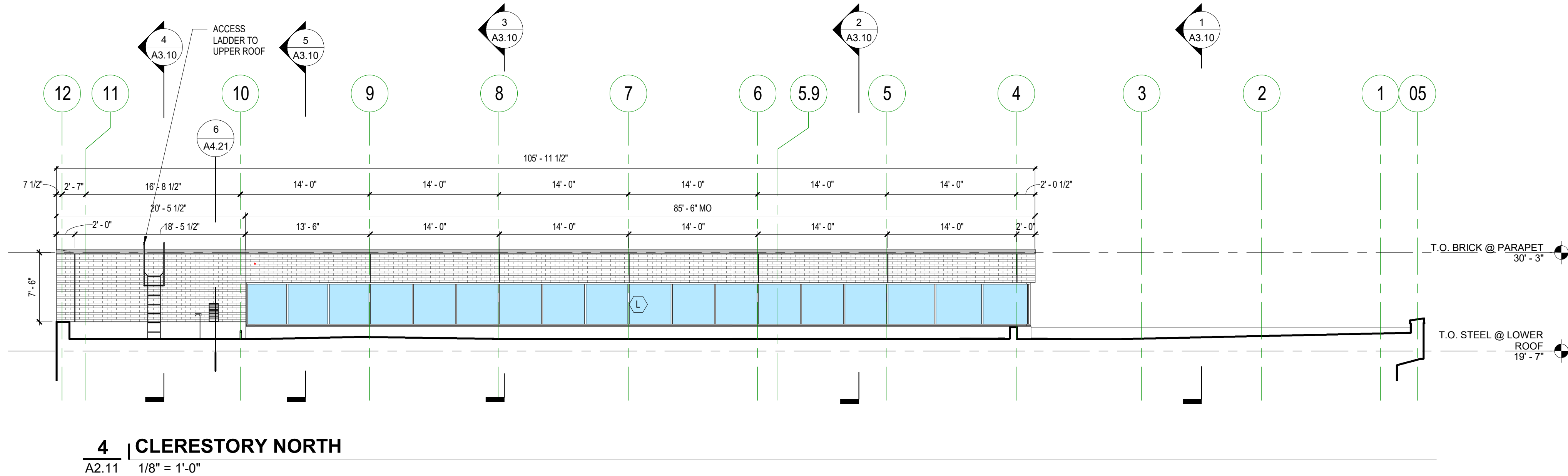
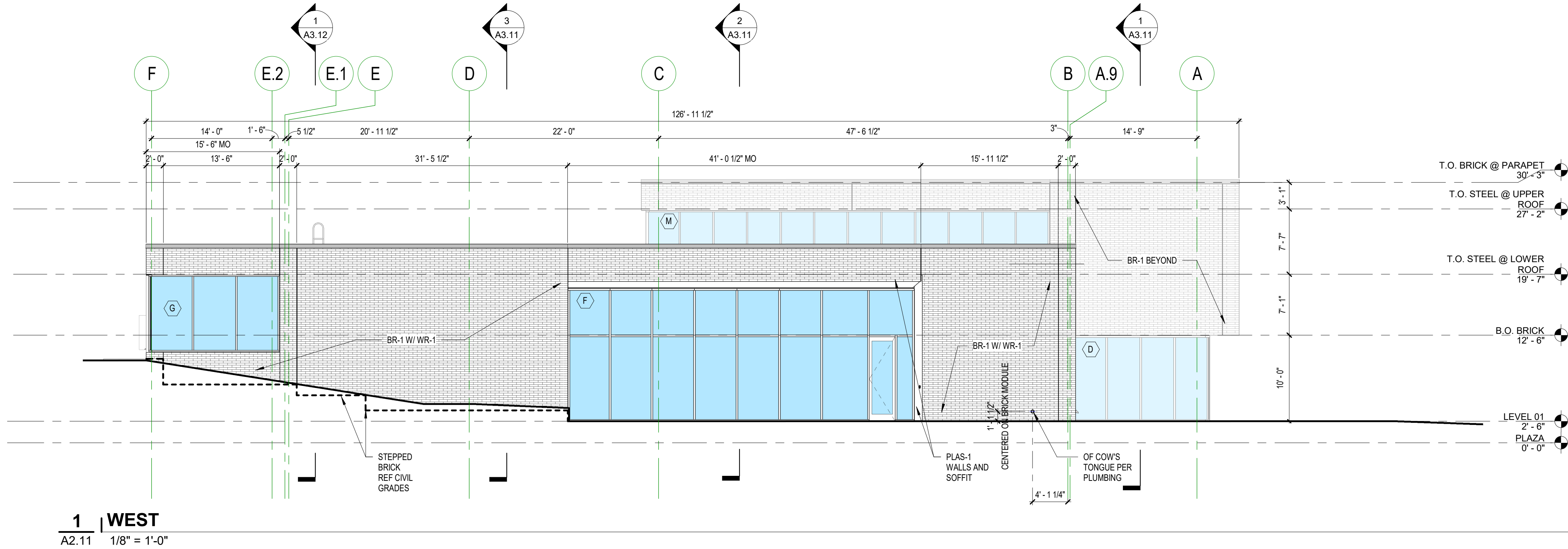
www.opsisarch.com

Project Owner:
 Clackamas County / North
 Clackamas Parks &
 Recreation District



Project Name:
 Oak Lodge Library and
 Community Park

Project Address:
 3811 SE Concord Road,
 Milwaukie, OR 97267



10/10/21/2023

THESE DRAWINGS ARE THE PROPERTY OF OPSIS ARCHITECTURE
 LLP AND ARE NOT TO BE REPRODUCED OR REPRODUCED IN ANY MANNER
 WITHOUT WRITTEN PERMISSION

Revisions to Sheet	
Revision	Date

Status: DESIGN REVIEW
 REV 1

Date: 05.22.2023

Sheet Title

EXTERIOR
 ELEVATIONS

Sheet No.

A2.11

Job No.

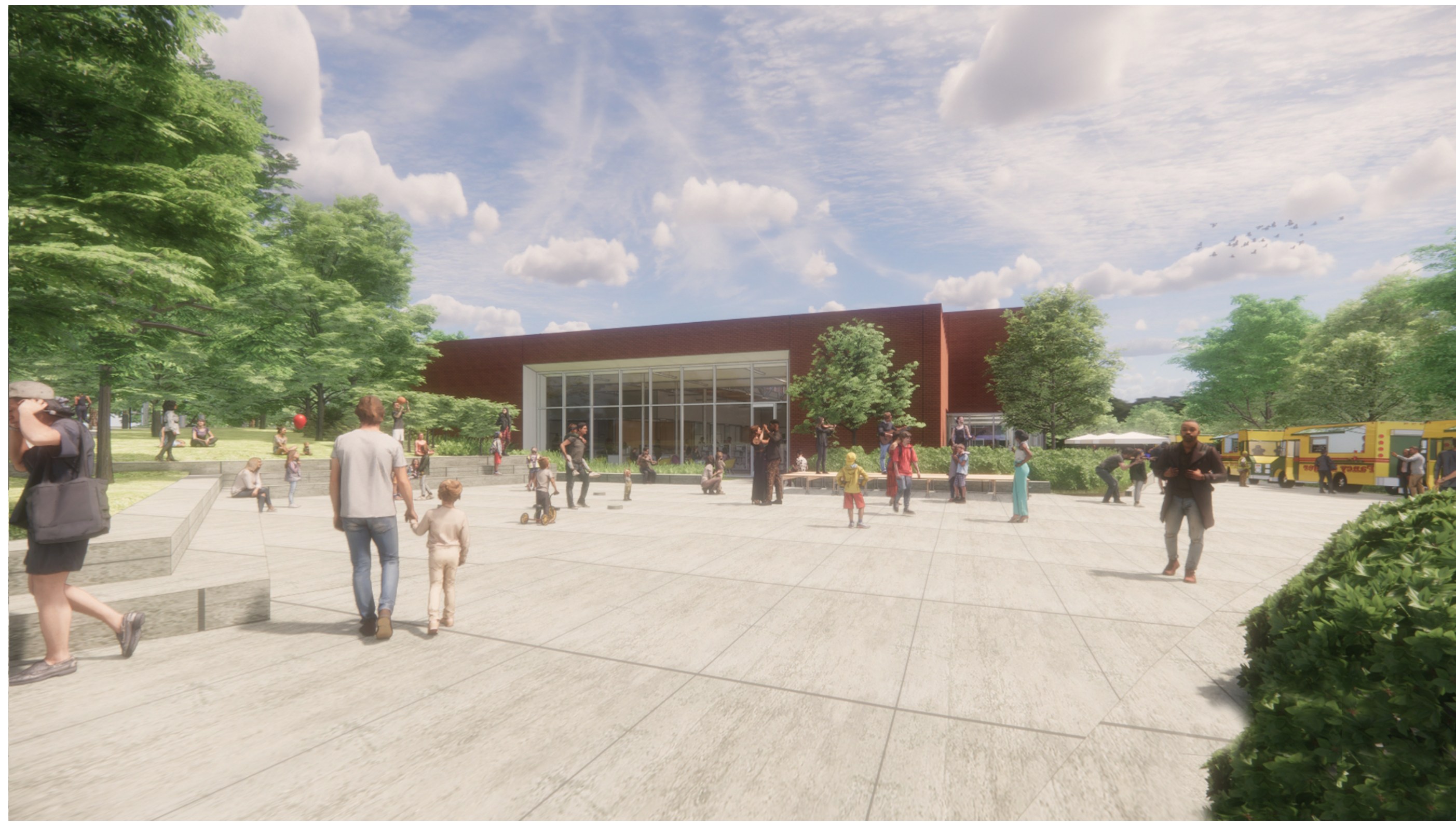
4775 - 07



MAIN ENTRY PLAN SOUTH - FOR REFERENCE ONLY



PARK PLAZA W/ (E) CONCORD SCHOOL - FOR REFERENCE ONLY

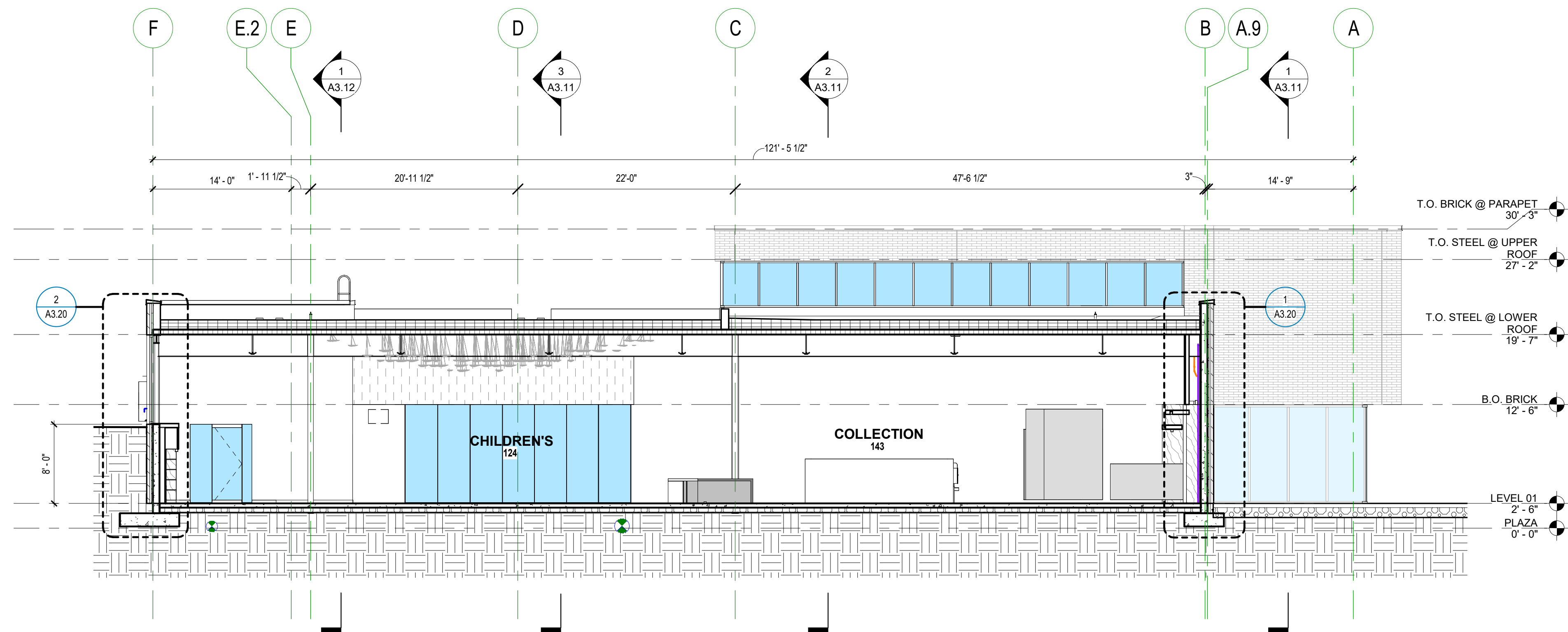


PLAY AREA LOOKING PLAN EAST - FOR REFERENCE ONLY

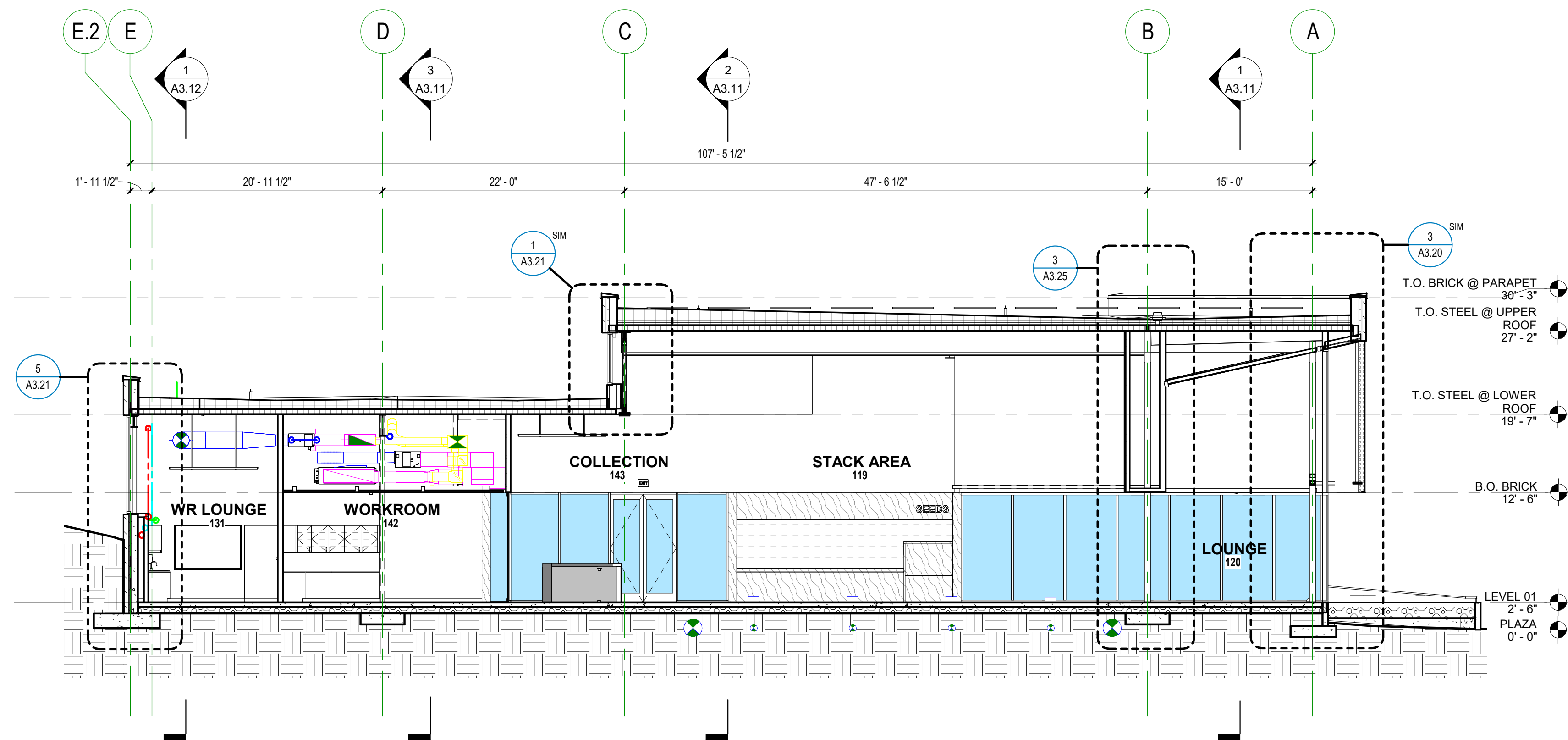


PLAN SOUTH FACADE - FOR REFERENCE ONLY

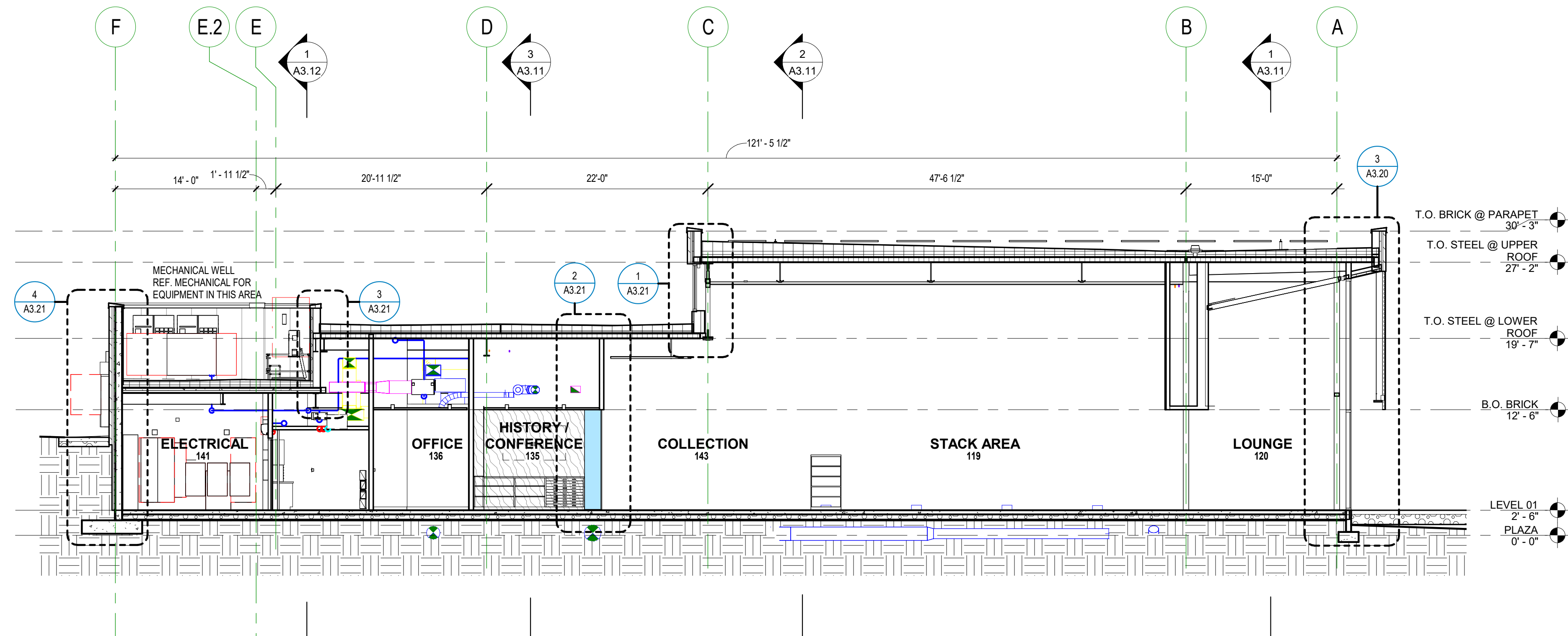
plotted: 6/6/2022 2:53:39 PM
sheet size: 30" x 42"



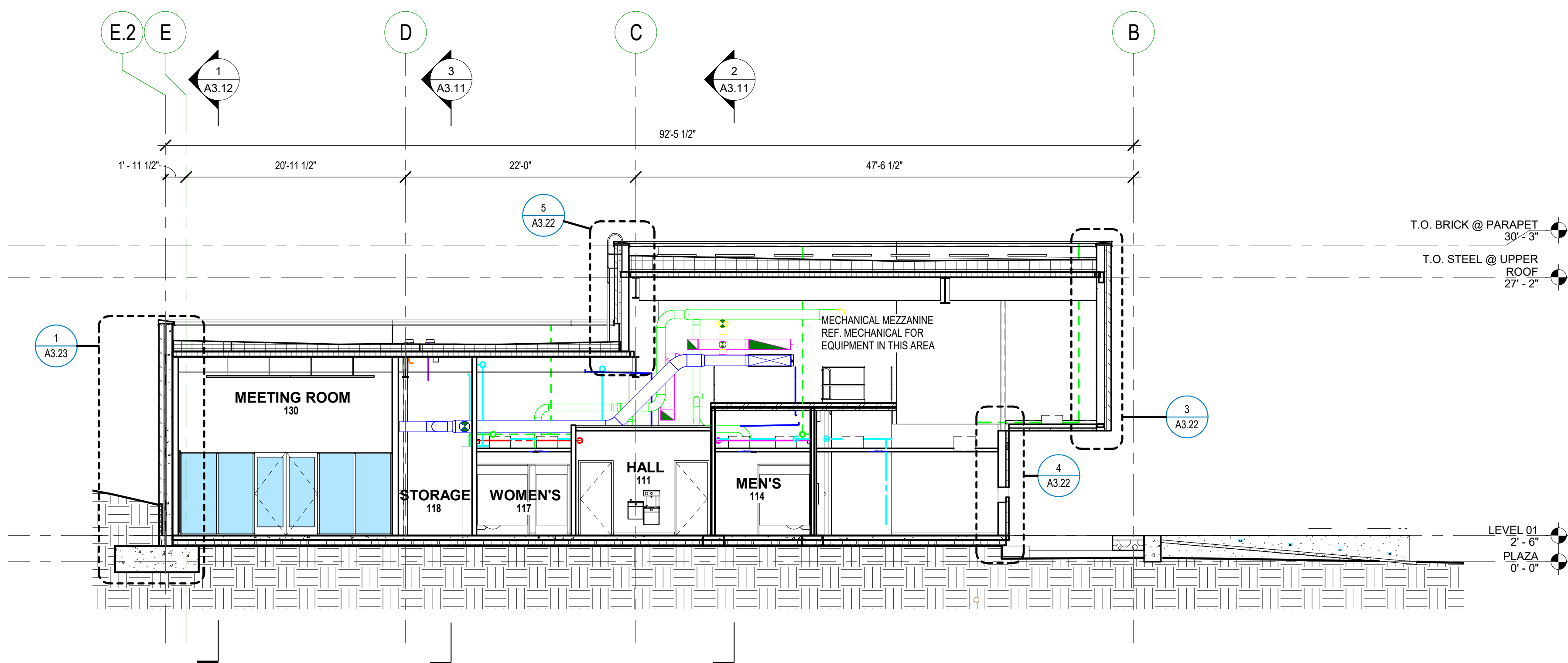
1 NS SECTION THROUGH CHILDREN'S
A3.10 1/8" = 1'-0"



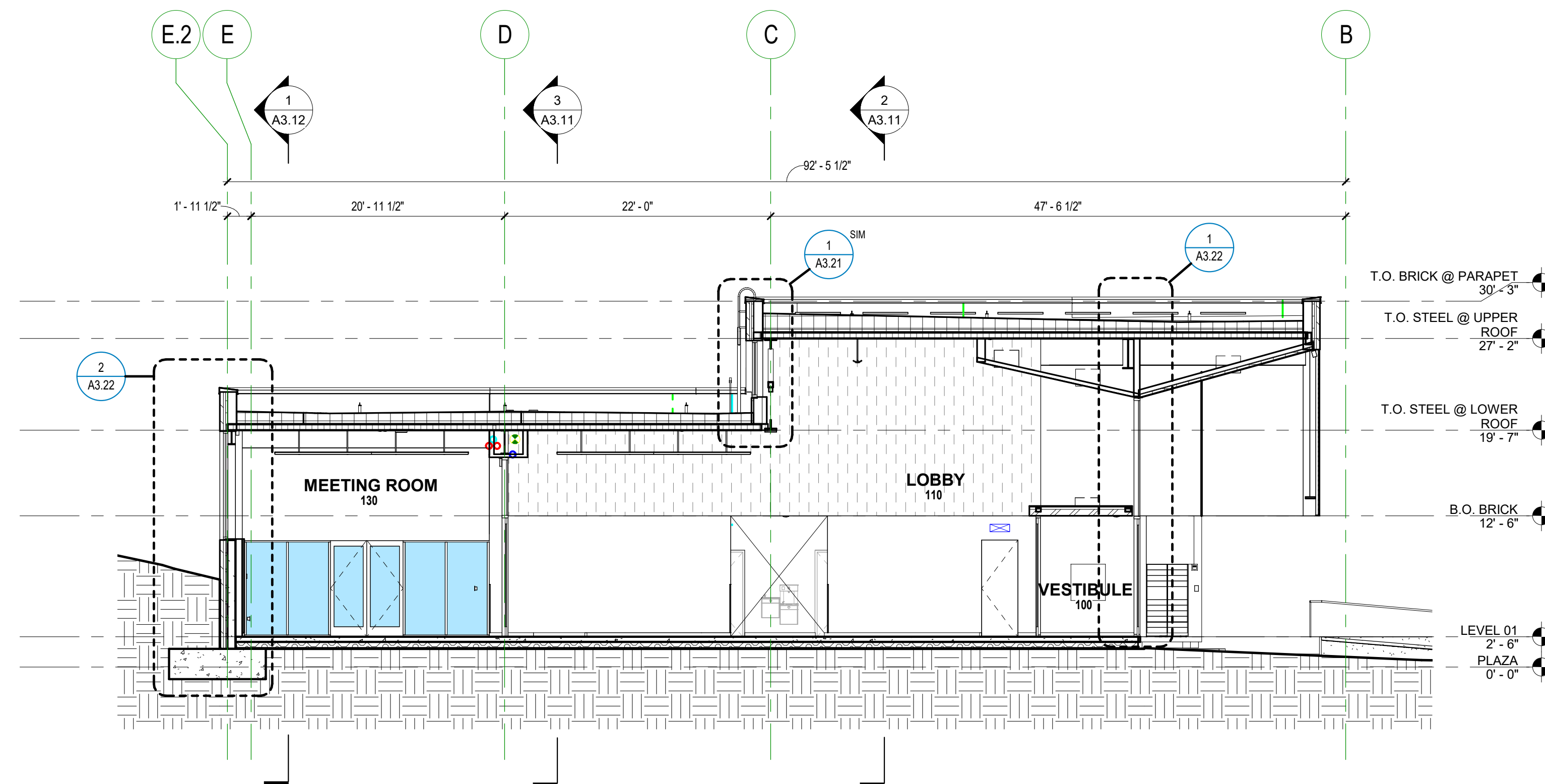
3 NS SECTION THROUGH LOUNGE
A3.10 1/8" = 1'-0"



2 NS SECTION THROUGH WORKROOM
A3.10 1/8" = 1'-0"



4 NS SECTION THROUGH MEETING ROOM
A3.10 1/8" = 1'-0"



5 NS SECTION THROUGH LOBBY
A3.10 1/8" = 1'-0"

10/07/2022

THESE DRAWINGS ARE THE PROPERTY OF OPSIS ARCHITECTURE
LLP AND ARE NOT TO BE REPRODUCED OR REPRODUCED IN ANY MANNER
WITHOUT WRITTEN PERMISSION.

Revisions to Sheet	
Revision	Date

Status: DESIGN REVIEW
REV 1

Date: 05.22.2023

Sheet Title:
**BUILDING
SECTIONS**

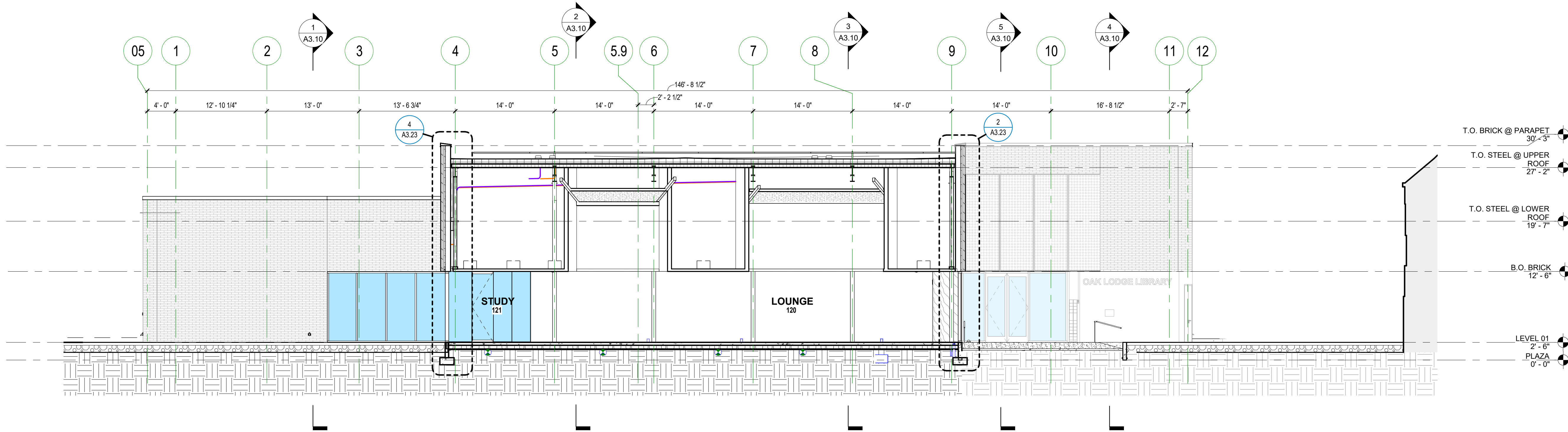
Sheet No.

A3.10

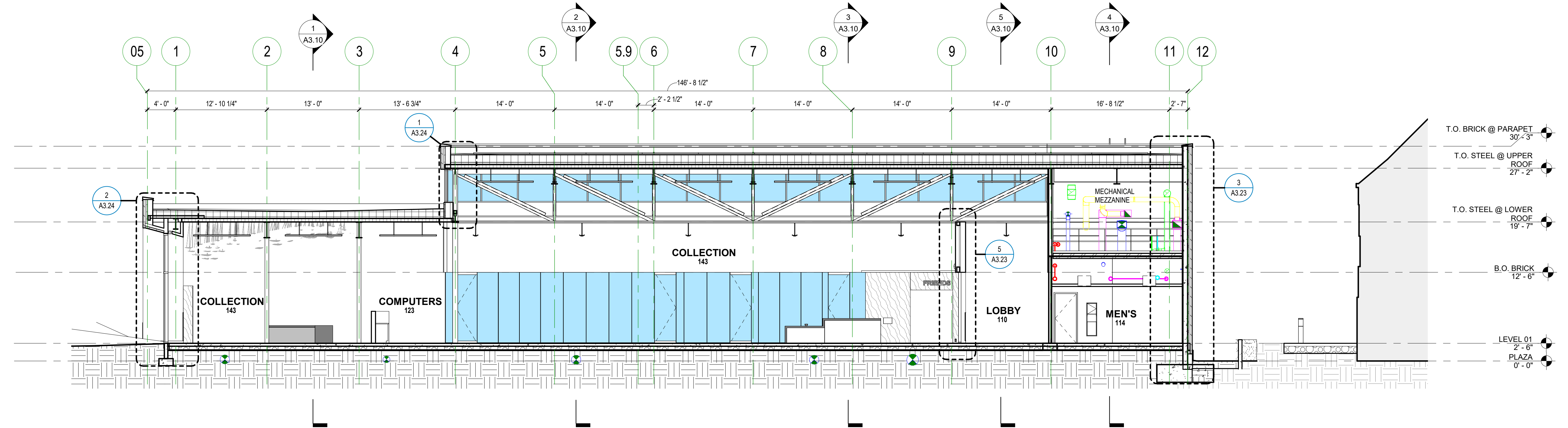
Job No.

4775 - 07

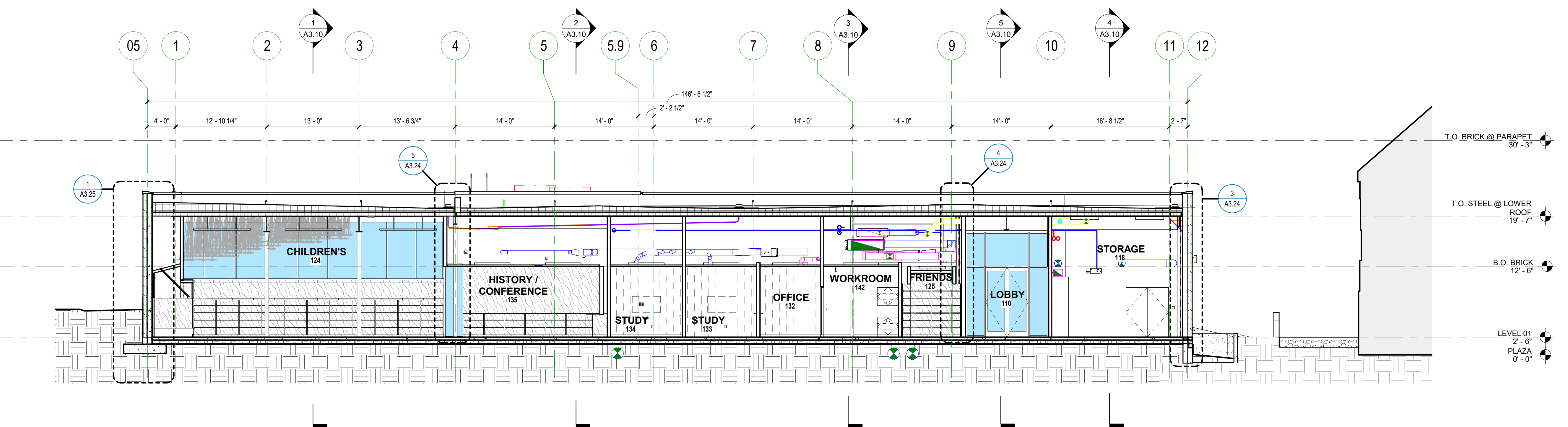
plotted: 6/6/2023 2:55:39 PM
sheet size: 30" x 42"



1 | EW SECTION THROUGH TEENS
A3.11 1/8" = 1'-0"



2 | EW SECTION THROUGH COLLECTION
A3.11 1/8" = 1'-0"



3 | EW SECTION THROUGH STUDY ROOMS
A3.11 1/8" = 1'-0"

10/07/2023

THESE DRAWINGS ARE THE PROPERTY OF OPSIS ARCHITECTURE LLP AND ARE NOT TO BE REPRODUCED OR REPRODUCED IN ANY MANNER WITHOUT PRIOR WRITTEN PERMISSION.

Revisions to Sheet	
Revision	Date

Status: DESIGN REVIEW
REV 1

Date: 05.22.2023

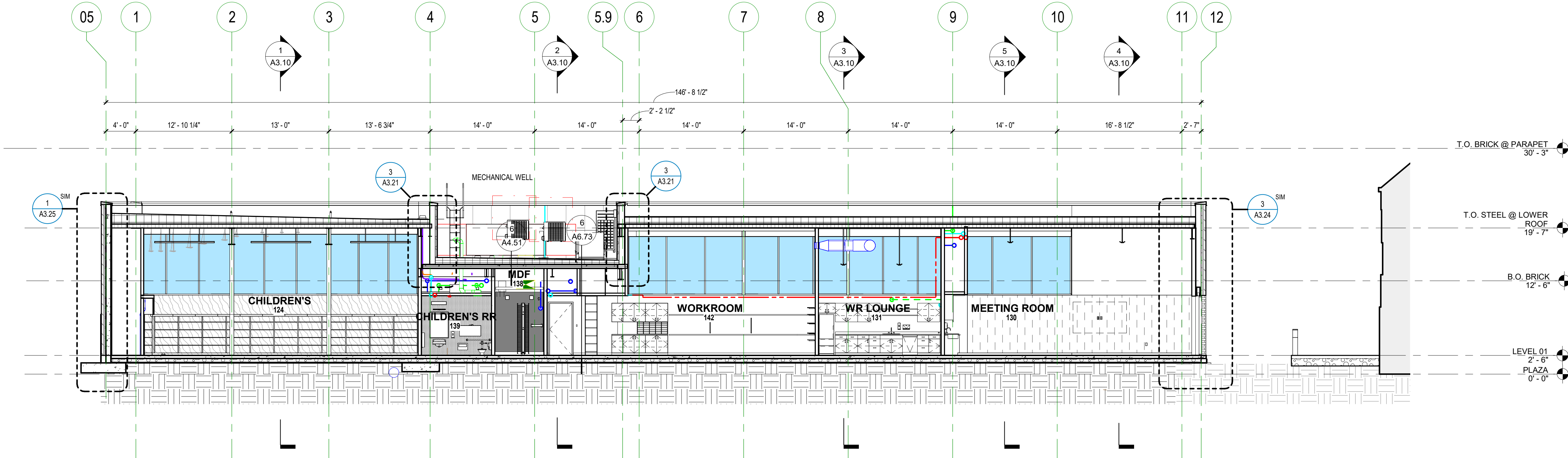
Sheet Title:
**BUILDING
SECTIONS**

Sheet No.

A3.11

Job No.

4775 - 07



1 EW SECTION THROUGH WORKROOM
 A3.12 1/8" = 1'-0"

1. REFERENCE A4.00 FOR OPENING FRAME TYPES, GLAZING UNIT TYPE AND DETAIL CALCULOTS
2. METAL STUD FRAMING IS BIDDER-DESIGNED. BRACING, KICKERS, TIES ARE SHOWN FOR REFERENCE
3. REFERENCE STRUCTURAL FOR DEFLECTION CRITERIA
4. REFERENCE STRUCTURAL FOR TOP OF STEEL HEIGHTS.
5. INTERIOR STUD AT DOUBLE STUD WALLS TO BE FRAMED PER LEVEL
6. EXTERIOR STUD TO BE BALLOON FRAMED. REFER TO WALL SECTIONS FOR MORE INFORMATION.
7. METAL PANEL JOINTS TO ALIGN WITH CENTER LINE OF MULLION UNO
8. REFERENCE A0.40 FOR EXTERIOR WALL ASSEMBLIES
9. REFERENCE A0.60 FOR HORIZONTAL ASSEMBLIES



4775 - 07

Printed: 6/4/2022 2:59:02 PM
 Sheet Size: 30" x 42"

LUMINAIRE SCHEDULE

TYPE	DESCRIPTION	HOUSING	SHIELDING	MOUNTING	FINISH	UL/IP RATING	DRIVER/POWER SUPPLY	LIGHT SOURCE	INPUT WATTS	MFG/CATALOG #	NOTES
'A1'	SUSPENDED LINEAR LED; DIRECT BATWING DISTRIBUTION; INDIRECT BATWING DISTRIBUTION; NOMINAL 3.5IN WIDE x 4.5IN TALL x 8FT LONG; IN CONTINUOUS LENGTHS AS SHOWN ON ELECTRICAL DRAWINGS	EXTRUDED ALUMINUM	EXTRUDED FROSTED ACRYLIC	SUSPENDED FROM CEILING @ 2'-0" BELOW CEILING AS MEASURED TO BOTTOM OF LUMINAIRE UNLESS OTHERWISE NOTED ON ELECTRICAL DRAWINGS	WHITE	UL DAMP	INTEGRAL DRIVER; 0-10V DIMMING TO 1%	DIRECT: NOMINAL 700 LUMENS PER FOOT; INDIRECT 875 LUMENS PER FOOT; 3500K LED; 90CRI	85.8	AXIS LIGHTING BEAM 3 SERIES; LITECONTROL, ALW, OR APPROVED	
'A2'	SUSPENDED LINEAR LED; DIRECT BATWING DISTRIBUTION; INDIRECT BATWING DISTRIBUTION; NOMINAL 3.5IN WIDE x 4.5IN TALL x 12FT LONG	EXTRUDED ALUMINUM	EXTRUDED FROSTED ACRYLIC	SUSPENDED FROM CEILING @ 2'-0" BELOW CEILING AS MEASURED TO BOTTOM OF LUMINAIRE	WHITE	UL DAMP	INTEGRAL DRIVER; 0-10V DIMMING TO 1%	DIRECT: NOMINAL 700 LUMENS PER FOOT; INDIRECT 875 LUMENS PER FOOT; 3500K LED; 90CRI	128.6	AXIS LIGHTING BEAM 3 SERIES; LITECONTROL, ALW, OR APPROVED	
'A3'	SUSPENDED LINEAR LED; DIRECT BATWING DISTRIBUTION; INDIRECT BATWING DISTRIBUTION; NOMINAL 3.5IN WIDE x 4.5IN TALL x 8FT LONG	EXTRUDED ALUMINUM	EXTRUDED FROSTED ACRYLIC	SUSPENDED FROM CEILING @ 2'-0" BELOW CEILING AS MEASURED TO BOTTOM OF LUMINAIRE	WHITE	UL DAMP	INTEGRAL DRIVER; 0-10V DIMMING TO 1%	DIRECT: NOMINAL 580 LUMENS PER FOOT; INDIRECT 875 LUMENS PER FOOT; 3500K LED; 90CRI	102.1	AXIS LIGHTING BEAM 3 SERIES; LITECONTROL, ALW, OR APPROVED	
'A4'	SUSPENDED LINEAR LED; DIRECT BATWING DISTRIBUTION; INDIRECT BATWING DISTRIBUTION; NOMINAL 3.5IN WIDE x 4.5IN TALL x 4FT LONG IN CONTINUOUS LENGTHS AS SHOWN ON ELECTRICAL DRAWINGS	EXTRUDED ALUMINUM	EXTRUDED FROSTED ACRYLIC	SUSPENDED FROM CEILING @ 2'-0" BELOW CEILING AS MEASURED TO BOTTOM OF LUMINAIRE	WHITE	UL DAMP	INTEGRAL DRIVER; 0-10V DIMMING TO 1%	DIRECT: NOMINAL 700 LUMENS PER FOOT; INDIRECT 875 LUMENS PER FOOT; 3500K LED; 90CRI	42.9	AXIS LIGHTING BEAM 3 SERIES; LITECONTROL, ALW, OR APPROVED	
'B1'	RECESSED LINEAR LED; DIRECT LAMBERTIAN DISTRIBUTION; NOMINAL 3.5IN WIDE x 4IN TALL x LENGTHS AS SHOWN ON ELECTRICAL DRAWINGS	EXTRUDED ALUMINUM	EXTRUDED FROSTED ACRYLIC	RECESSED	WHITE	UL DAMP	INTEGRAL DRIVER; 0-10V DIMMING TO 1%	NOMINAL 900 LUMENS PER FOOT; 3500K LED; 90CRI	<varies>	AXIS LIGHTING BEAM 3 SERIES; LITECONTROL, ALW, OR APPROVED	7 WATTS PER LINEAR FOOT
'C1'	RECESSED LINEAR LED; DIRECT LAMBERTIAN DISTRIBUTION; NOMINAL 3.5IN WIDE x 4IN TALL x 5FT LONG; IN CONTINUOUS LENGTHS AS SHOWN ON ELECTRICAL DRAWINGS	EXTRUDED ALUMINUM	EXTRUDED FROSTED ACRYLIC	RECESSED	WHITE	UL DAMP	INTEGRAL DRIVER; 0-10V DIMMING TO 1%	NOMINAL 600 LUMENS PER FOOT; 3500K LED; 90CRI	24.0	AXIS LIGHTING BEAM 3 SERIES; LITECONTROL, ALW, OR APPROVED	
'D1'	RECESSED LED ROUND DOWNLIGHT; WIDE DISTRIBUTION; NOMINAL 4IN DIAMETER APERTURE x 9IN WIDE x 9.75IN LONG x 6.625IN TALL	20-GAUGE GALVANIZED STEEL	CLEAR ACRYLIC	RECESSED	CLEAR; ARCHITECT	UL DAMP	INTEGRAL DRIVER; 0-10V DIMMING TO 1%	NOMINAL 1500 LUMENS; 3500K LED; 90CRI	13.7	GOTHAM EVO 4IN SERIES; PORTFOLIO, PRESCOLITE, OR APPROVED	
'F1'	SUSPENDED PENDANT LUMINAIRE; NOMINAL 15.75IN DIAMETER x 9.5IN TALL	HAND SPUN ALUMINUM	NA	PENDANT MOUNTED @ 6'-0" AFF AS MEASURED TO BOTTOM OF LUMINAIRE	AS SELECTED BY ARCHITECT	UL DRY	LINE VOLTAGE DIMMING	REPLACEMENT E26 LED A19 LAMP W/ FROSTED GLOBE; NOMINAL 850 LUMENS; 3500K LED; 90CRI	60.0	KNOLL MUUTO AMBIT SERIES	
'G1'	WALL MOUNTED FIBER OPTIC STAR FIELD INSTALLATION; TOTAL SURFACE AREA OF LUMINAIRE INSTALLATION 3.5FT TALL x 13FT LONG	FIBER OPTIC CABLE	NA	MOUNTED TO WALL; SEE ARCHITECTURAL DETAILS	NA	UL DRY	REMOTE ILLUMINATOR AND POWER SUPPLY	3000K LED; 90CRI	42.0	VLT GALAXY SERIES; OR APPROVED	
'H1'	RECESSED LINEAR LED TAPELIGHT W/ MOUNTING CHANNEL; NOMINAL 1.21IN WIDE x 0.44IN TALL x LENGTHS AS SHOWN ON ELECTRICAL DRAWINGS	EXTRUDED ALUMINUM MOUNTING CHANNEL	FROSTED ACRYLIC	RECESSED	BLACK	UL DRY	REMOTE DRIVER; 0-10V DIMMING TO 1%	NOMINAL 426 LUMENS PER FOOT; 3500K LED; 90CRI	<varies>	LUMINI KENDO RL SERIES; KELVIX ACOLYTE, OR APPROVED	6.5 WATTS PER LINEAR FOOT
'H2'	SURFACE MOUNTED CORNER ROUND ANGLE LED TAPELIGHT; NOMINAL 0.75IN WIDE x 0.75IN TALL x LENGTHS AS SHOWN ON ELECTRICAL DRAWINGS	EXTRUDED ALUMINUM MOUNTING CHANNEL	ROUND FROSTED ACRYLIC LENS	SURFACE MOUNTED	BLACK	UL DRY	REMOTE DRIVER; 0-10V DIMMING TO 1%	NOMINAL 268 LUMENS PER FOOT; 3500K LED; 94CRI	93.8	LUMINI KENDO 45M ROUND SERIES; OR APPROVED	4.8 WATTS PER LINEAR FOOT
'H3'	RECESSED LINEAR LED W/ INTEGRATED FULLY LUMINOUS CORNERS; DIRECT LAMBERTIAN DISTRIBUTION; NOMINAL 1IN WIDE x 2IN TALL x LENGTHS AND PATTERN AS SHOWN ON ELECTRICAL DRAWINGS	EXTRUDED ALUMINUM	FLUSH FROSTED ACRYLIC	RECESSED	BLACK	UL DAMP	INTEGRAL DRIVER; 0-10V DIMMING TO 1%	NOMINAL 350 LUMENS PER FOOT; 3500K LED; 90CRI	<varies>	LUMENVERX MIKRO SERIES; OR APPROVED	3.625 WATTS PER LINEAR FOOT
'R1'	WALL MOUNTED LINEAR VANITY LED; NOMINAL 3.5IN TALL x 4IN DEEP x 2FT LONG	EXTRUDED ALUMINUM	ACRYLIC SATIN FINISH	WALL MOUNTED @ 7'-0" AFF AS MEASURED TO CENTERLINE OF LUMINAIRE	WHITE	UL DAMP	INTEGRAL DRIVER; 0-10V DIMMING TO 1%	NOMINAL 600 LUMENS PER FOOT; 3500K LED; 90CRI	12.0	AXIS AIR SERIES; PRUDENTIAL, LITECONTROL, OR APPROVED	
'SA4'	SITE/AREA LED LUMINAIRE; SINGLE HEAD; TYPE 4 DISTRIBUTION; NOMINAL 9IN WIDE x 3.25IN TALL x 16.25IN LONG	DIE CAST ALUMINUM	TEMPERED GLASS LENS	MOUNTED TO 20FT TALL ROUND POLE; POLE TO WITHSTAND 100MPH WINDS W/ GUST FACTOR OF 1.3.	SILVER	IP 65	INTEGRAL DRIVER; 0-10V DIMMING TO 10%	NOMINAL 3722 LUMENS; 3000K LED; 80CRI	39.0	SELUX OURAY SERIES; OR APPROVED	
'SA4-2'	SITE/AREA LED LUMINAIRE; DUAL HEAD IN BACK-TO-BACK ORIENTATION; TYPE 4 DISTRIBUTION; NOMINAL 9IN WIDE x 3.25IN TALL x 16.25IN LONG	DIE CAST ALUMINUM	TEMPERED GLASS LENS	MOUNTED TO 20FT TALL ROUND POLE; POLE TO WITHSTAND 100MPH WINDS W/ GUST FACTOR OF 1.3.	SILVER	IP 65	INTEGRAL DRIVER; 0-10V DIMMING TO 10%	NOMINAL 3722 LUMENS PER HEAD; 3000K LED; 80CRI	78.0	SELUX OURAY SERIES; OR APPROVED	
'SA4-H'	SITE/AREA LED LUMINAIRE; SINGLE HEAD; TYPE 4 DISTRIBUTION; NOMINAL 9IN WIDE x 3.25IN TALL x 16.25IN LONG	DIE CAST ALUMINUM	TEMPERED GLASS LENS; HOUSE SIDE SHIELD	MOUNTED TO 20FT TALL ROUND POLE; POLE TO WITHSTAND 100MPH WINDS W/ GUST FACTOR OF 1.3.	SILVER	IP 65	INTEGRAL DRIVER; 0-10V DIMMING TO 10%	NOMINAL 3722 LUMENS; 3000K LED; 80CRI	39.0	SELUX OURAY SERIES; OR APPROVED	
'SA5'	SITE/AREA LED LUMINAIRE; SINGLE HEAD; TYPE 5 DISTRIBUTION; NOMINAL 9IN WIDE x 3.25IN TALL x 16.25IN LONG	DIE CAST ALUMINUM	TEMPERED GLASS LENS	MOUNTED TO 20FT TALL ROUND POLE; POLE TO WITHSTAND 100MPH WINDS W/ GUST FACTOR OF 1.3.	SILVER	IP 65	INTEGRAL DRIVER; 0-10V DIMMING TO 10%	NOMINAL 3722 LUMENS; 3000K LED; 80CRI	39.0	SELUX OURAY SERIES; OR APPROVED	
'SB1'	SITE/AREA PEDESTRIAN STYLE POST TOP LED LUMINAIRE W/ INTEGRAL GFCI RECEPTACLE AND LOCKABLE COVER; TYPE 4 DISTRIBUTION; NOMINAL 29.2IN DIAMETER x 19IN TALL	DIE CAST ALUMINUM	HIGH IMPACT ACRYLIC LENS	MOUNTED TO 9FT TALL ROUND POLE; POLE TO WITHSTAND 100MPH WINDS W/ GUST FACTOR OF 1.3	AS SELECTED BY ARCHITECT	IP 55	INTEGRAL DRIVER; 0-10V DIMMING	NOMINAL 5077 LUMENS DERATED TO 2000 LUMENS; 3000K LED; 81CRI	56.0	LIGMAN ANESTI POST TOP SERIES; OR APPROVED	
'SB2'	SITE/AREA PEDESTRIAN STYLE POST TOP LED LUMINAIRE; TYPE 2 DISTRIBUTION; NOMINAL 29.2IN DIAMETER x 19IN TALL	DIE CAST ALUMINUM	HIGH IMPACT ACRYLIC LENS	MOUNTED TO 9FT TALL ROUND POLE; POLE TO WITHSTAND 100MPH WINDS W/ GUST FACTOR OF 1.3	AS SELECTED BY ARCHITECT	IP 55	INTEGRAL DRIVER; 0-10V DIMMING	NOMINAL 5077 LUMENS DERATED TO 2000 LUMENS; 3000K LED; 81CRI	56.0	LIGMAN ANESTI POST TOP SERIES; OR APPROVED	
'SC1'	RECESSED LED STRIPLIGHT; NOMINAL 12.25IN LONG x 2.25IN TALL x 2.75IN DEEP	DIE CAST ALUMINUM	4MM THICK ACID ETCHED TEMPERED GLASS	RECESSED IN-WALL @ 1'-3" ABOVE FINISHED WALKING SURFACE AS MEASURED TO CENTERLINE OF LUMINAIRE	ALUMINUM GRAY	IP 65	INTEGRAL DRIVER; 0-10V DIMMING TO 1%	NOMINAL 346 LUMENS; 3000K LED; 90CRI	12.4	SISTEMALUX WALKER SERIES; LIGMAN, OR APPROVED	
'SD1'	GRADE MOUNTED LED BOLLARD W/ INTEGRAL GFCI RECEPTACLE AND LOCKABLE COVER; TYPE 2 DISTRIBUTION; NOMINAL 9.9IN DIAMETER x 9.9IN TALL HEAD x 39.5IN TALL	DIE CAST ALUMINUM	CLEAR IMPACT RESISTANT GLASS	GRADE MOUNTED TO CONCRETE BASE	AS SELECTED BY ARCHITECT	IP 66	INTEGRAL DRIVER; 0-10V DIMMING	NOMINAL 2854 LUMENS DERATED TO 700 LUMENS; 3000K LED; 81CRI	22.0	LIGMAN MINI MACARON BOLLARD SERIES; OR APPROVED	
'SE1'	RECESSED LINEAR LED; DIRECT LAMBERTIAN DISTRIBUTION; NOMINAL 4IN WIDE x 3.5IN TALL x LENGTHS AS SHOWN ON ELECTRICAL DRAWINGS	EXTRUDED ALUMINUM	EXTRUDED POLYCARBONATE	RECESSED	WHITE	UL WET	INTEGRAL DRIVER; 0-10V DIMMING TO 1%	NOMINAL 400 LUMENS PER FOOT; 3000K LED; 90CRI	78.7	AXIS WET BEAM 4 SERIES; ARCHITECTURAL AREA LIGHTING, SELUX, OR APPROVED	
'SF1'	WALL MOUNTED LED SCONCE; VISUAL COMFORT FORWARD THROW DISTRIBUTION; NOMINAL 11.5IN WIDE x 9IN TALL x 7IN DEEP	DIE CAST ALUMINUM	FROSTED ACRYLIC	WALL MOUNTED @ 6'-0" ABOVE WALKING SURFACE AS MEASURED TO CENTERLINE OF LUMINAIRE	NATURAL ALUMINUM	IP 66	INTEGRAL DRIVER; 0-10V DIMMING TO 10%	NOMINAL 1878 LUMENS; 3000K LED; 80CRI	15.0	LITHONIA WDG22 SERIES; FC OUTDOOR LIGHTING, INVUE, OR APPROVED	
'SF2'	WALL MOUNTED BOX LUMINAIRE; DIRECTE DISTRIBUTION ONLY; NOMINAL 11.375IN LONG x 1.75IN TALL x 4.125IN DEEP	DIE CAST ALUMINUM	TEMPERED GLASS	WALL MOUNTED @ 8'-0" ABOVE WALKING SURFACE AS MEASURED TO CENTERLINE OF LUMINAIRE	BRUNISHED BRONZE	IP 65	INTEGRAL DRIVER; 0-10V DIMMING TO 10%	NOMINAL 887 LUMENS; 3000K LED; 80CRI	24.0	SISTEMALUX LOOK SERIES; OR APPROVED	
'SG1'	RECESSED LED ROUND DOWNLIGHT; WIDE DISTRIBUTION; NOMINAL 4IN DIAMETER APERTURE x 9IN WIDE x 9.75IN LONG x 6.625IN TALL	20-GAUGE GALVANIZED STEEL	CLEAR ACRYLIC	RECESSED	MATTE-DIFFUSE	UL WET	INTEGRAL DRIVER; 0-10V DIMMING TO 10%	NOMINAL 1000 LUMENS; 3000K LED; 90CRI	8.8	GOTHAM EVO 4IN SERIES; PRESCOLITE, PORTFOLIO, OR APPROVED	
'SH1'	SURFACE MOUNTED LED SILICONE TAPELIGHT; NOMINAL 0.75IN WIDE x 0.375IN TALL x LENGTHS AS SHOWN ON ELECTRICAL DRAWINGS	FLAT EXTRUDED ALUMINUM MOUNTING CHANNEL	FROSTED ACRYLIC	SURFACE MOUNTED TO UNDERSIDE OF BENCH	NA	IP 68	LINE VOLTAGE; 0-10V DIMMING W/ LCK-1041 MODULE	NOMINAL 250 LUMENS PER FOOT; 3000K LED; 90CRI	<varies>	KELVIX OREX SERIES; OR APPROVED	3 WATTS PER LINEAR FOOT
'SJ1'	FLAGPOLE MOUNTED BEACON GLOBE W/ INTERNAL HALYARD SYSTEM; NOMINAL 8IN DIAMETER SPHERE	DIE CAST ALUMINUM	CLEAR ACRYLIC	POST TOP MOUNTED TO FLAGPOLE	GOLD	UL WET	INTEGRAL NON-DIMMING DRIVER	NOMINAL 500 LUMENS; 3000K LED; 80CRI	5.0	AMERICAN BEACON FLAGPOLE SERIES; OR APPROVED	
'X'	UNIVERSAL THIN PROFILE LED EXIT SIGN; NOMINAL 8.5IN TALL x 12IN LONG x 0.5IN DEEP; CHEVRONS AS INDICATED ON ELECTRICAL DRAWINGS; SINGLE OR DUAL FACED AS INDICATED ON ELECTRICAL DRAWINGS; CONTRACTOR TO VERIFY BACK-BOX REQUIREMENTS PRIOR TO ROUGH-IN	DIE CAST ALUMINUM	NA	REFER TO ARCHITECTURAL DRAWINGS FOR MOUNTING CONDITIONS	BRUSHED ALUMINUM	UL DAMP	INTEGRAL DRIVER	GREEN LETTERING; LED	2.0	EVENLITE MK3 RAZOR SERIES; ISOLITE, PATHWAY, SURE-LITES, BARRON LIGHTING, OR APPROVED	
'Z4'	SURFACE MOUNTED LINEAR LED STRIPLIGHT; NOMINAL 2.75IN WIDE x 3.25IN TALL x 4FT LONG	22-GAUGE COLD ROLLED STEEL	ROUND FROSTED ACRYLIC LENS	SURFACE MOUNTED	WHITE	UL DAMP	INTEGRAL DRIVER; 0-10V DIMMING TO 10%	NOMINAL 6313 LUMENS; 3500K LED; 80CRI	42.3	HE WILLIAMS 75R SERIES; LITHONIA, METALUX, OR APPROVED	
'Z4W'	WALL MOUNTED LINEAR LED STRIPLIGHT; NOMINAL 2.75IN WIDE x 3.25IN TALL x 4FT LONG	22-GAUGE COLD ROLLED STEEL	ROUND FROSTED ACRYLIC LENS	WALL MOUNTED @ 8'-0" AFF AS MEASURED TO CENTERLINE OF LUMINAIRE	WHITE	UL DAMP	INTEGRAL DRIVER; 0-10V DIMMING TO 10%	NOMINAL 6313 LUMENS; 3500K LED; 80CRI	42.3	HE WILLIAMS 75R SERIES; LITHONIA, METALUX, OR APPROVED	

LUMINAIRE SCHEDULE NOTES	
1	THIS LUMINAIRE SCHEDULE IS NOT COMPLETE WITHOUT A COPY OF THE PROJECT MANUAL CONTAINING THE ELECTRICAL SPECIFICATIONS.
2	DIMMING CONTROL PROTOCOL (0-10VDC, LINE VOLTAGE, DALI, ETC.) COMPATIBLE WITH LIGHTING CONTROL SYSTEM AS SPECIFIED AND SHOWN ON DRAWINGS.
3	PROVIDE +/- 12 INCH ADJUSTABILITY IN AIRCRAFT CABLE LENGTH WHERE USED.
4	COORDINATE ALL CEILING TYPES WITH LUMINAIRE LOCATIONS PRIOR TO ORDERING LUMINAIRES. COORDINATE INSTALLATION WITH REFLECTED CEILING PLAN.
5	SPECIFIED MANUFACTURERS ARE APPROVED TO SUBMIT BID. INCLUSION DOES NOT RELIEVE MANUFACTURER FROM SUPPLYING PRODUCT AS DESCRIBED.
6	PROVIDE SUBMITTALS THAT INCLUDE THE LUMINAIRE, LAMP AND DIMMABLE LED DRIVER INFORMATION OF EACH LUMINAIRE, WITH APPLICABLE OPTIONS CLEARLY CHECKED OR HIGHLIGHTED. SUBMITTALS NOT INCLUDING THIS INFORMATION WILL BE RETURNED AS REJECTED BY THE ENGINEER OF RECOR
7	REMOTE DRIVERS: UL LISTED FOR THEIR APPLICATION. DRIVERS MARKED AS UL RECOGNIZED COMPONENT BUT NOT UL LISTED ARE SUBJECT TO REMOVAL AND REPLACEMENT AT NO COST TO OWNER.
8	REFER TO FLOOR PLANS FOR LOCATION, CIRCUITING, AND SWITCH LEG FOR EACH REMOTE DRIVER. LABEL ALL REMOTE DRIVERS TO SHOW LUMINAIRE TYPE IDENTIFICATION AND SOURCE CIRCUIT. PROVIDE WIRING BETWEEN REMOTE DRIVER AND LUMINAIRE AS RECOMMENDED BY MANUFACTURER. DO NOT EXCEED MAXIMUM DISTANCE RECOMMENDED BY MANUFACTURER BETWEEN DRIVER AND FURTHEST LUMINAIRE.
9	PROVIDE FUNCTIONAL TESTING OF LIGHTING AND LIGHTING CONTROLS IN ACCORDANCE WITH THE 2021 OREGON ENERGY EFFICIENCY SPECIALTY CODE (OEESC) FUNCTIONAL TESTING REQUIREMENTS

LIGHTING CONTROL MATRIX: SPACE BY SPACE

Room Name	Type of Controls	Control Functions
Single-User Restrooms	Wall switch occupancy sensor. Provide supplemental relay to turn exhaust fan associated with room on/off together with room lights.	Auto-off/manual on occ sensor control. Time delay set to 5 minutes or use walk-in mode.
Multi-User Restrooms	Ceiling dual-tech occupancy sensors, emergency lighting relay(s).	Auto-off/auto-on occ sensor control. Emergency lighting switches with normal lighting unless utility power lost, then full-on. Set occupancy sensor time delay to 15 minutes.
Meeting Room, Conference Room, Offices, Study Rooms	Ceiling occupancy sensors, wall dimming control, daylighting sensor in daylit zones.	Auto-on to 25% (manual on required for 100% output)/auto-off occ sensor control, wall control dimming. Where presentation wall is used, wall control has On/Off/Raise/Lower/AV modes, where AV mode turns off lighting by presentation wall and dims remaining room lighting to preset level with daylight control override. Occupancy sensor time delay set to 15 minutes.
Building Support utility rooms (fire riser, electrical, IT)	Wall switch with emergency lighting relay.	Emergency lighting switched with normal lighting unless utility power lost, then turns full on.
Hall, Lobby, Entry Vestibule	Ceiling dual-tech occupancy sensors, daylighting sensor in daylit zones, emergency lighting relays.	Auto-on/auto-off. Emergency lighting dims/on-off with normal lighting unless utility power lost, then full-on. Separate zones for daylighting and non-daylit zones. Occupancy sensor time delay set to 15 minutes. When unoccupied after 15-minute time delay, dim to 50% during regular business hours and dim to 0% when security system is armed.
Workroom	Ceiling occupancy sensors, wall dimming control.	Auto-on to 25% (manual on required for 100% output)/auto-off occ sensor control, wall control dimming. Time delay set to 15 minutes or use walk-in mode.
Janitor, Storage	Wall switch occupancy sensor.	Auto-off/manual on occ sensor control. Time delay set to 5 minutes or use walk-in mode.
Library	Daylight sensor where daylighting is available, time clock, wall dimming control for dimming and/or scene control.	Auto-on to 25% (manual-on for 100% output)/auto-off occ sensor control, wall control dimming. Emergency lighting dims/on-off with normal lighting unless utility power lost, then full-on. Separate zones for daylighting. Scenes at wall control: On/Off/Raise/Lower. Lighting in daylighting zone automatically dimmed in relation to sensed outdoor lighting. Occupancy sensor time delay set to 15 minutes.
Site Lighting: Poles, Bollards and Building Mounted	Time clock, photocell, wall switch override.	Auto on/off with time clock. Dimming. Luminaires zoned by fixture type. Normal power loss within zone triggers emergency luminaires to go to full brightness. Provide override switch in electrical room to allow maintenance to check for burnt out lighting during daytime hours. Lighting at 100% brightness from dusk until 10pm, then dim to 50% brightness from 10pm until dawn. Lights turn off automatically by photocell.

GENERAL NOTES:

- Prior to commissioning phase, provide sit-down meeting with owner, architect and commissioning agent to review lighting controls submittal and determine programmed settings with owner input.
- For each room or area where emergency lighting shown on lighting floor plans, provide emergency lighting relay with supplemental relay to force 0-10-volt dimming to full brightness, one relay for each switch zone.
- Owner to provide signed approval on lighting control shop drawings, including floor plans showing device placement, prior to order materials. Materials ordered prior to approval subject to replacement at no cost to Owner. Owner will require two week review period for initial submittal and one to two weeks per subsequent resubmittal.
- Ceiling control devices to be battery-powered; wall control devices to be fed from building power.
- Basis of design system is Wavelinx Wireless.



www.opsisarch.com



Project Owner:
Clackamas County / North Clackamas Parks & Recreation District



Project Name:
Oak Lodge Library and Community Park

Project Address:
3811 SE Concord Road, Milwaukie, OR 97267



PROJECT 2022-0971
 CONTACT Lauren Krueger
 100 SW Main Street, Suite 1600
 Portland, OR 97204
 TEL 503.382.2266
 www.interfaceengineering.com

THESE DRAWINGS ARE THE PROPERTY OF OPSIS ARCHITECTURE LLP AND ARE NOT TO BE REUSED OR REPRODUCED IN ANY MANNER WITHOUT PRIOR WRITTEN PERMISSION.

Revisions to Sheet		
No.	Revision	Date

Status: **DESIGN REVIEW**
REV 1

Date: **05.22.2023**

Sheet Title
LUMINAIRE SCHEDULE

Sheet No.

E0.02

Job No.

4775 - 07

GENERAL ELECTRICAL NOTES

- MINIMUM CONDUCTOR SIZE IS #10AWG AND MINIMUM CONDUIT SIZE IS 1".
- COORDINATE VAULT LOCATIONS WITH LANDSCAPE ARCHITECT DRAWINGS PRIOR TO EXCAVATION.
- CONDUIT ROUTING IS FOR REFERENCE ONLY; COORDINATE EXACT PATHWAY WITH CIVIL DRAWINGS.

SHEET KEYNOTES

- PROVIDE TEMPORARY GENERATOR CONNECTION FOR 250kW GENERATOR TO PROVIDE BACKUP TO ENTIRE BUILDING FOR COMMUNITY USE DURING AN EXTENDED POWER OUTAGE.
- PROVIDE RECEPTACLE INTEGRATED INTO AMPHITHEATER SEATING.
- FOOD CART CONNECTION: PROVIDE 50A, 208V, 1PH CONNECTION BEHIND 12"x12" LOCKABLE COVER AS POWER OUTLET FOR SPIRIT BOX, 304 STAINLESS STEEL COVER, FULLY GASKETED IN OUTDOOR LOCATIONS. ENGRAVE COVER TO STATE "FOR ATTENDED USE ONLY PER NEC 406.9(B)(2); DO NOT LEAVE OUTLET UNATTENDED."
- PROVIDE ROUGH-IN FOR FUTURE DUAL-PORT ELECTRIC VEHICLE CHARGING STATION, TERMINATING IN HANDHOLE. PROVIDE (1) 1-1/4" CONDUIT FOR POWER WITH PULL STRING TO PANEL 'NCPRD'. PROVIDE (1) 1" CONDUIT WITH PULL STRING FOR DATA FROM MDF.
- PROVIDE TRANSFORMER VAULT AND LID PER PGE REQUIREMENTS. ENSURE PGE-REQUIRED CLEARANCES AROUND CONCRETE PAD ARE MET.
- PROVIDE 120V, 20A CONNECTION TO MONUMENT SIGN. REFERENCE SIGNAGE PLANS FOR MORE INFORMATION.
- PROVIDE (1) 1-1/4" CONDUIT STUBBED AND CAPPED FOR OWNER-FURNISHED PARK SHELTER FROM PANEL 'NCPRD'. LOCATE LIGHTING CONTROLS FOR PARK LIGHTING IN STORAGE ROOM OF SHELTER.
- PROVIDE ROUGH-IN FOR FUTURE SINGLE-PORT CHARGING STATION, TERMINATING IN HANDHOLE. PROVIDE (1) 1" CONDUIT FOR POWER WITH PULLSTRING TO PANEL 'NCPRD'.
- REFERENCE ARCHITECTURAL DRAWINGS FOR DIMENSIONING OF EQUIPMENT ON BUILDING EXTERIOR FOR ELECTRICAL SERVICES.
- PROVIDE POWER TO IRRIGATION SYSTEM. REFER TO LANDSCAPE DRAWINGS FOR EXACT CONTROLLER LOCATION.

www.opsisarch.com



Project Owner:
**Clackamas County / North
Clackamas Parks &
Recreation District**



Project Name:
**Oak Lodge Library and
Community Park**

Project Address:
**3811 SE Concord Road,
Milwaukie, OR 97267**



PROJECT: 2022-0971
CONTACT: Lauren Krueger
100 SW Main Street, Suite 1600
Portland, OR 97204
TEL: 503.382.2266
www.interfaceengineering.com

THESE DRAWINGS ARE THE PROPERTY OF OPSIS ARCHITECTURE LLP AND ARE NOT TO BE REPRODUCED OR REPRODUCED IN ANY MANNER WITHOUT PRIOR WRITTEN PERMISSION.

Revisions to Sheet		
No.	Revision	Date
1	100% CD	05/05/2023

Status: **DESIGN REVIEW
REV 1**

Date: **05.22.2023**

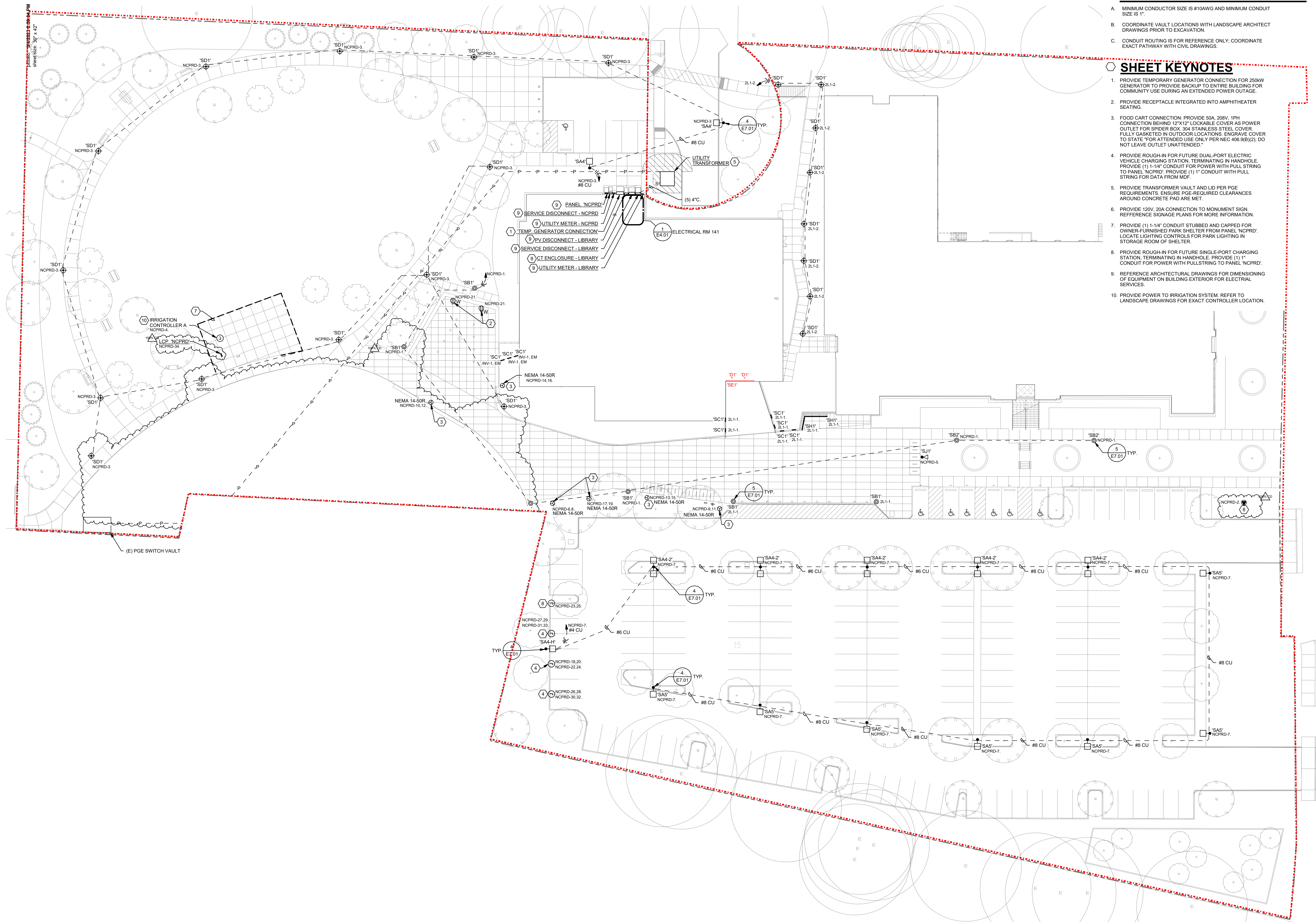
Sheet Title:
**SITE PLAN -
ELECTRICAL**

Sheet No.

E0.80

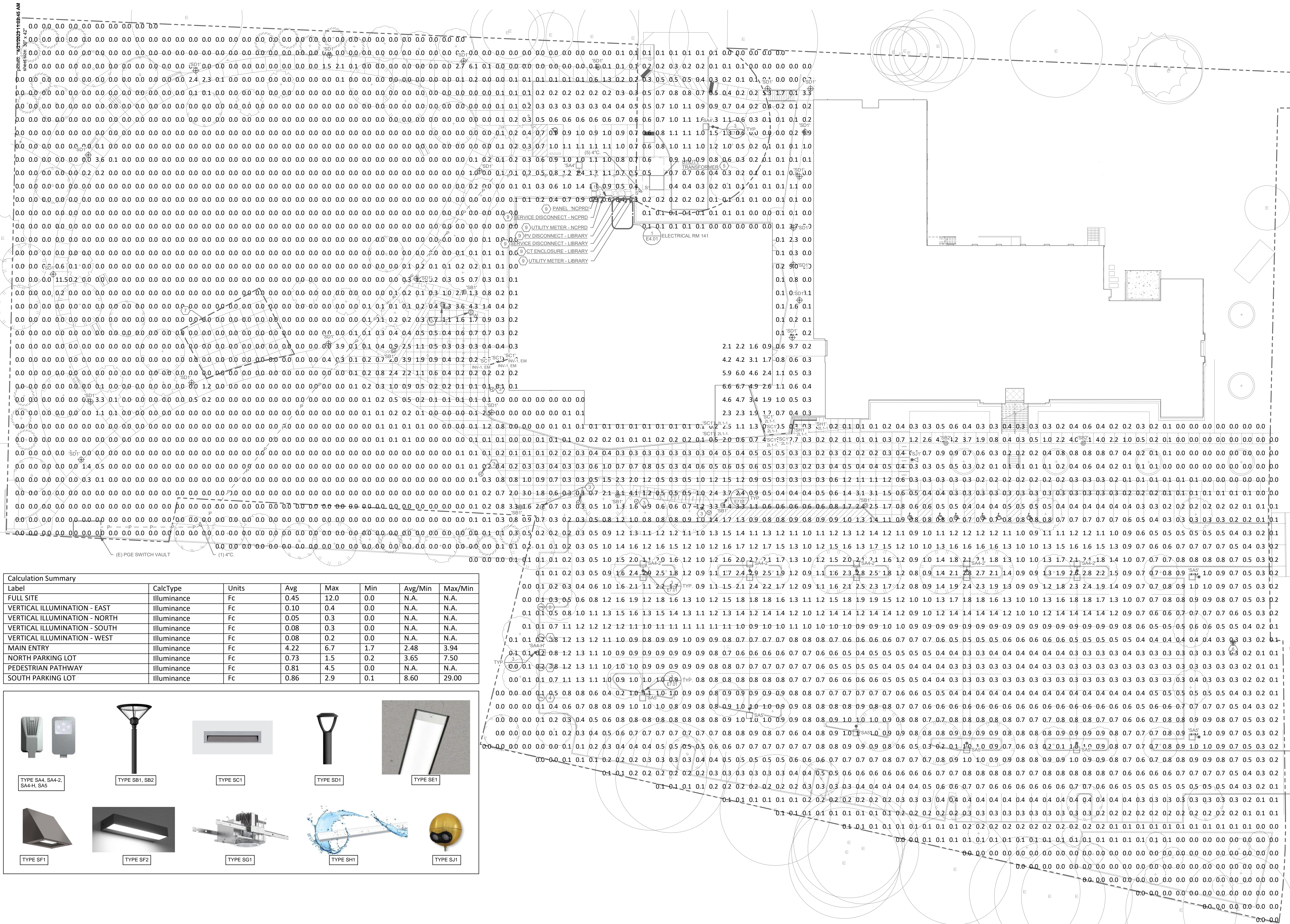
Job No.

4775 - 07

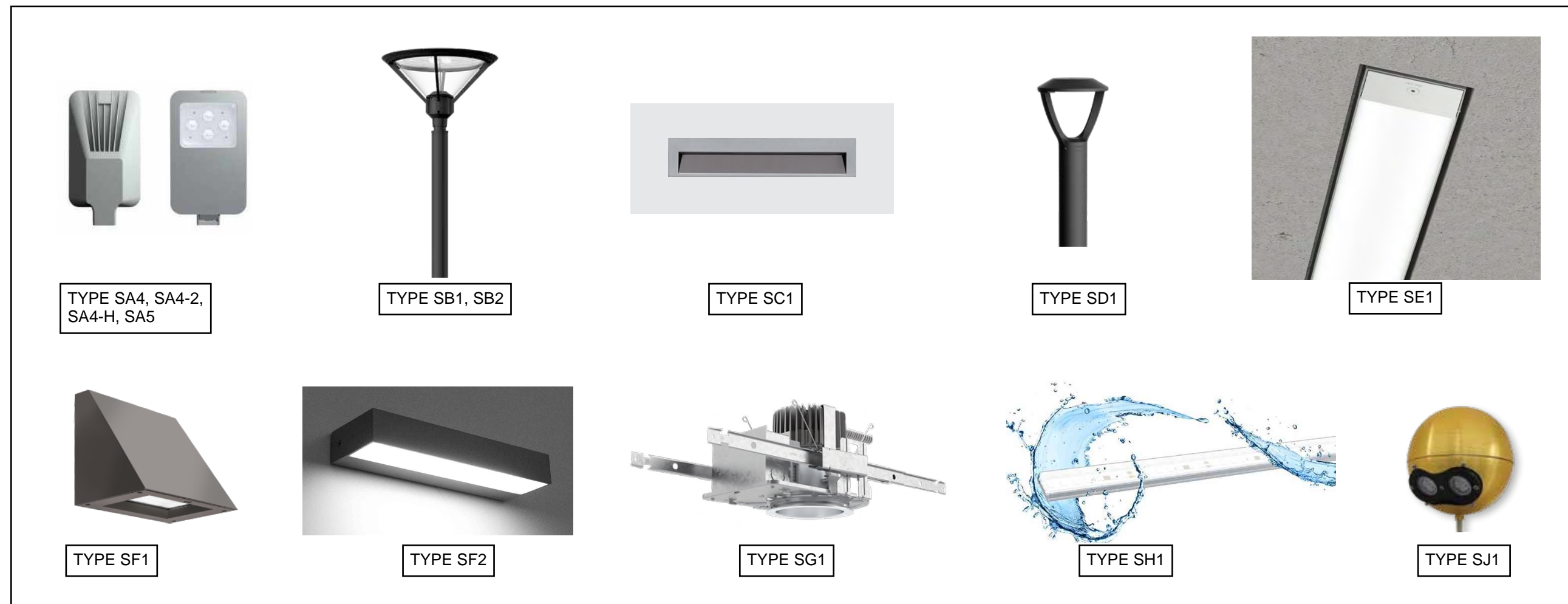


1 SITE PLAN - ELECTRICAL

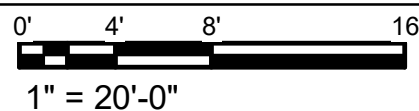
0' 20' 40'
1" = 20'-0"

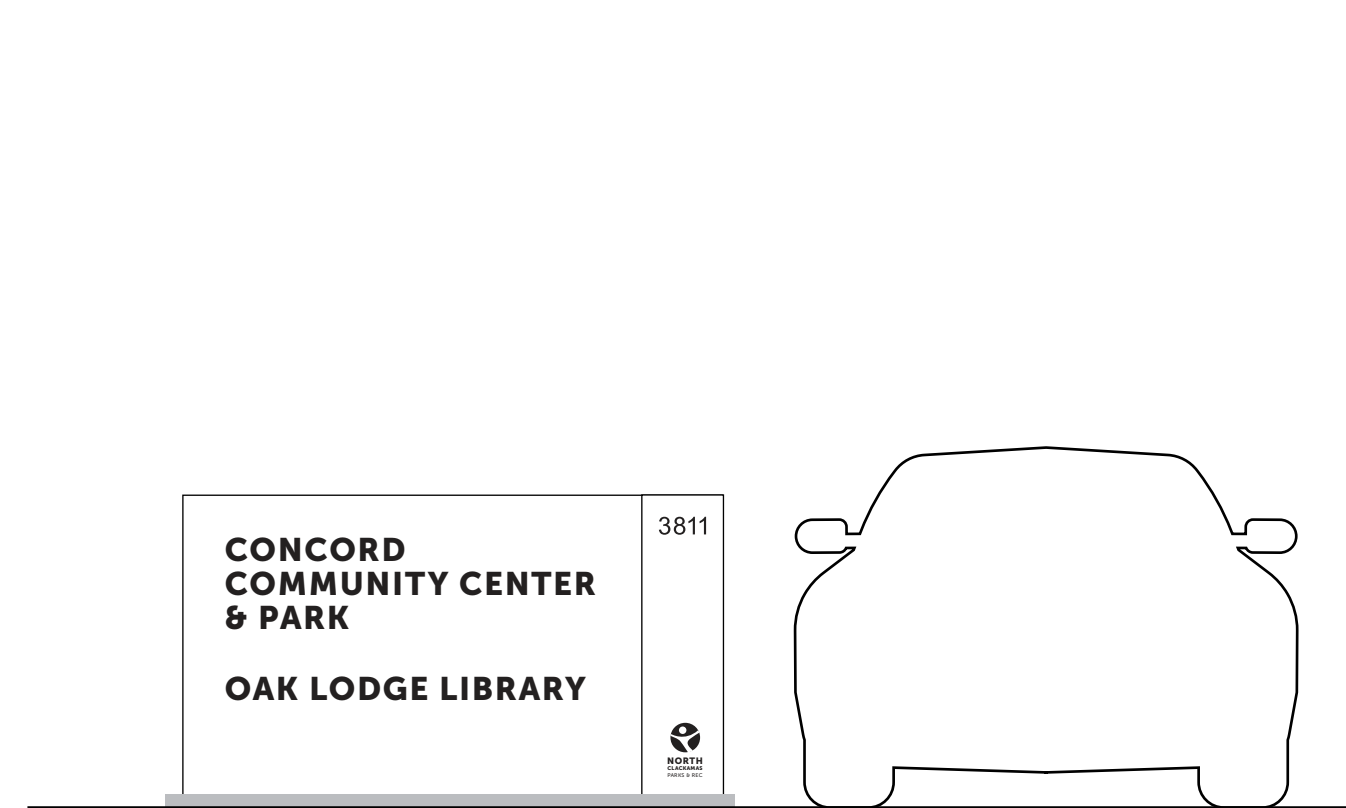


Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
FULL SITE	Illuminance	Fc	0.45	12.0	0.0	N.A.	N.A.
VERTICAL ILLUMINATION - EAST	Illuminance	Fc	0.10	0.4	0.0	N.A.	N.A.
VERTICAL ILLUMINATION - NORTH	Illuminance	Fc	0.05	0.3	0.0	N.A.	N.A.
VERTICAL ILLUMINATION - SOUTH	Illuminance	Fc	0.08	0.3	0.0	N.A.	N.A.
VERTICAL ILLUMINATION - WEST	Illuminance	Fc	0.08	0.2	0.0	N.A.	N.A.
MAIN ENTRY	Illuminance	Fc	4.22	6.7	1.7	2.48	3.94
NORTH PARKING LOT	Illuminance	Fc	0.73	1.5	0.2	3.65	7.50
PEDESTRIAN PATHWAY	Illuminance	Fc	0.81	4.5	0.0	N.A.	N.A.
SOUTH PARKING LOT	Illuminance	Fc	0.86	2.9	0.1	8.60	29.00



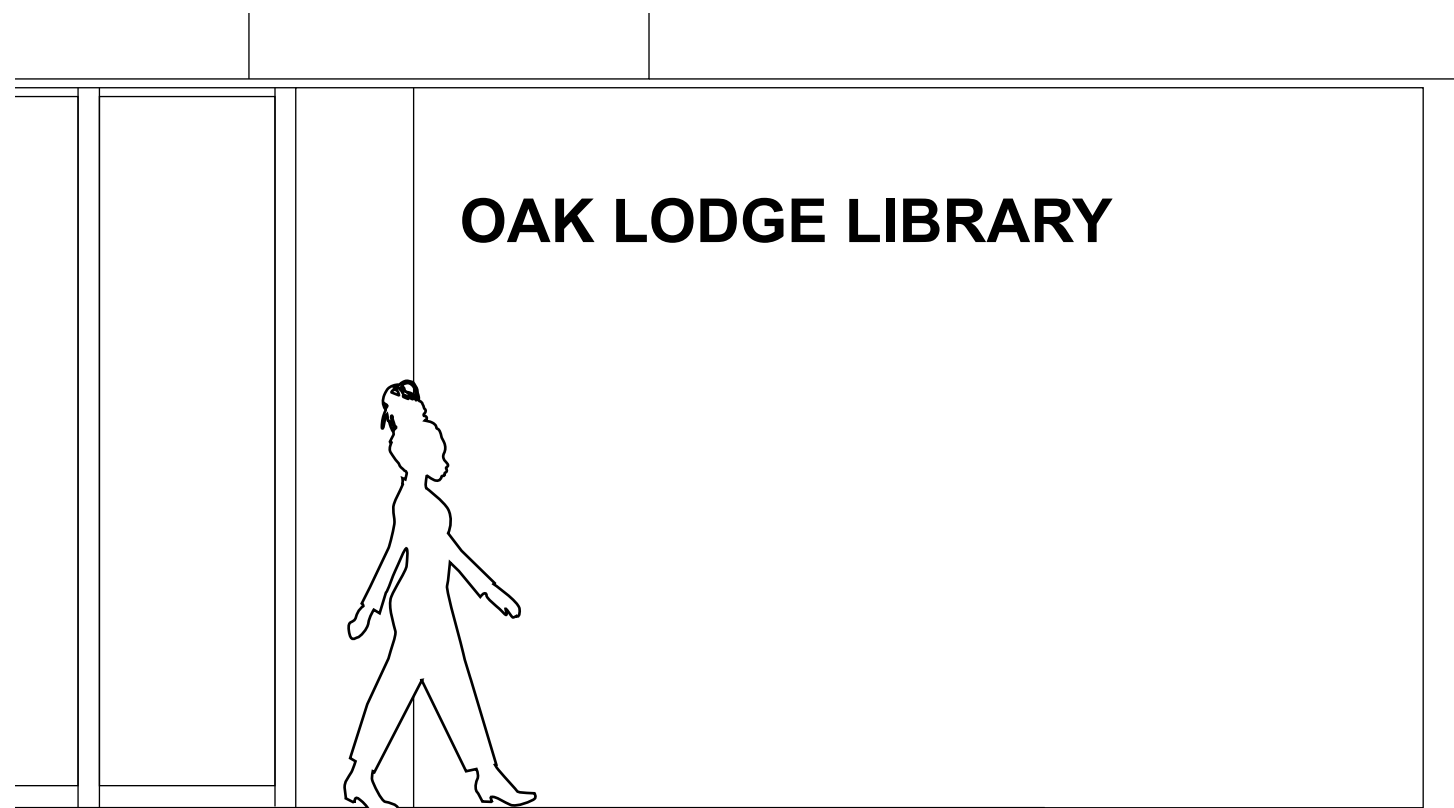
1 SITE PLAN - LIGHTING PHOTOMETRICS





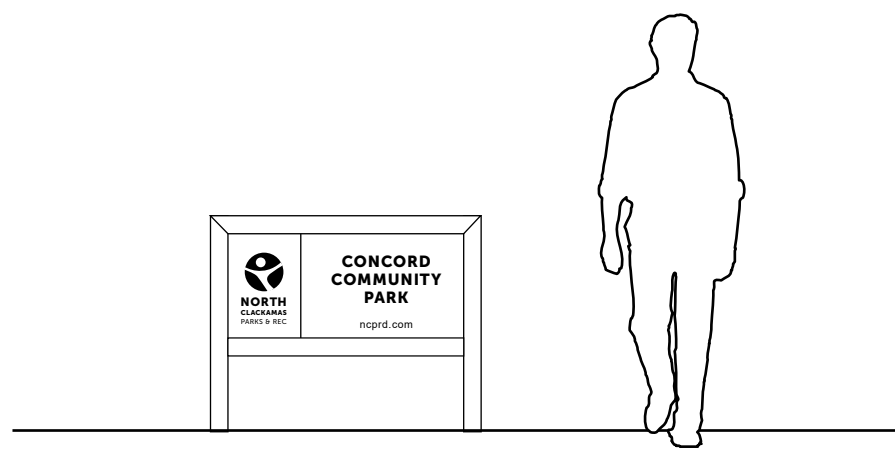
BUILDING ID, MONUMENT
 SEE SHEET SG.300

1 TYPE AA1
 3/8"=1'-0"



BUILDING ID, WALL MOUNT
 SEE SHEET SG.301

2 TYPE AA2
 3/8"=1'-0"



PARK ID
 SEE SHEET SG.302

3 TYPE CC1
 3/8"=1'-0"



PARK REGULATORY
 SEE SHEET SG.302

4 TYPE DD1
 3/8"=1'-0"



ADDRESS VINYL
 SEE SHEET SG.303

5 TYPE FF1
 3/8"=1'-0"

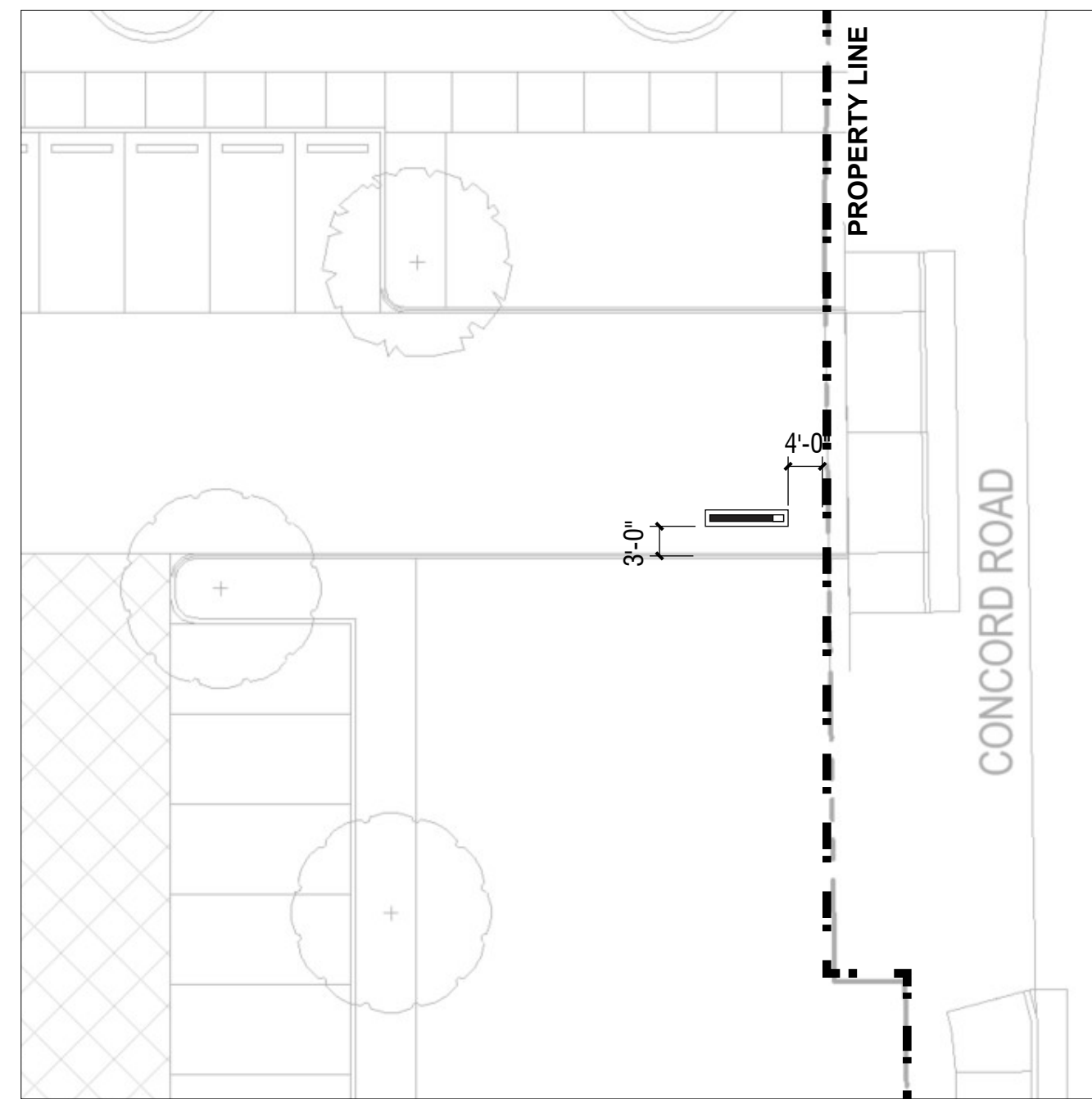


REGULATORY VINYL
 SEE SHEET SG.303

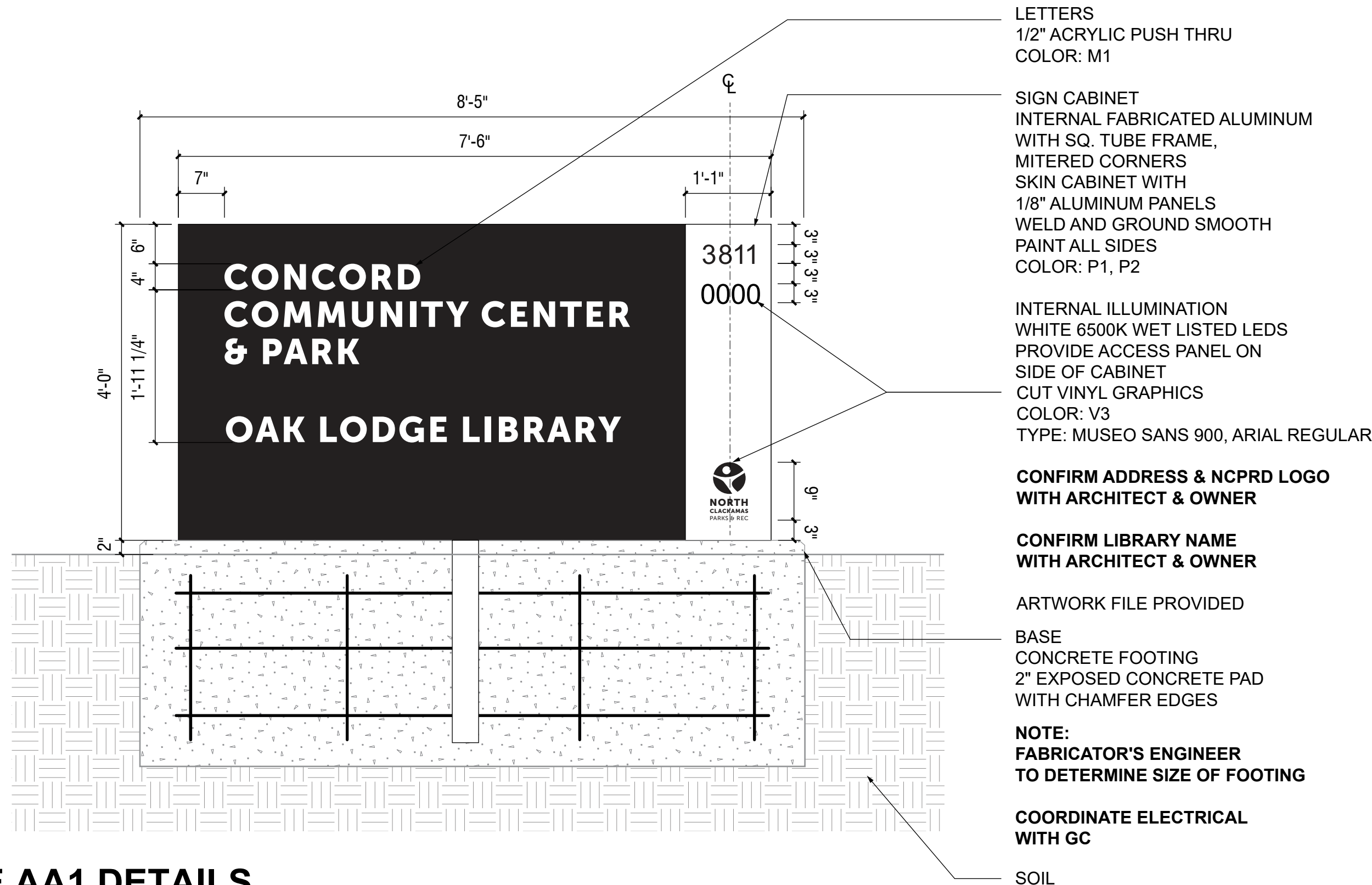
6 TYPE GG1
 3/8"=1'-0"



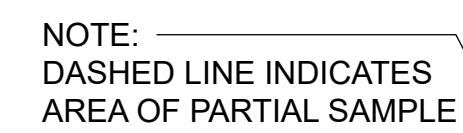
Project Name:
**Concord Community
Center and Oak Lodge
Library**
Project Address:
**11 SE Concord Road,
Tillamook, OR 97141**



2 TYPE AA1 PLAN
1/16"=1'-0"



5 TYPE AA1 SIDE
3/4" = 1'-0"



Status: **1DESIGN REVIEW**
1REV 1

te: 05.22.2023

Sheet Title

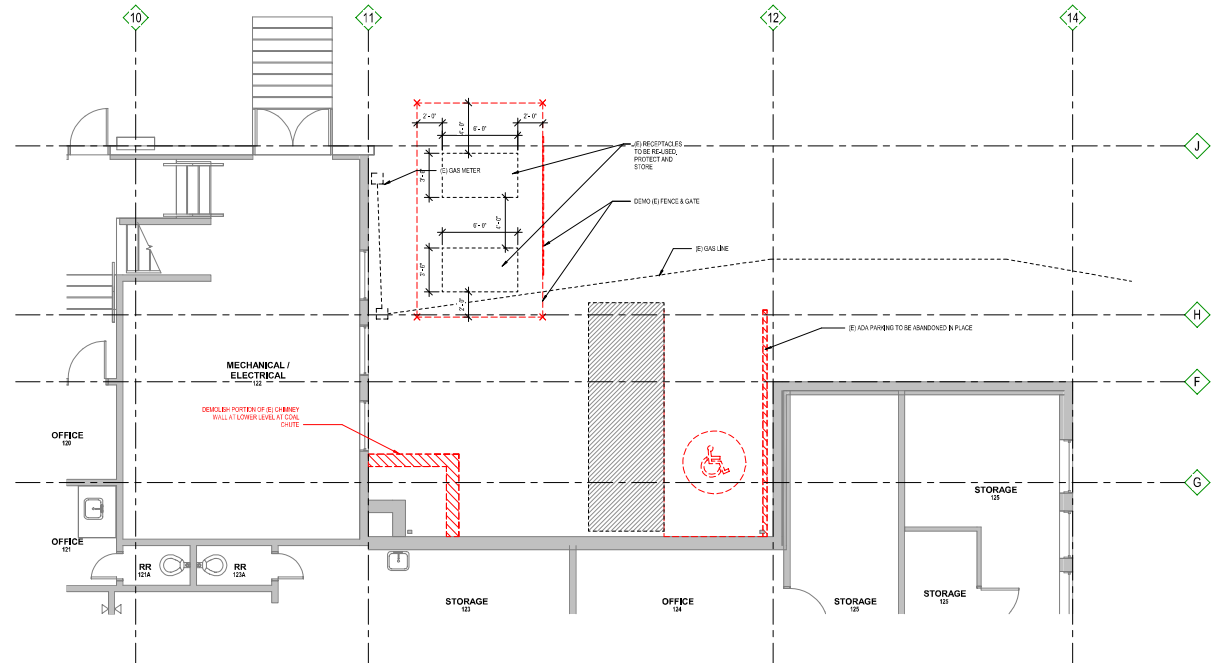
IGN TYPE AA1

Sheet No.

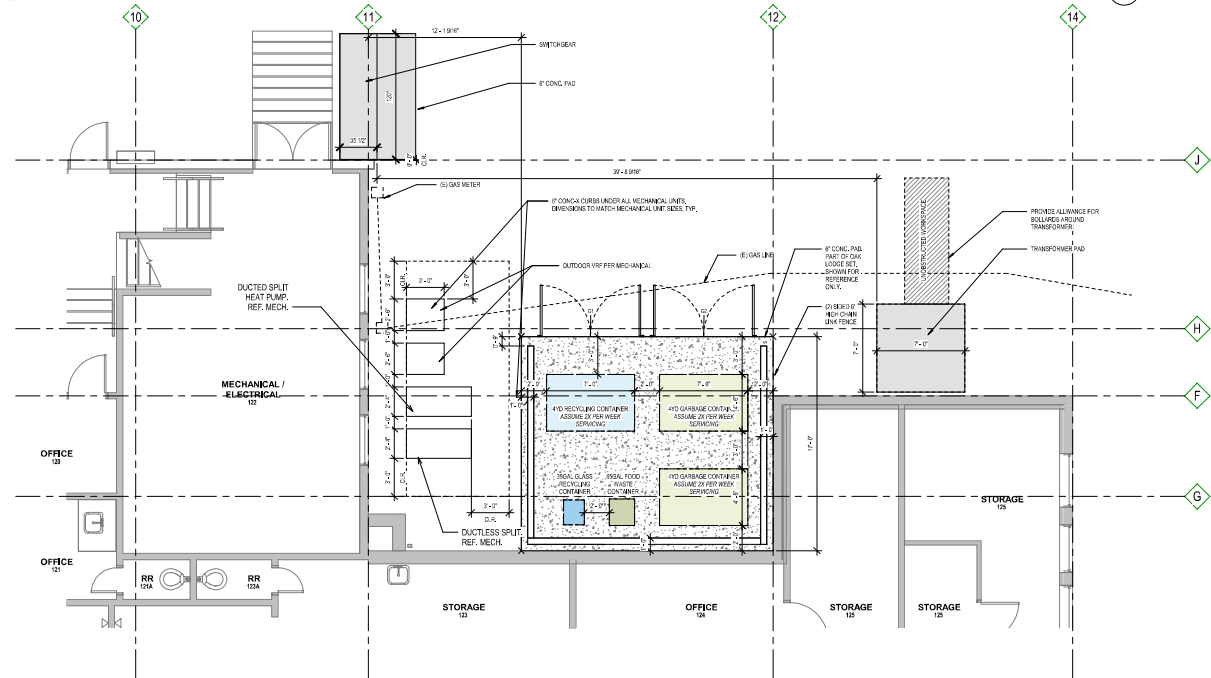
SG.300

No.

775-03



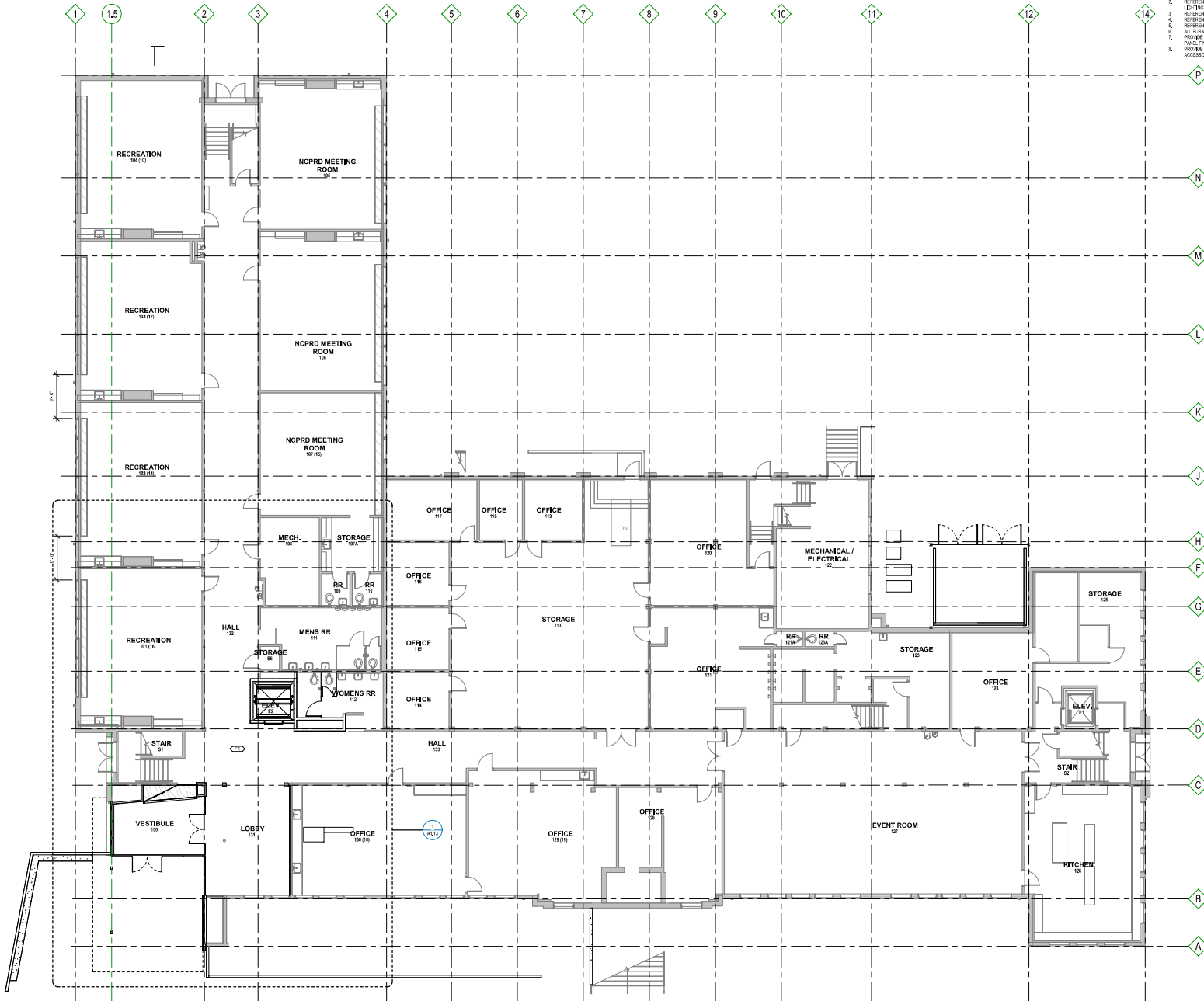
1 | ENLARGED EXISTING & DEMO PLAN - TRASH ENCLOSURE
CC A0.81 1/4" = 1'-0"



2 | ENLARGED PLAN - TRASH ENCLOSURE
CC A0.81 1/4" = 1'-0"

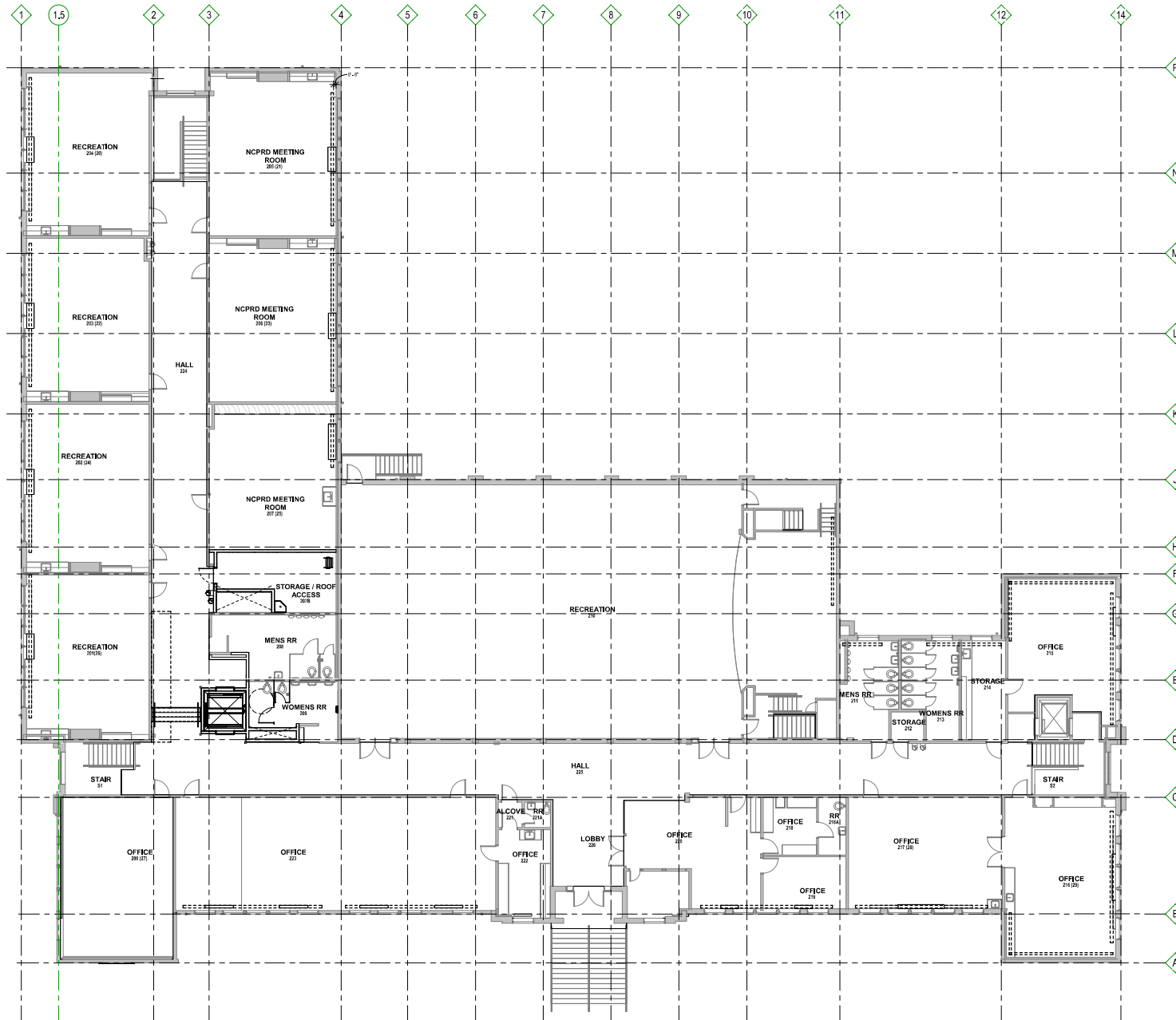
FLOOR PLANS SHEET NOTES

1. REFERENCE SHEET A1.10 FOR MONITORING HEIGHTS AND GENERAL INFORMATION.
2. REFERENCE LIGHTING ELECTRICAL FOR LIGHTING TYPES, NOT ALL LIGHT FIXTURES SHOWN ON THE ARCHITECTURAL DRAWING.
3. REFERENCE SHEETS A2.01, A2.02, AND A2.03 FOR CODE INFORMATION.
4. REFERENCE SHEETS C-101 FOR ASSEMBLY TYPES.
5. REFERENCE EXTERIOR ELEVATIONS FOR EXTERIOR MATERIALS.
6. ALL FURNISHING SHOWN FOR REFERENCE ONLY - OPR.
7. PROVIDE BLOCKING AS REQUIRED FOR ALL LOCATIONS TO RECEIVE FRAP PANEL FINISH.
8. PROVIDE BLOCKING AT LOCATIONS TO RECEIVE NEW TOILET ACCESSORIES.



FLOOR PLANS SHEET NOTES

1. REFERENCE SHEET ALSO FOR MOUNTING HEIGHTS AND GENERAL INFORMATION.
2. REFERENCE LIGHTING ELECTRICAL FOR LIGHTING TYPES, NET ALL LIGHTING BEHIND ON THE ARCHITECTURAL PLAN.
3. REFERENCE SHEETS ALSO, ALL, AND ALSO FOR CODE INFORMATION.
4. REFERENCE SHEET FOR ASSEMBLY TYPES.
5. REFERENCE EXTERIOR ELEVATIONS FOR EXTERIOR MATERIALS.
6. ALL FURNITURE IS SHOWN FOR REFERENCE ONLY - CODE REQUIREMENTS AS REQUIRED FOR ALL LOCATIONS TO RECEIVE FPP.
7. PROVIDE BIDDING AT LOCATIONS TO RECEIVE NEW TOILET ACCESSORIES.





Project Owner:
Clackamas County / North Clackamas Parks & Recreation District



Project Name:
Oak Lodge Library and Community Park

Project Address:
3811 SE Concord Road, Milwaukie, OR 97267



PROJECT: 2022-0971
 CONTACT: Lauren Krueger
 100 SW Main Street, Suite 1600
 Portland, OR 97204
 TEL 503.382.2266
www.interfaceengineering.com

THESE DRAWINGS ARE THE PROPERTY OF OPSIS ARCHITECTURE LLP AND ARE NOT TO BE REUSED OR REPRODUCED IN ANY MANNER WITHOUT PRIOR WRITTEN PERMISSION.

Revisions to Sheet		
No.	Revision	Date

Status: **50% CONSTRUCTION DOCUMENTS**

Date: **03.10.2023**

Sheet Title
LUMINAIRE SCHEDULE

Sheet No.
E0.02

Job No.
4775 - 07

LUMINAIRE SCHEDULE

TYPE	DESCRIPTION	HOUSING	SHIELDING	MOUNTING	FINISH	UL/IP RATING	DRIVER/POWER SUPPLY	LIGHT SOURCE	INPUT WATTS	MFG/CATALOG #	NOTES
'A1'	SUSPENDED LINEAR LED; DIRECT BATWING DISTRIBUTION; INDIRECT BATWING DISTRIBUTION; NOMINAL 3.5IN WIDE x 4.5IN TALL x 8FT LONG; IN CONTINUOUS LENGTHS AS SHOWN ON ELECTRICAL DRAWINGS	EXTRUDED ALUMINUM	EXTRUDED FROSTED ACRYLIC	SUSPENDED FROM CEILING @ 2'-0" BELOW CEILING AS MEASURED TO BOTTOM OF LUMINAIRE	WHITE	UL DAMP	INTEGRAL DRIVER; 0-10V DIMMING TO 1%	DIRECT: NOMINAL 700 LUMENS PER FOOT; INDIRECT 875 LUMENS PER FOOT; 3500K LED; 90CRI	85.8	AXIS LIGHTING BEAM 3 SERIES; LITECONTROL, ALW, OR APPROVED	
'A2'	SUSPENDED LINEAR LED; DIRECT BATWING DISTRIBUTION; INDIRECT BATWING DISTRIBUTION; NOMINAL 3.5IN WIDE x 4.5IN TALL x 12FT LONG	EXTRUDED ALUMINUM	EXTRUDED FROSTED ACRYLIC	SUSPENDED FROM CEILING @ 2'-0" BELOW CEILING AS MEASURED TO BOTTOM OF LUMINAIRE	WHITE	UL DAMP	INTEGRAL DRIVER; 0-10V DIMMING TO 1%	DIRECT: NOMINAL 700 LUMENS PER FOOT; INDIRECT 875 LUMENS PER FOOT; 3500K LED; 90CRI	128.6	AXIS LIGHTING BEAM 3 SERIES; LITECONTROL, ALW, OR APPROVED	
'A3'	SUSPENDED LINEAR LED; DIRECT BATWING DISTRIBUTION; INDIRECT BATWING DISTRIBUTION; NOMINAL 3.5IN WIDE x 4.5IN TALL x 8FT LONG	EXTRUDED ALUMINUM	EXTRUDED FROSTED ACRYLIC	SUSPENDED FROM CEILING @ 2'-0" BELOW CEILING AS MEASURED TO BOTTOM OF LUMINAIRE	WHITE	UL DAMP	INTEGRAL DRIVER; 0-10V DIMMING TO 1%	DIRECT: NOMINAL 950 LUMENS PER FOOT; INDIRECT 875 LUMENS PER FOOT; 3500K LED; 90CRI	102.1	AXIS LIGHTING BEAM 3 SERIES; LITECONTROL, ALW, OR APPROVED	
'A4'	SUSPENDED LINEAR LED; DIRECT BATWING DISTRIBUTION; INDIRECT BATWING DISTRIBUTION; NOMINAL 3.5IN WIDE x 4.5IN TALL x 4FT LONG IN CONTINUOUS LENGTHS AS SHOWN ON ELECTRICAL DRAWINGS	EXTRUDED ALUMINUM	EXTRUDED FROSTED ACRYLIC	SUSPENDED FROM CEILING @ 2'-0" BELOW CEILING AS MEASURED TO BOTTOM OF LUMINAIRE	WHITE	UL DAMP	INTEGRAL DRIVER; 0-10V DIMMING TO 1%	DIRECT: NOMINAL 700 LUMENS PER FOOT; INDIRECT 875 LUMENS PER FOOT; 3500K LED; 90CRI	42.9	AXIS LIGHTING BEAM 3 SERIES; LITECONTROL, ALW, OR APPROVED	
'B1'	RECESSED LINEAR LED; DIRECT LAMBERTIAN DISTRIBUTION; NOMINAL 3.5IN WIDE x 4IN TALL x LENGTHS AS SHOWN ON ELECTRICAL DRAWINGS	EXTRUDED ALUMINUM	EXTRUDED FROSTED ACRYLIC	RECESSED	WHITE	UL DAMP	INTEGRAL DRIVER; 0-10V DIMMING TO 1%	NOMINAL 900 LUMENS PER FOOT; 3500K LED; 90CRI	<varies>	AXIS LIGHTING BEAM 3 SERIES; LITECONTROL, ALW, OR APPROVED	7 WATTS PER LINEAR FOOT
'C1'	RECESSED LINEAR LED; DIRECT LAMBERTIAN DISTRIBUTION; NOMINAL 3.5IN WIDE x 4IN TALL x 5FT LONG; IN CONTINUOUS LENGTHS AS SHOWN ON ELECTRICAL DRAWINGS	EXTRUDED ALUMINUM	EXTRUDED FROSTED ACRYLIC	RECESSED	WHITE	UL DAMP	INTEGRAL DRIVER; 0-10V DIMMING TO 1%	NOMINAL 600 LUMENS PER FOOT; 3500K LED; 90CRI	24.0	AXIS LIGHTING BEAM 3 SERIES; LITECONTROL, ALW, OR APPROVED	
'D1'	RECESSED LED ROUND DOWNLIGHT; WIDE DISTRIBUTION; NOMINAL 4IN DIAMETER APERTURE x 9IN WIDE x 9.75IN LONG x 6.625IN TALL	20-GAUGE GALVANIZED STEEL	CLEAR ACRYLIC	RECESSED	MATTE-DIFFUSE	UL DAMP	INTEGRAL DRIVER; 0-10V DIMMING TO 1%	NOMINAL 1500 LUMENS; 3500K LED; 90CRI	13.7	GOTHAM EVO 4IN SERIES; PORTFOLIO, PRESCOLITE, OR APPROVED	
'F1'	SUSPENDED PENDANT LUMINAIRE; NOMINAL 15.75IN DIAMETER x 9.5IN TALL							REPLACEMENT E26 LED A19 LAMP W/ FROSTED GLOBE; NOMINAL 850 LUMENS; 3500K LED; 90CRI	60.0	KNOLL MUJUTO AMBIIT SERIES; OR APPROVED	
'G1'	WALL MOUNTED FIBER OPTIC STAR FIELD INSTALLATION; TOTAL SURFACE AREA OF LUMINAIRE INSTALLATION 3.5FT TALL x 13FT LONG	FIBER OPTIC CABLE	NA	MOUNTED TO WALL, SEE ARCHITECTURAL DETAILS	NA	UL DRY	REMOTE ILLUMINATOR AND POWER SUPPLY	3000K LED; 90CRI	42.0	VLT GALAXY SERIES; OR APPROVED	
'H1'	RECESSED LINEAR LED TAPELIGHT W/ MOUNTING CHANNEL; NOMINAL 1.21IN WIDE x 0.44IN TALL x LENGTHS AS SHOWN ON ELECTRICAL DRAWINGS	EXTRUDED ALUMINUM MOUNTING CHANNEL	FROSTED ACRYLIC	RECESSED	BLACK	UL DRY	REMOTE DRIVER; 0-10V DIMMING TO 1%	NOMINAL 426 LUMENS PER FOOT; 3500K LED; 90CRI	<varies>	LUMINI KENDORAL SERIES; KELVIX, ACRYLITE, OR APPROVED	6.5 WATTS PER LINEAR FOOT
'R1'	WALL MOUNTED LINEAR VANITY LED; NOMINAL 3.5IN TALL x 4IN DEEP x 2FT LONG	EXTRUDED ALUMINUM	ACRYLIC SATIN FINISH	WALL MOUNTED @ 7'-0" AFF AS MEASURED TO CENTERLINE OF LUMINAIRE	WHITE	UL DRY	INTEGRAL DRIVER; 0-10V DIMMING TO 1%	NOMINAL 600 LUMENS PER FOOT; 3500K LED; 90CRI	12.0	AXIS AIR SERIES; PRUDENTIAL, LITECONTROL, OR APPROVED	
'SA4'	SITE/AREA LED LUMINAIRE; SINGLE HEAD; TYPE 4 DISTRIBUTION; NOMINAL 9IN WIDE x 3.25IN TALL x 16.25IN LONG	DIE CAST ALUMINUM	TEMPERED GLASS LENS	MOUNTED TO 20FT TALL ROUND POLE; POLE TO WITHSTAND 100MPH WINDS W/ GUST FACTOR OF 1.3	SILVER	IP 65	INTEGRAL DRIVER; 0-10V DIMMING TO 10%	NOMINAL 3722 LUMENS; 3000K LED; 80CRI	39.0	SELUX OURAY SERIES; OR APPROVED	
'SA4-2'	SITE/AREA LED LUMINAIRE; DUAL HEAD IN BACK-TO-CAK ORIENTATION; TYPE 4 DISTRIBUTION; NOMINAL 9IN WIDE x 3.25IN TALL x 16.25IN LONG	DIE CAST ALUMINUM	TEMPERED GLASS LENS	MOUNTED TO 20FT TALL ROUND POLE; POLE TO WITHSTAND 100MPH WINDS W/ GUST FACTOR OF 1.3	SILVER	IP 65	INTEGRAL DRIVER; 0-10V DIMMING TO 10%	NOMINAL 3722 LUMENS PER HEAD; 3000K LED; 80CRI	78.0	SELUX OURAY SERIES; OR APPROVED	
'SA4-H'	SITE/AREA LED LUMINAIRE; SINGLE HEAD; TYPE 4 DISTRIBUTION; NOMINAL 9IN WIDE x 3.25IN TALL x 16.25IN LONG	DIE CAST ALUMINUM	TEMPERED GLASS LENS	MOUNTED TO 20FT TALL ROUND POLE; POLE TO WITHSTAND 100MPH WINDS W/ GUST FACTOR OF 1.3	SILVER	IP 65	INTEGRAL DRIVER; 0-10V DIMMING TO 10%	NOMINAL 3722 LUMENS; 3000K LED; 80CRI	39.0	SELUX OURAY SERIES; OR APPROVED	
'SA5'	SITE/AREA LED LUMINAIRE; SINGLE HEAD; TYPE 5 DISTRIBUTION; NOMINAL 9IN WIDE x 3.25IN TALL x 16.25IN LONG	DIE CAST ALUMINUM	TEMPERED GLASS LENS	MOUNTED TO 20FT TALL ROUND POLE; POLE TO WITHSTAND 100MPH WINDS W/ GUST FACTOR OF 1.3	SILVER	IP 65	INTEGRAL DRIVER; 0-10V DIMMING TO 10%	NOMINAL 3722 LUMENS; 3000K LED; 80CRI	39.0	SELUX OURAY SERIES; OR APPROVED	
'SB1'	SITE/AREA PEDESTRIAN STYLE POST TOP LED LUMINAIRE W/ INTEGRAL GFCI RECEPTACLE AND LOCKABLE COVER; TYPE 4 DISTRIBUTION; NOMINAL 29.2IN DIAMETER x 1.9IN TALL	DIE CAST ALUMINUM	HIGH IMPACT ACRYLIC LENS	MOUNTED TO 9FT TALL ROUND POLE; POLE TO WITHSTAND 100MPH WINDS W/ GUST FACTOR OF 1.3	AS SELECTED BY ARCHITECT	IP 55	INTEGRAL DRIVER; 0-10V DIMMING	NOMINAL 5077 LUMENS DERATED TO 2000 LUMENS; 3000K LED; 81CRI	56.0	LIGMAN ANESTI POST TOP SERIES; OR APPROVED	
'SB2'	SITE/AREA PEDESTRIAN STYLE POST TOP LED LUMINAIRE; TYPE 2 DISTRIBUTION; NOMINAL 29.2IN DIAMETER x 1.9IN TALL	DIE CAST ALUMINUM	HIGH IMPACT ACRYLIC LENS	MOUNTED TO 9FT TALL ROUND POLE; POLE TO WITHSTAND 100MPH WINDS W/ GUST FACTOR OF 1.3	AS SELECTED BY ARCHITECT	IP 55	INTEGRAL DRIVER; 0-10V DIMMING	NOMINAL 5077 LUMENS DERATED TO 2000 LUMENS; 3000K LED; 81CRI	56.0	LIGMAN ANESTI POST TOP SERIES; OR APPROVED	
'SC1'	RECESSED LED STRIPLIGHT; NOMINAL 12.25IN LONG x 2.25IN TALL x 2.75IN DEEP	DIE CAST ALUMINUM	4MM THICK ACID ETCHED TEMPERED GLASS	RECESSED IN-WALL @ 1'-3" ABOVE FINISHED WALKING SURFACE AS MEASURED TO CENTERLINE OF LUMINAIRE	ALUMINUM GRAY	IP 65	INTEGRAL DRIVER; 0-10V DIMMING TO 1%	NOMINAL 346 LUMENS; 3000K LED; 90CRI	12.4	SISTEMALUX WALKER SERIES; LIGMAN, OR APPROVED	
'SD1'	GRADE MOUNTED LED BOLLARD W/ INTEGRAL GFCI RECEPTACLE AND LOCKABLE COVER; TYPE 2 DISTRIBUTION; NOMINAL 9.8IN DIAMETER x 9.8IN TALL HEAD x 39.3IN TALL	DIE CAST ALUMINUM	CLEAR IMPACT RESISTANT GLASS	GRADE MOUNTED TO CONCRETE BASE	AS SELECTED BY ARCHITECT	IP 66	INTEGRAL DRIVER; 0-10V DIMMING	NOMINAL 2854 LUMENS DERATED TO 700 LUMENS; 3000K LED; 81CRI	22.0	LIGMAN MINI MACARON BOLLARD SERIES; OR APPROVED	
'SE1'	RECESSED LINEAR LED; DIRECT LAMBERTIAN DISTRIBUTION; NOMINAL 4IN WIDE x 3.5IN TALL x LENGTHS AS SHOWN ON ELECTRICAL DRAWINGS	EXTRUDED ALUMINUM	EXTRUDED POLYCARBONATE	RECESSED	WHITE	UL WET	INTEGRAL DRIVER; 0-10V DIMMING TO 1%	NOMINAL 400 LUMENS PER FOOT; 3000K LED; 90CRI	76.7	AXIS WET BEAM 4 SERIES; ARCHITECTURAL AREA LIGHTING, SELUX, OR APPROVED	
'SF1'	WALL MOUNTED LED SCONCE; VISUAL COMFORT FORWARD THROW DISTRIBUTION; NOMINAL 11.5IN WIDE x 9IN TALL x 7IN DEEP	DIE CAST ALUMINUM	FROSTED ACRYLIC	WALL MOUNTED @ 6'-0" ABOVE WALKING SURFACE AS MEASURED TO CENTERLINE OF LUMINAIRE	NATURAL ALUMINUM	IP 66	INTEGRAL DRIVER; 0-10V DIMMING TO 10%	NOMINAL 1878 LUMENS; 3000K LED; 80CRI	15.0	LITHONIA WIDGE2 SERIES; FC OUTDOOR LIGHTING, INVUE, OR APPROVED	
'SF2'	WALL MOUNTED BOX LUMINAIRE; DIRECTE DISTRIBUTION ONLY; NOMINAL 11.25IN LONG x 1.75IN TALL x 4.125IN DEEP	DIE CAST ALUMINUM	TEMPERED GLASS	WALL MOUNTED @ 8'-8" ABOVE WALKING SURFACE AS MEASURED TO CENTERLINE OF LUMINAIRE	BRUNISHED BRONZE	IP 65	INTEGRAL DRIVER; 0-10V DIMMING TO 10%	NOMINAL 887 LUMENS; 3000K LED; 80CRI	24.0	SISTEMALUX LOOK SERIES; OR APPROVED	
'SG1'	RECESSED LED ROUND DOWNLIGHT; WIDE DISTRIBUTION; NOMINAL 4IN DIAMETER APERTURE x 9IN WIDE x 9.75IN LONG x 6.625IN TALL	20-GAUGE GALVANIZED STEEL	CLEAR ACRYLIC	RECESSED	MATTE-DIFFUSE	UL WET	INTEGRAL DRIVER; 0-10V DIMMING TO 1%	NOMINAL 1000 LUMENS; 3000K LED; 90CRI	8.8	GOTHAM EVO 4IN SERIES; PRESCOLITE, PORTFOLIO, OR APPROVED	
'SH1'	SURFACE MOUNTED LED SILICONE TAPELIGHT; NOMINAL 0.66IN WIDE x 0.26IN TALL x LENGTHS AS SHOWN ON ELECTRICAL DRAWINGS	EXTRUDED ALUMINUM MOUNTING PLATE	SOFT FROSTED ACRYLIC	SURFACE MOUNTED TO UNDERSIDE OF BENCH	WHITE	IP 68	REMOTE DRIVER; 0-10V DIMMING TO 1%	NOMINAL 201 LUMENS PER FOOT; 3000K LED; 92CRI	<varies>	SENSO KATANA IP SERIES; OR APPROVED	1.9 WATTS PER LINEAR FOOT
'SJ1'	FLAGPOLE MOUNTED BEACON GLOBE W/ INTERNAL HALYARD SYSTEM; NOMINAL 8IN DIAMETER SPHERE	DIE CAST ALUMINUM	CLEAR ACRYLIC	POST TOP MOUNTED TO FLAGPOLE	GOLD	UL WET	INTEGRAL NON-DIMMING DRIVER	NOMINAL 500 LUMENS; 3000K LED; 80CRI	5.0	AMERICAN BEACON FLAGPOLE SERIES; OR APPROVED	
'X'	UNIVERSAL THIN PROFILE LED EXIT SIGN; NOMINAL 8.5IN TALL x 12IN LONG x 0.5IN DEEP; CHEVRONS AS INDICATED ON ELECTRICAL DRAWINGS; SINGLE OR DUAL FACED AS INDICATED ON ELECTRICAL DRAWINGS; CONTRACTOR TO VERIFY BACKBOX REQUIREMENTS PRIOR TO ROUGH-IN	DIE CAST ALUMINUM HOUSING	NA	REFER TO ARCHITECTURAL DRAWINGS FOR MOUNTING CONDITIONS	BRUSHED ALUMINUM	UL DAMP	INTEGRAL DRIVER	GREEN LETTERING; LED	2.0	EVENLITE MK3 RAZOR SERIES; ISOLITE, PATHWAY, SURE-LITES, BARRON LIGHTING, OR APPROVED	
'Z4'	SURFACE MOUNTED LINEAR LED STRIPLIGHT; NOMINAL 2.75IN WIDE x 3.25IN TALL x 4FT LONG	22-GAUGE COLD ROLLED STEEL	ROUND FROSTED ACRYLIC LENS	SURFACE MOUNTED	WHITE	UL DAMP	INTEGRAL DRIVER; 0-10V DIMMING TO 10%	NOMINAL 6313 LUMENS; 3500K LED; 80CRI	42.3	HE WILLIAMS 75R SERIES; LITHONIA, METALUX, OR APPROVED	
'Z4W'	WALL MOUNTED LINEAR LED STRIPLIGHT; NOMINAL 2.75IN WIDE x 3.25IN TALL x 4FT LONG	22-GAUGE COLD ROLLED STEEL	ROUND FROSTED ACRYLIC LENS	WALL MOUNTED @ 8'-0" AFF AS MEASURED TO CENTERLINE OF LUMINAIRE	WHITE	UL DAMP	INTEGRAL DRIVER; 0-10V DIMMING TO 10%	NOMINAL 6313 LUMENS; 3500K LED; 80CRI	42.3	HE WILLIAMS 75R SERIES; LITHONIA, METALUX, OR APPROVED	

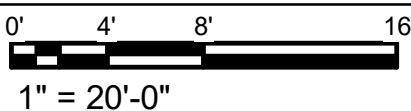
LUMINAIRE SCHEDULE NOTES	
1	THIS LUMINAIRE SCHEDULE IS NOT COMPLETE WITHOUT A COPY OF THE PROJECT MANUAL CONTAINING THE ELECTRICAL SPECIFICATIONS.
2	DIMMING CONTROL PROTOCOL (0-10VDC, LINE VOLTAGE, DALI, ETC.) COMPATIBLE WITH LIGHTING CONTROL SYSTEM AS SPECIFIED AND SHOWN ON DRAWINGS.
3	PROVIDE +/- 12 INCH ADJUSTABILITY IN AIRCRAFT CABLE LENGTH WHERE USED.
4	COORDINATE ALL CEILING TYPES WITH LUMINAIRE LOCATIONS PRIOR TO ORDERING LUMINAIRES. COORDINATE INSTALLATION WITH REFLECTED CEILING PLAN.
5	SPECIFIED MANUFACTURERS ARE APPROVED TO SUBMIT BID. INCLUSION DOES NOT RELIEVE MANUFACTURER FROM SUPPLYING PRODUCT AS DESCRIBED.
6	PROVIDE SUBMITTALS THAT INCLUDE THE LUMINAIRE, LAMP AND DIMMABLE LED DRIVER INFORMATION OF EACH LUMINAIRE, WITH APPLICABLE OPTIONS CLEARLY CHECKED OR HIGHLIGHTED. SUBMITTALS NOT INCLUDING THIS INFORMATION WILL BE RETURNED AS REJECTED BY THE ENGINEER OF RECORD.
7	REMOTE DRIVERS: UL LISTED FOR THEIR APPLICATION. DRIVERS MARKED AS UL RECOGNIZED COMPONENT BUT NOT UL LISTED ARE SUBJECT TO REMOVAL AND REPLACEMENT AT NO COST TO OWNER.
8	REFER TO FLOOR PLANS FOR LOCATION, CIRCUITING, AND SWITCH LEG FOR EACH REMOTE DRIVER. LABEL ALL REMOTE DRIVERS TO SHOW LUMINAIRE TYPE IDENTIFICATION AND SOURCE CIRCUIT. PROVIDE WIRING BETWEEN REMOTE DRIVER AND LUMINAIRE AS RECOMMENDED BY MANUFACTURER. DO NOT EXCEED MAXIMUM DISTANCE RECOMMENDED BY MANUFACTURER BETWEEN DRIVER AND FURTHEST LUMINAIRE.
9	PROVIDE FUNCTIONAL TESTING OF LIGHTING AND LIGHTING CONTROLS IN ACCORDANCE WITH THE 2021 OREGON ENERGY EFFICIENCY SPECIALTY CODE (OEESC) FUNCTIONAL TESTING REQUIREMENTS

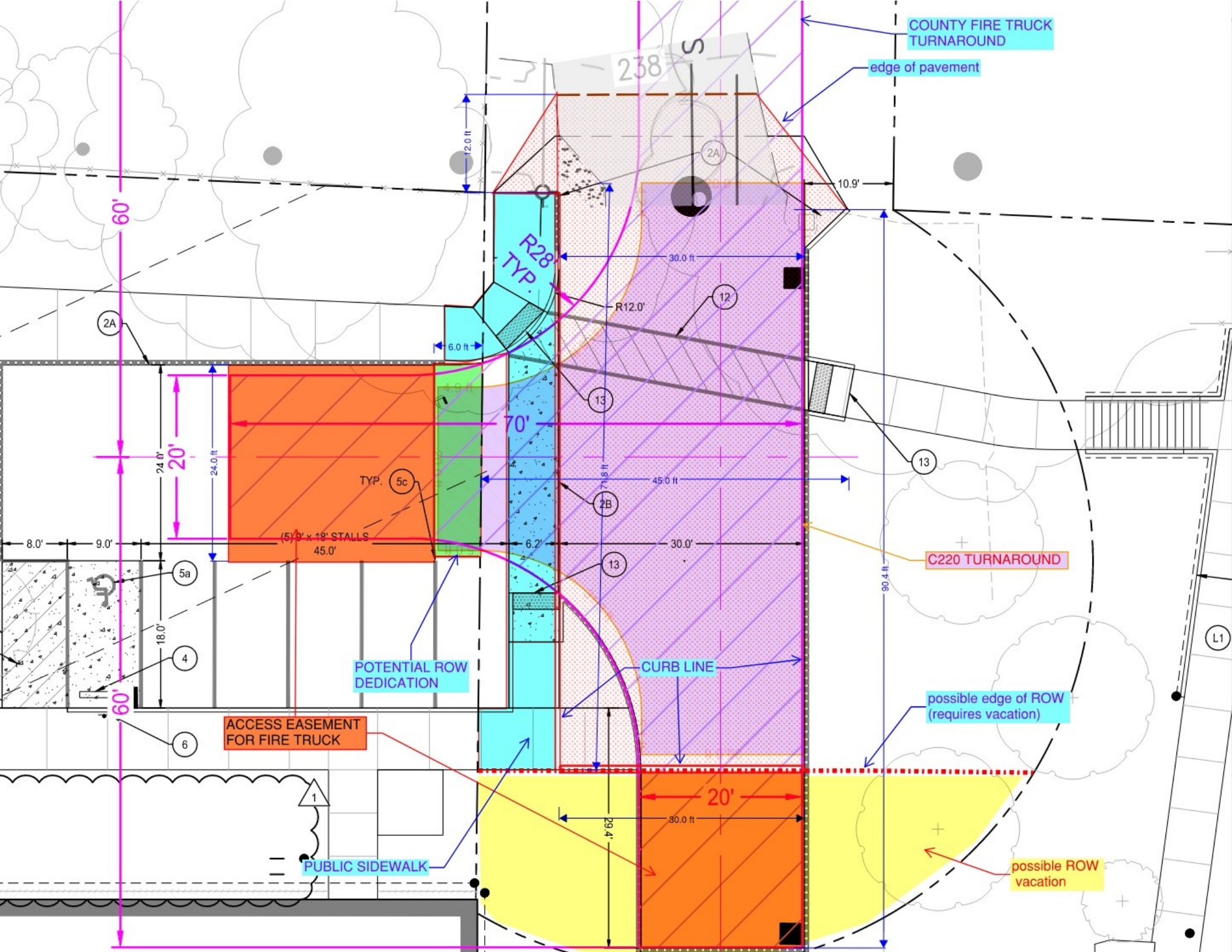
LIGHTING CONTROL MATRIX: SPACE BY SPACE

Room Name	Type of Controls	Control Functions
Single-User Restrooms	Wall switch occupancy sensor. Provide supplemental relay to turn exhaust fan associated with room on/off together with room lights.	Auto-off/manual on occ sensor control. Time delay set to 5 minutes or use walk-in mode.
Multi-User Restrooms	Ceiling dual-tech occupancy sensors, emergency lighting relay(s).	Auto-off/auto-on occ sensor control. Emergency lighting switches with normal lighting unless utility power lost, then full-on. Set occupancy sensor time delay to 15 minutes.
Meeting Room, Conference Room, Offices, Study Rooms	Ceiling occupancy sensors, wall dimming control, daylighting sensor in daylit zones.	Auto-on to 25% (manual on required for 100% output)/auto-off occ sensor control, wall control dimming. Where presentation wall is used, wall control has On/Off/Raise/Lower/AV modes, where AV mode turns off lighting by presentation wall and dims remaining room lighting to preset level with daylight control overridden. Occupancy sensor time delay set to 15 minutes.
Building Support utility rooms (fire riser, electrical, IT)	Wall switch with emergency lighting relay.	Emergency lighting switched with normal lighting unless utility power lost, then turns full on.
Hall, Lobby, Entry Vestibule	Ceiling dual-tech occupancy sensors, daylighting sensor in daylit zones, emergency lighting relays.	Auto-on/auto-off. Emergency lighting dims/on-off with normal lighting unless utility power lost, then full-on. Separate zones for daylighting and non-daylit zones. Occupancy sensor time delay set to 15 minutes. When unoccupied after 15-minute time delay, dim to 50% during regular business hours and dim to 0% when security system is armed.
Workroom	Ceiling occupancy sensors, wall dimming control.	Auto-on to 25% (manual on required for 100% output)/auto-off occ sensor control, wall control dimming. Time delay set to 15 minutes or use walk-in mode.
Janitor, Storage	Wall switch occupancy sensor.	Auto-off/manual on occ sensor control. Time delay set to 5 minutes or use walk-in mode.
Library	Daylight sensor where daylighting is available, time clock, wall dimming control for dimming and/or scene control.	Auto-on to 25% (manual-on for 100% output)/auto-off occ sensor control, wall control dimming. Emergency lighting dims/on-off with normal lighting unless utility power lost, then full-on. Separate zones for daylighting. Scenes at wall control: On/Off/Raise/Lower. Lighting in daylighting zone automatically dimmed in relation to sensed outdoor lighting. Occupancy sensor time delay set to 15 minutes.
Site Lighting: Poles, Bollards and Building Mounted	Time clock, photocell, wall switch override.	Auto on/off with time clock. Dimming. Luminaires zoned by fixture type. Normal power loss within zone triggers emergency luminaires to go to full brightness. Provide override switch in electrical room to allow maintenance to check for burnt out lighting during daytime hours. Lighting at 100% brightness from dusk until 10pm, then dim to 50% brightness from 10pm until dawn. Lights turn off automatically by photocell.

GENERAL NOTES:

- Prior to commissioning phase, provide sit-down meeting with owner, architect and commissioning agent to review lighting controls submittal and determine programmed settings with owner input.
- For each room or area where emergency lighting shown on lighting floor plans, provide emergency lighting relay with supplemental relay to force 0-10-volt dimming to full brightness, one relay for each switch zone.
- Owner to provide signed approval on lighting control shop drawings, including floor plans showing device placement, prior to order materials. Materials ordered prior to approval subject to replacement at no cost to Owner. Owner will require two week review period for initial submittal and one to two weeks per subsequent resubmittal.
- Ceiling control devices to be battery-powered; wall control devices to be fed from building power.
- Basis of design system is Wavelinx Wireless.





BEFORE THE LAND USE HEARINGS OFFICER
CLACKAMAS COUNTY, OREGON

Regarding an Application by the North Clackamas Parks and Recreation District for a Conditional Use Permit to construct a new 15,360 square foot public library, to renovate an existing building (formerly the Concord Elementary School) to expand the North Clackamas Parks and Recreation District offices, and to construct certain site improvements.

Case File No: Z0020-23-C
(NCPRD)

A. SUMMARY

1. The subject property is an approximately 5.9 acre parcel that is the site of the former Concord Elementary School located at 3811 SE Concord Road, Milwaukie, OR 97267, also known as T2S, R1E, Section 12AD, Tax Lot 2900. The property is now owned by the North Clackamas Parks and Recreation District (NCPRD). The site is located in the community of Oak Grove in unincorporated Clackamas County (not actually within the City of Milwaukie) and has an existing 46,400 square foot, two-story building with a covered playground that is known as the Concord School building. This location is north of SE Concord Road directly west of SE Olive Street, with SE Spaulding Street terminating on the east side of the site. The site is approximately 600 feet east of McLoughlin Blvd. (Highway 99E) and approximately 5 miles north of Interstate 205. The property is zoned Urban Low Density Residential (R7), Urban Low Density Residential (R8.5), and Open Space Management (OSM). There are no mapped wetlands or water quality resources on the subject property.
2. The property was first used as a school for the Oak Grove community as early as 1890. The existing school building was built in 1936 and served as a school until 2014. The current Concord School building was constructed from a design by prominent Oregon Architect F.M. Stokes, was partially funded with a Federal Emergency Administration of Public Works grant, and is considered a good example of WPA-era construction and the only such example standing in the Oak Grove Community. Applicant states that the building is eligible to be on the National Register of Historic Places but is not listed at this time. There is a great deal of local community interest in preserving this building and maintaining the public use of the site, including using the site for a public library, park, and community center.
3. The applicant is Jason Varga, Project Manager for the NCPRD. The NCPRD previously obtained a conditional use permit to establish a “government use” in a small portion of the former Concord School building as offices and recreation facilities, including for classes and sports club activities. *See* File No. Z0390-22-C, submitted in August 2022 and approved with conditions January 10, 2023.
4. On May 18, 2023, the Hearings Officer conducted a public hearing to receive testimony and evidence about the NCPRD’s current conditional use application (File No. Z0020-23-C) to expand the NCPRD’s use of the property to include construction of a new 15,360 square foot public library and to further renovate the former Concord School building into a community center to include indoor recreation space, community space, and the NCPRD’s offices. The remainder of the property will be developed with additional parking, a park with outdoor play

equipment, and green space. The Hearings Officer approved the application, subject to conditions of approval.

B. HEARING AND RECORD HIGHLIGHTS

1. The Hearings Officer received testimony and evidence at the May 18, 2023 public hearing about this application and during a subsequent open record period, including submittals identified as Exhibits 1-16. All exhibits and records of testimony are filed with the Planning Division, Clackamas County Department of Transportation and Development. The public hearing was conducted virtually over the Zoom platform. At the beginning of the hearing, the Hearings Officer made the declaration required by ORS 197.763. The Hearings Officer disclaimed any *ex parte* contacts, bias, or conflicts of interest. The Hearings Officer stated that the only relevant criteria were those identified in the County's staff report, that participants should direct their comments to those criteria, and failure to raise all arguments may result in waiver of arguments at subsequent appeal forums.
2. At the hearing, County Planner Melissa Lord discussed the staff report and related exhibits, providing a presentation and related discussion, and recommended approval of the application with conditions.
3. Ms. Lord explained that the NCPRD is proposing to construct a new 15,360 sq. ft. public library, to renovate the former Concord Elementary School building to expand the North Clackamas Parks and Recreational District offices from 4,746 sq. ft. of the building to 19,058 sq. ft., and to use the remaining portion of the existing building as a community center. The proposal also includes the redevelopment of a public park and various site improvements such as walkways, landscaping, lighting, and new public lots.
4. Ms. Lord shared a slide showing the portions of the subject property zoned Urban Low Density R7, Urban Low Density Residential R8.5, Open Space Management (OSM), and General Commercial (C-3), with an overlay showing the applicant's proposed uses of the property in each zone. Ms. Lord also shared a slide showing the application of the County's Zoning and Development Ordinance to each of the applicant's proposed uses. Specifically: a library is a conditional use within the OSM zoning district, but a library is a conditional use within the R7 and R8.5 zoning districts; a government use is a conditional use within the R7 and R8.5 zoning districts; a community building is a primary use within the R7 and R8.5 zoning districts; fitness and recreational facilities are a primary use within the OSM (outdoor, including parks), and a primary use within the R7 and R8.5 zoning districts; parking is an accessory use within the OSM zoning district, but is a conditional use within the R7 and R8.5 zoning districts.
5. Ms. Lord shared a slide showing the various land use permit requirements related to this proposal, including this application for a conditional use permit, a Design Review for a type II land use application related to institutional use in the Urban Low Density Residential District, accessory uses, and government-owned parks within the General Commercial (C-3) zoning district, and possibly an application for a variance, a Type II land use permit related to minimum setbacks to Spaulding Ave from the proposed library. Ms. Lord also shared and discussed slides showing how the application meets or can meet with conditions the various applicable ZDO section requirements and criteria, and the staff report evaluation related to each of these sections.
6. Ms. Lord shared slides concerning Oak Lodge Water Services' statement of feasibility, noting that the proposed utility demand (water service, sewer service, and surface water

management) will be evaluated during the Oak Lodge utility permit application process, and during the related Design Review land use application (Z0083-23). Ms. Lord provided a slide and discussed specific requirements under ZDO Section 1007.01 Roads & Connectivity, General Provisions, pointing out that the existing ROW varies along the SE Concord Road frontage from 60 to approximately 69 feet, and the existing one-half ROW width along the project footage varies at 30, 37 and 39.98 feet. Ms. Lord noted that the standard cross-section for a two-lane urban arterial roadway includes a 70-foot wide public ROW, with a one-half ROW width of 35 feet, providing discussion of a recommended condition of approval related to dedicating additional ROW to provide a minimum one half width of 35 feet as well as accommodate required frontage improvements. Ms. Lord also pointed to the mid-block crosswalk on SE Concord Road frontage that does not meet current standards, providing discussion of a recommended condition of approval requiring and upgrade including new signs, pavement markings, and lighting. Ms. Lord also noted that SE Spaulding Avenue requires a public vehicle turnaround within the ROW, discussing how that specific requirement for such public improvements will be address through the Design Review application for development of the proposed use.

7. Ms. Lord also shared a slid and provided discussion regarding ZDO Sections 1007.02 & 1007.04, Frontage Improvements & Pedestrian and Bike Facilities. Ms. Lord discussed requirements that road frontage improvements must meet current urban Roadway Standards, minimum requirements for a 20-foot wide half-street with 6-inch curb, 5-foot wide landscape strip with street trees, and a 7-foot wide sidewalk. Ms. Lord pointed to estimated trip generation of 2,053 vehicles per day from the project site, noting that improvement of the project site frontage to current standards on SE Concord Road is warranted, with discussion of a related recommended condition of approval. Ms. Lord pointed to ZDO Section 1007.07 Transportation Facilities Concurrency, providing discussion that the applicant's Traffic Impact Analysis identified issues at the SE Risley Ave/SE McLoughlin Blvd. intersection that is within Oregon Department of Transportation (ODOT) jurisdiction. Ms. Lord noted that County Transportation Engineering staff met with ODOT staff to discuss the proposed striping of SE Risley Avenue to mitigate expected traffic. She also noted that the applicant's TIA assumed single lane approaches, but SE Risley Ave actually functions with two lane approaches and therefore the projected failure of this intersection will not occur. Ms. Lord stated that updated findings and modified conditions of approval will be provided in an additional exhibit, requesting that the record stay open for a minimum of one week to add ODOT comments to the record and to revise findings and/or recommended conditions as necessary. (*See Exhibits 14, 15*)
8. The applicant/project manager for NCPRD, Jason Varga, read a statement of support provided by Mitzi Olson, the Library Director, pointing to the need for the library, the importance of this addition to the library system and the improved and safer access and facilities the proposed new library will provide to the community. Ms. Olson's statement discussed the community work, support, and local involvement that has gone into this project over the past few years.
9. Several members of the general public appeared and provided comments and testimony in support of approval of this application, including Anatta Blackmarr and Thelma Haggemiller, who each provided a statement of support and enthusiasm, as they are eagerly awaiting the new library and development of the site with a cultural or community center and park as proposed, describing it as a momentous step forward and a "dream come true" for the community.

10. Debbie Cleek, Principal of the Bookin Group, appeared and provided testimony and advocacy on behalf of NCPRD's application. Ms. Cleek affirmed that the applicant wanted the record to stay open for an additional, second week, to provide an opportunity to review the additional submittals provided by the County during the first week, and perhaps also a third week to provide a final written argument or statement. Ms. Cleek discussed certain issues with respect to proposed conditions of approval, including proposed conditions #9 and #11. Ms. Cleek and her staff also discussed certain engineering requirements directly with Mr. Ken Kent, County Development Engineering, concerning specificity of certain conditions of approval, some need for flexibility, and how some of these issues will be resolved through the Design Review process. Liz Manser of OPSIS Architecture suggested adding a clarifying statement concerning the discussed language of the conditions, referencing Design Review approval. Ms. Cleek agreed that, with additional language clarifying the proposed conditions of approval as discussed, the applicant does not otherwise dispute the proposed conditions. Mr. Kent also agreed with this discussion, referencing that the Design Review process addresses some of these issues and provides for approval with some variation. Ms. Manser and Ms. Lord agreed that the discussed clarifying phrase was acceptable.
11. At the conclusion of the public hearing, the Hearings Officer left the record open for 7 days for the purpose of allowing all parties the opportunity to submit additional evidence, arguments, or testimony for consideration in this matter, an additional 7 days to provide all parties an opportunity to respond to any new evidence submitted during the initial open record period, and a third 7 day period for the applicant to submit a final written argument.

C. PREHEARING COMMENTS, SUBMITTALS, FACTS

1. The application includes a completed land use application form, site plan, application fee and completed supplemental application addressing the criteria in Section 1203 of the ZDO. The application also includes a description of the proposed use and vicinity map. The application was initially submitted on January 13, 2023. Following submission of additional requested information the application was deemed complete March 3, 2023. The subject property is located inside an urban growth boundary. The 120-day deadline established by state law for processing this application is July 1, 2023.
2. The County requested responses to the application from: a) Department of Transportation and Development (DTD), Development Engineering; b) Department of Transportation and Development (DTD), Transportation Engineering; c) Oak Lodge, Water and Sewer District; d) Tri-Met (regional transit services); e) Clackamas Fire District #1; f) Oak Grove Community Planning Organization (CPO); and, Property Owners within 300 feet.
3. The County received written comments from Valerie Liljefelt on behalf of the Clackamas Fire District #1, with agency comments and requirements incorporated into the County's staff report. Ms. Lord responded to these comments requesting clarification concerning the potential need for a turnaround on Spaulding Ave., receiving a response from Ms. Liljefelt concerning the Fire District's review process. Ms. Lord communicated these requirements directly to NCPRD. Ms. Liljefelt reviewed the applicant's submittal, returning it with Clackamas Fire District review comments. (Exhibits 7, 7a, 7b, 8, 12)
4. Ken Kent, Clackamas County Development Engineering submitted written comments on behalf of County Development Engineering staff with a number of findings and proposed conditions that were incorporated into the County's staff report. Mr. Kent also submitted a review request to ODOT for comment on the proposal, noting that the project TIA evaluated

ODOT intersections and found that the SE McLoughlin (OR 99E)/SE Risley Avenue intersection will exceed mobility standards at 2025 buildout. Mr. Kent pointed to the TIA proposed mitigation to add right turn lanes on the eastbound and westbound approaches of SE Risley at SE McLoughlin, attaching a preliminary plan submitted by the applicant, and requesting comments from ODOT. [This issue was discussed at the hearing, with Ms. Lord explaining that the TIA had assumed single lane approaches, but SE Risley Ave actually functions with two lane approaches and therefore the projected failure of this intersection will not occur.] (Exhibits 9 and 10, testimony)

5. The County received written comments from Markus Mead on behalf of the Oak Lodge Water Services District, with agency comments and requirements incorporated into the County's staff report. (Exhibit 11)

D. POSTHEARING COMMENTS, SUBMITTALS, FACTS

1. Oregon Department of Transportation (ODOT) Development Review Planner Marah Danielson reviewed the proposed land use action and determined there will be no significant impacts to state highway facilities and no additional state review is required. ODOT staff noted that Clackamas County Engineering had provided compelling information that the proposed mitigation referenced in the applicant's TIA is not necessary, pointing to several supporting findings [including the erroneous TIA assumption concerning single-lane approaches] and concurring with County Engineering that the proposed mitigation at the Risley Ave/OR 99E intersection is unnecessary to address the Oregon Highway Plan mobility standard. [Exhibit 14]
2. Kenneth Kent, Clackamas County Development Engineering, submitted additional written comments during the open-record period, proposing changes to certain findings [particularly responsive to the ODOT comments] and changes to proposed conditions. [Exhibit 15]
3. Debbie Cleek, Principal of the Bookin Group, submitted additional written comments during the open-record period on behalf of the applicant, supporting the proposed changes submitted by Mr. Kent and referencing discussion at the hearing concerning agreement with respect to certain changes to the language in the proposed conditions.

E. FINDINGS AND DISCUSSION

The evidence presented is reliable, probative and substantial evidence upon which to base a determination in these matters. This application is being processed as a Type III Permit, pursuant to Clackamas County Zoning and Development Ordinance (ZDO) Section 1307. The Type III procedure is quasi-judicial in nature, and involves land use actions governed by standards and approval criteria that require the use of discretion and judgment. The issues associated with the land use action may be complex and the impacts significant, and conditions of approval may be imposed to mitigate the impacts and ensure compliance with this Ordinance and the Comprehensive Plan. The Type III procedure is a quasi-judicial review process where the review authority receives testimony, reviews the application for conformance with the applicable standards and approval criteria, and issues a decision. This application is subject to Clackamas County Zoning and Development Ordinance (ZDO) Section(s) 202, 315, 702, 1005, 1006, 1007, 1009, 1010, 1015, 1021, 1203 and 1307, and the Comprehensive Plan. Clackamas County Planning and Zoning Staff have reviewed these Sections of the ZDO and Comprehensive Plan in conjunction with this proposal and make the following findings and conclusions: ***[These findings and conclusions were reviewed, modified, and/or adopted by the Hearings Officer, with comments denoted by boldface type in italics.]***

1) **PROJECT OVERVIEW:**

Background: The applicant proposes a Conditional Use permit to construct a new 15,360 square foot public library and to renovate an existing building (formerly the Concord School) into a community center. The community center will include indoor recreation space, community space, and the North Clackamas Parks and Recreation District offices. The remainder of the property will be developed with vehicle parking, a park with outdoor play equipment and green space.

Recently, the applicants received approval with conditions of a conditional use permit to have the North Clackamas Parks and Recreation District offices operate within a portion of the existing building of the former Concord Elementary School. In addition to the office use, a portion of the existing building was to be used for indoor recreation (e.g. recreational classes and sports club activities). The land use file was reviewed under application number Z0390-22. The project scope proposed in land use file Z0390-22 left the majority of the existing building un-used (a “shell”).

A pre-application conference was held with the applicant on June 7, 2022 to discuss the preliminary proposal (reference file ZPAC0065-22).

The government-owned recreation facilities, such as classes and sport club activities, are a primary use in the R7 and R8.5 zoning districts. A community building is also a primary use in the R7 and R8.5 zoning district under the umbrella of a government-owned recreational use.

Site Description: The subject property is approximately 5.9 acres in area and is currently developed with a 46,400 square foot, two-story building (formerly the Concord Elementary School) and a covered playground. There are two existing parking lots that provide 43 parking spaces. The property was first used as a school for the Oak Grove community as early as 1890. The applicant’s research shows that the building on site currently was built in 1936 and served as a school until 2014.

As stated previously, the applicant recently requested that a portion of the former school building become the offices for the North Clackamas Parks and Recreation District. A certificate of occupancy for the new use has not been issued as of yet.

There are no mapped wetlands or water quality resources on the subject property. There are no mapped landslide hazards or steep slopes of 25% or greater.

2) **ZDO SECTION 315 – URBAN LOW DENSITY RESIDENTIAL DISTRICT (R7 AND R8.5)**

315.04 Dimensional Standards. Dimensional and building design standards applicable in the urban residential zoning districts are listed in Tables 315-2, Dimensional and Building Design Standards in the Urban Low Density Residential Zoning Districts.

Finding: Pursuant to Table 315-2, the minimum required front setback is 15 feet in the R7 zoning district. As currently designed, the library is proposed to be located 5 feet and 6 inches from the front property line on Spaulding Ave. which does not meet the minimum required setback. A site plan modification or an approved setback variance is required. A

variance is a discretionary land use application, and approval is not guaranteed. A condition of approval is warranted to ensure that the minimum required setback is being met.

The Hearings Officer concurs in this finding, adopting a condition of approval modified consistent with the discussion at the hearing.

3) ZDO SECTION 1203 CONDITIONAL USES

A. 1203.02: Submittal Requirements

This application includes a completed land use application form, site plan, application fee and completed supplemental application addressing the criteria in ZDO Section 1203. The application also includes a description of the proposed use and vicinity map. All the submittal requirements under Subsection 1203.02 are included in the application. The application was submitted on January 13, 2023 and additional materials were received on March 3, 2023. Following submission of additional requested information, the application was deemed complete on March 3, 2023.

- B. 1203.03(A):** The use is listed as a conditional use in the zoning district in which the subject property is located.

Finding: *The subject property is zoned Urban Low Density Residential - R7, Urban Low Density Residential - R8.5, and Open Space Management (OSM). Section 315, Table 315-1 of the ZDO controls land uses in the underlying R7 and R8.5 zoning districts; Section 702 controls land uses in the underlying OSM district.*

The Hearings Officer concurs in this finding.

	Zoning District	
USE	OSM	R7 and R8.5
Library	Conditional	Conditional
Government office	(Not proposed)	Conditional
Community Building	(Not proposed)	Primary
Fitness and recreational facilities	Primary (outdoor)	Primary
Parking	Accessory	Conditional

The proposed development requires a conditional use permit for the new public library and for the expansion of the government use throughout the majority of the existing building (former Concord Elementary School) for the North Clackamas Parks and Recreation District ("Parks District") offices. The conditional use permit is also required for the parking lot serving the community center. The table above and the zoning diagram provided earlier in this report are included to provide a visual representation of the proposed uses in each zoning district.

The public library will be located in part in the OSM zoning district and in part in the R7 district. In the OSM district, a library is a conditional use when associated with open space or recreational facilities, and the development proposal includes the construction of an outdoor public park. In the R7 district, a library is a use that is allowed as a conditional use in a planned unit development (PUD); however, the subject property is not in a planned unit development. The proposed library will be part of the Library District of Clackamas County which is a special district organized under ORS 357.216 to 357.286. Special districts are a form of local government. Government uses are a conditional use in the R-7 district, provided that they are not specifically listed elsewhere in the zoning district as a Conditional Use. Because libraries are only a conditional use in a PUD and the subject property is not in a PUD, the use is not otherwise listed and may be reviewed as a government use.

The Parks District is a public entity. A conditional use permit was previously issued to the Parks District to occupy a very small portion of the existing building with their offices (reference land use permit Z0390-22). The proposal involves expanding the Parks District's offices from 4,746 square feet of the building to 19,058 square feet. The (existing) building that will be used for the Parks District offices is within the R7 and R8.5 zoning districts. In the Zoning and Development Ordinance (ZDO), Table 315-1 specifies that "government uses" are a conditional use; therefore, a conditional use permit is necessary. The Parks District is a public entity and is a government use.

The parking lots that support this development are located in the OSM district. A parking lot is allowed as an accessory use to the park pursuant to Subsection 702.04(C); however, pursuant to Subsection 702.05(A and F), a parking lot serving indoor recreation facilities, meeting rooms, interpretive centers, and other similar uses are a conditional use. The parking lots will provide parking for persons visiting the community center and therefore require the review and approval of a conditional use permit.

The proposed library in the OSM and R7 zoning districts, the expansion of the government offices for the Parks and Recreation District in the existing building, and the parking lots serving the indoor recreation facility, meeting rooms, and community center, are listed as conditional uses in the applicable zoning districts. This criterion is met.

The Hearings Officer adopts the above findings and analysis, concurring that this criterion is met.

- C. **1203.03(B):** The characteristics of the subject property are suitable for the proposed use considering size, shape, location, topography, existence of improvements and natural features.

Finding: *In addition to the narrative provided in the applicant's submitted application materials, staff makes the following findings.*

The subject property is approximately 5.9 acres in size. The submitted site plans and narrative demonstrate the property is of sufficient size to accommodate the proposed uses. The library, Parks District office expansion, and parking associated with the community center are the conditional uses being evaluated with this land use application; however it is difficult to evaluate these uses in isolation due to the interconnectivity of all uses being proposed, including primary uses.

The subject property has direct vehicular access onto Concord Rd and Spaulding Ave; the primary parking lot is located off of Concord Rd between McLoughlin Blvd and SE Oatfield Rd. The development has adequate site circulation and vehicle maneuvering area to accommodate the parking areas proposed. Conditions of approval are recommended to ensure that the development and ADA accessibility standards are met.

The property is generally regular in shape and has modest slopes. It intersects with SE Concord Rd, SE Olive Ave, and SE Spaulding Ave, but the applicant states that the Olive Ave right of way is not open to vehicle traffic. The site is currently developed with a 46,400 square foot, two-story building (former school), a covered playground and two parking lots. The building (former school) has been on the property since the 1930s. Combined with size, the shape of the property does not present any significant limitation to the proposed use of the site. There are no mapped protected natural features on the property.

The location, size, shape, topographic, natural and developed characteristics of the property are suitable to accommodate the proposed conditional uses. When considering the characteristics of the subject property, staff finds that this criterion is met.

The Hearings Officer adopts the above findings, adopting related conditions of approval and concurring that, as conditioned, these criteria are met.

- D. **1203.03(C):** The proposed use is consistent with Subsection 1007.07, and safety of the transportation system is adequate to serve the proposed use.

Finding: *Staff reviewed the proposal for compliance with 1007.07. The findings are included in the staff report below. As conditioned, this criterion can be met.*

The Hearings Officer adopts the referenced findings and concurs that, as conditioned, this criterion can be met.

- E. **1203.03(D):** The proposed use will not alter the character of the surrounding area in a manner that substantially limits, impairs or precludes the use of surrounding properties for the primary uses allowed in the zoning district(s) in which surrounding properties are located.

Finding: *The site is in the R7, R8.5 and OSM zoning districts and is surrounded by other properties in R7, R8.5 and General Commercial (C-3) zoning districts. Primary uses of the R7 and R8.5 zoning districts are provided in ZDO Section 315, primary uses allowed in the OSM district are provided in ZDO Section 702, and primary uses in the C-3 district are in ZDO Section 510. In addition to the applicant's narrative, staff makes the following findings:*

Land use in the surrounding area is primarily a mix of single-family detached dwellings and commercial development along McLoughlin Blvd. The neighborhood includes quiet residential streets, juxtaposed against the busy McLoughlin Blvd commercial corridor. The subject property has a dedicated history to institutional uses, and the proposal will continue to provide an institutional use. The institutional uses will serve as a transition between these two built environments.

The building identified as the community center is well-established in the neighborhood and has been on the subject property since the 1930s. A school operated on the subject

property from 1890 to 2014 when it ceased operation, and has since received a conditional use permit approval to use a small portion of the building for the North Clackamas Parks and Recreation District offices (reference planning land use file Z0390-22 for existing government use). Part of this application is to expand the government use (Parks and Recreation District offices) to a larger portion of the building.

For approximately 100 years, the subject property has been dedicated to serve the surrounding community and although the school ceased operation in 2014, the associated park and outdoor recreation area continues to serve the community. The proposed development will improve the park and recreational area by adding bollard-style lighting to increase park safety and surveillance of the outdoor space. Outdoor lighting will be required to comply with the standards in ZDO Section 1005 and will be evaluated through a subsequent Design Review land use application (reference land use file number Z0083-23). Given the property's dedicated history of being an institutional use (formerly Concord Elementary School), the addition of a library on site is suitable with the pre-existing uses of this property. The proposed public library and public park will lend itself to the community and continue to serve as an institutional use in the neighborhood. The library, community center and new park will serve the surrounding community and will integrate into the character of this site.

The County's Transportation Engineering division has reviewed this application and the traffic impact analysis provided in the application materials and have concluded that the existing transportation network is adequate to serve the proposed uses. The proposed conditional uses will not alter the character of the area in a manner that would substantially limit, impair or precludes the uses of the surrounding area.

The Hearings Officer concurs in the above findings, adopting referenced conditions of approval and agreeing that, as conditioned, these criteria are met.

- F. **1203.03(E):** The proposed use is consistent with the applicable goals and policies of the Comprehensive Plan.

Finding: *The applicant addresses the Comprehensive Plan in their submitted narrative and details how the proposed use is consistent with the residential goals of the Plan, although they reference some incorrect Comprehensive Plan designation policies in their findings. The subject property is designated Low Density Residential (LDR) and Public and Community Use Open Space (PCU) on the Comprehensive Plan map. The R7 and R8.5 zoning districts implement the goals and policies of the LDR plan designation and the OSM zoning district implements the PCU designation. The building that the Parks District offices will be located in is within the LDR designation; the library will be in the PCU designation.*

- a. Chapter 4, Residential – Low Density Residential Policies – 4.R

The low density residential policies include having adequate provisions for recreational facilities because they are integral parts of residential neighborhoods. The review of this permit, and the recommended conditions of approval are intended to ensure adequate design and safety, particularly with regard to vehicular and pedestrian access. The proposal is consistent with the goals and policies of Chapter 4 of the Comprehensive Plan.

b. PCU – 4.GG Open Space Policies

The Public and Community Open Space policies include preserving lands for park and recreation facilities, and for publically owned land to function as open space. Land should be allowed to have public recreation or other compatible private or public uses and structures. The proposal is consistent with the goals and policies of Chapter 4 of the Comprehensive Plan.

c. Chapter 5, Transportation – Access Standard Policies – 5.Q

5.Q.5 Access Standards shall be implemented through the Zoning and Development Ordinance and the County the County Roadway Standards. Where access management standards are adopted by the County in Special Transportation Plans, those standards shall apply.

As specified under ZDO Section 1007, development applications are required to provide adequate access to current County standards, which may include right-of-way dedication, frontage improvements, on-site access and parking.

SE Concord Road is classified as a minor arterial roadway (Comprehensive Plan map 5-4a). Clackamas County has adopted roadway standards that pertain to the structural section, construction characteristics, minimum required right-of-way widths and access standards for arterial roads.

Roadway Standards Section 220.4 indicates that development sites on arterial roadway should have one driveway, with additional access based on safety and circulation needs. Based on anticipated traffic use and volume, we can justify the need for two driveway approaches in order to provide adequate site circulation, emergency access, and minimize impacts to SE Concord Road. Although, the proposed driveways do not meet full access spacing due to the location of existing driveways on the south side of SE Concord Road, with the continuous center turn lane and alignment of the new driveways with existing higher volume driveways on the opposite side of the street, the proposed access will be adequate.

The Hearings Officer concurs in the above discussion, analysis, and findings, concluding that the proposed use is consistent with the applicable goals and policies of the Comprehensive Plan.

- G. **1203.03(F):** The proposed use complies with any applicable requirements of the zoning district and overlay zoning district(s) in which the subject property is located, and Section 1000 Development Standards.

Finding: Staff reviewed compliance with ZDO Section 1000, as applicable. The findings are included in the staff report below. As conditioned, this criterion is met.

The Hearings Officer concurs in these findings that, as conditioned, this criterion is met.

//
//

4) ZDO SECTION 1000 DEVELOPMENT STANDARDS

Not all review subsections in ZDO Section 1000 are applicable. Below is an evaluation of the criteria that are applicable to the proposed conditional use. A separate Design Review land use application is in review for this proposal because ZDO Section 1102.01 requires a Design Review for institutional uses in the R7 and R8.5 zoning districts; reference land use permit Z0083-23. The findings below are related specifically to the conditional uses proposed; the detailed design criteria are reviewed in land use permit Z0083-23.

Section 1001 General Provisions – 1001.03 Applicability. Section 1000 applies to all development, as identified in Table 1001-1. If a section is identified as applicable in Table 1001-1, it does not necessarily mean that every subsection within that section will apply; rather, each applicable section must be reviewed to determine which, if any, provisions in that section are applicable to the proposed development.

Finding: *The institutional uses proposed are subject to the Sections identified in Table 1001-1. Applicable Sections for institutional uses include: 1002, 1003, 1004, 1005, 1006, 1007, 1009, 1010, 1011, 1015, and 1021.*

A condition of approval will require a subsequent Design Review land use permit approval for many of the siting and design requirements, rather than evaluating them as part of this Conditional Use application.

The Hearings Officer concurs in this analysis and findings, adopting related conditions of approval.

- A. Sections 1002, 1003, and 1004 are not applicable to the subject property or proposed development.
- B. Section 1005 relates to the specific design of the building and the site. Compliance with this subsection shall be reviewed in Design Review land use permit Z0083-23.
- C. **1006.03 Water Supply and 1006.04 Sanitary Sewer Service.** Approval of a development that requires public or community water service and sanitary sewer service shall be granted only if the applicant provides a preliminary statement of feasibility from the service provider(s).

Finding: *A statement of feasibility from Oak Lodge Water Services District was provided by the applicant and determined that the proposed utility demand will be quantified by the property owner for Oak Lodge to review with the associated Design Review land use application (land use permit number Z0083-23).*

A condition of approval is necessary to ensure that this criterion is met.

The Hearings Officer concurs in this analysis and findings, adopting related proposed conditions of approval.

//
//

D. 1006.06 Surface Water Management and Erosion Control. The following surface water management and erosion control standards apply:

- a. Positive drainage and adequate conveyance of surface water shall be provided from roofs, footings, foundations, and other impervious or near-impervious surfaces to an appropriate discharge point.
- b. The requirements of the surface water management regulatory authority apply. If the County is the surface water management regulatory authority, the surface water management requirements of the Clackamas County Roadway Standards apply
- c. Approval of a development shall be granted only if the applicant provides a preliminary statement of feasibility from the surface water management regulatory authority. The statement shall verify that adequate surface water management, treatment and conveyance is available to serve the development or can be made available through improvements completed by the developer or the system owner.
 - i. The service provider may require a preliminary storm water management plan, storm drainage report, natural resource assessment and buffer analysis prior to signing the preliminary statement of feasibility
 - ii. The statement shall be dated no more than one year prior to the date a complete land use application is filed and need not reserve surface water treatment and conveyance system capacity for the development.

Finding: A statement of feasibility from Oak Lodge Water Services District was provided by the applicant and determined that the utility demand stormwater will be quantified by the property owner for Oak Lodge to review with the associated Design Review land use application (land use permit number Z0083-23). A condition of approval is necessary to ensure that this criterion is met.

The Hearings Officer concurs in this analysis and findings, adopting the related proposed conditions of approval.

E. 1007.01(A and B) Roads and Connectivity – General Provisions. The location, alignment, design, grade, width, and capacity of all roads shall be planned, coordinated, and controlled by the Department of Transportation and Development and shall conform to Section 1007, Chapters 5 and 10 of the Comprehensive Plan, and the Clackamas County Roadway Standards. Where conflicts occur between Section 1007, the Comprehensive Plan, and the Clackamas County Roadway Standards, the Comprehensive Plan shall control.

Right-of-way dedications and improvements shall be required of all new developments, including institutional uses, as deemed necessary by the Department of Transportation and Development and consistent with Section 1007, Chapters 5 and 10 of the Comprehensive Plan, and the Clackamas County Roadway Standards.

Finding: Clackamas County has adopted roadway standards that pertain to the structural section, construction characteristics, minimum required right-of-way widths and access standards for arterial roads.

The existing right-of-way varies along the SE Concord Road frontage from 60 to approximately 69 feet. The existing one half right-of-way width along the project site frontage varies at 30, 37 and 39.98 feet. West of the project site, SE Concord Road includes a three-lane cross section along the commercial zoned properties, transitioning to a two-lane cross section along the project site frontage. Additional right-of-way width was previously provided to accommodate the existing pull-out areas previously used for school buses. The project traffic study evaluated whether turn lanes would be needed for the site driveways on SE Concord Road, and found that left turn lane warrants are not met. Based on this, continuation of a three-lane section to accommodate a center turn lane is not needed along the project site frontage of SE Concord Road, and a two-lane cross section is adequate to serve the proposed development. The standard cross section for a two-lane urban arterial roadway, per Roadway Standards Drawing C140 includes a 70-foot wide public right-of-way, with a one half right-of-way width of 35 feet. The applicant will be required to dedicate additional right-of-way to provide a minimum one half width of 35 feet, as well as right-of-way to accommodate the required frontage improvements as discussed below. As conditioned, this criterion can be met.

The Hearings Officer concurs in this analysis, finding that, as conditioned, this criterion can be met.

- F. **1007.01(C and D) Roads and Connectivity.** Provisions pertaining to pedestrian, bicycle, and vehicle access, safety, and traffic flow.

Finding: *The frontage of SE Concord Road is improved with bike lanes, pull-out areas previously used by buses, and curb-tight sidewalk. The proposed preliminary plans include modifying the existing driveway access currently serving the site to include two driveways serving the main parking lot, and retaining an existing driveway at the easterly end of the frontage that provides access to a service area that includes trash and recycling. The existing sidewalk along the frontage is adequate, except for ADA accessibility across the eastern driveway approach. The new driveway approaches and the easterly driveway will require adequate ADA access.*

Reconstruction and expansion of the existing former school parking lot is proposed with two driveway approaches on SE Concord Road serving the main parking lot. ZDO 1007.01(C)(10) specifies that developments have the minimum number of driveway as required by DTD. Roadway Standards Section 220.4 indicates that development sites on arterial roadway should have one driveway, with additional access based on safety and circulation needs. Based on anticipated traffic use and volume, the proposed two driveway approaches are acceptable to provide adequate site circulation, emergency access, and minimize impacts to SE Concord Road. Although, the proposed driveways do not meet full access spacing due to the location of existing driveways on the south side of SE Concord Road, with the continuous center turn lane and alignment of the new driveways with existing higher volume driveways on the opposite side of the street, the proposed access will be adequate.

The preliminary plans for the proposed parking lot on the SE Concord Road frontage appears to be consistent with ZDO Section 1015 and Roadway Standards Drawing P100

and P200. The parking lot design will be reviewed through the Design Review application for the site.

There is an existing mid-block crosswalk on the SE Concord Road frontage that does not meet current standards and will require upgrading with new signs and additional lighting. Conditions of approval are necessary to ensure this criterion is met.

The Hearings Officer concurs in the above discussion, finding that, as conditioned, these criteria are met.

- G. **1007.01(E).** All roads shall be designed and constructed to adequately and safely accommodate vehicles, pedestrians, and bicycles according to Chapters 5 and 10 of the Comprehensive Plan and the Clackamas County Roadway Standards. Development-related roadway adequacy and safety impacts to roadways shall be evaluated pursuant to the Clackamas County Roadway Standards and also to Oregon Department of Transportation standards for state highways.

Finding: *ZDO Sections 1203.03 and 1007.01(E) require that development adequately and safely accommodate pedestrians. There is an existing mid-block crosswalk on the SE Concord Road frontage does not meet current standards and will require upgrading with new signs and additional lighting, consistent with pavement marking and sign standards, per Roadway Standards Sections 271.1 and 281.1.*

The project site includes frontage on the SE Spaulding Avenue right-of-way. The right-of-way includes a half cul-de-sac bulb, but the improvement are undefined within the right-of-way. The current improvements at the terminus of SE Spaulding Avenue include a paved area that has mostly served as parking and access for the school. The preliminary plans include improvements within the right-of-way that include paving, curbs and sidewalk along the north side of the right-of-way. A small parking lot is proposed off of the north side of the right-of-way. The applicant is proposing to accommodate a turnaround area for emergency vehicles utilizing a portion of the parking lot driveway aisle that extends outside the public right-of-way. Because SE Spaulding Avenue is a public roadway, provisions for a public turnaround will be required. Although, the preliminary site design will provide for adequate access for a fire truck that includes maneuvering outside the right-of-way, a turnaround area within the public right-of-way is needed, as required by Roadway Standard Section 225.2. A passenger vehicle turnaround will be required within the public right-of-way. The specific requirement for the public improvements will be addressed through the Design Review application for development of the proposed use.

The Hearings Officer concurs in this discussion and in these findings.

- H. **1007.02(D) Public Roadways.** Developments shall comply with the intersection sight distance and roadside clear zone standards of the Clackamas County Roadway Standard.

//
//

Finding: *The Traffic Impact Analysis provided by the applicant evaluated the sight distance at the proposed driveways on SE Concord Rd., and verified that the standards under Roadway Standards Section 240 can be met.*

The Hearings Officer concurs.

- I. **1007.02(F) and 1007.04(C) Road Frontage Improvements and Pedestrian and Bicycle Facilities.** Road frontage improvements must meet current urban Roadway Standards. Sidewalks, pedestrian pathways, bikeways, and accessways shall be constructed for institutional developments.

Finding: *The frontage of SE Concord Road is improved with bike lanes, pull-out areas, 6-inch curb and 7.5-foot wide curb-tight sidewalk. The proposed preliminary plans include modifying the existing driveway access currently serving the site to include two driveways serving the main parking lot, and retaining an existing driveway at the easterly end of the frontage that provides access to a service area that includes trash and recycling facilities. The applicant is proposing to retain the existing sidewalk and construct the new driveway approach to provide ADA accessibility. Based on estimated trip generation of 2,053 vehicles per day from the project site, improvement of the project site frontage to current standards on SE Concord Road is warranted.*

The standard cross-section for an arterial roadway, per Roadway Standards Drawing C140, includes a minimum 20-foot wide half street, with 6-inch curb, 5-foot wide landscape strip with street trees, and a 7-foot wide sidewalk. The applicant will be required to remove the existing curb tight sidewalk and replace it with landscape strip, street trees and a setback sidewalk. Where the curb line exceeds the minimum 20-foot half street width, the curb can remain.

As conditioned, this criterion can be met.

The Hearings Officer concurs, finding that, as conditioned, these criteria can be met.

- J. **1007.05 Transit Amenities.** All institutional developments on existing and planned transit routes shall be reviewed by Tri-Met or other appropriate transit provider to ensure appropriate design and integration of transit amenities into the development.

Finding: *The subject property is not located on an existing transit route, as identified on Map 5-8a in the Comprehensive Plan. Tri-Met was notified of the application and provided with the opportunity to provide comments, but the County did not receive a response.*

The Hearings Officer adopts this finding.

- K. **1007.06(A) Street Trees.** Within the Portland Metropolitan Urban Growth Boundary (UGB), street trees are required on all road frontage for institutional developments, except that for structural additions to existing institutional buildings street trees are required only if the addition exceeds 10 percent of the assessed value of the existing structure, or 999 square feet.

Finding: *The property is located within the Portland Metropolitan UGB and so street trees are required along the road frontage for institutional developments. The existing*

building on site that will be used for the Parks District office expansion will not involve an addition of 10% of the assessed value, or 999 square feet. The proposed library is new construction on an institutional use; therefore, street trees are required. As designed, the application materials do not show street trees proposed. A condition of approval will be necessary to ensure this criterion is met.

Street trees are required along the Concord Rd frontage, and the species must be chosen from a County-approved list of street trees, unless approval for planting of another species is given by the Department of Transportation and Development. Specific tree species can be determined in the subsequent Design Review land use application, Z0083-23.

The Hearings Officer concurs, adopting related conditions of approval to ensure this criterion is met.

- L. **1007.07 Transportation Facilities Concurrency.** Shall apply to the following development applications: design review, subdivisions, partitions, and conditional uses.

Approval of a development shall be granted only if the capacity of transportation facilities is adequate or will be made adequate in a timely manner.

Finding: ZDO Subsection 1007.07 requires that there is an adequate transportation system in place at the time of a development. Under Roadway Standards Section 295.2(b), a traffic impact study is generally required when a development will generate more than 20 peak hour vehicle trips. The applicant has provided a Transportation Impact Analysis (TIA) by Global Transportation Engineering, dated March 3, 2023 evaluating a number of intersections in the vicinity of the project site, addressing trip generation, on-site circulation and intersection sight distance.

The proposed conditional use will result in a total of 93 morning peak hour trips, 216 evening peak hour trips, and 2,053 weekday daily trips. The TIA finds that with the proposed use, roadways and intersection within the influence area of the site will operate with adequate capacity and safety, except for the SE Risley Avenue/SE McLoughlin Boulevard (OR99E). The TIA indicates that the intersection does not meet mobility performance standards, per Table 5-2a of the Comprehensive Plan, in the 2025 background condition and the 2025 buildout condition. The TIA proposes a mitigation to add right turn lanes on the eastbound and westbound approaches on SE Risley Avenue. The SE Risley Avenue/SE McLoughlin Boulevard(OR99E) intersection falls under the jurisdiction of ODOT. ODOT submitted comments during the first open record period, dated May 18, 2023. ODOT notes that the TIS assumed that SE Risley Ave had only single lane approaches to McLoughlin Boulevard (OR99E). SE Risley Ave is nearly 50' wide where it intersects McLoughlin Boulevard (OR99E). Because of its width, left and right turning vehicles are already able to queue side- by-side, and county traffic engineering staff have personally observed that the intersection currently operates this way. Striping would not effectively change the operational characteristics of the intersection. Traffic and Development Engineering staff concur with ODOT's comments and find that the SE Risley Avenue/SE McLoughlin Boulevard(OR99E) intersection will meet mobility standards. Traffic and Development Engineering staff find that the capacity of the transportation is adequate. This criterion is met.

The Hearings Officer concurs in the above discussion and analysis, finding that this criterion is met.

- M. Section 1009, 1010 and 1021 relate to landscaping, signage, and solid waste and recycling. Compliance with these sections is reviewed in the associated Design Review land use permit Z0083-23, with the exception of compliance with Subsection 1009.04, described below.

Section 1009.04 Screening and Buffering. Screening shall be used to eliminate or reduce the visual impacts of service areas and facilities, such as loading areas and receptacles for solid waste or recyclable material.

Finding: *Compliance with screening and buffering requirements are necessary to mitigate the impact the conditional uses will have on the neighborhood and surrounding properties. As proposed, the design does not implement the requirements of this subsection to limit the impact of the subject property to the adjacent residential property. Screening and buffering techniques listed in Subsection 1009.04(B through E) are necessary to mitigate the impacts of the proposed institutional uses to the residential use to the east (3901 SE Concord Rd). Staff recommends that a condition of approval be imposed to ensure compliance with this criterion.*

The Hearings Officer concurs, adopting the proposed condition of approval.

- N. **1015 Parking and Loading.** Inside the Portland Metro UGB, parking, loading, and maneuvering areas shall be hard-surfaced, unless a permeable surface is required for surface water management pursuant to the regulations of the surface water management authority or in order to comply with Subsection 1006.06. Off-street parking areas are governed by Subsection 1015.02(A) and minimum automobile parking space requirements for the proposed uses provided in Table 1015-1. The minimum number of bicycle parking spaces listed in Table 1015-3 are required. If a listed use is located with the UGB, it shall have a minimum of two bicycle parking spaces or the number required by Table 1015-3, whichever is greater.

Finding: *The Climate Friendly and Equitable Communities (CFEC) rules are in effect pursuant to OAR 660-012-0400 through OAR 660-012-0450. No vehicle parking can be required for any development that is within ¾ mile of a rail transit stop or ½ mile of a frequent transit corridor. This property is eligible to follow the CFEC rules due to the frequency and location of the Tri-Met bus service, bus lines #33; therefore, no minimum parking is required. Maximum parking standards are in effect. The applicant is electing to provide 164 vehicle parking spaces and 13 bicycle racks capable of locking two bicycles, each, totaling 26 bicycle parking spaces.*

Within the Urban Grown Boundary (UGB), the parking maximums listed for Urban Zone A in Table 1015-1 apply to the maximum vehicle parking standards as demonstrated in the table, below. Pursuant to Subsection 1015.01(C), parking requirements for uses and structures not specifically listed in Tables 1015-1, Automobile Parking Space Requirements or 1015-3, Minimum Required Bicycle Parking Spaces are subject to the requirements for the most similar use. For the purposes of determining maximum vehicle parking, staff finds that “Theaters, Dance Halls, Community Clubs, Skating Rinks, Public Meeting Places” is the most similar use to a library and a park in Table 1015-1. For the purposes of determining minimum bicycle parking, staff finds that and that “Theaters,

Places of Worship, Auditoriums, Dance Halls and other Public Assembly Places” is the most similar use in Table 1015-3 for the recreation facility (community center) and the library.

Proposed Use	Area (square feet)	Vehicle Parking Ratio Maximum (per 1,000 square feet)	Maximum Vehicle Spaces Permitted	Bicycle Parking Ratio Required	Minimum Bicycle Spaces Required
Recreation Facilities	25,642	5.4	139	1 per 40 seats or persons of design capacity	<i>unknown</i>
Office Use	19,058	3.4	65	1 per 2,500 square feet	8
Library	15,141	None	None	1 per 40 seats or persons of design capacity	<i>unknown</i>
Park	1.94 acres	None	None	5 per acre	10
Total	-	-	None	-	

There is no requirement to provide a minimum number of vehicle parking spaces; the number of parking spaces that the applicant is electing to provide was based upon the number of spaces recommended by the Institute of Transportation Engineers, an established organization for transportation professionals. The maximum number of vehicle spaces is applicable, and the proposal does not exceeds the maximum number of parking spaces allowed.

Compliance with subsection 1015.03 pertaining to the design and location of the bicycle racks will be reviewed through the related Design Review land use application, file Z0083-23. As demonstrated by the table above, the minimum required bicycle parking spaces could not be determined based upon the information provided by the applicant. The design capacity for the recreation facility in the community center and the library must be provided in order to determine the minimum number of bicycle parking spaces required for those uses. The proposed development includes parking for 26 bicycles. A condition of approval is warranted to ensure that the minimum number of bicycle parking spaces is being provided.

As conditioned, this criterion can be met.

The Hearings Office concurs, finding that as conditioned these criteria can be met.

F. CONDITIONS OF APPROVAL

The conditions listed are necessary to ensure that approval criteria for this land use permit are satisfied. Where a condition relates to a specific approval criterion, the code citation for that criterion follows in parenthesis. It shall be the responsibility of the property owner(s) to comply with the limitation of any approval resulting from the decision described herein.

I reviewed and considered the entire record in this matter, including the original staff report, original proposed conditions of approval submitted by staff, the arguments advanced by the NCPRD concerning alternatives and proposals concerning certain language in proposed conditions of approval, and the discussion at the hearing. I also reviewed and considered the pre-hearing materials submitted, including the application, agency and public comments received prior to the public hearing, and post-hearing submittals including the post-hearing response submitted by ODOT, staff memorandum proposing certain changes to the proposed conditions, and additional comments related to the original findings and recommended conditions of approval from the initial staff report, and applicant's written response to the open record period. Upon review, I find the following conditions are designed to ensure that the requirements of this Conditional Use permit are met, adopting the following, with changes to proposed conditions of approval indicated by bold italicized text and/or strike through:

1. Approval of this land use permit is based on the submitted written narrative and plans filed with the County on January 13, 2023 and additional materials received on March 3, 2023. No work shall occur under this permit other than which is specified within these documents, unless otherwise required or specified in the conditions below. It shall be the responsibility of the property owner(s) to comply with this document(s) and the limitation of any approval resulting from the decision described herein.
2. The conditional use approval is valid for four (4) years from the date of the final written decision (ZDO 1203.05). During this four year period, the approval shall be implemented, or the approval will become void. "Implemented" means all major development permits shall be obtained and maintained for the approved conditional use, or if no major development permits are required to complete the development contemplated by the approved conditional use, "implemented" means all other necessary County development permits (e.g. grading permit, building permit for an accessory structure) shall be obtained and maintained. A "major development permit" is:
 - a) A building permit for a new primary structure that was part of the conditional use approval, or
 - b) A permit issued by the County Engineering Division for parking lot or road improvements required by the conditional use approval.

\\

\\

3. The proposed development is located within the service area of Oak Lodge Water Services for sanitary sewer, water and surface water and shall be subject to the Oak Lodge Rules and Regulations and Design and Construction Standards for applicable utilities.
4. Prior to approval of any permits necessary to implement this Conditional Use approval (e.g., building permit, Transportation Engineering development permit for the parking lot or frontage improvements), a Design Review land use permit shall be obtained.
5. Compliance with the screening and buffering techniques listed in ZDO Subsection 1009.04(B through E) are necessary to mitigate the impacts of the proposed institutional uses to the residential use to the east located at 3901 SE Concord Road. Updated site plan and landscape plans shall be provided in the subsequent Design Review land use permit demonstrating compliance with Section 1009.04(B through E).
6. The subject property shall be developed with open space or recreational facilities prior to obtaining a certificate of occupancy for the library. [702.05(B)].
7. The minimum number of bicycle parking spaces shall be provided and designed in accordance with Section 1015.03. Compliance with the standards shall be evaluated in the subsequent Design Review land use permit.
8. Street trees shall be planted along the Concord Road frontage. Updated site plan and landscape plans shall be provided in the subsequent Design Review land use permit demonstrating compliance with Section 1007.06.
9. The site plan shall ~~be modified to~~ comply with **the** minimum front yard setback standard from Spaulding property line in the R-7 **zoning district**. ~~unless a setback variance is approved. If a setback variance is required and approved, the minimum front yard setback standards would be subject to the variance permit; a~~ variance is a discretionary land use application, and approval may not be granted. [315.04].
10. The SE Concord Road frontage improvements for proposed driveways, ADA accessible sidewalks along the entire site frontage, and midblock crosswalk shall be upgraded to current standards prior to obtaining a certificate of occupancy.
11. Prior to obtaining a certificate of occupancy, Design Review approval shall be obtained for vehicular, pedestrian and bicycle access, including frontage improvements and site development, and such improvements shall be constructed or bonded in conformance with ZDO Section 1301.02, including the following:
 - a. The applicant shall dedicate right-of-way along the entire site frontage of SE Concord Road site frontage and verify by a professional survey that a 35-foot wide, one-half right-of-way width exists. Additional right-of-way dedication shall be provided to encompass the required sidewalk, with the right-of-way located a minimum of 6 inches behind the sidewalk
 - b. The applicant shall design and construct improvements along the entire site frontage of SE Concord Road to arterial roadway standards, consistent with Standard Drawing C140, **or as otherwise approved in the Design Review application**. These improvements shall consist of the following:
 - i. Up to a minimum 20-foot wide, one half street improvement, as measured from the right-of-way centerline to face of curb. Where the existing curb

exceeds the minimum width, the curb can be retained. The structural section shall comply with Standard Drawing C100 for an arterial roadway.

- ii. Standard 6-inch curb,
 - iii. A minimum 5-foot wide landscape strip with street trees.
 - iv. A 7-foot wide unobstructed sidewalk, per Standard Drawing S960.
 - v. Minimum 24-foot wide concrete driveway approaches, per Drawing D650.
 - vi. The midblock crosswalk shall be upgraded to current standards, including signs, pavement markings and lighting per Roadway Standards 271.1 and 281.1.
- c. Drainage facilities for the site and street improvements shall be constructed in conformance with Clackamas County Roadway Standards Chapter 4 and Oak Lodge Water Services Standards.
 - d. Improvement of the terminus of SE Spaulding Court shall be provided to local road standards, providing paving a minimum of 30 feet wide, 6-inch curbs, a passenger vehicle turnaround, 5-foot wide sidewalk on the north side of the right-of-way frontage, and ADA accessibility from the site to the public sidewalk and roadway, ***or as otherwise approved in the Design Review application.***
 - e. Adequate on site circulation shall be provided for the parking and maneuvering of all vehicles anticipated to use the site. Parking spaces shall meet minimum dimensional requirements of ZDO Section 1015, and Roadway Standards Drawing P100 or P200, as applicable.
 - f. ***[deleted]***

G. DECISION

Based on the findings, discussion, conclusions, and record in this matter, the Hearings Officer APPROVES application Z0020-23-C for a Conditional Use permit to construct a new 15,360 square foot public library, to renovate an existing building (formerly the Concord Elementary School) to expand the North Clackamas Parks and Recreation District offices, and to construct certain site improvements, subject to conditions of approval.

Dated: June 14, 2023



Carl D. Cox
Clackamas County Hearings Officer

\\
\\

APPEAL RIGHTS

ZDO 1307.10(F) provides that, with the exception of an application for an Interpretation, the Land Use Hearings Officer's decision constitutes the County's final decision for purposes of any appeal to the Land Use Board of Appeals (LUBA). State law and associated administrative rules promulgated by LUBA prescribe the period within which any appeal must be filed and the manner in which such appeal must be commenced. Presently, ORS 197.830(9) requires that any appeal to LUBA "shall be filed not later than 21 days after the date the decision sought to be reviewed becomes final." This decision is "final" for purposes of a LUBA appeal as of the date of the decision appearing by my signature.



April 3, 2023

To: Melissa Lord, Planner

From: Wendi, CCSD #5

Re File #: NORTH CLACKAMAS PARKS & RECS OFFICES
21E12AD02900
3811 SE Concord Rd.

Street lighting is required by ZDO section 1006.02 G for all development within the Urban Growth Boundary.

Street lighting but does not exist on the SE Concord Rd., SE Olive Ave. or Spaulding Ave. frontage thus new street lighting will be required.

Where installation is required

Portland General Electric's (PGE's) policy requires the street lighting design layout meet the recommended maintained illuminance values in the current version of ANSI/IES RP-8 American National Standard Practice for roadway lighting. They also require the project supply the photo metrics. **Contact PGE project coordinators for plan review requirements at 503-323-6700.** They will set up a project in their system and will help you with their plan process. This should be done prior to submitting the Development Permit plan to Clackamas County. Once plan review is completed by both PGE and Service District No. 5, the applicant and/or developer is notified of the final plan approval and may request final payment for the street lighting plan.

Street lighting operation and maintenance is funded by a yearly special assessment on the property tax statement of all benefited properties within the assessment areas of the service district. New assessment areas are formed in response to development requirements and by petition of property owners wishing the benefit of street lighting for their properties.

The property owner shall submit a request in writing for the formation of an assessment area, which will include any new tax lots created by this partition, to help pay for the operation and maintenance of lighting. This should be completed and submitted when applying for a Development Permit. The current rate of assessment for street lighting in this residential area is \$1.16 per frontage foot per tax lot each year.

Please contact Wendi Coryell at 503-742-4657 with any questions.