

OAK LODGE & GLADSTONE COMMUNITY PROJECT

CONCORD TASK FORCE Q&A
JUNE 11, 2020



NORTH CLACKAMAS
PARKS & RECREATION DISTRICT



DESIGN PROCESS – CONSTRUCTION START SPRING 2022

CONCORD PROPERTY

SCHEMATIC DESIGN

Finalize layout and develop building character and integration of systems

- Define building exterior and interior character, materials, and finishes
- Define building systems and sustainable design strategies
- Construction cost estimate

CONSTRUCTION DOCUMENT

Prepare documents and specifications for construction

- Finalize drawings, detailing and specifications for construction
- Documents completed to submit for Clackamas County/Gladstone Planning approval
- Construction cost estimate (50% CD's)

CONSTRUCTION

The period of constructing the project as designed, which consists of:

- Demolition / excavation / utilities
- Foundation / framing / cladding / roofing / systems
- Interior buildout / fixed equipment
- Sitework / landscaping
- Closeout / furniture and move-in

1

2

3

4

5

6

MASTER PLANNING

Define project goals and space program, concept site options, and preferred concept design

- Technical Building / Site Assessment
- Programming / Needs Assessment
- **Design Alternatives (size, scale and scope defined)**
- Select and refine preferred concept design

DESIGN DEVELOPMENT

Refine building interior and exterior design / detailing and integration of building systems

- Finalize building materials and finishes selection
- Finalize building systems and integration
- Furniture and equipment selection
- Key building exterior and interior details
- Begin Land Use process
- Construction cost estimate

BIDDING/PERMITTING

Bid documents issued to potential contractors/subcontractors for pricing

- Building permit documents are submitted, clarified, and approved
- Contractor bids are evaluated and awarded

Q & A SESSION – COMMON THEMES

CONCORD PROPERTY

June 6th Q&A Review:

- Parking / Access / Traffic
- Park / Plaza / Site
- Building Entry / Historic
- Building Exterior

Interior Layouts / Considerations

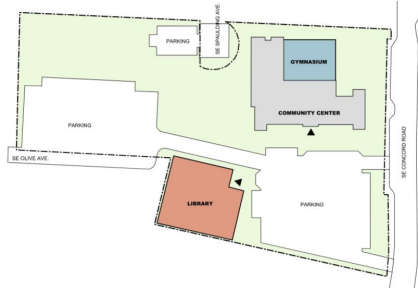
- Pandemic Design Planning
- Library Layouts
- Existing Building Limitations
- Active Space & Sound Mitigation
- Places for Art

Cost and Funding

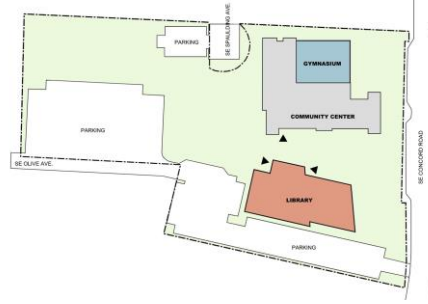
- Program Cost Breakout
- Seismic
- Funding Sources

DIRECT CONSTRUCTION COST

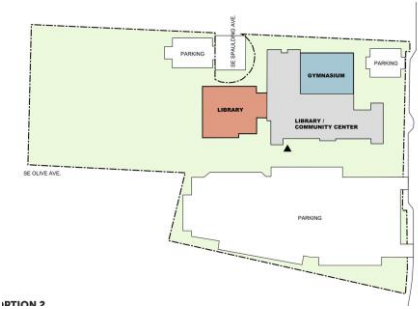
CONCORD PROPERTY



OPTION 1A
 LIBRARY TOTAL: \$12.39 M
 NCPRD TOTAL: \$19.67 M
TOTAL \$32.06 M

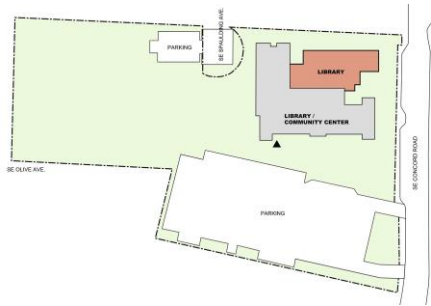


OPTION 1B
 LIBRARY TOTAL: \$12.32 M
 NCPRD TOTAL: \$19.72 M
TOTAL \$32.04 M

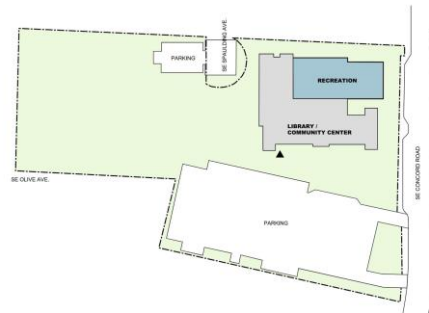


OPTION 2

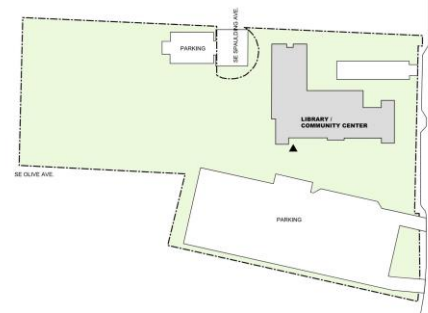
OPTION 2
 LIBRARY TOTAL: \$9.32 M
 NCPRD TOTAL: \$18.21 M
TOTAL \$27.53 M



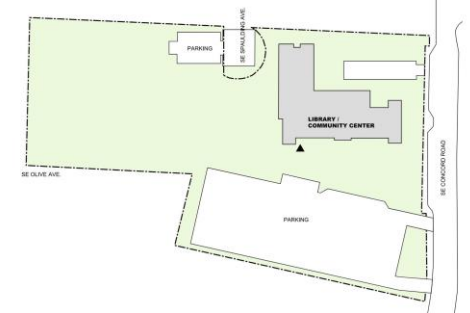
OPTION 3
 LIBRARY TOTAL: \$9.95 M
 NCPRD TOTAL: \$13.98 M
TOTAL \$23.93 M



OPTION 4
 LIBRARY TOTAL: \$5.85 M
 NCPRD TOTAL: \$17.38 M
TOTAL \$23.23 M



OPTION 5A
 LIBRARY TOTAL: \$5.59 M
 NCPRD TOTAL: \$10.05 M
TOTAL \$15.64 M



OPTION 5B
 LIBRARY TOTAL: \$5.65 M
 NCPRD TOTAL: \$10.13 M
TOTAL \$15.78 M

Q & A SESSION – DIRECT COST BREAKOUT

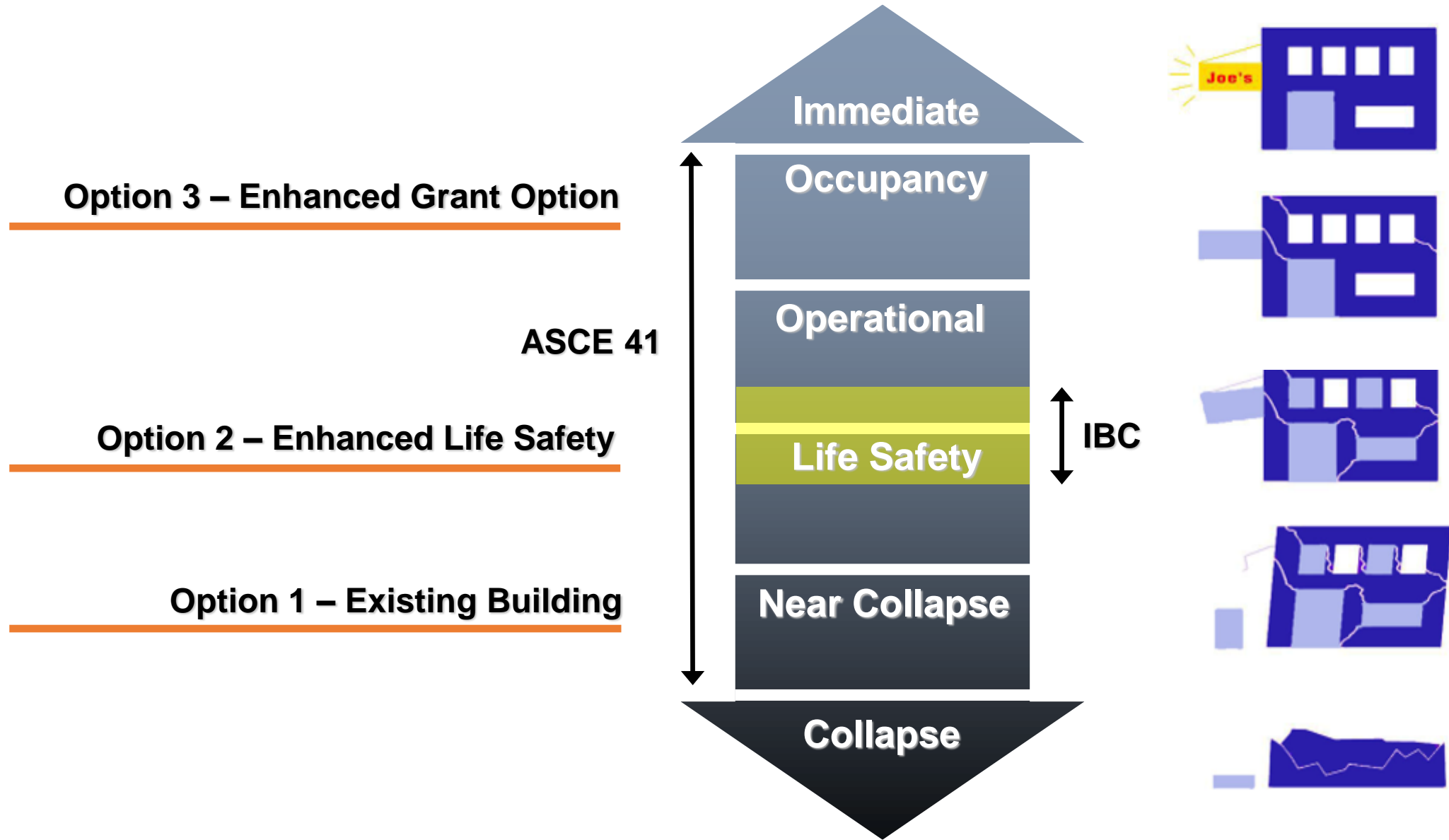
CONCORD PROPERTY

	OPTION 1A Free Standing Library	OPTION 1B Free Standing Library	OPTION 2 North Addition Library	OPTION 3 East Addition Library	OPTION 4 East Addition Recreation	OPTION 5A No Addition No Gym	OPTION 5B No Addition No Offices
LIBRARY							
Library	11,013,400	10,940,100	8,064,300	8,737,300	4,625,100	4,317,400	4,377,400
Site - Library portion (1/3)	1,375,000	1,384,100	1,255,000	1,209,500	1,228,400	1,277,100	1,277,100
Average cost psf	\$635	\$632	\$478	\$510	\$300	\$287	\$290
LIBRARY TOTAL	\$12,388,400	\$12,324,200	\$9,319,300	\$9,946,800	\$5,853,500	\$5,594,500	\$5,654,500
NCPRD							
Community Center	14,253,000	14,655,600	13,064,800	9,152,400	12,550,000	4,816,600	6,040,600
NCPRD Office	1,141,400	819,300	1,095,800	868,100	832,600	1,141,000	-
Park	1,531,200	1,475,900	1,542,100	1,544,700	1,536,900	1,536,900	1,536,900
Site - NCPRD Portion (2/3)	2,750,000	2,769,000	2,510,000	2,419,000	2,457,000	2,555,000	2,555,000
Average cost psf	\$366	\$365	\$385	\$361	\$415	\$373	\$377
NCPRD TOTAL	\$19,675,600	\$19,719,800	\$18,212,700	\$13,984,200	\$17,376,500	\$10,049,500	\$10,132,500
TOTAL DIRECT COST							
BUILDING TOTAL	26,408,000	26,416,000	22,225,000	18,758,000	18,008,000	10,276,000	10,419,000
SITE TOTAL	5,656,000	5,628,000	5,307,000	5,173,000	5,222,000	5,368,000	5,368,000
Average cost psf	\$437	\$436	\$412	\$411	\$378	\$337	\$340
GRAND TOTAL DIRECT COST	\$32,064,000	\$32,044,000	\$27,532,000	\$23,931,000	\$23,230,000	\$15,644,000	\$15,787,000

All schemes reflect Life Safety-level seismic upgrade (code-required level for new buildings)

Q & A SESSION - SEISMICITY REFRESHER

CONCORD PROPERTY



N CPRD Direct Project Cost (includes 30% indirect cost or “soft cost”)

- \$13.1M – \$25.6M

N CPRD Funding Sources

- Park
 - Metro Bond – N CPRD Local Share
 - Grants
- Community Center and Offices
 - Revenue Bond
 - Disposition proceeds from Hood View Park
 - SDCs - if included in N CPRD Capital Plan
(fees charged on new development)
 - Potential General Obligation Bond (GO)
 - Potential seismic grant

Q & A SESSION – FUNDING

CONCORD PROPERTY

Preliminary Total Project Cost Gladstone and Oak Lodge Library (includes 30% indirect cost or “soft cost”)

- Gladstone Library \$ 4.9M - \$ 5.1M
- Oak Lodge Library \$ 7.4M - \$ 16.1M
- Total \$12.3M - \$21.2M

Project Funding Gladstone and Oak Lodge Library

- Library District Reserve \$2.9M
- Clackamas County Capital \$1.0M
- OL Beg. Fund Balance \$0.6M
- Library Bond \$4.2M
(based on \$310K/annual payment)
- (potential) seismic grant if shared w/ NCPRD)

Subtotal \$8.7M

Gap-Clackamas County Bond \$3.6M-\$12.5M