

BEFORE THE COMPLIANCE HEARINGS OFFICER
for the
CLACKAMAS COUNTY BOARD OF COMMISSIONERS

CLACKAMAS COUNTY,

Petitioner,

v.

KALUGA, LLC,

Respondent.

File No. V0035019

COMPLAINT AND REQUEST FOR
HEARING

I, Caleb Huegel, Assistant County Counsel for Clackamas County, allege as follows:

1.

Respondent's mailing address is: Aaron Shelley, Registered Agent, 29450 SE Lariat Lane, Boring, Oregon 97009

2.

The address or location of the violations alleged in this Complaint is: 29450 and 29444 SE Lariat Lane, Boring, Oregon 97009, also known as T1S, R3E, Section 31A, Tax Lots 01300, 01301, 01303, 01400, and 01401, which is in Clackamas County, Oregon.

3.

On or about March 6, 2024, Respondent violated Section 316 of the Clackamas County Zoning and Development Ordinance (ZDO) by operating an event venue and campground on the above-referenced property. The property is zoned Rural Residential Farm Forest 5-Acre, and, pursuant to Section 316 of the ZDO, cannot be used in any manner that is not specifically permitted by the ordinance. The commercial business

event venue and camping activities on the property are not specifically permitted or authorized. This is a Priority 2 violation pursuant to the Clackamas County Violation Priorities.

4.

On or about March 6, 2024, Respondent violated Chapter 9.02 of the Clackamas County Code (CCC), Application and Enforcement of the Clackamas County Building Code—specifically, CCC 9.02.040(A) to (D)—through the modification and remodeling of existing buildings, occupancy changes, and new construction on the property without required permits and inspections. These are Priority 1 violations pursuant to the Clackamas County Violation Priorities.

5.

The Department initiating this proceeding is the Code Enforcement Section of the Department of Transportation and Development.

6.

Notice of the violations was given to Respondent in the following manner: Administrative Citation No. 35019-1 in the amount of \$800.00 was mailed on April 23, 2024. Administrative Citation Nos. 35019-2, 35019-3, 35019-4, 35019-5, 35019-6, and 35019-7 were also mailed on April 23, 2024. Copies of the notice documents are attached to this Complaint as Exhibit BR.

7.

Based on these allegations, petitioner requests that a hearing be set in this matter. Petitioner seeks an Order from the Hearings Officer granting the following relief:

1. Pursuant to CCC 2.07.090, ordering Respondent to immediately abate the violations and bring the property into compliance with these laws, and permanently enjoining Respondent from violating these laws in the future;

2. Pursuant to CCC 2.07.090, imposing a civil penalty against Respondent for each violation within the ranges established by Board of County Commissioners, as provided by Appendix B to the CCC. The range for a Priority 2 ZDO violation is \$500.00 to \$2500.00. The range for a Priority 1 Building Code violation is \$750.00 to \$1,000.00 per occurrence.

3. Pursuant to CCC 2.07.090, ordering Respondent to pay an administrative compliance fee as provided by Appendix A to the CCC; and

4. Ordering any other relief deemed reasonably necessary to correct the violations.

DATED this 6th day of June 2024.



Caleb Huegel
Assistant County Counsel
Clackamas County

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STATEMENT OF PROOF

History of Events and Exhibits:

February 24, 2015,
Exhibits A-F

The County received a complaint regarding unauthorized marijuana grows and a lack of associated building permits on the subject property. File No. V0010615 was opened for the subject property. The marijuana activity was confirmed to be removed on or about November 8, 2018. File No. V0035019 was opened to complete the Building Code violations remaining from File No. V0010615 under the new ownership of Respondent. History of the file, including a Conditional Use Permit, aerials, maps, Assessor records, and ownership of the property are included for reference.

August 24, 2018,
Exhibit G

A Violation Notice was issued to address the remaining violations on File No. V0010615. The notice was mailed to Respondent and Property Owner Dean Najdawi.

October 27, 2018,
Exhibit H

Code Enforcement Specialist (CES) Kimberly Benthin and Respondent's Representative Aaron Shelley exchanged emails regarding the issues needing to be addressed on the subject property.

November 7, 2018,
Exhibit I

Owner Najdawi and CES Benthin exchanged emails regarding a phone call prior to the site inspection.

November 8, 2018,
Exhibit J

A site inspection was conducted. CES Benthin, Fire Marshal Shawn Olson, and Building Inspector Matt VanLoon met with Representative Shelley on the property. One cargo container remained on-site for personal storage. During the site visit, unpermitted structural modifications, modifications to electrical, HVAC, and a

shop walled off in the southwest corner of the building were discovered. Representative Aaron Shelley stated that both the arena building and the west barn would be used for equine activities.

November 5, 2018, and
November 14, 2018,
Exhibit K

Emails between Representative Shelley and Planner Ben Blessing regarding land use required for the shop that had been constructed inside the building.

February 20, 2019, to
February 22, 2019,
Exhibit L

Emails between Representative Shelley and Planner Blessing asking what the current allowed uses are under the approved Conditional Use Permit. Planner Blessing replied with the uses allowed, noting that rodeos are not allowed.

March 6, 2019,
Exhibit M

Emails between Planner Blessing, Respondent's Agent Dale Burkholder, and Representative Shelley regarding the floor plan that was submitted by Agent Burkholder. Planner Blessing requested a detailed business plan and narrative.

May 13, 2019,
Exhibit N

Agent Burkholder emailed stating that he had been appointed as the agent of Mt. Hood Center by Owner Najdawi to assist in the land use application for restoring the Conditional Use Permit approved in 1986.

May 16, 2019, to
May 17, 2019,
Exhibit O

Representative Shelley and CES Benthin exchanged emails regarding the violations.

June 14, 2019, and
June 21, 2019,
Exhibit P

CES Benthin received an email regarding a meeting to be held at the County's offices to discuss permit requirements.

June 27, 2019,
June 28, 2019, and
July 1, 2019,
Exhibit Q

Emails between Representative Shelley, Code Enforcement Supervisor Michelle Amend, and CES Benthin requesting assistance and a meeting.

July 3, 2019,
Exhibit R

An Allegation Letter regarding Zoning violations was mailed to Respondent. The mail was not returned.

July 7, 2019, to
July 9, 2019,
Exhibit S

Emails between Representative Shelley and Agent Burkholder requesting a meeting and a list of violations.

July 10, 2019	CES Benthin and CES Shane Potter met with Representative Shelley, Agent Burkholder, and Owner Najdawi at the County's offices. The email from October 27, 2018, was reviewed. County staff did not verify the status of permits during the meeting.
July 11, 2019, Exhibit T	Staff did online research and found numerous events planned for the site such as a rodeo, Family Play Day, summer clinics (steam), and an advertising conference.
July 15, 2019, to July 22, 2019, Exhibit U	Emails between Representative Shelley, CES Benthin, and Planner Blessing regarding obtaining internet as part of an ODOT right-of-way application.
July 23, 2019, Exhibit V	Emails between Representative Shelley, Inspector Robert Fix, and Plans Examiner Supervisor Richard Carlson regarding requirements for re-roof permits.
July 24, 2019, Exhibit W	<p>CES Potter and CES Benthin met Representative Shelley, Owner Najdawi, Agent Burkholder, and Respondent's Representatives Steve Frost and Kellie Puckett at the subject property. The arena building, west hay barn, and pond area were reviewed. In the arena building, the snack shack contained a stove, food items, and a dishwasher not yet installed. It was noted that, in one location, holes in the firewall were covered in sheetrock. The walls between the snack shack area and the riding arena and upstairs in the old VIP announcer box were gutted. It was explained that the long-term plan was to convert the upstairs into educational rooms. Upgrades and clean-up continued in the stall areas. The wall between the arenas that was gutted appeared to be covered in tarps.</p> <p>In the west hay barn, there remained a lot of conduit and electrical remaining from the previous marijuana grow. There were school-type desks, cubbies, totes, boxes, small student-type chairs, and playground-type balls. Owner Najdawi and Representative Shelley explained that they were homeschooling and considering an educational endeavor in the future. At this time, only the children of Owner Najdawi and Representatives Shelley and Puckett were being homeschooled. Near the west hay barn, a very large playground structure had been installed. There were three recreational vehicles on-site, two of which appeared occupied, as well as a food cart, inoperable vehicles, a cargo container, and a small, tan-colored building.</p>

August 2, 2019, and August 5, 2019, Exhibit X	Emails between Representative Shelley and Planner Blessing regarding a business plan, narrative, site plan, and floor plan.
August 31, 2019, Exhibit Y	Online research showed a rodeo and concert being advertised.
September 5, 2019, Exhibit Z	Emails between Planner Blessing and Representative Shelley stating that uses must adhere to the requirements of the property per Zoning Information File No. ZINFO-0212-19.
September 16, 2019, to September 24, 2019, Exhibit AA	Emails between Planner Blessing and Representative Shelley regarding land use requirements and building permit B0482219.
November 13, 2019	Agent Burkholder came into the County's offices to submit additional documents for the west hay barn. CES Benthin spoke with Agent Burkholder and explained that the permits could not be issued without first obtaining land use approval.
November 14, 2019, December 5, 2019, and December 10, 2019 Exhibit AB	Emails between Planner Blessing and Representative Shelley regarding modification for a land use approval.
December 11, 2019, Exhibit AC	Inspector Fix conducted a site inspection regarding the grading complaint. Inspector Fix stated that a lot of dirt looked to have been removed, that it appeared that drainpipe had been placed in a way that would require a permit, and that a bridge was being placed that would require a permit as well.
December 13, 2019, Exhibit AD	Agent Burkholder sent an email to CES Benthin stating that they were preparing documents for a grading permit.
December 22, 2019, to January 10, 2020, Exhibit AE	Representative Shelley emailed Planner Clay Glasgow requesting information regarding modifications of an established land use approval. Planner Blessing responded providing answers to the email.
December 23, 2019, Exhibit AF	A review of Facebook revealed posts related to barrel racing events and team penning/sorting and other cow-related events.

December 23, 2019, December 24, 2019, and January 8, 2020, Exhibit AG	Emails between CES Benthin and Agent Burkholder regarding tax lots and requesting a list of violations and applicable codes.
January 27, 2020, Exhibit AH	Owner Najdawi emailed CES Benthin inquiring about the status of violations.
January 31, 2020, Exhibit AI	Facebook posts revealed ongoing horse events, rental of an outdoor horse course, cow sorting, an engineering youth camp, Parents' Night Out, and an open house including a child/teen enrichment program in the west hay barn.
February 9, 2020, Exhibit AJ	Emails between Code Enforcement Supervisor Amend, Owner Najdawi, and CES Benthin
February 10, 2020, to February 21, 2020, Exhibit AK	Emails between CES Benthin, Owner Najdawi, Representative Shelley, Agent Burkholder, and Planner Blessing setting a meeting to discuss the violations.
February 10, 2020, Exhibit AL	Facebook posts revealed an engineering camp, cow-sorting practice, and an equine academy.
February 14, 2020, Exhibit AM	A Violation Notice was mailed to Respondent and Respondent's Agent Kelvin Vuong. The mail was not returned.
February 24, 2020	A meeting was held at the County's offices that included: Building Codes Administrator Matt Rozzell, Planning Manager Lindsey Nesbitt, Planner Blessing, Code Enforcement Supervisor Amend, Septic Specialist Eric Englebert, Plans Examiner Heidi Frymark, CES Benthin, Agent Burkholder, Representatives Puckett and Shelley, Electrical Contractor and Respondent's informal community board member Steve Frost, and Owner Najdawi. Respondent's representatives provided a history and explained they were working on plans for the property. They continued to explain that they were trying things out to see how they would work. They expressed disagreement with staff's interpretation of the Zoning and Development Ordinance (ZDO) and accessory uses. Staff explained that there are no contingency permits and that the planning and zoning issues must be addressed before the appropriate building permit may be obtained.

February 25, 2020, Exhibit AN	Email from Planning Manager Nesbitt to Respondent.
March 13, 2020, Exhibit AO	Planning Manager Nesbitt sent an email to Owner Najdawi and Representative Shelley regarding permits submitted for the arena building and the land use requirements.
March 15, 2020, Exhibit AP	Online research found a rodeo exhibition and concert being advertised for the subject property.
March 19, 2020, and March 25, 2020, Exhibit AQ	CES Benthin received a voicemail message from Respondent's Attorney Seth King. Attorney King stated that he reviewed the February 14, 2020, correspondence and was requesting an extension to the deadlines in order to review the case. Attorney King also emailed his request, and CES Benthin replied to Attorney King agreeing to a 30-day extension.
April 21, 2020, Exhibit AR	A review of Respondent's website and Facebook page revealed that activities such as the engineering camp, birthday parties, the outdoor trail course, and sorting practice continued on-site.
April 21, 2020, and April 26, 2020, Exhibit AS	CES Benthin emailed Attorney King to check on the land use application submittal status. Attorney King responded with a request for an extension, and the new deadline was set to May 27, 2020.
Between April 23, 2020, and June 2, 2020, Exhibit AT	Assistant County Counsel Jeffrey Munns and Attorney King exchanged emails regarding locked permits.
June 16, 2020, and June 19, 2020, Exhibit AU	Attorney King and Plans Examiner Frymark exchanged emails regarding permit requirements.
July 8, 2020	Representative Shelley provided revisions for the following permits: main building bathroom and tack TI, west building TI, and storage and firewall restoration.
November 27, 2020, Exhibit AV	Online research revealed bazaars, a tack sale, and construction.
December 22, 2020, Exhibit AW	A review of Respondent's Facebook posts and website revealed that Respondent was operating a school on-site

	(MHC Learning Collective), barrel racing, craft and holiday bazaars, and a “newly rocked outdoor arena.”
May 8, 2021, Exhibit AX	A rough stock challenge (Bulls and Broncs) was found advertised online.
October 5, 2021	A mediation session took place between the County and Respondent.
October 17, 2021, Exhibit AY	An online review showed another rodeo and concert being advertised.
November 20, 2021, Exhibit AZ	Per Mt. Hood Center’s Facebook post, a rough stock rodeo had taken place.
December 2, 2021	Mediation was held.
December 21, 2021, Exhibit BA	Online research revealed a wedding show (Hitched Up), craft sales, barrel racing, and advertising for the Mt. Hood Center Academy. The wedding venue on the subject property was advertised on a website called The Knot.
January 28, 2022, Exhibit BB	Online research revealed that activities such as Ballet Folklorico classes, concerts, and craft and tack sales continued on-site. The unpermitted greenhouse construction continued. The Mt. Hood Center Academy was operating on-site.
August 24, 2022, Exhibit BC	A review of social media showed that the Mt. Hood Center was scheduled to host the Boring Market every Sunday in July and August. A dog show was scheduled for the end of April. The Stables Bar, concerts, Cars & Coffee, an outdoor wine and trail event, rodeos, and corporate party events were advertised.
March 8, 2023, Exhibit BD	An online review showed that the property continued to host unauthorized activities such as the Boring Market, the wedding venue, studio rental, camping, the outdoor horse course, and yoga in the unpermitted greenhouse.
August 3, 2023, Exhibit BE	Research revealed that unauthorized uses such as rodeos and the event venue continued on-site.
December 4, 2023, Exhibit BF	Fire Marshal Olson forwarded the November 29, 2023, inspection report to the County.

December 28, 2023, Exhibit BG	A review of the Mt. Hood Center's website, Instagram, and the internet revealed that the property continues to host events.
January 2, 2024, Exhibit BH	Online research showed a New Year's Eve event including live music, bull riding, a casino, a café, and a nightclub.
March 6, 2024, Exhibit BI	A Violation Notice was mailed requesting that the Zoning and Building Code violations be resolved no later than April 22, 2024. The mail was not returned.
March 18, 2024, Exhibit BJ	Fire Marshal Olson sent an email with attached photos to the County expressing concerns about the March 16, 2024, indoor concert.
March 18, 2024, to March 21, 2024, Exhibit BK	Online research illustrated the conditions on-site during the concert.
March 19, 2024, Exhibit BL	The Clackamas County Sheriff's Office forwarded a report regarding the March 16, 2024, event.
March 21, 2024, Exhibit BM	Fire Marshal Olson issued an inspection report for the March 16, 2024, event.
April 9, 2024, and April 16, 2024, Exhibit BN	A review of online information showed advertising of camping on the subject property. It was also found that a jiu jitsu business is advertised on-site. Odin's Halls Brazilian Jiu Jitsu and Fitness Gym held a grand opening on April 8, 2024. A photo of the upper west barn from a previous site inspection is similar to the studio location.
April 10, 2024, Exhibit BO	A review of online information confirmed uses and construction on-site.
April 17, 2024, Exhibit BP	Dangerous building notices and orders for the structures on the subject property were posted on the closed gate.
April 17, 2024, Exhibit BQ	Copies of the dangerous building notices and orders were sent by certified mail to Respondent and all interested parties. No copies of the notices were returned by mail.
April 23, 2024, Exhibit BR	There was no contact from Respondent regarding the Building Code or Zoning violations. The Building Code and Zoning violations are not abated. The following citations were issued: #35019-1 for \$400 for the Zoning violations

and #35019-2 for the arena, #35019-3 for the greenhouse, #35019-4 for the look-out deck, #35019-5 for the trestle bridge, #35019-6 for the viewing platform, and #35019-7 for the west hay barn for Building Code violations.

All citations were mailed by first class mail to Respondent with copies sent to Representative Shelley at 29450 SE Lariat Lane, Boring, Oregon 97009. The first class mail was not returned. The citations have not been paid.

May 14, 2024

Building permit submittals were emailed to Permit Supervisor Tom Moreland to convert the unpermitted greenhouse into a wedding venue and to construct a new storage building. Permit Supervisor Moreland advised that the documents must be submitted through the County's online system.

May 16, 2024,
Exhibit BS, BT

Throughout the history of this file, the uses of some of the structures have evolved and changed. The permits submitted for new structures have received revisions, but they have not yet received planning approval. An electrical master permit (EMP) has been submitted for the property. However, the permit has not received required inspections, and some of the items listed in the log for the permit do not qualify for the electrical master permit program and require separate electrical permits and inspections.

May 22, 2024

Throughout the history of this file, the County has received numerous complaints through email and by phone. The County refers this matter to the Compliance Hearings Officer.

If the Compliance Hearings Officer affirms the County's position that Zoning and Building Code violations exist on the subject property, the County requests that a Continuing Order be issued requiring Respondent to bring the property into compliance with the ZDO by completing one or a combination of the following options within 60 days of the Continuing Order:

- Cease unauthorized commercial use on the subject property until land use authorization is acquired.
- Adhere to the requirements set forth in Zoning Information File No. ZINFO0212-19 and the Operating Parameters and Conditions of Approval for Conditional Use Permit 829-82-C, I, D, and respond to requests for clarification or additional information from staff within 30 days of receiving such requests.
- Submit a modification of Conditional Use Permit Z0829-81-C, I, D to accommodate unauthorized uses, and respond to requests for clarification or additional information from staff within 30 days of receiving such request.

- Submit a land use application(s) for commercial uses that do not have authorization, and respond to requests for clarification or additional information from staff within 30 days of receiving such requests.
- Obtain land use authorization for the uses on-site through a path not listed here by confirming options with the Planning and Zoning Division and submitting an application, and respond to requests for clarification or additional information from staff within 30 days of receiving such requests.

Once land use authorization is obtained, conditions of approval must be met. Additionally, the remaining unpermitted construction and all required occupancies for the approved use(s) must be made compliant with the Building Code for each structure.

In order to abate the Building Code violations, complete one or a combination of the following options for the structures within 30 days of obtaining land use authorization:

- Submit building permit application(s), appropriate fee(s), and all construction documents of sufficient clarity to indicate the location, nature, and extent of the work proposed, and show in detail that it will conform to the provisions of the Building Code and relevant laws.
 - Respond to requests for clarification or additional information from staff within 15 days of receiving such requests.
 - The permit(s) must have the fee(s) paid in full within 10 days of being notified by Building Codes in order to prevent delay of the issuance of permit(s).
- Submit an application for a demolition permit. Additional permits may be required to confirm that any remaining construction and utilities are removed or remain in compliance with the codes.
 - The permit(s) must have the fee(s) paid in full within 10 days of being notified by Building Codes.
 - Schedule all inspections so that final inspections may be obtained within 45 days of receipt of approved permit(s).
 - Schedule all inspections to confirm the removal of structures and debris.

The County will submit a timely Post Hearing Status Report. The report will be sent to the Compliance Hearings Officer and to Respondent. The report may include the following recommendations:

- Payment of Citation Nos. 35019-1, 35019-2, 35019-3, 35019-4, 35019-5, 35019-6, and 35019-7.
- Imposition of civil penalties of up to \$1,000.00 for each Building Code violation and \$2,500.00 for each Zoning violation.
- Imposition of the monthly administrative compliance fee.
- If the violations are not abated, the County may request authorization for further enforcement action including to proceed to Circuit Court.
- The County requests that the Compliance Hearings Officer permanently enjoin Respondent from violating these laws in the future.
- The County also asks that reimbursement be ordered for any expenses the County incurs in the collection of these monies.



After recording return to:
Kaluga LLC
5 Kingswood Circle
Hillsborough, CA 94010

Until a change is requested all tax
statements shall be sent to the
following address:
Kaluga LLC
5 Kingswood Circle
Hillsborough, CA 94010

File No.: 7012-3046882 (BB)
Date: April 19, 2018

THIS SPACE RESERVED FOR RECORDER'S USE

Clackamas County Official Records
Sherry Hall, County Clerk

2018-041863

07/05/2018 02:16:01 PM

D-D Cnt=1 Stn=53 CINDY
\$25.00 \$16.00 \$10.00 \$62.00

\$113.00

STATUTORY WARRANTY DEED

TAS Investments, LLC, Grantor, conveys and warrants to **Kaluga LLC an Oregon limited liability company**, Grantee, the following described real property free of liens and encumbrances, except as specifically set forth herein:

LEGAL DESCRIPTION: Real property in the County of Clackamas, State of Oregon, described as follows:

See Attached Exhibit A

Subject to:

1. Covenants, conditions, restrictions and/or easements, if any, affecting title, which may appear in the public record, including those shown on any recorded plat or survey.

The true consideration for this conveyance is **\$1,700,000.00**. (Here comply with requirements of ORS 93.030)

FIRST AMERICAN 3046882-GR

BEFORE SIGNING OR ACCEPTING THIS INSTRUMENT, THE PERSON TRANSFERRING FEE TITLE SHOULD INQUIRE ABOUT THE PERSON'S RIGHTS, IF ANY, UNDER ORS 195.300, 195.301 AND 195.305 TO 195.336 AND SECTIONS 5 TO 11, CHAPTER 424, OREGON LAWS 2007, SECTIONS 2 TO 9 AND 17, CHAPTER 855, OREGON LAWS 2009, AND SECTIONS 2 TO 7, CHAPTER 8, OREGON LAWS 2010. THIS INSTRUMENT DOES NOT ALLOW USE OF THE PROPERTY DESCRIBED IN THIS INSTRUMENT IN VIOLATION OF APPLICABLE LAND USE LAWS AND REGULATIONS. BEFORE SIGNING OR ACCEPTING THIS INSTRUMENT, THE PERSON ACQUIRING FEE TITLE TO THE PROPERTY SHOULD CHECK WITH THE APPROPRIATE CITY OR COUNTY PLANNING DEPARTMENT TO VERIFY THAT THE UNIT OF LAND BEING TRANSFERRED IS A LAWFULLY ESTABLISHED LOT OR PARCEL, AS DEFINED IN ORS 92.010 OR 215.010, TO VERIFY THE APPROVED USES OF THE LOT OR PARCEL, TO DETERMINE ANY LIMITS ON LAWSUITS AGAINST FARMING OR FOREST PRACTICES, AS DEFINED IN ORS 30.930, AND TO INQUIRE ABOUT THE RIGHTS OF NEIGHBORING PROPERTY OWNERS, IF ANY, UNDER ORS 195.300, 195.301 AND 195.305 TO 195.336 AND SECTIONS 5 TO 11, CHAPTER 424, OREGON LAWS 2007, SECTIONS 2 TO 9 AND 17, CHAPTER 855, OREGON LAWS 2009, AND SECTIONS 2 TO 7, CHAPTER 8, OREGON LAWS 2010.

Dated this 3 day of July, 2018.

TAS Investments LLC

By: [Signature]
Name: Todd Sivertson
Title: Member

STATE OF Oregon)
County of Clackamas) ss.

This instrument was acknowledged before me on this 3 day of July, 2018 by Todd Sivertson as Member of TAS Investments LLC, on behalf of the .

[Signature]

Notary Public for Oregon
My commission expires:

4-6-19.

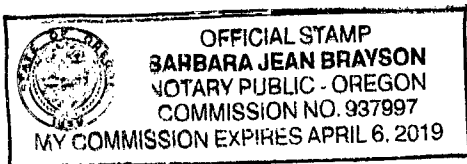


EXHIBIT A

LEGAL DESCRIPTION: Real property in the County of Clackamas, State of Oregon, described as follows:

PARCEL I: 14E31A 01301 00154987

KAC

A TRACT OF LAND SITUATED IN THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 31, TOWNSHIP 1 SOUTH, RANGE 4 EAST, OF THE WILLAMETTE MERIDIAN, IN THE COUNTY OF CLACKAMAS AND STATE OF OREGON, DESCRIBED AS FOLLOWS:

BEGINNING ON THE SOUTH LINE OF SAID SOUTHWEST QUARTER OF THE NORTHEAST QUARTER, AT A POINT, WHICH BEARS NORTH 89°47'50" WEST 259.00 FEET FROM THE SOUTHEAST CORNER OF SAID SOUTHWEST QUARTER; THENCE NORTH 89°47'50" WEST 394.26 FEET TO THE SOUTHWEST CORNER OF A TRACT CONVEYED TO MAX BUTTGEREIT, ET UX, BY DEED RECORDED IN BOOK 199, PAGE 506, DEED RECORDS; THENCE NORTH 0°23'30" EAST TRACING THE WEST LINE OF SAID BUTTGEREIT TRACT, 695 FEET; THENCE SOUTH 89°47'50" EAST, 100 FEET; THENCE NORTH 0°23'30" EAST, 215 FEET; THENCE SOUTH 89°47'50" EAST, 150 FEET; THENCE NORTH 0°23'30" EAST 185 FEET, MORE OR LESS, TO A POINT ON THE SOUTHWESTERLY RIGHT OF WAY LINE OF THE RELOCATED MT. HOOD LOOP HIGHWAY; THENCE SOUTH 45°31'40" EAST ALONG SAID RIGHT OF WAY LINE, 195 FEET, MORE OR LESS, TO THE NORTHWEST CORNER OF THE TRACT CONVEYED TO JOHN H. HARRIS ET AL, BY DEED RECORDED IN BOOK 659, AT PAGE 127, WHICH POINT BEARS NORTH 0°32'50" EAST FROM THE POINT OF BEGINNING THEREOF; THENCE SOUTH 0°32'50" WEST, 950.79 FEET TO THE POINT OF BEGINNING.

PARCEL II: 14E31A 01300 00154978

A TRACT OF LAND SITUATED IN THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 31, TOWNSHIP 1 SOUTH, RANGE 4 EAST, OF THE WILLAMETTE MERIDIAN, IN THE COUNTY OF CLACKAMAS AND STATE OF OREGON, DESCRIBED AS FOLLOWS:

BEGINNING ON THE SOUTH LINE OF SAID SOUTHWEST QUARTER OF THE NORTHEAST QUARTER, AT A POINT, WHICH BEARS NORTH 89°47'50" WEST 259.00 FEET FROM THE SOUTHEAST CORNER OF SAID SOUTHWEST QUARTER; THENCE NORTH 89°47'50" WEST 394.26 FEET TO THE SOUTHWEST CORNER OF A TRACT CONVEYED TO MAX BUTTGEREIT, ET UX, BY DEED RECORDED IN BOOK 199, PAGE 506, DEED RECORDS; THENCE NORTH 0°23'3" EAST TRACING THE WEST LINE OF SAID BUTTGEREIT TRACT, 695 FEET TO THE TRUE POINT OF BEGINNING HEREOF; THENCE SOUTH 89°47'50" EAST, 100 FEET, THENCE NORTH 0°23'30" EAST, 215 FEET; THENCE SOUTH 89°47'40" EAST, 150 FEET, THENCE NORTH 0°23'30" EAST 185 FEET; MORE OR LESS, TO A POINT ON THE SOUTHWESTERLY RIGHT OF WAY LINE OF THE RELOCATED MT. HOOD LOOP HIGHWAY; THENCE NORTH 45°31'30" WEST, ALONG SAID RIGHT OF WAY LINE, 256.50 FEET, MORE OR LESS, TO AN ANGLE POINT THEREIN; THENCE NORTH 40°57'10" WEST ALONG SAID RIGHT OF WAY LINE, 256.50 FEET, MORE OR LESS, TO AN ANGLE THEREIN; THENCE NORTH 40°57'10" WEST ALONG SAID RIGHT OF WAY LINE, 71.34 FEET, THENCE NORTH 89°53'40" WEST 25.38 FEET TO THE WEST LINE OF

AFORESAID BUTTGEREIT TRACT AT A POINT WHICH BEARS NORTH 0°23'30" EAST FROM THE TRUE POINT OF BEGINNING; THENCE SOUTH 0°23'30" WEST, ALONG SAID BUTTGEREIT LINE, 624.35 FEET TO THE TRUE POINT OF BEGINNING.

EXCEPTING FROM PARCEL II THE ABOVE PARCEL CONVEYED TO WALTER R. DORROUGH ET UX, BY DEED RECORDED AUGUST 6, 1982 AS FEE NO. 82-21784.

PARCEL III: 14E31A 01401 00155021

A TRACT OF LAND IN THE EAST ONE-HALF OF THE SOUTHWEST ONE-QUARTER OF THE NORTHEAST ONE-QUARTER OF SECTION 31, TOWNSHIP 1 SOUTH, RANGE 4 EAST, OF THE WILLAMETTE MERIDIAN, IN THE COUNTY OF CLACKAMAS AND STATE OF OREGON, DESCRIBED AS FOLLOWS:

THE WESTERLY 15.00 FEET OF THE FOLLOWING:

BEGINNING AT THE SOUTHEAST CORNER OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 31; THENCE NORTH 0°32'50" EAST ALONG THE EAST LINE OF SAID LEGAL SUBDIVISION, 724.39 FEET TO THE SOUTHWESTERLY RIGHT OF WAY LINE OF THE RELOCATED MT. HOOD LOOP HIGHWAY (DWG. NO. 85-23-3); THENCE NORTH 48°58'40" WEST TRACING SAID RIGHT OF WAY, 294.54 FEET TO AN ANGLE IN SAID RIGHT OF WAY; THENCE NORTH 45°31'40" WEST 48.52 FEET; THENCE SOUTH 0°32'50" WEST 950.79 FEET TO THE SOUTH LINE OF SAID LEGAL SUBDIVISION; THENCE SOUTH 89°47'50" EAST 259.00 FEET TO THE POINT OF BEGINNING.

PARCEL IV: 14E31A 01400 00155012

A TRACT OF LAND SITUATED IN THE EAST ONE-HALF OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 31 TOWNSHIP 1 SOUTH, RANGE 4 EAST OF THE WILLAMETTE MERIDIAN, IN THE COUNTY OF CLACKAMAS AND STATE OF OREGON, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 31; THENCE NORTH 0°32'50" EAST ALONG THE EAST LINE OF SAID LEGAL SUBDIVISION, 724.39 FEET TO THE SOUTHWESTERLY RIGHT OF WAY LINE OF THE RELOCATED MT. HOOD LOOP HIGHWAY (DWG. NO. 88-23-3); THENCE NORTH 48°58'40" WEST TRACING SAID RIGHT OF WAY, 294.54 FEET TO AN ANGLE IN SAID RIGHT OF WAY; THENCE NORTH 45°31'40" WEST 48.52 FEET; THENCE SOUTH 0°32'50" WEST 950.79 FEET TO THE SOUTH LINE OF SAID LEGAL SUBDIVISION; THENCE SOUTH 89°47'50" EAST 259.00 FEET TO THE POINT OF BEGINNING.

EXCEPT THAT PORTION OF A 10 FOOT STRIP OF LAND USED AS A COMMON DRIVEWAY LYING SOUTH OF SAID RELOCATED MT. HOOD LOOP HIGHWAY, DESCRIBED IN THAT CERTAIN CONVEYANCE TO MAX BUTTGEREIT, RECORDED JANUARY 2, 1932 IN DEED BOOK 199, PAGE 506, CLACKAMAS COUNTY DEED RECORDS.

AND FURTHER EXCEPTING THEREFROM THE WESTERLY 15.00 FEET CONVEYED TO MILDRED J. EDMON, BY DEED RECORDED MARCH 22, 1974, AS RECORDERS FEE NO. 74-6955, CLACKAMAS COUNTY RECORDS.

TOGETHER WITH THE ABOVE DESCRIBED TRACTS A NON-EXCLUSIVE EASEMENT FOR INGRESS AND EGRESS OVER AND ACROSS A STRIP OF LAND 25 FEET WIDE IMMEDIATELY ADJACENT TO THE RIGHT OF WAY OF SAID RELOCATED MT. HOOD LOOP HIGHWAY AND EXTENDING NORTHWESTERLY FROM THE NORTHEASTERLY CORNER OF THE ABOVE DESCRIBED TRACTS TO A JUNCTION WITH HALEY ROAD.

PARCEL V: 14E31A 01303 00155003

A TRACT OF LAND LOCATED IN THE SOUTHWEST ONE-QUARTER OF THE NORTHEAST ONE-QUARTER OF SECTION 31, TOWNSHIP 1 SOUTH, RANGE 4 EAST OF THE WILLAMETTE MERIDIAN, IN THE COUNTY OF CLACKAMAS AND STATE OF OREGON, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF THE ABOVE CITED SECTION SUBDIVISION; THENCE ALONG THE SOUTH LINE OF AID SECTION SUBDIVISION, NORTH 89°42'20" WEST A DISTANCE OF 653.26 FEET TO THE SOUTHWEST CORNER OF THAT TRACT OF LAND CONVEYED TO MAX BUTTGEREIT, ET UX, BY DEED RECORDED IN BOOK 199, AT PAGE 506, OF THE CLACKAMAS COUNTY DEED RECORDS; THENCE ALONG THE WEST LINE OF THE SAID BUTTGEREIT TRACT, NORTH 00°29'00" EAST A DISTANCE OF 910.00 FEET; THENCE SOUTH 89°42'10" EAST A DISTANCE OF 90.00 FEET TO A 5/8-INCH IRON ROD AND TO THE TRUE POINT OF BEGINNING; THENCE NORTH 25°23'39" EAST A DISTANCE OF 189.93 FEET TO A RAILROAD SPIKE; THENCE SOUTH 00°29'00" WEST A DISTANCE OF 172.00 FEET TO A 5/8-INCH IRON ROD; THENCE NORTH 89°42'10" WEST A DISTANCE OF 80.00 FEET TO THE TRUE POINT OF BEGINNING.

NOTE: THIS LEGAL DESCRIPTION WAS CREATED PRIOR TO JANUARY 1, 2008.



October 2018 Aerial

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EXHIBIT B PAGE 1 OF 2



Business Registry Business Name Search

[New Search](#)

Business Entity Data

04-02-2024
08:44

Registry Nbr	Entity Type	Entity Status	Jurisdiction	Registry Date	Next Renewal Date	Renewal Due?
1446861-93	DLLC	INA	OREGON	06-05-2018		
Entity Name	KALUGA, LLC					
Foreign Name						

[New Search](#)

Associated Names

Type	PPB	PRINCIPAL PLACE OF BUSINESS		
Addr 1	29450 SE LARIAT LANE			
Addr 2				
CSZ	BORING	OR	97009	Country UNITED STATES OF AMERICA

Please click [here](#) for general information about registered agents and service of process.

Type	AGT	REGISTERED AGENT	Start Date	03-17-2021	Resign Date	
Name	AARON		SHELLEY			
Addr 1	29450 SE LARIAT LN					
Addr 2						
CSZ	BORING	OR	97009	Country	UNITED STATES OF AMERICA	

Type	MAL	MAILING ADDRESS		
Addr 1	29450 SE LARIAT LANE			
Addr 2				
CSZ	BORING	OR	97009	Country UNITED STATES OF AMERICA

Type	MEM	MEMBER		Resign Date	
Name	DEAN		NAJDAWI		
Addr 1	29450 SE LARIAT LN				
Addr 2					
CSZ	BORING	OR	97009	Country	UNITED STATES OF AMERICA

Type	MGR	MANAGER		Resign Date	
Name	DEAN		NAJDAWI		
Addr 1	29450 SE LARIAT LN				
Addr 2					
CSZ	BORING	OR	97009	Country	UNITED STATES OF AMERICA

[New Search](#)

Name History







EXHIBIT C PAGE 1 OF 2

Business Entity Name	Name Type	Name Status	Start Date	End Date
KALUGA, LLC	EN	CUR	06-05-2018	

Please [read](#) before ordering [Copies](#).

[New Search](#)

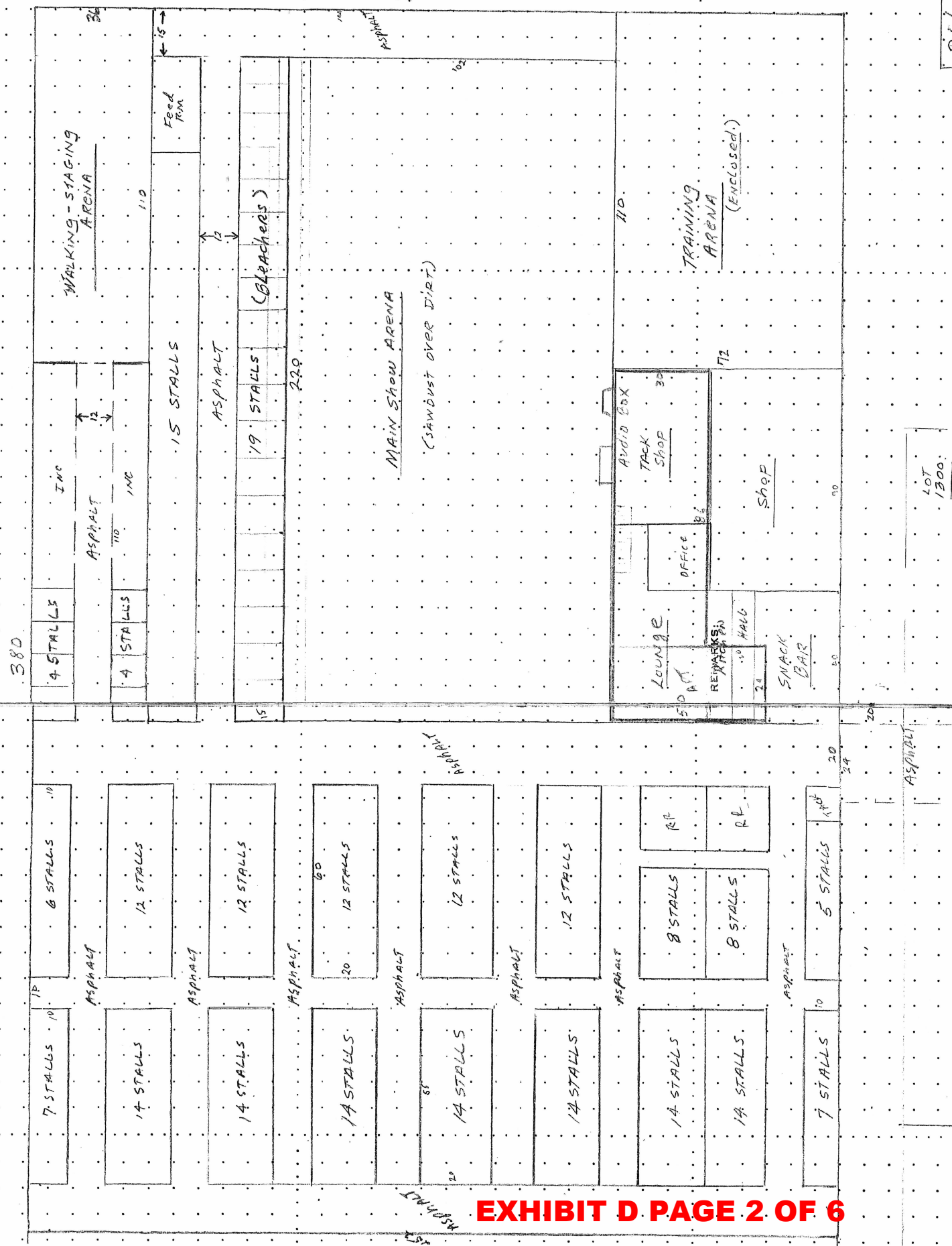
Summary History

Image Available	Action	Transaction Date	Effective Date	Status	Name/Agent Change	Dissolved By
	ADMINISTRATIVE DISSOLUTION	08-03-2023		SYS		
	AMENDED ANNUAL REPORT	06-13-2022		FI		
	REINSTATEMENT AMENDED	09-02-2021		FI		
	ADMINISTRATIVE DISSOLUTION	08-05-2021		SYS		
	AMNDMT TO ANNUAL RPT/INFO STATEMENT	03-17-2021		FI	Agent	
	AMENDED ANNUAL REPORT	05-29-2020		FI	Agent	
	AMENDED ANNUAL REPORT	06-17-2019		FI		
	ARTICLES OF ORGANIZATION	06-05-2018		FI	Agent	

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VALUE SUMMARY		MT. HOOD STABLES 29550-SE HALEY RD. BORING, ORE 97009 <u>1 OF 2</u> PAULA PFEIFFER 507-5600 663-9435									
BUILDING—DEPR. REPL. COST	\$ <u>343352</u>										
YARD IMPROVEMENTS—D.R.C.	\$ <u>545</u>										
OTHER IMPROVEMENTS—D.R.C.	\$ _____										
COST APPROACH: TOTAL D.R.C.	\$ <u>343897</u>										
INCOME APPROACH: BLDG. RESIDUAL	\$ _____										
MARKET APPROACH: BLDG. RESIDUAL	\$ _____										
IMPROVEMENT VALUE CONCLUSION	\$ _____										
RECORD OF LAST APPRAISAL ORS 308.234 APPR. <u>JMC</u> DATE <u>3-20-96</u> APPR. VALUE \$ <u>343890</u> APPR. _____ DATE _____ APPR. VALUE \$ _____ APPR. _____ DATE _____ APPR. VALUE \$ _____											
INT. INSPECTED: <input checked="" type="checkbox"/> YES NO OWNER TENANT MANAGER LIST PRICE \$ _____ BUILT <u>73</u> COST \$ _____ SOLD <u>19</u> AMOUNT \$ _____ CLASS: <u>Concrete Whse</u> TYPE: <u>AVG</u> STORIES: <u>1 +</u> WALL HEIGHT: <u>10</u> PERCENT ADJ. <u>+.921</u> NO. OF UNITS BACKED DETACHED <u>MIS 14-32</u> SQUAREFOOT ITEMS LUMP SUMS FOUNDATION <u>CONC BLK BRICK STONE FRAME WD BLK</u>											
EXTERIOR	WD FR: SGL DBL SIDING: BEVEL RUSTIC VERT B&B SHAKE: WD ASS COMPO CONC: POURED <u>TILT-UP</u> BRICK: VEN SOLID CONC BLK TILE STUCCO METAL CURTAIN: _____										
ROOF	WD FR METAL <u>FLAT</u> SHED GAB HIP <u>ARCH</u> MONITOR SAWTOOTH <u>EXP BM</u> TRUSSED COVER: <u>BUILT-UP</u> COMPO ROCK SHAKE SHGL CONC METAL (LEAKS) <u>SKYLITES</u>										
1ST FLOOR	WD FR: SGL DBL FIR HWD CONC: <u>GRADE ELEV 9.9</u> COVER: NONE LINO TILE CARPET <u>95760 X 11.8 X .99</u> (CONC) USE: <u>+73320 X 1.15 X .99</u> (ASPH)										
INTERIOR	INTERIOR FACING: FUR'D PLB DRYWALL COMP WD CONC PARTITIONS: WD FR PLAS DRYWALL COMP CONC BLK BRICK TILE CEILING: PLAS ACOUSTIC COMP SUSP <u>OB (in lounge)</u> DEPT STORE MARKET RESTAURANT OFFICES AUTO SHOWROOM										
ELECTRICAL	FEW AVG MANY <u>+</u>										
PLUMBING	TOIL LAV URINAL TUB SHWR KIT SINK SERV SINK HWT DR FOUN PL DRAIN <u>1 3 3 1</u>										
HEATING & COOLING	FURNACE: FA STEAM HOT WATER UNIT BASEBD CONVEC RAD: FL. CLG W OIL GAS <u>ELEC</u> EVAP COOLERS REFRIG <u>APT Lounge etc</u> <u>SEE BELOW UNFINISHED</u>										
BASEMENT	NONE FULL 1/2 1/4 'X' WALLS: CONC FL: CONC UNFIN INTERIOR FACING: PARTITIONS: USE: _____										
UPPER STORIES	FLOOR: FIR HWD SGL DBL ELEV CONC LINO TILE CARPET INTERIOR FACING: PARTITIONS: <u>UNFINISHED</u> USE: <u>APT, Audio Box, BARN 3780 @ 8.50 UPSTAIR</u>										
ADDITIVES	<u>14-32</u> INTERIOR OFFICE, SNACK BAR, LOUNGE ETC: <u>7920 @ 27.00 X 99</u> <u>67-3</u> BLEACHERS WD FRAME (UNDER 1000 STS) <u>3520 @ 11.45 X 1.06</u> <u>47-3</u> STALLS <u>25,775 @ .44</u> (FLOOR ABOVE) <u>X 1.06</u> <u>1264 @ 95760 SF PERIMETER ADJ</u> <u>- .8785</u>										
REMARKS:	SUMMARY OF BUILDING COMPUTATION										
<u>APPLICANT NOT USABLE</u> <u>INTERIOR OFFICE, SNACK BAR, LOUNGE, ETC USED ONLY ONCE</u> <u>IN A WHILE DEMAND FOR IMPROVEMENT LIMITED</u> <u>EFFECTIVE AGE 20 YEARS</u> <u>* BELOW CLASS</u> <u>* 1987 CONTRACT (87-19233)</u> <u>STILL INDICATES LIMITED DEMAND FOR THIS USE</u> APPRAISER: <u>JMC</u> DATE: <u>3-20-96</u>	<table border="1" style="width:100%; border-collapse: collapse;"> <tr> <td>TOTALS</td> <td>+</td> <td></td> <td></td> <td></td> </tr> <tr> <td>NET ADJ.</td> <td>-</td> <td></td> <td></td> <td></td> </tr> </table>	TOTALS	+				NET ADJ.	-			
	TOTALS	+									
	NET ADJ.	-									
	BASE FACTOR <u>19.80</u> X <u>.809</u> = <u>16.02</u> BUILDING AREA <u>95760</u> SQ. FT. X <u>16.02</u> P.S.F. = <u>1,534,025</u> TOTAL BASE COST <u>1,534,025</u> 19 <u>96</u> COST INDEX <u>110</u> % X QUALITY <u>80</u> % = <u>88</u> % MODIFIER REPLACEMENT COST <u>1,492,834</u> DEPRECIATION: <u>27</u> % PHYSICAL <u>30</u> OBSOL <u>23</u> % GOOD DEPRECIATED REPLACEMENT COST (TRANSFER TO VALUE SUMMARY) <u>343352</u>										

BUILDING DIAGRAM-AREA COMPUTATION



Bill Ann

YARD IMPROVEMENTS—MISCELLANEOUS

ITEM	UNIT COST	NO. OR AREA	BASE COST	% QUAL.	% INDEX	REPL. COST	% GOOD	DEPRECIATED REPLACE- MENT COST
FUEL PUMP								
PUMP ISLAND								
AIR AND WATER WELL								
UNDERGROUND FUEL TANK GALLONS								
AIR COMPRESSOR H.P.								
AUTO HOIST								
YARD LIGHTS								
CONCRETE PAVING								
ASPHALT PAVING 20x24	1.25	480	6000		1.18	708	77	545
CONCRETE WALK								
CONCRETE CURB								
CANOPY								

APPRaiser: DATE: TOTAL DEPRECIATED REPLACEMENT COSTS: (TRANSFER TO VALUE SUMMARY) \$ 548

INCOME SCHEDULE						OPERATING EXPENSES SCHEDULE			
FLOOR	TENANT	TYPE OF BUSINESS	INCOME			INSURANCE		REPAIRS	
			REPORTED		WARRANTED PER YEAR				
			PER MONTH	PER YEAR					
						HEAT		ADVERTISING	
						LIGHT		BAD DEBTS	
						WATER		MANAGEMENT	
						SANITATION			
						TELEPHONE			
						SUPPLIES			
TOTAL GROSS INCOME \$						TOTAL EXPENSES \$			

MARKET DATA APPROACH	INCOME CAPITALIZATION APPROACH
	WARRANTED GROSS INCOME \$ _____
	VACANCY ALLOWANCE ____% \$ _____
	OPERATING EXPENSES \$ _____
	CHARGES TO PERSONAL PROPERTY:
	\$ _____ X ____% = \$ _____
	CHARGES TO LAND:
	\$ _____ X ____% = \$ _____
	TOTAL CHARGES - \$ _____
	NET INCOME BEFORE INT. DEPR. & TAXES \$ _____
	SELECTION OF CAPITALIZATION RATE:
	INT. ____% DEPR. ____% TAXES ____%
	BUILDING VALUE RESIDUAL:
	NET INCOME \$ _____ ÷ ____% RATE = \$ _____
	GROSS MULTIPLIER APPROACH
	GROSS INCOME \$ _____ X MULTIPLIER _____ = \$ _____
	LESS PERSONAL PROPERTY VALUE - \$ _____
	LESS LAND VALUE - \$ _____
	BUILDING VALUE RESIDUAL \$ _____

APPRAISER: _____ DATE: _____ (TRANSFER CONCLUSIONS TO VALUE SUMMARY)

VALUE SUMMARY

BUILDING—DEPR. REPL. COST	\$ 18201
YARD IMPROVEMENTS—D.R.C.	\$ 1090
OTHER IMPROVEMENTS—D.R.C.	\$ 25291
COST APPROACH: TOTAL D.R.C.	\$ 25291
INCOME APPROACH: BLDG. RESIDUAL	\$
MARKET APPROACH: BLDG. RESIDUAL	\$
IMPROVEMENT VALUE CONCLUSION	\$

MT. Hood STABLES

29550 SE HALEY Rd.

BORING, OR 97007

2 OF 2

RECORD OF LAST APPRAISAL ORS 308.234

APPR. <u>JHS</u> DATE <u>3-20-84</u>	APPR. VALUE \$ <u>25290</u>
APPR. _____ DATE _____	APPR. VALUE \$ _____
APPR. _____ DATE _____	APPR. VALUE \$ _____

INT. INSPECTED: YES NO OWNER TENANT MANAGER	LIST PRICE \$	PERCENT ADJ. + T -	SQUAREFOOT ITEMS + T -	LUMP SUMS
BUILT IN <u>73</u> COST \$ _____ SOLD IN _____ AMOUNT \$ _____				
CLASS: <u>COMMERCIAL WAREHOUSE</u> TYPE: <u>LC</u> STORIES: <u>1</u> WALL HEIGHT: <u>20'</u>		<u>1.133</u>		
NO. OF UNITS _____ BACKED _____ DETACHED <u>MES 14-32</u>				
FOUNDATION: <u>CONC BLK BRICK STONE FRAME WD BLK</u>				
EXTERIOR: <u>WD FR: SGL DBL SIDING: BEVEL RUSTIC VERT B&B SHAKE: WD ASB COMPO CONC: FOURED TILT-UP BRICK: VEN SOLID CONC BLK TILE STUCCO METAL CURTAIN</u>				
ROOF: <u>WD FR METAL FLAT SHED GAB HIP ARCH MONITOR SAWTOOTH EXP RM TRUSSED COVER: BUILT-UP COMPO ROCK SHAKE SHGL CONC METAL</u>				
1ST FLOOR: <u>WD FR: SGL DBL FIR HWD CONC: GRADE ELEV COVER: NONE LINO TILE CARPET USE: BARN-STORAGE</u>				
INTERIOR: <u>INTERIOR FACING: FUR'D PLS DRYWALL COMP WD CONC PARTITIONS: WD FR PLAS DRYWALL COMP CONC BLK BRICK TILE O CEILING: PLAS ACOUSTIC COMP SUSP EXP DEPT STORE MARKET RESTAURANT OFFICES AUTO SHOWROOM</u>				
ELECTRICAL: <u>FEW AVG MANY</u>				
PLUMBING: <u>TOIL LAV URINAL TUB SHWR KIT SINK SERV SINK HWT DR FOUN FL DRAIN O NO SINK OR WATER</u>				
HEATING & COOLING: <u>FURNACE: FA STEAM HOT WATER UNIT BASED CONVEC RAD: FL. CLG W OIL GAS ELEC EVAP COOLERS REFRIG O</u>				
BASEMENT: <u>NONE FULL 3/4 1/2 1/4 ' X ' WALLS: CONC FL: CONC UNFIN INTERIOR FACING: PARTITIONS: USE:</u>				
UPPER STORIES: <u>FLOOR: FIR HWD SGL DBL ELEV CONC LINO TILE CARPET INTERIOR FACING: PARTITIONS: USE:</u>				
ADDITIVES: <u>1434 FIRE SPRINKLER SYSTEM 5000' @ 1.54 X .99</u>				<u>7623</u>
<u>300 L' @ 5000 SF perimeter adj</u>		<u>+ 1.027</u>		
REMARKS: <u>TILT UP CONCRETE DEMAND FOR PRESENT USE LIMITED EFFECTIVE AGE 20 YRS * FAR BELOW CLASS (FARM QUALITY)</u>				

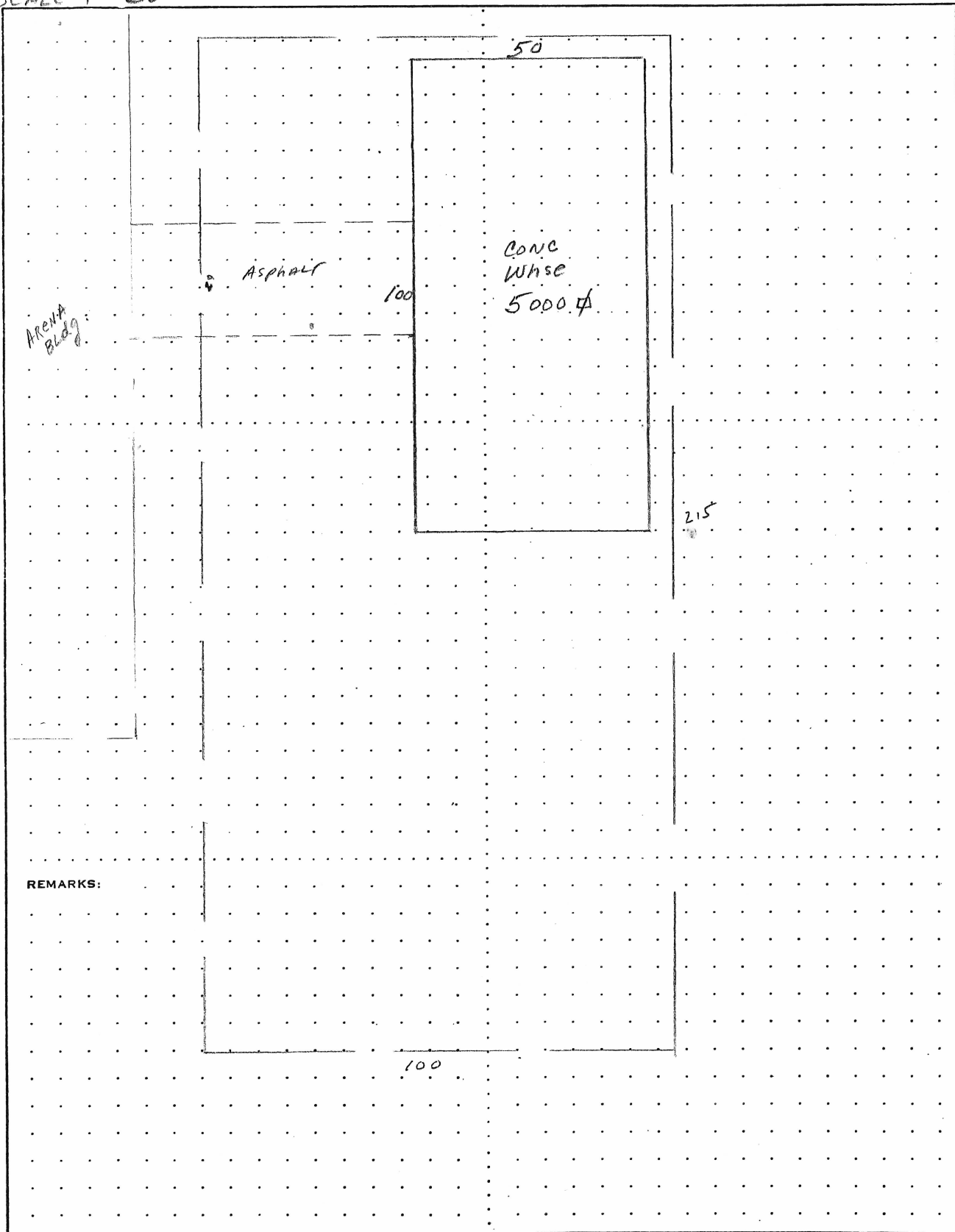
SUMMARY OF BUILDING COMPUTATION

TOTALS	+ 1.227
NET ADJ.	-

BASE FACTOR	<u>14.39</u>	x	<u>1.227</u>	%	<u>17.66</u>
BUILDING AREA	<u>5000</u>	sq. ft. x	<u>17.66</u>	p.s.f. =	<u>88300</u>
TOTAL BASE COST					<u>95923</u>
19 <u>96</u> COST INDEX	<u>110</u>	%	X QUALITY	<u>75</u>	% = <u>83</u>
REPLACEMENT COST					<u>79136</u>
DEPRECIATION:	<u>77</u>	%	PHYSICAL	<u>30</u>	OBSDL <u>23</u> % GOOD
DEPRECIATED REPLACEMENT COST (TRANSFER TO VALUE SUMMARY)					<u>18201</u>

SCALE 1"=30'

BUILDING DIAGRAM-AREA COMPUTATION



REMARKS:

YR BUILT	T
EXCAVATION	
	EXC.
	FILL
FLOORS AND	
	SOF
	HAR
	WOC
	CON
	LINC
	ASPI
CEILINGS	
	PLA
	DRY
ROOF, DECK	
	FLA
	ARC
	WOC
	WOC
	BUI
	SHI
	MET
ELECTRICAL	
	UNF
	FEW
	AVE
	MAN
HEATING, CC	
	FOR
	HOT
	BAS
	WAI
	OIL
APPRaiser:	

YARD IMPROVEMENTS—MISCELLANEOUS

ITEM	UNIT COST	NO. OR AREA	BASE COST	% QUAL.	% INCEX	REPL. COST	% GOOD	DEPRECIATED REPLACE- MENT COST
FUEL PUMP								
PUMP ISLAND								
AIR AND WATER WELL								
UNDERGROUND FUEL TANK	GALLONS							
AIR COMPRESSOR	H.P.							
AUTO HOIST								
YARD LIGHTS								
CONCRETE PAVING								
ASPHALT PAVING	45X24	1.25	1080	1350	1.18	1593	77	1227
CONCRETE WALK								
CONCRETE CURB								
#9 MALK SHED CC MTL GRL 18" HIGH 21X26	6.35	546	3467	1.18	4091	90	3682	
CANOPY 20X50 FLAT WD. CANOPY	2.40	1000	2400	1.18	2832	77	2181	

APPRaiser: _____ DATE: 10/1/71 TOTAL DEPRECIATED REPLACEMENT COSTS: (TRANSFER TO VALUE SUMMARY) \$ 7090

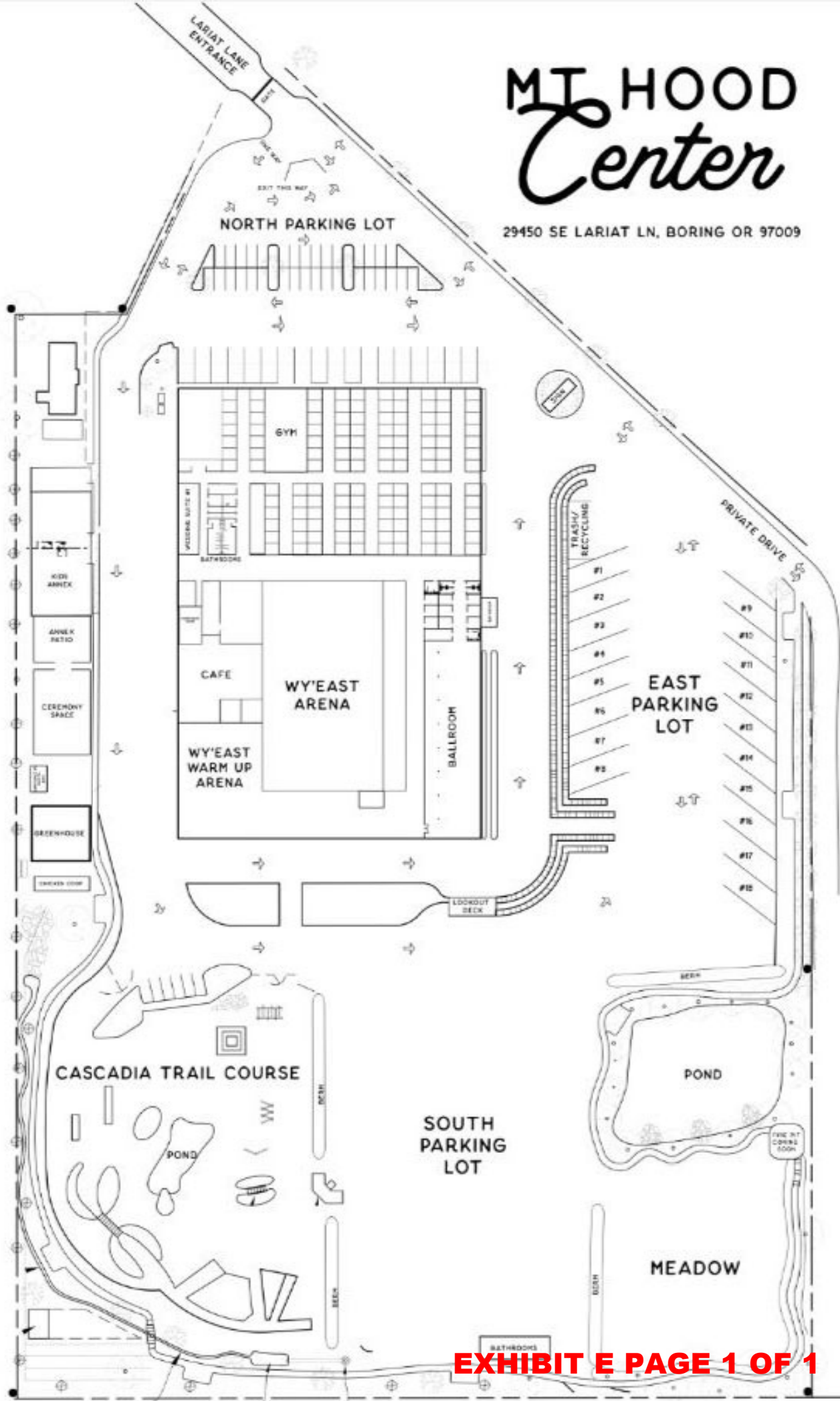
INCOME SCHEDULE						OPERATING EXPENSE SCHEDULE			
FLOOR	TENANT	TYPE OF BUSINESS	INCOME			INSURANCE		REPAIRS	
			REPORTED		WARRANTED PER YEAR				
			PER MONTH	PER YEAR					
						HEAT		ADVERTISING	
						LIGHT		BAD DEBTS	
						WATER		MANAGEMENT	
						SANITATION			
						TELEPHONE			
						SUPPLIES			
TOTAL GROSS INCOME \$						TOTAL EXPENSES \$			

MARKET DATA APPROACH	INCOME CAPITALIZATION APPROACH
	WARRANTED GROSS INCOME \$ _____
	VACANCY ALLOWANCE _____% \$ _____
	OPERATING EXPENSES _____% \$ _____
	CHARGES TO PERSONAL PROPERTY:
	\$ _____ X _____% = \$ _____
	CHARGES TO LAND:
	\$ _____ X _____% = \$ _____
	TOTAL CHARGES - \$ _____
	NET INCOME BEFORE INT. DEPR. & TAXES \$ _____
	SELECTION OF CAPITALIZATION RATE:
	INT. _____% DEPR. _____% TAXES _____%
	BUILDING VALUE RESIDUAL:
	NET INCOME \$ _____ ÷ _____% RATE = \$ _____
	GROSS MULTIPLIER APPROACH
	GROSS INCOME \$ _____ X MULTIPLIER _____ = \$ _____
	LESS PERSONAL PROPERTY VALUE - \$ _____
	LESS LAND VALUE - \$ _____
	BUILDING VALUE RESIDUAL \$ _____

APPRAISER: _____ DATE: _____ (TRANSFER CONCLUSIONS TO VALUE SUMMARY)

MT HOOD Center

29450 SE LARIAT LN, BORING OR 97009



Planning Division

932435

932443

932469

932477

Serial #

File # C.I.D. - 829-81

Legal : 1^S 4^E sec. 31A
1300, 1302

Tax Lot 1400, 1401



November 15, 1984

In memoriam (1935-1984)
John C. McIntyre

WINSTON W. KURTH ARDIS M. STEVENSON
Director Assistant Director

William H. Doak
7525 S.E. Lake Road #9
Milwaukie, OR 97222

SUBJ: Sand Filter Plan Check #PC-22-84
 Richard Dorrough dba Mt. Hood Stables
 Tax Lot 1501, Section 31A, T1S, R4E

The sand filter plans reviewed and returned by the Oregon Department of Environmental Quality are found to not be the same plans as your original submittal. The major differences appear to pertain to the design of the septic tank, the dosing tank-pump station and some detail pertinent to the construction of the sand filter unit.

Item #4 of the Department's letter dated September 28, 1984 requires a specific design criteria for the dosing tank. That criteria identified as DEQ Form WT208 is enclosed for your review. This office feels there are other methods and construction practices, using the tank you have proposed which can be modified in order to meet the intent of the Department's design criteria. A redesign of the dosing tank appears necessary.

As a public facility, it will be the strong recommendation of this office that the system be equipped with two pumps installed in duplex. Given that the facility involves food preparation, the kitchen will need to be serviced by a grease trap apparatus. Enclosed is information on the design of such a unit. A cursory review of the plans finds the following items to also need clarification and/or detail:

- a) The construction, bedding and backfill materials for the pressure transport line through the driveway-parking lot area.
- b) It is recommended the ends of the sand filter distribution piping be equipped with "turnups" to finished grade for ease of access and maintenance.
- c) The cleanout over the inlet to the septic tank and those cleanouts over the inlet and outlet of the required grease trap apparatus will need water tight risers to finished grade with a removable cap for ease of cleaning.



- d) Additional detail of the construction of the effluent sewer from the sand filter to the drainfield. Since this line will be "loaded" at all times, with sewage effluent, due to its reverse grade, it is important that its construction be detailed for the contractor with provisions to prevent damage, leakage, etc.
- e) Detail on the methods and materials to be used to restrict traffic from traveling and parking over the septic tank, dosing tank, and grease trap. If, on the other hand, vehicle traffic will not be restricted from these areas, then engineer design of all these units would be necessary, submitted for evaluation of structural loading and strength through the Building Department.
- f) As a public facility, the electrical portion of the pump installation will need to be done under a Department of Commerce permit, inspected and approved. It is likely to be somewhat detailed based upon the hazardous environment of the dosing tank.
- g) It is the recommendation of this office that the electrical control panel be equipped with a counter which tracks the number of cycles of the pumps in a continuous manner. This device can be used to monitor and calculate daily waste flows.

At this time, this office is unable to proceed with the plan check of the proposed sand filter system. We have enclosed both copies of those plans presently in our possession. Resubmittal of two complete, corrected sets will need to be made before we can proceed with any further evaluation. If you have any questions or need further information, please feel free to contact this office.

DANIEL M. BUSH - Soil Scientist
Development Services Division

/mb

cc: Ken Spiegle, Code Compliance
Steve Dahl, Department of Environmental Health
Max Talbot, Planning Department

May 11, 1984



DEVELOPMENT SERVICES DIVISION

JOHN C. MCINTYRE
Director

RICHARD L. DOPP
Development Services
Administrator

Richard Dorrough
c/o Mt. Hood Equistrian Center
29450 S.E. Lariat Lane
Boring, OR 97009

SUBJ: On-site Sewage Disposal for
Tax Lot 1301, Section 31A, T1S, R4E

Subsequent to our discussion on May 7, 1984, I have attempted to calculate an appropriate maximum daily sewage flow for the horse arena located on the above property. Based on the seating capacity of the current show arena and of the existing snack bar, it seems prudent to increase the minimum design criteria for your Sand Filter system from the previously projected 700 gallons per day to a 1250 gallon per day system. The rationale for this change is described in the following paragraphs.

The Department of Environmental Qualities guidelines for establishing sewage flows suggest that one should figure approximately 2 gallons of sewage flow for every customer served at a single service restaurant facility. Further, sewage flows for facilities such as airports, picnic parks with toilet facilities, etc. are estimated at approximately 5 gallons per person. An allowance must also be made for your employees and for the veterinary office. A conservative estimate of maximum daily sewage flows for these two operations is 150 gallons per day. Assuming that under normal operations, the maximum number of people expected for any given horse show or event is 180 (approximately half of your seating capacity), a 900 gallon sewage flow could be calculated. Further, if 100 of those people were served meals, an additional 200 gallons of sewage flow could be expected. The sum total of this is 1250 gallons per day as a maximum projected daily sewage flow. If your Sand Filter and drain-field system were designed for such a sewage flow, this office would have no objections to issuing the appropriate construction permit. I am willing to review any statistics you may have with regard to your actual water use. In that connection, you may wish to provide us with pumping records on the existing holding tank or water use records based on bills received from your water district. This information could be used to adjust the design criteria for the Sand Filter system either up or down to match actual or perhaps more



realistic maximum projected daily sewage flows. Please keep in mind that it is essential that the Sand Filter system be designed based on maximum projected daily sewage flows. Underdesigned sand filters may clog and fail, resulting in expensive and unnecessary repairs.

I have also discussed the matter of the snack bar and lounge with Dominic Mancini and Max Talbot of the Planning Department. Our discussion indicates that the snack bar itself appears to be consistent with the conditional use granted by the Clackamas County Board of Commissioners. However, the Planning Department has some significant reservations with regard to the separate lounge facility. At this point, the Planning Department has informed me that they feel that the lounge facility is a violation of your conditional use permit. Unless they can be satisfied that such is not the case, they will oppose the issuance of permits of any kind for the operation of the lounge. It appears that this problem may be a major stumbling block to operation of your facility in a manner that you desire. It is recommended that you contact Max or Dominic at your earliest convenience to discuss your options for resolution of this problem. Since the Planning Department has the final say on the issuance of any permit, including a septic tank permit, it would be in your best interest to resolve this problem before the time comes when you wish to obtain your permit for the septic system.

In summary, based on the best available information, it appears that an increase in the projected daily sewage flow for this facility is in order. Further, it appears that you have some additional problems with regard to the Planning and Zoning Ordinances for your establishment. We trust you will take the appropriate steps to remedy all of the problems indicated above in the near future. In the meantime, if you have any questions concerning this letter, please feel free to contact me.

RICHARD L. POLSON
Chief Soils Scientist

/mb

cc: Dominic Mancini
Max Talbot, Planning Department
Ken Spiegle, Code Compliance
Steve Dahl, Dept. of Environmental Health



DEPARTMENT
OF
HUMAN RESOURCES

PUBLIC
HEALTH
DIVISION

THOMAS M. TROXEL, DIRECTOR

TELEPHONE

John E. Cleland, M.D.
HEALTH OFFICER
Margaret Leabo
NURSING SERVICES
James F. Buckley
ENVIRONMENTAL HEALTH
Jeanette McKeown
CLINIC SERVICES

May 18, 1984

Dick Dorrough
Mt. Hood Equestrian Center, Inc.
29450 SE Lariat Lane
Boring, OR 97009

RE: License approval for the Mt. Hood Equestrian Center Food Service Facilities

Mr. Dorrough, as part of the license approval process, this office must verify that your facility is in compliance with the Eating and Drinking Establishment Rules, Chapter 333, OAR-32-001 to 32-075. Within the "Eating and Drinking Establishment" Rules, OAR-32-023 requires that your facility be in compliance with the "State Plumbing Code" and "ORS Chapter 454 and the Administrative Rules within."

To verify compliance with the above requirements, the files were checked at the Environmental Services Division Offices on March 30, 1984. The following deficiencies were noted:

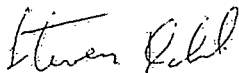
1. There was no plumbing approval by the Plumbing Office for the food service facilities. You will need to contact Bill Witt at 655-8521 and arrange for a plumbing inspection and approval.
2. The existing sand filter plan approval does not include the sewage loading from the eating facilities especially when seating is provided for customer use in the dining and lounge area. A new sand filter plan for review will need to be submitted to Dick Polson. We recommend you contact Dick Polson at 655-8521 for more information.

In addition to the above, the lounge area cannot be approved for use due to the lack of a handwash sink and the lack of cleanable surfaces behind the bar, as noted on the March 30, 1984 inspection report. The Planning Department has informed this office that the conditional use approval does not include the use of additional rooms set up as a lounge area as found from the March 30, 1984 inspection.

Letter to Dick Dorrough
May 18, 1984
Page 2

This office intends to begin license denial proceedings within 30 days from the date of this letter unless this office can verify that there is now plumbing approval from the Plumbing Department, an approved sewage disposal plan, and the lounge has been brought into compliance with the food rules. In light of the conditional use violation involving the lounge, County Counsel may require this office to deny the license unless you make it clear to the Planning Department, in writing, that you intend not to use the lounge.

If you have any questions, please feel free to call this office at 655-8384.



Steven A. Dahl, R.S., Sanitarian
Environmental Health Section

/jt/kb
5870C/76A

Enclosures: Oregon Revised Statutes, Chapter 624

cc: Bill Witt, Plumbing Department, ESD
Dick Polson, Soils Department, ESD
Max Talbot, Planning Department, ESD
Ken Udall, OLCC, License Division Regional Office, 7940 SE Division,
Suite C, Portland, OR 97206

MOUNT HOOD EQUESTRIAN CENTER
29450 S.E. LARIAT LANE
BORING, OREGON, 97009

May 7, 1984

Max Talbot
Planning Department
Department of Environmental Services
902 Abernethy Road
Oregon City, Oregon, 97045

Dear Mr Talbot:

Thank you for the courtesy of sending me a copy of your memo to Jim Buckley dated April 24, 1984. The memo concerns an application made be the Equestrian facility for a restaurant license.

Let me state for the record:

- (1)Serving of customers at tables is not done at the Equestrian facility.
- (2)Our snack bar area has an opening to the kitchen area thru which orders are placed and picked up by the customers themselves not by a waiter or waitress.
- (3)Tables and chairs are utilized for the purpose of eating the food already picked up by the customer.
- (4)The facility does not have a separate kitchen facility.

An examination of the October 11, 1982 proceecings of the Board of County Commissioners is in order. Nowhere will you find any specific or implied instruction that the food at the snack shop be consumed in a standing position. The presence of tables and chairs at the dining area does not imply that "sit down dining" is taking place in the eating area.

I certainly hope that the apparent confusion concerning the operation of the snack bar area can be eliminated. If you have any questions please contact me at 663-5588.

Thank you,

Richard Dorrough
Mount Hood Equestrian Center

cc: Jim Buckley - Environmental Health
Steve Dahl - Environmental Health
Dave Phillips - Code Enforcement
Ken Spiegel - Code Compliance
Richard Polson - Soils Department
Dick Nolan - Building Department

MOUNT HOOD EQUESTRIAN CENTER
29450 S.E. LARIAT LANE
BORING, OREGON, 97009



April 23, 1984

Richard L. Polson
Chief Soils Scientist
Department of Environmental Services
902 Abernethy Road
Oregon City, Oregon, 97045

Dear Mr. Polson:

Your letter of April 5, 1984 was sent to me by certified mail with postage due. My answer in this matter was delayed because not knowing who the postage due postage due letter was from. I did not take the letter serious, and almost did not respond. A copy of the envelope is enclosed for your inspection.

Let me assure you that the usage for food service at the equestrian center has not changed. We have only attempted to comply with the Department of Environmental Health's requirement that we obtain a "restaurant" license. The same is true for OLCC's requirement for service of beer and wine. Neither the Department of Environmental Health nor the OLCC has a "snack shop" approval which is the terminology for the approval given to the equestrian facility by the Board of County Commissioners. Our snack bar area has an opening thru the kitchen wall where orders are placed and picked up.

An examination of the records of approval for a snack shop at the equestrian facility will reveal a desire on the part of the County Commissioners that the snack bar be operated "incidental to" the operation of the horse facility. That is no outside sales to non horse related patrons. The food sales at the equestrian facility occur to people already there for horse activities. What seating we have at the snack bar is necessary in order to serve the exhibitors during the show breaks. We welcome the opportunity to recount the seating with Mr. Dahl to determine a more accurate count of seating in our snack bar.

The size of the on-site sewage disposal system should be far more related to the size of the horse activity than to the number of seats in the snack bar. Whether or not we have a snack bar the same number of people will use the restrooms. The exhibitor who comes to a horse show is here for the whole day, until the end of his horse activities.

April 23, 1984
Richard L. Polson
Page 2

If you find that the 700 gallon per day sand filter system is adequate for the needs of the equestrian facility we are prepared to present plans for construction of the system and to start construction as weather permits. If on the other hand you determine that a larger capacity sand filter system necessary please advise me of the size so that plans can be drawn for its' construction.

Awaiting your reply.

Richard Dorrough
Mount Hood Equestrian Center

cc: Ron Stangel - Planning Dept., Clackamas Co.
Ken Spiegle - Code Compliance, Clackamas Co.
Steve Dahl - Dept. of Environmental Health, Clackamas Co.

CERTIFIED MAIL

902 ABERNETHY ROAD
OREGON CITY, OREGON 97045



CLAIM CHECK
NO.
133118

Q HOLD

DATE

4-7
1ST NOTICE

2ND NOTICE

RETURN

4-12
4-82

Detached from
No. Form 3843-A
Oct. 1980

Richard Dorrough
c/o Mt. Hood Equestrian Center
29550 S.E. Haley Road
Boring, OR 97009



TO: Environmental Health, c/o Jim Buckley
FROM: Max Talbot, Planning Department
DATE: April 24, 1984
SUBJECT: Restaurant License for the Mt. Hood Stable

This memo is in response to a conversation that I had with Steve Dahl of your office on April 23, 1984. The conversation centered on an application request that your office is presently processing regarding a restaurant license for the Mt. Hood Stables. This memo is to clarify this office's position regarding that license as well as providing some historical background on this particular property.

On October 11, 1982 the Board of County Commissioners approved a horse stable facility for this piece of property (a copy of that decision is enclosed). Condition #3 of that approval states, "the Board finds that a snack shop and tack shop which would be incidental to the operation of the riding stable, ought to be allowed".

On February 13, 1984 the owner of the property, Walter R. Dorrough requested a recommendation from this office, to the Board of County Commissioners, for a liquor license. The recommendation that this office made (a copy of which is enclosed) was for approval subject to a condition that the license be strictly for a snack shop which was to be incidental to the riding stable operation and was not to be issued as a restaurant. It is the opinion of this office the request that Mr. Dorrough is making now for a restaurant license is clearly in excess to the intent of the Board of County Commissioner's decision. It is the conclusion of this office that a snack bar would not include sit down dining provisions, nor would it include ordering through a waiter or waitress situation. In addition, a snack bar would not include a separate kitchen facility separate from the bar or serving area.

This office, therefore, is requesting that the request for a restaurant license through your office be denied. I hope that you understand that the position this office is taking on this issue is based directly upon the decision made by the Board of County Commissioners. Although County agencies work under many different sets of rules and regulations, it would appear that the decision by the County Commissioners to allow only a snack bar should be considered by all County agencies when approving any licenses or permits on that piece of property. This office would respectfully request your consideration on this matter. If you have any further questions or clarifications on this issue, feel free to contact me at this office.

MT:elk

cc: Walter Dorrough
P.O. Box 38
Boring, Oregon 97009
Dave Phillips, Code Enforcement
Dick Polson, Soils Department
Dick Nolan, Building Department
File No. 829-81-C,I

STATE OF OREGON
OREGON LIQUOR CONTROL COMMISSION

9079 S.E. McLoughlin Boulevard
P.O. Box 22297
Portland, Oregon 97222

APPLICATION

GENERAL INFORMATION

No 5632

The filing of this application does not commit the Commission to the granting of the license that you are applying for nor does it permit you to operate the business named below. If a license is granted by the Commission, you will receive a LICENSE CERTIFICATE.

No fee is collected by OLCC until a LICENSE CERTIFICATE is to be issued.

(THIS SPACE IS FOR OLCC OFFICE USE)

(THIS SPACE IS FOR CITY OR COUNTY USE)

Application is being made for:

BOTTLER
BREWERY
DISPENSER CLASS A
DISPENSER CLASS B
DISTILLERY
DRUGGIST
FARMER'S WINERY
INDUSTRIAL ALCOHOL
RAILROAD, PUBLIC PASSENGER CARRIER OR BOAT
RESTAURANT
RETAIL MALT BEVERAGE
SEASONAL DISPENSER
SPECIAL EVENTS DISPENSER
WHOLESALE MALT BEVERAGE AND WINE
WINERY

Greater Privilege
Lesser Privilege
New Licensee
New Location
New Outlet
New Partner

OREGON LIQUOR CONTROL COMMISSION
RECEIVED
FEB 10 1984

LICENSE DIVISION

NOTICE TO CITIES AND COUNTIES: Do not consider this application unless it has been stamped and signed at it left by an OLCC representative.

THE CITY COUNCIL, COUNTY COMMISSION, OR COURT

COURT OF Clackamas
(Name of City or County)RECOMMENDS THAT THIS LICENSE BE: GRANTED ☒DENIED ☐DATE 2-13-84BY Map O. [Signature]
(Signature)TITLE Senior Planner

CAUTION: If your operation of this business depends on your receiving a liquor license, OLCC cautions you not to purchase, remodel, or start construction until your license is granted.

1. Name(s) of individual applicant(s), partnership, or corporation: Mount Hood Equestrian Center, Inc.

1) W.R. Dorrpugh 2940 S.E. Mariat Boring Ore 97009
(Name) (Address) (City) (State) (Zip)
2) Linda Ferguson 2940 S.E. Mariat Boring Ore 97009
(Name) (Address) (City) (State) (Zip)
3) Phillip C Ferguson 2208 4 St Sacto, Ca
(Name) (Address) (City) (State) (Zip)
4) Elizabeth Ferguson 2208 L St Sacto, Ca
(Name) (Address) (City) (State) (Zip)

(EACH PERSON LISTED ABOVE MUST FILE AN INDIVIDUAL HISTORY AND A FINANCIAL STATEMENT)

2. Trade name of premises Mt. Hood Equest. Ctr When filed: 10-82
(Year Name Filed with Corporation Commission)

3. Former trade name _____

4. Premises address 29450 S.E. Mariat Boring Clackamas Ore 97009
(Number, Street, Rural Route) (City) (County) (State) (Zip)5. Business mailing address P.O. Box 38 Boring Ore 97009
(P.O. Box, Number, Street, Rural Route) (City) (State) (Zip)6. Was premises previously licensed by OLCC? Yes ☒ No ☐ Year 83 (SRB-SRW)7. If yes, to whom: W.R. Dorrpugh & L. Ferguson type of license: Special Event8. Will you have a manager: Yes ☒ No ☐ Name Dorrpugh
(Manager must fill out Individual History, blue page 2)9. Will anyone else not signing this application share in the ownership or receive a percentage of profits or bonus from this business? Yes ☐ No ☒10. What is the local governing body where your premises is located? Boring Clackamas
(Name of City or County)11. OLCC representative making investigation may contact: W.R. Dorrpugh or L. Dorrpugh
(Name)
same 663-5588
(Address) (Tel. No.— home, business, message)

CAUTION: The Administrator of the Oregon Liquor Control Commission must be notified if you are contacted by anyone offering to influence the Commission on your behalf.

Applicant(s) Signature (1)
(In case of corporation, duly
authorized officer thereof)

(2) W.R. Dorrpugh President
(3) L. Dorrpugh Treas
(4) Phillip C Ferguson VP
(5) Elizabeth E. Ferguson Sec

Exhibit F Page 13 of 190

DATE



PLANNING DIVISION

JOHN C. MCINTYRE
Director

DOMINIC T. MANCINI
Planning Director

TO: Liquor Control Commission

FROM: Clackamas County Planning (Max Talbot)

Date: 2-13-84

SUB: Liquor License Request (File # 829-81-C, I)

This office recommends approval of this request with a condition that the license is for a "snack" shop which is to be incidental to the riding stable operation and not as a restaurant.

M.T.



March 21, 1983

Vern Lundquist
11007 McCreary Lane
Boring, Oregon 97009

RE: 829-81-CI, Horse Stables for Walter Dorrrough

In October of 1982 the Board of County Commissioners approved an interpretation application for Mr. Walter Dorrrough to operate horse stables adjacent to Highway 26 at its intersection with S.E. Lariat Lane in the Boring area. In approving this request, the Board of Commissioners attached twelve conditions of approval. A copy of these conditions is enclosed for your information and review.

Condition No. 2 requires proper sanitation at all times. Information contained in your letter would indicate that the operation has not properly adhered to this condition. However, the remainder of the five conditions stipulated in your letter do not seem to appear on the list of conditions attached to the approval of the application. Although testimony may have been given at the hearing regarding no parking on Lariat Lane, installing sprinkling systems, keeping the noise down and putting up portable toilets, these do not appear as adopted conditions of approval.

I am referring your letter to Mr. David Phillips in the county's Solid Waste Division to review and pursue as appropriate your concerns dealing with proper sanitation.

Dominic Mancini
Planning Director

DM:tlo

Enclosure

1/2

cc: Dave Phillips, Code Compliance

RECEIVED

APR 27 1983

D

ENC

JAB
RHW

4-22-83

NORTHWEST REGION

DEAR MR. CHUCK CLINTON

Regional Supervisor, D.E.Q.

DEAR SIR I AM WRITING THIS LETTER IN REGARD TO THE MT. HOOD EQUESTRIAN CENTER LOCATED AT S.E. LARIATE LANE IN BORING ORE. OFF HY 26 & HALEY RD. I HAVE WRITTEN LETTERS TO THE DEPARTMENT OF ENVIRONMENTAL SERVICES IN CLACKAMAS COUNTY TO NO AVAIL - WHEN THE CO. COMMISSIONERS APPROVED AN APPLICATION FOR A MR. WALTER DORRROUGH TO OPERATE THE HORSE STABLES. THERE WAS SOME REQUIREMENTS TO BE MET.

① PROPER SANITATION AT ALL TIMES -

② MAKE ADEQUATE MEANS OF MANURE DISPOSAL -
(THE PILE OF MANURE IS HUGE -)

I BELIEVE THAT THERE IS A STATE VIOLATION HERE - AND ALSO A HEALTH HAZARD TO US AND OUR SURROUNDING NEIGHBORS BECAUSE THESE REQUIREMENTS ARE NOT BEING MET -

I AM IN HOPES THAT YOU WILL LOOK INTO THIS MATTER AS SOON AS POSSIBLE.

THANK YOU VERY MUCH
VERN LANDQUIST

11007 MCCREARY LANE
BORING ORE 97009

663,5202 P.S. THE SMELL IS UNBEARABLE WHEN THE TEMP. RISES.

This letter delivered by
Mrs. Silson - (cc)
copy with my letter
sent to Phillips
check compliance

Dept. of Environmental Quality

RECEIVED

APR 27 1983

NORTHWEST REGION

(Feb 27 - 83

To The PLANNING STAFF

DOM

TERRY CURRY OR GARY NAYLOR
CHACKAMAS COUNTY HEARING OFFICERS

DEAR SIRS

MY NAME IS UEN LUNDQUIST 11007 MC CREARY
LANE BORING OR 97009.

I ATTENDED YOUR HEARINGS ON WALTER DORRUGH,
FOR THE OPENING OF THE HORSES STABLES IN 1982
AT 29450 S.E. LARIAT LANE BORING 97009.

I LISTEN TO YOU TELL THE PEOPLE AT THE
HEARING WHAT THE CONDITIONS WOULD BE -

① NO PARKING ON LARIAT LANE ② KEEP THE
MANURE PILE DOWN ③ KEEP NOISE DOWN
④ PUT UP PORTABLE TOILETS ⑤ INSTALL SPRINKLING
SYSTEM FOR FIRE? THIS ONE I AM NOT SURE
OF - NONE OF THESE CONDITIONS ARE BEING FOLLOWED
THERE WAS A HORSE SHOW THIS WEEKEND FROM THUR.
TO SUNDAY - THEY DO NOT HAVE ROOM TO HANDLE
THE CROWD THEY HAD THIS WEEKEND - ~~IF~~ I AM ASKING
YOU PEOPLE TO LOOK IN TO THIS MATTER - AND I WISH
THE COMMISSIONERS WOULD NOTIFY ME OF THEIR
RESULTS.

BECAUSE IF THE OVERCROWDING CONTINUES AND
THE ROTTEN SMELL FROM THE HORSES MANURE PILE

IS NOT TAKEN CARE OF- AND I THINK IT IS
A HAZARD TO MY HEALTH AND MY FAMILY'S
I WILL SEEK A PRIVATE ATTORNEY AND PUT A
LAW SUIT AGAINST THE CLACKAMAS COUNTY AND
MR. WALTER R. DORROUGH AND ALL PARTIES INVOLVED

Sincerely yours

Uden Lundquist

11007 MCCREARY LANE
BORING ORE 97009 -

P.S. I INTEN TO TAKE THIS AS FAR
AS CAN AND THAT INCLUDE THE REQ.

MT Hood Stable
(Farrier shop)

COMMENT SHEET

Campbell Kintz / MAP
TERRY CERRY / 1-4E31A
1300+

NAME AND DATE P. Kim Burnett
10/18/82

FILE NO.

COMMENTS

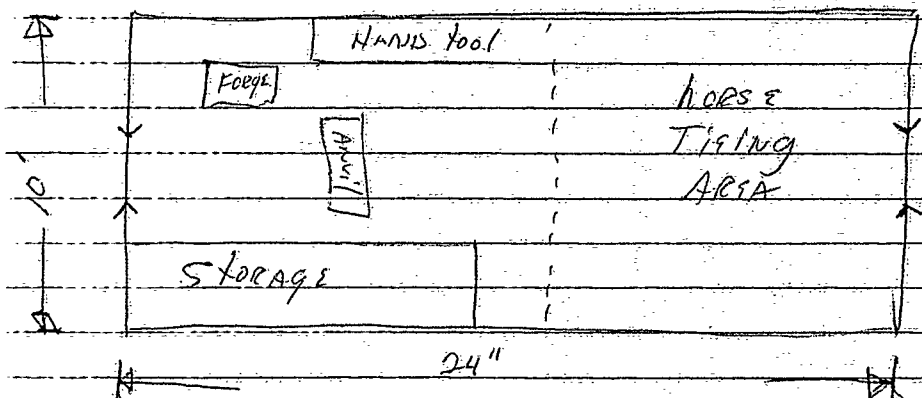
CONCERNING A FARRIER (horse shoeing) shop
to be locate in open horse AREA,
occupying space of 10' X 24'. This
space ^{being daily} ~~was~~ was to be used for storage

I will need 1 stove pipe to ventilate
smoke and minor electrical changes

Operation hours would be those of
the stable only; 1 day per wk. up to
7 days per wk. AS NEEDED

~~State~~ Purpose is to SERVE the
clients of MT Hood Stable.

The shop ^{space} will be RENTED by ME
AND RUN under my Authority.



R Kim Burnett
414 Carol Ct

Molalla OR.

97038

PHONE (503) 714-1100

Exhibit F Page 19 of 198

October 19, 1982

829-81-1

R. Kim Burnett
414 Carol Ct.
Molalla, Oregon 97038

RE: Location of a horse shoeing service at Mt. Hood Stables

Dear Mr. Burnett:

The decision of the Planning Division is to approve the location of a farrier shop at Mt. Hood Stables for the express purpose of serving only the clientele of the stables.

Approval of the shop is subject to the following conditions:

1. There shall be no advertising of the horse shoeing service.
2. No sign identifying the shop shall be visible from off the premises of the stables.
3. Hours of operation shall not exceed those of the stables.

If you have any questions, please contact the Planning Division.

Sincerely,



SHARI GILEVICH, Planner
Planning Division

SG:alk
2/28

BEFORE THE BOARD OF COUNTY COMMISSIONERS
OF CLACKAMAS COUNTY, STATE OF OREGON

In the Matter of the Conditional Use/
Interpretation application of WALTER R.
DORROUGH.

ORDER NO. 82-2008

Applicant: Walter R. Dorrough, P.O. Box 38, Boring, OR 97009
File No.: 829-81-C,1

This matter coming regularly before the Board of County Commissioners to be heard, and it appearing to the Board that Walter R. Dorrough made application to the Clackamas County Hearings Officer for an interpretation on property described as T1S, R4E, Section 31A, Tax Lots 1300, 1302, 1400 and 1401, W.M. and generally located on the south side of US Highway 26 at its intersection with SE Lariat Lane; Boring area.

It further appearing to the Board that said application was heard by the Clackamas County Hearings Officer on the 7th day of June, 1982 at which time the Hearings Officer denied the request; and

It further appearing to the Board that subsequent to said decision, Walter R. Dorrough, applicant/appellant, did on the 20th day of July, 1982 file an appeal of the Hearings Officer's decision; and

It further appearing to the Board that, pursuant to provisions of the Clackamas County Zoning Ordinance, the Board of County Commissioners ordered a hearing on the above matter be held on the 22nd day of September, 1982 at the hour of 9:00 a.m., in the County Courthouse Annex, 906 Main Street, Oregon City, Oregon, to afford the general public an opportunity to be heard on the above matter, and that a notice of said hearing was published in a newspaper of general circulation in the County more than ten (10) days prior to the date of said hearing; and

It further appearing to the Board that there was a hearing in the above matter held at the above-stated time and place, in which testimony and evidence were presented in the matter and a decision thereon.

Based upon the evidence and testimony presented at said hearing, this Board makes the following findings:

1. This is an appeal of an interpretation of the determination of the Planning Division staff that an earlier conditional use permit for a riding stable became invalid at the time a later conditional use permit was approved for General Telephone Company and a request for a conditional use permit to use the existing improvements on the property as a riding stable/horse arena to board horses and to hold horse shows on property zoned RREF-5, Rural Residential Farm Forest, 5 acre minimum lot size.
2. On May 4, 1970, a conditional use permit (CU-11-70) was approved for a riding stable and arena on a portion of the subject property. The riding stable and arena were operated on the subject property until approximately 1976. On March 17, 1980, the Clackamas County Board of Commissioners approved a conditional use permit (CU-19-79) for a support center for General Telephone Company. The property was never actually occupied or utilized by General Telephone Company as a support center. The Hearings Officer concluded that the superseding permit for a support center invalidated the prior permit for the riding stable, particularly since the uses conflicted.
3. The requested conditional use permit is controlled by the provisions of Sections 309, 800 and 1203 of the Clackamas County Zoning and Development Ordinance. The Hearings Officer found that the requested conditional use permit complied with the criteria listed therein and the Board hereby adopts the Hearings Officer's findings and conclusions, attached hereto, labeled Exhibit "A" and incorporated herein by reference, as their findings and conclusions. The Board also finds that a snack shop and tack shop which would be incidental to the operation of the riding stable ought to be allowed.

NOW, THEREFORE, IT IS HEREBY ORDERED that the decision of the Hearings Officer, as modified herein, is approved subject to the conditions in Exhibit "A".

Exhibit F Page 21 of 190

BEFORE THE BOARD OF COUNTY COMMISSIONERS
OF CLACKAMAS COUNTY, STATE OF OREGON

In the Matter of the Conditional Use/
Interpretation application of WALTER R.
DORROUGH.

ORDER NO. 82-2008.
(Page 2 of 2)

DATED this 11th day of Oct, 1982 and entered NUNC PRO TUNC as of
September 22, 1982.

Ralph Groener
Chairman Ralph Groener

Commissioner Stan Skoko

Bcc.

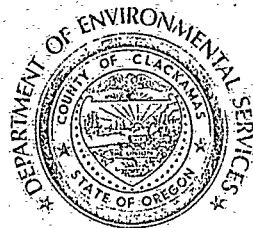
Commissioner Robert Schumacher

sk

RECEIVED

JUL 09 1982

CLACKAMAS COUNTY
PLANNING DEPARTMENT



902 ABERNETHY ROAD
OREGON CITY, OREGON 97045
(503) 655-8521

WINSTON W. KIMMEL
Assistant Director
Operations Division

DAVID J. ABRAHAM
Utilities Director

DAVID R. SEIGNEUR
Planning Director

RICHARD L. DOPP
Development
Services
Administrator

JOHN G. MCINTYRE
Director

FINDINGS AND DECISION OF THE HEARINGS OFFICER

File No. 829-81-C, I

Applicant: Walter R. Dorrough, PO Box 38, Boring, Ore. 97009

Proposal: (1) Interpretation of the determination of the Planning Division staff that an earlier Conditional Use Permit for a riding stable became invalid at the time a later Conditional Use Permit was approved for General Telephone Co. (2) A Conditional Use Permit to use existing improvements on the property as a riding stable-horse arena. Up to 190 horses would be boarded and there would be approximately 10 horse shows per year. Shows would range from 30 to 300 horses with portable stalls accommodating the overflow from the stable. Tax Lot 1400 would only be used for any overflow parking.

Date Application Filed: May 3, 1982

Decision Rendered: June 7, 1982

Last Date to Appeal: July 22, 1982

Planning Division Recommendation: Denial of the requested interpretation. Approval of the requested conditional use permit, subject to conditions.
Staff Representative: Terry Curry

Public Hearing: The public hearing was held at the Department of Environmental Service, 902 Abernethy Rd., Oregon City, Oregon on June 7, 1982 at 3:00 o'clock p.m.

Speaking in Support of Request:

1. Walter Dorrough, PO Box 38, Boring, Oregon 97009
2. Douglas Bragg, 25100 S.W. Garden Acre Rd., Sherwood, Oregon
3. Gary Dillon, address unknown
4. Debbi Freauf, 16919 S.E. Bartell Rd., Boring, Oregon
5. Esther Cate, 26115 S.E. Sunshine Valley Rd., Gresham, Oregon
6. Lou Ayer, 1700 N.E. 134th Place, Portland, Oregon

7. Art Edmond, 16109 S.E. Bartell Rd., Boring, Oregon
8. John Tangula, 2306 N.E. Couch, Portland, Oregon
9. Peter Plumridge, 1220 S.W. 3rd, Portland, Oregon

Community Organization Response: The Boring Action Neighborhood Group was timely notified of this request and responded, recommending approval of the conditional use permit (Exhibits 13 and 19).

Speaking in Opposition to Request:

1. Dennis McKittrick, 29300 S.E. Lariat Lane, Boring, Oregon

FINDINGS:

A. Subject Property:

1. Description: Tax Lots, 1300, 1302, 1400 and 1401, Section 31A, T1S, R4E, WM, Clackamas County, Oregon.
2. Location: On the south side of U.S. Hwy 26, at its intersection with S.E. Lariat Lane, Boring area.
3. Zone: RRF-5, Rural Residential Farm Forest, (5) five acres minimum lot size.
4. Comprehensive Plan Designation: Rural
5. Site Description: The subject is approximately 15.75 acres in size. The primary types of vegetation on the property are grass, some deciduous trees, weeds, and blackberries; there are no significant area of vegetation on the property. The topography of the property is rolling in nature, with a moderate downhill slope to the southeast. The northwestern portion of the property has been leveled and developed with a building used as a stable and a storage building. The building used as a stable and indoor horse arena is approximately 2.2 acres in size. The structure has stalls for approximately 190 horses. The storage building is approximately 5,000 square feet in size. A partially completed single family residence is located in the northwestern corner of the property. A transportation network has been established on the property. The road system enters the property at the northwestern corner then circles the stables/arena building. The area to the south of the stables/arena building is an unimproved open area. Tax Lot 1400 is unimproved and contains a small pond on its southern portion.
6. History: On May 4, 1970 a conditional use permit (CU-11-70) was approved for a riding stable and arena on a portion of the subject property. The riding stable and arena were operated on the subject property until approximately 1976.

On March 17, 1980 the Clackamas County Board of Commissioners approved a conditional use permit (CU-19-79) for a support center for General Telephone Company. This support center was approved to occupy the building previously used for the riding stable and horse arena. The property was never actually occupied or utilized by General Telephone Company as a support center.

On May 3, 1982 a public hearing was held on file #829-81-C, I. At that time the request was continued for a decision only until May 12, 1982. On May 12, 1982 the hearings officer issued an oral decision denying the applicant's Interpretation request. At this time the hearings officer announced the conditional use portion of the request would be re opened for further testimony on June 7, 1982. During the process of mailing notifications to surrounding property owners that the hearing would be re opened for further testimony, it was noted by the Planning Division Staff that (5) five property owners adjacent to the subject property had not been notified of the original hearing. A determination was made that both the Interpretation and the conditional use applications would be re heard in full.

B. Vicinity Information:

The area in which the subject property is located is generally rural in character, although it does contain a mixture of commercial and agricultural uses. U.S. Hwy 26 borders the property on the north. Development across Hwy 26 consists of primarily single family residential uses, on parcels of approximately (1) one acre in size. These residential uses generally include some limited agriculture use. The parcels immediately to the west of the subject property are developed primarily as rural residential homesites. A commercial nursery operation is located on the parcel off the northwest corner of the property. Parcel to the east of the subject property are generally rural residential homesites. Properties to the southwest, south, and southeast of the subject property are currently used for agricultural purposes. The intersection of Hwy 26 and State Hwy 212 is approximately 3/4 mile south-east of the subject property. The center section has considerable commercial development, including Heidi's Restaurant and several auto wrecking and auto sales facilities.

C. Service Considerations:

On site subsurface sewage disposal, Mt. View Water District.

CONCLUSIONS:

A. The first issue of consideration is whether the March 17, 1980 approval by the board of County Commissioners of a conditional use permit (CU-19-79) for a support center for General Telephone Company invalidated the prior conditional use permit (CU-11-70) for a riding stable and arena on the subject property. The applicant has appealed the Planning Divisions Staff Determination that the subsequent conditional use permit approval negated the earlier conditional use permit upon approval of the subsequent use permit. The Planning Division Staff reasoning for its decision is fully set forth in the Staff Report/Recommendation to the hearings officer dated April 22, 1982 and is adopted by the hearings officer

The hearings officer further notes that the approval of the Board of County Commissioners in file #CU-11-70 place no restrictions on the approval of the conditional use permit for General Telephone Company. Section 1104.01 of the Clackamas County Zoning and Development Ordinance provides that a conditional use permit shall be valid for a period of (2) two years after final development review approval lest such time

limit is superseded by the hearings officer or the Board of County Commissioners. For both purposes of administrative control and a general policy consideration that the public and all interested parties should be able to determine at any time permissible uses of land, it is an appropriate interpretation of the provision of the Zoning and Development Ordinance that a superseding permit does invalidate a prior permit, particularly where the uses are conflicting, such as in this case.

B. The requested conditional use permit is controlled by the provisions of Section 309, 800 and 1203 of the Clackamas County Zoning and Development Ordinance.

C. Subsection 801.03 of the Zoning and Development Ordinance identifies the minimum submittal requirements for all conditional use permit applications. This application is in sufficient form to meet the requirements as set forth within that section.

D. Section 1203.01 of the Zoning and Development Ordinance provides that a conditional use permit may be granted by the hearings officer where the applicant establishes each of the criteria set forth within that section. The applicant has established each of those criteria, as follows:

1. The use is listed as a conditional use in the underlying zoning district. Section 309.05 (a) of the Zoning Ordinance identifies the conditional uses which may be allowed in RREF-5 Zoning district. Section 309.05 (a) (X) identifies service recreational uses as a permitted conditional use. Section 813.01 (e) of the Zoning and Development Ordinance identifies riding stables as a service recreational use. The request to conduct what shows in conjunction with the stable/riding arena is permitted as a service recreational use. The applicants similar to other specified service recreational uses;
2. The characteristics of the site are suitable for the proposed use. The proposed use will utilize existing improvements on the property. These improvements have been used in the past as a riding stable/arena. The size, shape and natural features of the property should not hinder the use of the subject property for the purposes requested by the applicant. The subject property is located at an exit from a major hiwy in the area and is well accessed by its location near the intersection of (2) two major hiwys (U.S. Hiwy 26 and State Hiwy 212).


With the addition of tax lot 1400, the site is suitable for all aspects of the proposed use. The applicant and the Planning Division Staff have identified sufficient area to accommodate approximately 263,45 foot long parking spaces. The 45 foot long parking spaces would be more than adequate a pick up truck with an attached horse trailer. It does appear that this amount of parking would be adequate to support the proposed use, as that use has been described by the applicant;

3. The site and proposed development is timely considering the adequacy of transportation systems, public facilities, and services existing or planned for the area affected by the use. Use proposed by the applicant will require no greater demand on public facilities and services than presently exists. There is currently an unresolved question as to the suitability of the site for subsurface sewage disposal, however, this concern is addressed through conditions of approval;
 4. The proposed use will not alter the character of the surrounding area in any manner which substantially limits, impairs or precludes the use of surrounding properties for primary uses listed in the underlying zoning district. The surrounding area is primarily developed with rural residential uses. Approval of this application would appear to have a minimal impact on surrounding land uses. The approval of this application will not preclude or limit the use of surrounding properties for uses authorized in the RRFF-5 zoning district. Conditions of approval will insure timely and adequate disposal of wastes. A condition of approval which limits the hours of operation should minimize the impact on surrounding residential uses. It does appear that the access to and through the property is adequate to prevent traffic congestion or problems during horse shows and other utilization of the property. The Traffic Operations Engineer of the Department of Environmental Services has reported that traffic data has been reviewed and that office foresees no problem with the proposed use;
 5. The proposal satisfies the goals and policies of the Clackamas County Comprehensive Plan which apply to the proposed use. The request is generally consistent with the goals and policies of the Rural Element of the Comprehensive Plan, specified on Pages 78 through 81. The proposal is consistent with the goal of the Parks and Recreation element of the plan which states, that the county should provide land, facilities, and programs which meets the recreational needs of county residents and visitors. The record in this case fully demonstrates that there exists a need for the type of facility here proposed and that the subject property has the best facilities available within the area to serve this recreational need of the counties residents and visitors.
- E. This request does not conflict with applicable LCDC goals. Goals III and IV are not applicable as exceptions to those goals were taken by the county as a part of the Rural planning process, the findings in support of which are adopted herein by reference. The application satisfies LCDC goal VIII as it will provide for the recreational need of the citizens of the state and visitors. No other goals are found to be directly applicable to the request.

DECISION: Denial of the Interpretation. APPROVAL of the requested conditional use permit, subject to the following conditions:

1. Approval by the Department of Environmental Services, Soils Division of the means of subsurface sewage disposal.
2. Proper sanitation shall be maintained at all times. The applicants shall make provision for adequate means of manure disposal. This conditions is intended to minimize the impact on surrounding properties by the manure odor.
3. Operation of the subject property as a riding stable and arena shall be conducted between the hours of 8:00 o'clock A.M. and 11:00 o'clock P.M.
4. Any signs advertising the use of this facility shall be subject to Design Review approval.
5. Any exterior changes to the existing building shall be subject to Design Review approval.
6. There shall be no direct access to Hiwy 26.
7. All horse riding associated with the approved stable facilities shall be conducted on the subject property.
8. Design Review approval of parking, landscaping, and on-site circulations.
9. The portable stalls shall be set up and used only to accommodate overflow from the stable.
10. The parking area on tax lot 1400 shall be used only for overflow parking.
11. Approval is for the basic revised site plan submitted by the applicant (see exhibit #18) to the extent it is consistent with all other conditions of approval.
12. Approval is subject to the above stated conditions. Failure to comply with all conditionas of approval will be cause for revocation of this permit.

DATED this 7th day of July, 1982


HEARINGS OFFICER

Copy mailed to applicant
this 7th day of July, 1982


HEARINGS OFFICER

EXHIBITS LIST

File No. and Name:

829-81-C, I Donough

<u>Exhibit No.</u>	<u>Description</u>	<u>No. of Pages</u>
1.	<u>Zoning Ordinance considerations</u>	
2.	<u>Selected comments from the Comprehensive Plan</u>	
3.	<u>Display Map</u>	1
4.	<u>Slides</u>	
5.	<u>Aerial Photograph</u>	1
6.	<u>Preliminary Plat or Site Plan</u>	1
7.	<u>BUILDING PROFILES</u>	1
8.	<u>FIELD MAP</u>	1
9.	<u>LETTER OF AUTHORIZATION</u>	1
10.	<u>DES, DP'S RESPONSE</u>	1
11.	<u>" , SOILS "</u>	1
12.	<u>OR. HWY DIV RESPONSE</u>	1
13.	<u>BANG "</u>	1
14.	<u>CU - 19-79</u>	Document
15.	<u>BCC minutes 6-18-79</u>	8
16.	<u>" " 2-11-80</u>	3
17.	<u>CU 11-70</u>	microfilm
18.	<u>Revised site plan</u>	1
19.	<u>BANG response</u>	1

EXHIBITS (CONTINUED)

20. LETTER IN OPPOSITION

21. DES, TRAFFIC ENG RESPONSE

22. GTE LETTER TO SBA

23. LETTER IN SUPPORT

24. " " "

25. " " "

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NOTICE OF REVIEW HEARING

On Wednesday, September 22, 1982, at the hour of 10:15 a.m. at the Courthouse Annex, 906 Main Street, Oregon City, Oregon, the Board of County Commissioners will consider a review of the Clackamas County Hearings Officer's denial of an Interpretation request to make an interpretation of the determination of the Planning Division staff that an earlier Conditional Use Permit for a riding stable became invalid at the time a later Conditional Use Permit was approved for General Telephone Company.

Unless otherwise provided by the Board of County Commissioners under Section 1304.05 of the Clackamas County Zoning Ordinance, the review of the decision shall be confined to the record of the proceedings before the Hearings Officer. The Board of County Commissioners may admit additional testimony and other evidence without holding a new hearing or hear the entire matter again, if it is satisfied that the testimony or other evidence could not have been presented at the initial hearing.

The party requesting review is Walter R. Dorrough, the applicant is the same, file number 829-81-C,I/R.

The review is for property generally described as follows:

On the south side of U.S. Hwy. 26, at its intersection with S.E. Lariat Lane; Boring area.

The specific property is further described as:

T1S, R4E, Section 31A, Tax Lots 1300, 1302, 1400, 1401, W.M.

The application is available for inspection at the Clackamas County Planning Division, 902 Abernethy Road, Oregon City, Oregon (phone 655-8521) from 8:00 a.m. to 5:00 p.m.

MG:elk
4/40

8/31/82
Neighborhood _____
Property owners _____
City _____
County _____
Others _____

BEFORE THE BOARD OF COUNTY COMMISSIONERS
OF CLACKAMAS COUNTY, STATE OF OREGON

In the Matter of Calling a
Hearing on the Review Request
of the Interpretation
application of Walter R. Dorrough
having been denied.

ORDER NO. 82-1565

APPELLANT: Walter R. Dorrough P.O. Box 38, Boring 97009
FILE NO.: 829-81-C, I/R

This matter coming regularly before the Board of County Commissioners to be heard, and it appearing to the Board that Walter R. Dorrough made application to the Clackamas County Hearings Officer for an Interpretation on property described as T1S, R4E, Section 31A, Tax Lots 1300, 1302, 1400, 1401, W.M. and generally located on the south side of U.S. Hwy. 26, at its intersection with S.E. Lariat Lane; Boring area.

It further appearing to the board that said application was heard by the Clackamas County Hearings Officer on the 7th day of June, 1982 at which time the Hearings Officer denied the request; and

It further appearing to the Board that subsequent to said decision, Walter R. Dorrough, a resident and property owner in the area, did on the 20th day of July, 1982 file an appeal of the Hearings Officer's decision; and

It further appearing to the Board that, pursuant to provisions of the Clackamas County Zoning Ordinance, the Board of County Commissioners shall hold a hearing on the matter, a notice of said hearing to be sent to the recognized neighborhood organization thirty-five (35) days prior to the hearing, to the property owners within two hundred-fifty (250) feet of the subject property twenty (20) days prior to the hearing, and be published in a newspaper of general circulation in the county not less than ten (10) days prior to the date of said hearing, and the Board being fully advised of the premises.

NOW, THEREFORE, IT IS HEREBY ORDERED that the hearing in the above matter be held on the 22nd day of September, 1982 at the hour of 9:00 a.m., in the County Courthouse Annex, 906 Main Street, Oregon City, Oregon, to afford the general public an opportunity to be heard on the above appeal; and


IT IS FURTHER ORDERED that the County Clerk is hereby directed to publish a notice of said hearing in the Enterprise Courier, a newspaper of general circulation in the county, on the 8th day of September, 1982.

IT IS FURTHER ORDERED that the County Clerk is hereby directed to publish a notice of said hearing in the Gresham Outlook, a newspaper of local circulation in the county, on the 8th day of September, 1982.

DATED this 9th day of Aug, 1982

BOARD OF COUNTY COMMISSIONERS

Chairman Groener


Commissioner Schumacher


Commissioner Skoko

MG:elk
4/41-42

TO RICH CRIST, HEARINGS OFFICER

F
R
O
M

SUBJECT 829-81-C, I/R DORROUGH

DATE 8 / 5 / 82

MESSAGE

ATTACHED IS A COPY OF THE RECEIPT FOR ESTIMATED COST OF TRANSCRIPT FEE FOR THE
ABOVE-MENTIONED FILE. WE WOULD APPRECIATE RECEIVING THE TRANSCRIPT ON OR BEFORE
SEPTEMBER 1, 1982

SIGNED

Michelle Gluck

REPLY

SIGNED

DATE

REDIFORM 45 472

SEND PARTS 1 AND 3 WITH CARBON INTACT -
PART 3 WILL BE RETURNED WITH REPLY.

POLY PAK (50 SETS) 4P472

DETACH AND FILE FOR FOLLOW-UP

Exhibit F Page 33 of 190



August 2, 1982

PLANNING DIVISION

JOHN C. MCINTYRE - Director
DOMINIC T. MANCINI - Planning Director

Walter R. Dorrough
P.O. Box 38
Boring, Or 97009

Re: Applicant/Appellant: Dorrough; No. 829-81-C, I/R

Dear Mr. Dorrough:

Thank you for your telephone call of this date in the above matter wherein you brought to my attention that the only portion of the above file for which you have filed an appeal is the interpretation request. As you pointed out, separate hearings were held on the interpretation request and conditional use permit application. Therefore, pursuant to the provisions of Section 1300 of the Clackamas County Zoning Ordinance I will cause a verbatim transcript to be made of the public hearing held before the Hearings Officer on the interpretation request only and do estimate the cost of the preparation of that transcript to be \$45.

Please be advised that Section 1304.04 of the Zoning Ordinance requires that within ten days of the date of this letter, your deposit in the amount of \$45 to cover the estimated cost of transcript must be received by the Planning Division Office. This deposit must be timely made, as the Ordinance provides that failure to make the deposit as required is a jurisdictional defect insofar as your appeal is concerned, and would be cause to dismiss the appeal.

Sincerely,

Richard F. Crist
Hearings Officer
RFC/ps

cc: Planning Department

CLERK #	10
#	829-81-C-I/R
AUG. 05 '82	19:01
TRAN-FEE	45.00
TOTAL	45.00
CHECK	45.00
9.0738	



PLANNING DIVISION

JOHN C. MCINTYRE DOMINIC T. MANCINI
Director Planning Director

August 3, 1982

Clackamas County Planning Department
902 Abernethy Road
Oregon City, Or 97045

Re: Applicant/Appellant: Dorrough; No. 829-81-C,I/R

Gentlemen:

Attached please find a copy of a revised transcript estimate letter in the above matter. Pursuant to the procedures of the Hearings Officer Ordinance, I will cause a transcript to be made and delivered and made a part of the file for appeal. I do estimate the cost of the transcript to be \$45.

Sincerely,

Richard F. Crist
Hearings Officer
RFC/ps

cc: Walter Dorrough





August 2, 1982

PLANNING DIVISION

JOHN C. McINTYRE DOMINIC T. MANCINI
Director Planning Director

Walter R. Dorrough
P.O. Box 38
Boring, Or 97009

Re: Applicant/Appellant: Dorrough; No. 829-81-C, I/R

Dear Mr. Dorrough:

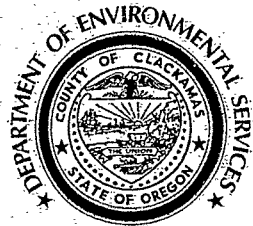
Thank you for your telephone call of this date in the above matter wherein you brought to my attention that the only portion of the above file for which you have filed an appeal is the interpretation request. As you pointed out, separate hearings were held on the interpretation request and conditional use permit application. Therefore, pursuant to the provisions of Section 1300 of the Clackamas County Zoning Ordinance I will cause a verbatim transcript to be made of the public hearing held before the Hearings Officer on the interpretation request only and do estimate the cost of the preparation of that transcript to be \$45.

Please be advised that Section 1304.04 of the Zoning Ordinance requires that within ten days of the date of this letter, your deposit in the amount of \$45 to cover the estimated cost of transcript must be received by the Planning Division Office. This deposit must be timely made, as the Ordinance provides that failure to make the deposit as required is a jurisdictional defect insofar as your appeal is concerned, and would be cause to dismiss the appeal.

Sincerely,

Richard F. Crist
Hearings Officer
RFC/ps

cc: Planning Department



July 27, 1982

902 ABERNETHY ROAD
OREGON CITY, OREGON 97045
(503) 655-8521

WINSTON W. KURTH
Assistant Director
DON D. BROADSWORD
Operations Director
DAVID J. ABRAHAM
Utilities Director
DAVID R. SEIGNEUR
Planning Director
RICHARD L. DOPP
Development
Services
Administrator

JOHN C. MCINTYRE
Director

Clackamas County Planning Division
902 Abernethy Road
Oregon City, OR 97045

Gentlemen:

Re: Applicant/Appellant: Dorrough, No. 829-81-C, I/R

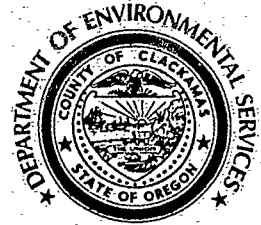
This will acknowledge receipt of a copy of the appeal request filed on July 20, 1982, in the above matter.

Pursuant to the procedures of the Hearings Officer Ordinance, I will cause the transcript to be made and delivered and made a part of the file for appeal. I do estimate the cost of the transcript to be \$150.

Sincerely,

Richard F. Crist
Hearings Officer
RFC/ps

cc: Walter R. Dorrough



July 27, 1982

902 ABERNETHY ROAD
OREGON CITY, OREGON 97045
(503) 655-8521

WINSTON W. KURTH
Assistant Director
DON D. BROADSWORD
Operations Director
DAVID J. ABRAHAM
Utilities Director
DAVID R. SEIGNEUR
Planning Director
RICHARD L. DOPF
Development
Services
Administrator

JOHN C. MCINTYRE
Director

Walter R. Dorrough
P.O. Box 38
Boring, Or 97009

Re: Applicant/Appellant: Dorrough; No. 829-81-C, I/R

Dear Mr. Dorrough:

This office has received a copy of your appeal request in the above matter. Pursuant to the provisions of Section 1300 of the Clackamas County, Oregon, Zoning Ordinance, I will cause a verbatim transcript to be made of the public hearing held before the Hearings Officer in this matter and do estimate the cost of the preparation of that transcript to be \$150.

Please be advised that Section 1304.04 of the Zoning Ordinance requires that within ten days of the date of this letter, your deposit in the amount of \$150 to cover the estimated costs of transcript must be received by the Planning Division office. This deposit must be timely made, as the Ordinance provides that failure to make the deposit as required is a jurisdictional defect insofar as your appeal is concerned, and would be cause to dismiss the appeal.

Sincerely,

Richard F. Crist
Hearings Officer
RFC/ps
cc: Planning Department

File No. 829-81-CIR

Appeal No. _____

Heard By: PC [] BA []

STAFF [] OTHER ☒Date Heard June 7Decision: Approved [] Denied ☒

PCC _____ Fee _____

Hearing Date: SEPT 22

APPEAL REQUEST

CLACKAMAS COUNTY PLANNING DEPARTMENT
902 Abernethy Road
Oregon City, Oregon 97045

RECEIVED:

CLACKAMAS COUNTY
FILED

FILED JUL 22 1982

GEORGE D. POPPEN, County Clerk
Deputy

FOR OFFICE USE ONLY

Appellant's Name WALTER R. DORROUGHPhone: 661-2899Appellant's Address Box 38City BORINGName of original Application MT HOOD STABLESFile No. 829-81-C, I

Original Applicant's Request _____

Appeal consideration is hereby requested to the:

☒ BOARD OF COUNTY COMMISSIONERS☐ CLACKAMAS COUNTY PLANNING COMMISSION☐ CLACKAMAS COUNTY HEARINGS OFFICER☐ OTHER _____

RECEIVED

JUL 20 1982

CLACKAMAS COUNTY
PLANNING DEPARTMENT

For the following reasons:

Appellant believes that the original conditional use permit CU-11-70 is still valid. The conditional use permit CU-19-79 issued to General Telephones never was exercised as they did not exercise their option to purchase the property located at 29450 S.E. Laurel Lake, Boring, Or 97009.

The expectations of public in regard to this property were unclear as G.T.E. no longer considered use of the property for a support facility shortly after the permit CU-19-79 was issued.

The intent of the Board of County Commissioners to retain usage of the facility for a riding stable can be seen by the refusal by the Board of County Commissioners to issue a conditional use permit to G.T.G. upon first consideration. Only after a lengthy delay was the permit issued to G.T.E. The Board of County Commissioners wanted the property reconsidered for a riding stable and time was given to find another buyer or used before issuing a conditional use permit.

The foregoing statements made are in all respects true and correct to the best of my knowledge and belief.

Dated this 26th day of JULY, 19 82.

Walter R. Dorrough
(Appellant's Signature)

Procedure for Review by the Board of County Commissioners

Clackamas County Department of Environmental Services
Planning Division
902 Abernethy Road
Oregon City, Oregon 97045
Phone: 655-8521

FIFTEEN DAY DEADLINE

The decision of the Hearings Officer shall be final unless an application for review, to include the required fee, is received in the Planning Division's office within fifteen (15) days of the Hearings Officer's written decision. The application fee for a review is one half (1/2) of the original application fee plus the cost of the transcript preparation.

TEN DAY DEADLINE

The party seeking a review shall pay a deposit to cover the estimated cost of transcribing the taped record of the Hearings Officer's public hearing. A letter stating the estimated cost of the transcripts shall be sent to the party seeking a review. Payment of this estimated cost must be received in the Planning Division office within ten (10) days from the date of the letter.

TEN DAY DEADLINE

The party seeking a review also shall pay any balance due for the actual cost of transcribing the taped record. A letter stating the balance due for the transcripts shall be sent to the party seeking a review. Payment of this balance must be received in the Planning Division office within ten (10) days from the date of the letter.

REFUNDS

There shall be no refund of monies due to the loss of the right of review; however, any surplus monies resulting from the deposit after the transcript costs are deducted will be refunded to the depositing party.

I fully understand that my failure to pay all fees in accordance with the above requirements will result in the loss of my right of review.

Signed this 20th day of JULY, 1982.

Signature Walter D. Dwyer

Staff member advising applicant: _____

File No(s): _____

MT:ds

110/3

Rev. 2/11/81

RECEIVED

JUL 09 1982

CLACKAMAS COUNTY
PLANNING DEPARTMENT



902 ABERNETHY ROAD
OREGON CITY, OREGON 97045
(503) 655-8521

JOHN C. MCINTYRE
Director

WINSTON W. KURTH
Assistant Director
DON D. BROADSWORD
Operations Director
DAVID J. ABRAHAM
Utilities Director
DAVID R. SEIGNEUR
Planning Director
RICHARD L. DOPP
Development
Services
Administrator

FINDINGS AND DECISION OF THE HEARINGS OFFICER

File No. 829-81-C,I

Applicant: Walter R. Dorrough, PO Box 38, Boring, Ore. 97009

Proposal: (1) Interpretation of the determination of the Planning Division staff that an earlier Conditional Use Permit for a riding stable became invalid at the time a later Conditional Use Permit was approved for General Telephone Co. (2) A Conditional Use Permit to use existing improvements on the property as a riding stable-horse arena. Up to 190 horses would be boarded and there would be approximately 10 horse shows per year. Shows would range from 30 to 300 horses with portable stalls accommodating the overflow from the stable. Tax lot 1400 would only be used for any overflow parking.

Date Application Filed: May 3, 1982

Decision Rendered: June 7, 1982

Last Date to Appeal: July 22, 1982

Planning Division Recommendation: Denial of the requested interpretation. Approval of the requested conditional use permit, subject to conditions.
Staff Representative: Terry Curry

Public Hearing: The public hearing was held at the Department of Environmental Service, 902 Abernethy Rd., Oregon City, Oregon on June 7, 1982 at 3:00 o'clock p.m.

Speaking in Support of Request:

1. Walter Dorrough, PO Box 38, Boring, Oregon 97009
2. Douglas Bragg, 25100 S.W. Garden Acre Rd., Sherwood, Oregon
3. Gary Dillon, address unknown.
4. Debbi Freauf, 16919 S.E. Bartell Rd., Boring, Oregon
5. Esther Cate, 26115 S.E. Sunshine Valley Rd., Gresham, Oregon
6. Lou Ayer, 1700 N.E. 134th Place, Portland, Oregon

7. Art Edmond, 16109 S.E. Bartell Rd., Boring, Oregon
8. John Tangula, 2306 N.E. Couch, Portland, Oregon
9. Peter Plumridge, 1220 S.W. 3rd, Portland, Oregon

Community Organization Response: The Boring Action Neighborhood Group was timely notified of this request and responded, recommending approval of the conditional use permit (Exhibits 13 and 19).

Speaking in Opposition to Request:

1. Dennis McKittrick, 29300 S.E. Lariat Lane, Boring, Oregon

FINDINGS:

A. Subject Property:

1. Description: Tax Lots, 1300, 1302, 1400 and 1401, Section 31A, T1S, R4E, WM, Clackamas County, Oregon.
2. Location: On the south side of U.S. Hwy 26, at its intersection with S.E. Lariat Lane, Boring area.
3. Zone: RRFF-5, Rural Residential Farm Forest, (5) five acres minimum lot size.
4. Comprehensive Plan Designation: Rural
5. Site Description: The subject is approximately 15.75 acres in size. The primary types of vegetation on the property are grass, some deciduous trees, weeds, and blackberries; there are no significant area of vegetation on the property. The topography of the property is rolling in nature, with a moderate downhill slope to the southeast. The northwestern portion of the property has been leveled and developed with a building used as a stable and a storage building. The building used as a stable and indoor horse arena is approximately 2.2 acres in size. The structure has stalls for approximately 190 horses. The storage building is approximately 5,000 square feet in size. A partially completed single family residence is located in the northwestern corner of the property. A transportation network has been established on the property. The road system enters the property at the northwestern corner then circles the stables/arena building. The area to the south of the stables/arena building is an unimproved open area. Tax Lot 1400 is unimproved and contains a small pond on its southern portion.
6. History: On May 4, 1970 a conditional use permit (CU-11-70) was approved for a riding stable and arena on a portion of the subject property. The riding stable and arena were operated on the subject property until approximately 1976.

On March 17, 1980 the Clackamas County Board of Commissioners approved a conditional use permit (CU-19-79) for a support center for General Telephone Company. This support center was approved to occupy the building previously used for the riding stable and horse arena. The property was never actually occupied or utilized by General Telephone Company as a support center.

On May 3, 1982 a public hearing was held on file #829-81-C, I. At that time the request was continued for a decision only until May 12, 1982. On May 12, 1982 the hearings officer issued an oral decision denying the applicant's Interpretation request. At this time the hearings officer announced the conditional use portion of the request would be re opened for further testimony on June 7, 1982. During the process of mailing notifications to surrounding property owners that the hearing would be re opened for further testimony, it was noted by the Planning Division Staff that (5) five property owners adjacent to the subject property had not been notified of the original hearing. A determination was made that both the Interpretation and the conditional use applications would be re heard in full.

B. Vicinity Information:

The area in which the subject property is located is generally rural in character, although it does contain a mixture of commercial and agricultural uses. U.S. Hwy 26 borders the property on the north. Development across Hwy 26 consists of primarily single family residential uses, on parcels of approximately (1) one acre in size. These residential uses generally include some limited agriculture use. The parcels immediately to the west of the subject property are developed primarily as rural residential homesites. A commercial nursery operation is located on the parcel off the northwest corner of the property. Parcels to the east of the subject property are generally rural residential homesites. Properties to the southwest, south, and southeast of the subject property are currently used for agricultural purposes. The intersection of Hwy 26 and State Hwy 212 is approximately 3/4 mile southeast of the subject property. The center section has considerable commercial development, including Heidi's Restaurant and several auto wrecking and auto sales facilities.

C. Service Considerations:

On site subsurface sewage disposal, Mt. View Water District.

CONCLUSIONS:

A. The first issue of consideration is whether the March 17, 1980 approval by the board of County Commissioners of a conditional use permit (CU-19-79) for a support center for General Telephone Company invalidated the prior conditional use permit (CU-11-70) for a riding stable and arena on the subject property. The applicant has appealed the Planning Divisions Staff Determination that the subsequent conditional use permit approval negated the earlier conditional use permit upon approval of the subsequent use permit. The Planning Division Staff reasoning for its decision is fully set forth in the Staff Report/Recommendation to the hearings officer dated April 22, 1982 and is adopted by the hearings officer.

The hearings officer further notes that the approval of the Board of County Commissioners in file #CU-11-70 place no restrictions on the approval of the conditional use permit for General Telephone Company. Section 1104.01 of the Clackamas County Zoning and Development Ordinance provides that a conditional use permit shall be valid for a period of (2) two years after final development review approval lest such time

limit is superseded by the hearings officer or the Board of County Commissioners. For both purposes of administrative control and a general policy consideration that the public and all interested parties should be able to determine at any time permissible uses of land, it is an appropriate interpretation of the provision of the Zoning and Development Ordinance that a superseding permit does invalidate a prior permit, particularly where the uses are conflicting, such as in this case.

B. The requested conditional use permit is controlled by the provisions of Section 309, 800 and 1203 of the Clackamas County Zoning and Development Ordinance.

C. Subsection 801.03 of the Zoning and Development Ordinance identifies the minimum submittal requirements for all conditional use permit applications. This application is in sufficient form to meet the requirements as set forth within that section.

D. Section 1203.01 of the Zoning and Development Ordinance provides that a conditional use permit may be granted by the hearings officer where the applicant establishes each of the criteria set forth within that section. The applicant has established each of those criteria, as follows:

1. The use is listed as a conditional use in the underlying zoning district. Section 309.05 (a) of the Zoning Ordinance identifies the conditional uses which may be allowed in RRF-5 Zoning district. Section 309.05 (a) (X) identifies service recreational uses as a permitted conditional use. Section 813.01 (e) of the Zoning and Development Ordinance identifies riding stables as a service recreational use. The request to conduct what shows in conjunction with the stable/riding arena is permitted as a service recreational use. The applicants similar to other specified service recreational uses;
2. The characteristics of the site are suitable for the proposed use. The proposed use will utilize existing improvements on the property. These improvements have been used in the past as a riding stable/arena. The size, shape and natural features of the property should not hinder the use of the subject property for the purposes requested by the applicant. The subject property is located at an exit from a major hiwy in the area and is well accessed by its location near the intersection of (2) two major hiwys (U.S. Hiwy 26 and State Hiwy 212).

With the addition of tax lot 1400, the site is suitable for all aspects of the proposed use. The applicant and the Planning Division Staff have identified sufficient area to accommodate approximately 263,45 foot long parking spaces. The 45 foot long parking spaces would be more than adequate a pick up truck with an attached horse trailer. It does appear that this amount of parking would be adequate to support the proposed use, as that use has been described by the applicant;

3. The site and proposed development is timely considering the adequacy of transportation systems, public facilities, and services existing or planned for the area affected by the use. Use proposed by the applicant will require no greater demand on public facilities and services than presently exists. There is currently an unresolved question as to the suitability of the site for subsurface sewage disposal, however, this concern is addressed through conditions of approval;
 4. The proposed use will not alter the character of the surrounding area in any manner which substantially limits, impairs or precludes the use of surrounding properties for primary uses listed in the underlying zoning district. The surrounding area is primarily developed with rural residential uses. Approval of this application would appear to have a minimal impact on surrounding land uses. The approval of this application will not preclude or limit the use of surrounding properties for uses authorized in the RREF-5 zoning district. Conditions of approval will insure timely and adequate disposal of wastes. A condition of approval which limits the hours of operation should minimize the impact on surrounding residential uses. It does appear that the access to and through the property is adequate to prevent traffic congestion or problems during horse shows and other utilization of the property. The Traffic Operations Engineer of the Department of Environmental Services has reported that traffic data has been reviewed and that office foresees no problem with the proposed use;
 5. The proposal satisfies the goals and policies of the Clackamas County Comprehensive Plan which apply to the proposed use. The request is generally consistent with the goals and policies of the Rural Element of the Comprehensive Plan, specified and Pages 78 through 81. The proposal is consistent with the goal of the Parks and Recreation element of the plan which states, that the county should provide land, facilities, and programs which meets the recreational needs of county residents and visitors. The record in this case fully demonstrates that there exists a need for the type of facility here proposed and that the subject property has the best facilities available within the area to serve this recreational need of the counties residents and visitors.
- E. This request does not conflict with applicable LCDC goals. Goals III and IV are not applicable as exceptions to those goals were taken by the county as a part of the Rural planning process, the findings in support of which are adopted herein by reference. The application satisfies LCDC goal VIII as it will provide for the recreational need of the citizens of the state and visitors. No other goals are found to be directly applicable to the request.

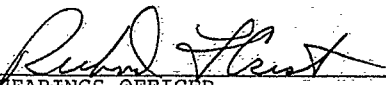
DECISION: Denial of the Interpretation. APPROVAL of the requested conditional use permit, subject to the following conditions:

1. Approval by the Department of Environmental Services, Soils Division of the means of subsurface sewage disposal.
2. Proper sanitation shall be maintained at all times. The applicants shall make provision for adequate means of manure disposal. This conditions is intended to minimize the impact on surrounding properties by the manure odor.
3. Operation of the subject property as a riding stable and arena shall be conducted between the hours of 8:00 o'clock A.M. and 11:00 o'clock P.M.
4. Any signs advertising the use of this facility shall be subject to Design Review approval.
5. Any exterior changes to the existing building shall be subject to Design Review approval.
6. There shall be no direct access to Hiwy 26.
7. All horse riding associated with the approved stable facilities shall be conducted on the subject property.
8. Design Review approval of parking, landscaping, and on-site circulations.
9. The portable stalls shall be set up and used only to accommodate overflow from the stable.
10. The parking area on tax lot 1400 shall be used only for overflow parking.
11. Approval is for the basic revised site plan submitted by the applicant (see exhibit #18) to the extent it is consistent with all other conditions of approval.
12. Approval is subject to the above stated conditions. Failure to comply with all conditions of approval will be cause for revocation of this permit.

DATED this 7th day of July, 1982


HEARINGS OFFICER

Copy mailed to applicant
this 7th day of July, 1982


HEARINGS OFFICER

309. RURAL RESIDENTIAL FARM/FOREST 5 ACRES (RRFF-5)

EXHIBIT #1

309.01 PURPOSE

- A. To provide areas for rural living where this type of development is compatible with the continuation of farm and forest uses.
- B. To conserve the natural scenic beauty of the County.
- C. To protect the watersheds of existing or potential major sources of municipal or domestic water supply from encroachment by uses that would affect the quantity or quality of water produced, protect wildlife habitats, and other such uses associated with the forest.
- D. To avoid the potential hazards of damage from fire, pollution, and conflict caused by urbanization.

309.02 AREA OF APPLICATION

The RRFF-5 zone is applied to those areas designated as Rural on the Clackamas County Comprehensive Plan map, and which have a general parcel size of five (5) acres, are affected by development; contain no serious natural hazards and the topography and soils are suitable for development, and are easily accessible to a Rural Center or incorporated city.

309.03 PRIMARY USES

- A. A single-family dwelling. A dwelling which is a mobile home shall be subject to provisions of Section 824.
- B. Current employment of land for general farm uses including:
 - 1. Raising, harvesting and selling of crops.
 - 2. Feeding, breeding, selling and management of livestock, poultry, fur-bearing animals or honeybees.
 - 3. Selling of products of livestock, poultry, fur-bearing animals or honeybees.
 - 4. Dairying and the selling of dairy products.
 - 5. Preparation and storage of the products raised on such lands for man's use and animal use.
 - 6. Distribution by marketing or otherwise of products raised on such lands.
 - 7. Any other agricultural use, horticultural use, animal husbandry or any combination thereof.

- C. The propagation or harvesting of a forest product.
- D. Public and private conservation areas and structures for the conservation of water, soil, forest, or wildlife habitat resources.
- E. Fish and wildlife management programs.
- F. Public and private parks, campgrounds, playgrounds, recreational grounds, hiking and horse trails, pack stations, corrals, stables and similar casual uses provided that such uses are not intended for the purpose of obtaining a commercial profit.

309.04 ACCESSORY USES

- A. Home occupations, subject to the provisions of Section 822. (adopted 2/4/81).
- B. Accessory buildings and uses customarily incidental to any of the primary uses permitted in subsection 309.03.
- C. Roadside stands when located on the same property as the principal use, permitted when selling only those agricultural products that are produced in the surrounding community in which the stand is located.
- D. Signs, as provided under Section 1010. (8-6-81)

309.05 CONDITIONAL USES

- A. The following conditional uses may be allowed in an RRFF-5 district, subject to review by the Hearings Officer, pursuant to Section 1300. Approval shall not be granted unless the proposal satisfies the criteria under Section 1203, the applicable provisions of Section 800, and all other requirements of this Ordinance.
 - 1. Churches, subject to the provisions of Section 804.
 - 2. Public and private schools, subject to the provisions of Sections 805 and 806.
 - 3. Cemeteries, subject to the provisions of Section 808.
 - 4. Golf courses, subject to the provisions of Section 813.
 - 5. Aircraft land uses, subject to the provisions of Section 816.
 - 6. Sanitary landfills, debris fills, and transfer stations, subject to the provisions of Section 819.

7. Commercial recreational uses exceeding the limits of subsection 309.03F above, subject to the provisions of Section 813.
8. Operations conducted for the exploration, mining and processing of geothermal resources, aggregate and other mineral resources or other subsurface resources, subject to the provisions of Section 818.
9. Commercial or processing activities that are in conjunction with timber and farm uses.
10. Service recreational uses, subject to provisions of Section 813.
11. Day care centers, subject to the provisions of Section 807.
12. Dog kennels, provided that the use and that portion of the premises used is located not less than two hundred (200) feet from all property lines.
13. Residential care facilities, subject to provisions of Section 812.
14. Boarding houses.
15. A building or use listed under subsection 309.04 which is consistent with the purposes under subsection 309.01, but which exceeds the status of an accessory building or use, or home occupation, as defined in this Ordinance.

309.06 PROHIBITED USES

- A. Structures and uses of land not specifically mentioned in Section 309 are prohibited in all RREF-5 districts.
- B. Outdoor advertising displays, advertising signs or advertising structures, except as provided in Section 1010.
- C. Any proposed division of land included within the Rural Farm/Forest 5-acre zone located within an urban growth boundary of a city resulting in the creation of one or more parcels of land of less than five (5) acres in size, with the exception of Conditional Uses approved by the Hearings Officer. (6-22-81)
- D. Residential subdivisions in Future Urbanizable areas.

309.07 DIMENSIONAL STANDARDS

- A. Purpose. The provisions of this subsection are intended to: (6-22-81)

SECTION 800

SPECIAL USE REQUIREMENTS

801 GENERAL PROVISIONS

801.01 Special uses are uses such as those included in this section which, due to their public convenience and necessity and their effect upon the surrounding area, are always subject to particular conditions and standards which differ from or exceed those required of other uses in the same district. Where a dimensional or development standard for a special use differs from that of the subject district, the standard for the use shall apply.

801.02 The status of a special use as a primary, accessory, limited, or conditional use shall be as specified in the subject zoning district.

- A. Special uses shall be subject to staff review under the conditional standards for the use, as set forth in each section below, and the provisions of the subject zoning district.
- B. In addition to the above, special uses with a conditional use status shall be subject to review and approval by the Hearings Officer, after due notice and public hearing, according to the procedures provided in Section 1300, and the criteria set forth in Section 1203.
- C. Modification of a use approved under the provisions of this section shall be subject to the same procedures as the original application, except that a minor modification to an approved Conditional Use shall be reviewed by staff and appropriate review committee, pursuant to the procedures under Section 1305.02. A minor modification, for purposes of this section, is any change which does not result in any of the following:
 - 1. A change in the character of the development.
 - 2. An increase in the overall coverage of structures.
 - 3. An increase in the intensity of use.
 - 4. An increase in the problems of traffic circulation and public facility capacity.
 - 5. A reduction in approved open space.
 - 6. A reduction of off-street parking and loading spaces, except as provided under subsection 1007.07B.
 - 7. A reduction in required pavement widths or access location.

801.03 Application for a conditional use shall include, in addition to any specific requirements under the use, the following information:

- A. A description of the proposed use and specific reason for the request.
- B. A vicinity map indicating the relationship of the proposed use to the surrounding area.
- C. A site plan of the property including existing and proposed improvements and other information necessary to address the requirements and conditions associated with the use.
- D. A building profile of proposed new or remodeled structures, as applicable.
- E. Information addressing the criteria set forth under Section 1203.

906/1-2

813 SERVICE RECREATIONAL USES

813.01 USES PERMITTED

- A. Public parks, playgrounds, recreational and community buildings and grounds, public golf courses, tennis courts and similar recreational uses, all of a noncommercial nature, provided that any principal building or swimming pool shall be located not less than forty-five (45) feet from any other lot in a residential district.
- B. Private, noncommercial or nonprofit recreational areas, uses and facilities, including country clubs, lodges, fraternal organizations, swimming pools and golf courses, provided that any principal building or swimming pool shall be located not less than forty-five (45) feet from any other lot in a residential district.
- C. City, county, state, federal or municipal corporation uses or buildings.
- D. Telephone exchanges, railroad rights of way, and public utility structures without shops, garages or general administrative offices. Radio and television transmission and receiving towers and earth stations, provided the base of such towers shall not be closer to the property line than a distance equal to the height of the tower.
- E. Riding stables, boat moorages, parks and concessions.
- F. Recreational vehicle and camping areas and facilities.
 - 1. Density: The maximum number of recreation camping spaces or sites permitted per acre shall not exceed ten (10).
 - 2. Health: An adequate system for fire protection and water and sanitary sewer service shall be provided in accordance with applicable state, county and fire district requirements.
 - 3. Site: A minimum area site of ten (10) acres is required, and no camping area site may be less than one thousand five hundred (1,500) square feet in area. One (1) parking space shall be provided for each camping or recreational vehicle site.
 - 4. Dimensional Requirements: Same as primary zone.
 - 5. Accessory Uses: Service uses and facilities incidental and clearly subordinate to the primary use may be permitted as a condition of the use permit.

1203 CONDITIONAL USE

- 1203.01 The Hearings Officer may allow a conditional use, after a hearing conducted pursuant to Section 1300, provided that the applicant provides evidence substantiating that all the requirements of this Ordinance relative to the proposed use are satisfied, and demonstrates that the proposed use also satisfies the following criteria:
- A. The use is listed as a conditional use in the underlying district.
 - B. The characteristics of the site are suitable for the proposed use considering size, shape, location, topography, existence of improvements and natural features.
 - C. The site and proposed development is timely, considering the adequacy of transportation systems, public facilities and services existing or planned for the area affected by the use.
 - D. The proposed use will not alter the character of the surrounding area in a manner which substantially limits, impairs, or precludes the use of surrounding properties for the primary uses listed in the underlying district.
 - E. The proposal satisfies the goals and policies of the Comprehensive Plan which apply to the proposed use.

905/2

RURAL

EXHIBIT #2

Rural lands are those which are outside the Urban Growth Boundaries and are suitable for sparse settlement, small farms or acreage homesites with no or hardly any public services and which are not suitable, necessary or intended for urban, agriculture or forest use.

GOALS

- . To provide rural housing choices as an alternative life style to urban living.
- . To provide a buffer between urban and agricultural or forest uses.
- . To perpetuate the rural atmosphere while maintaining and improving the quality of air, water and land resources.
- . To conserve open space and protect wildlife habitat.

POLICIES

- 1.0 The following areas may be designated Rural:
 - a. Areas which are presently developed, built upon or otherwise committed to sparse settlement or small farms with not or hardly any public services available.
- 2.0 Additional areas which are shown to be necessary based on documented public need. Such documentation shall include, but not be limited to:
 - a. Reasons why additional Rural land is needed or should be provided.
 - b. An evaluation of alternative areas in the County which should be designated Rural; and a statement of why the chosen alternative is more suitable.
 - c. An evaluation of the long term environmental, economic, social and energy consequences to the locality, region or state by designating this area Rural.
 - d. Reasons why designating the area Rural will be compatible with other adjacent uses.
- 3.0 Areas impacted by major transportation corridors, adjacent to areas designated Urban or Rural and for which public services are committed or planned shall be given priority in designating additional rural areas.

4.0 Residential lot sizes shall be based upon:

- a. Parcelization
- b. Level of existing development
- c. Topography
- d. Soil conditions
- e. Compatibility with the types and levels of available public facilities
- f. Proximity to existing Rural Centers or an incorporated city
- g. Capacity and existing level of improvement of the road network

5.0 Existing large lots should be reduced to meet future rural housing needs prior to expanding the areas designated as Rural.

6.0 Areas with marginal or unsuitable soils for agricultural or forest use shall be given a higher priority for conversion to rural development than areas with more suitable soils.

7.0 Public facilities should be expanded or developed only when consistent with maintaining the rural character of the area.

8.0 Increased water service to an area will not be used in and of itself to justify reduced lot sizes.

9.0 Sewerage systems shall be allowed only to alleviate a health hazard or water pollution problem which has been identified by the State of Oregon or Clackamas County.

10.0 All sewerage systems shall be maintained by a County service district or an incorporated city.

11.0 The County shall encourage grouping of dwelling units with lot sizes less than the minimum allowed by the zoning district, when such cluster development is compatible with the policies in this plan and the overall density of the zoning district.

12.0 Preexisting nonconforming structures and uses which are destroyed by fire, other casualty or natural disaster shall be allowed to reconstruct, as provided by the Zoning Ordinance.

13.0 The Rural (Agricultural) two-acre (RA-2), Rural Residential Farm/Forest five-acres (RFFF-5) and the Farm Forest ten-acres (FF-10) zoning districts maintain the character of Rural areas and implement the goals and policies of this plan for residential uses in Rural areas; these zoning

districts and any other zoning district developed in the future, which implements these goals and policies, should be applied in Rural areas. These zones shall be applied as follows:

13.1 A two-acre zone shall be applied when:

- a. Parcels are generally five acres or smaller.
- b. The area is significantly affected by development.
- c. There are no natural hazards and the topography and soil conditions are well suited for the location of homes.
- d. A public or private community water system is available.
- e. Areas are in proximity or adjacent to a Rural Center or incorporated city.

13.2 A five-acre zone shall be applied when:

- a. Parcels are generally five acres.
- b. The area is affected by development.
- c. There are no serious natural hazards and the topography and soils are suitable for development.
- d. Areas are easily accessible to a Rural Center or incorporated city.

13.3 A ten-acre zone shall be applied when:

- a. Parcels are generally ten acres.
- b. The area is developed with a mixture of uses not consistent with extensive commercial agriculture or forestry uses.
- c. Access to a Rural Center or an incorporated city is generally poor.

Exceptions to LCDC Goals 3 and 4 have been taken for Rural, Rural Center, Industrial and Commercial areas. These site specific exceptions are found in the attachments to this plan.

13.4 Within the Rock Creek basin, review partitioning requests to insure that the location of proposed easements and road dedications, structures, wells, and septic drain-fields are consistent with the orderly future development of the property at urban densities, recognizing that the basin is the first area to be considered for large

scale expansion of the metropolitan urban growth boundary.

- 14.0 The County should develop a Rural Subdivision and PUD ordinance as appropriate.

PARKS AND RECREATION

Clackamas County, like all rapidly urbanizing areas, needs to set aside land, and develop facilities, for the recreation and enjoyment of its residents and visitors. Various types of parks, urban recreation trails, and a variety of other outdoor and indoor facilities will be needed over the next 20 years. Recognizing the limitations of existing facilities, priorities and standards have been set for the acquisition and development of land for recreation purposes, with a strong emphasis on the urban area.

The initial step is a commitment to provide an adequate park and recreation system to meet the needs of the people. This commitment must be met, however, within an overall strategy that considers the other legitimate needs of County residents. The current budgetary constraints make this imperative. Different types of organizational and funding mechanisms will need to be used and many segments of the community involved, including all governmental jurisdictions and the private sector.

GOALS

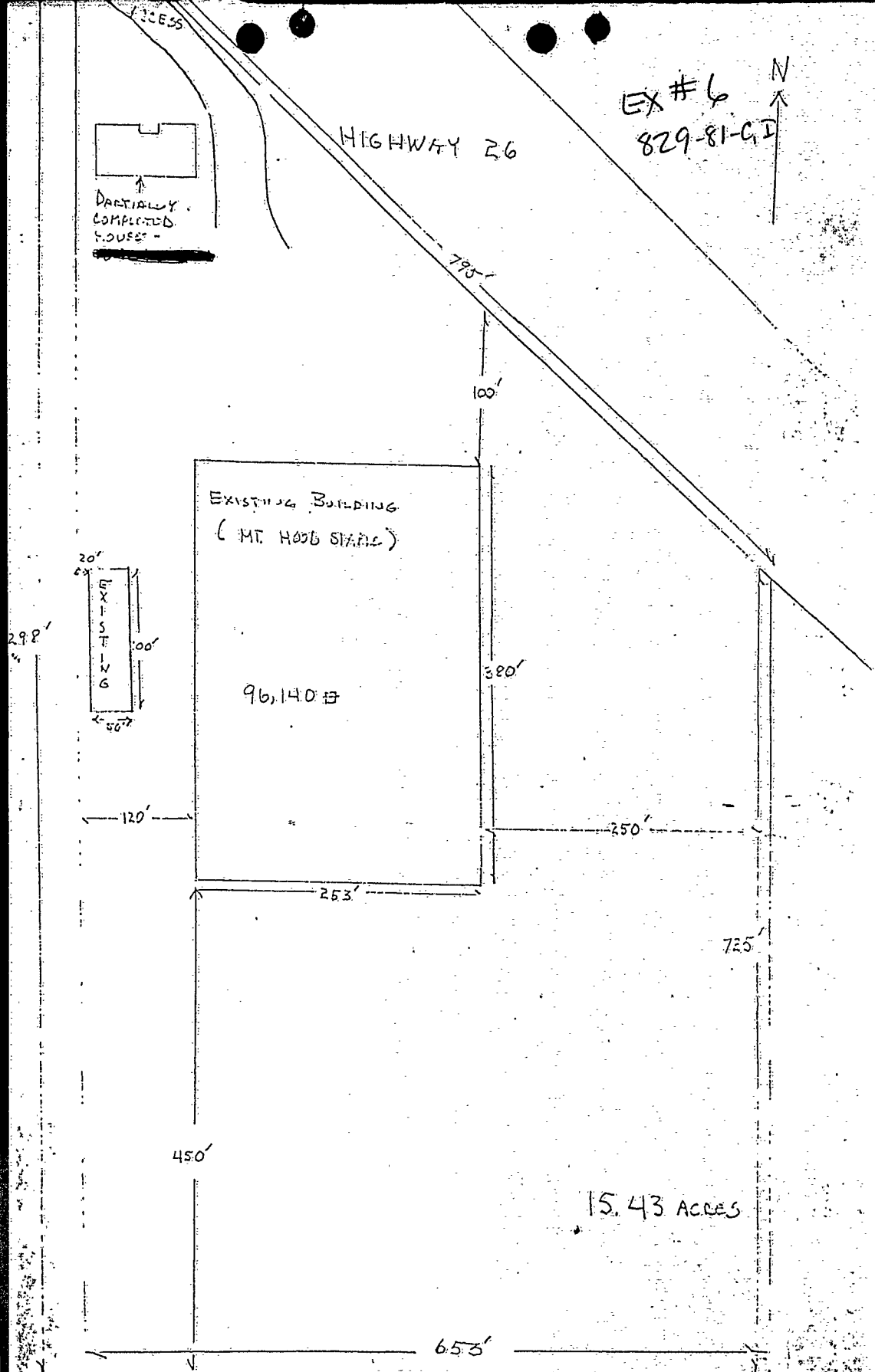
- . Provide land, facilities and programs which meet the recreation needs of County residents and visitors.
- . Establish an equitable means of financing parks and recreation facilities and programs.

POLICIES

- 1.0 Establish the following park classifications and standards to guide the provision of parks and other recreation facilities throughout the County.

Policies 1.1 through 1.3 are detailed in the following chart.

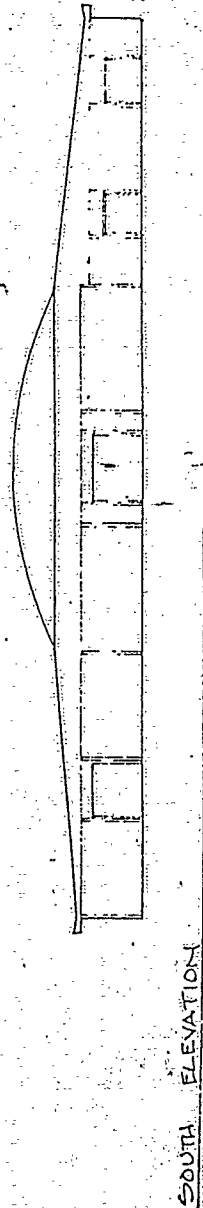
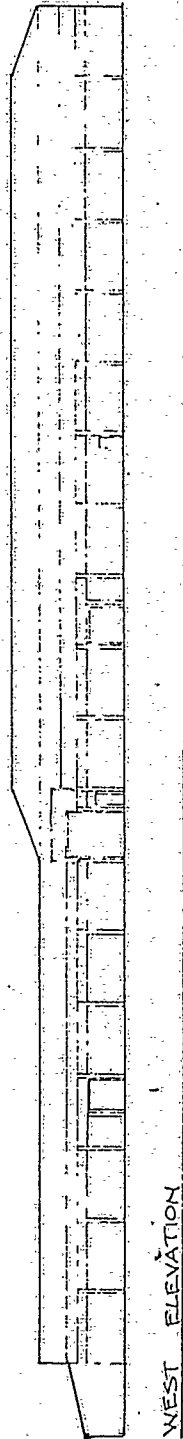
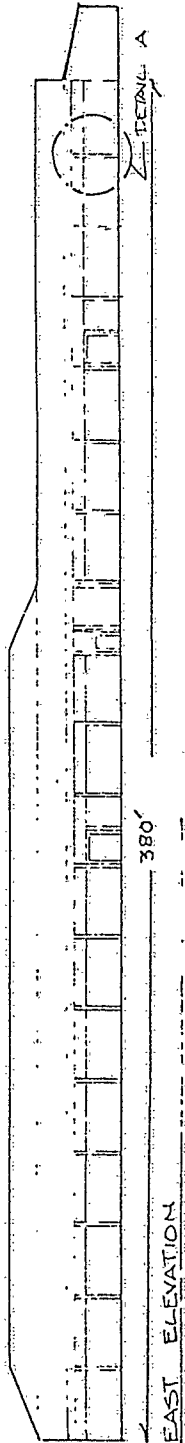
- 1.4 The county will seek to establish a park and recreation system which maximizes access for walkers, hikers, bicyclists and transit riders.
- 1.5 The county will seek to provide improved access and conveniences for disabled people in its park and recreation facilities.
- 2.0 Acquire and develop park sites in the urban area in order to bring that part of the County up to adopted standards. Due to the significant lack of parks and open space, the east urban area should be given special emphasis, particularly the Oak Lodge and Overland/Kendall neighborhoods.
- 2.1 The following park land will be acquired by the County or other appropriate agency as soon as possible (see map IX-2 for subarea boundaries):



SITE PLAN
T1S, R4E SEC. 31

EX #7

829-81-C, I





U.S. SMALL BUSINESS ADMINISTRATION
FEDERAL BUILDING
1220 S.W. THIRD AVENUE
PORTLAND, OREGON 97204

EMMA
829-81-C

April 12, 1982

Clackamas County Planning Department
902 Abernethy Road
Oregon City, Oregon 97045

Attn: Terry Curry

Subject: Mt. Hood Stables
NR 454268 11 02 PTD

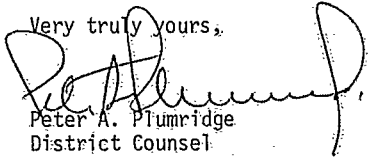
Dear Ms. Curry:

This will confirm that Small Business Administration, the record owner of the real property, formerly known as Mt. Hood Stables, has agreed in principal to sell this property to Walter R. Dorrrough and Linda Ferguson. This sale is subject, among other things, to the issuance of a conditional use permit to allow this property to be used as a horse stable. It is our understanding that this property was so zoned at the time the building was constructed, but this zoning designation was superseded by the later permit issued to General Telephone Company.

This letter will thus further confirm, that we support the application by Mr. Dorrrough and Ms. Ferguson, for the conditional use permit to allow this property to be used in accordance with its original intent. We will be pleased to supply you with any further information, which you may feel is necessary to support this application and to expedite the processing of the permit.

Please feel free to call me at 294-5226 if you have any questions.

Very truly yours,


Peter A. Plumridge
District Counsel

EX #9

829-81-C, I

NOTICE OF APPLICATION

EMMA

TO: Walt Tschudy DATE: April 7, 1982FROM: Clackamas County Planning Division
902 Abernethy Road
Oregon City, Oregon 97045
(655-8521)FILE NUMBER: 829-81-C.I. WALTER DORROUGH

The Planning Division would like your comments on the attached application. Please indicate any information which would assist the county in acting on this application. Comments received by April 19, 1982 will be included with the Planning Division report to the hearings body. Please return this form only. If no form is received we will assume no objection. If more information is needed, please call the Planning Division.

Recommendation: _____

No comment.Walt Tschudy
Signature

EX # 10

4/8/82
Position

Please return to address above.

EMMA

5/3

NOTICE OF APPLICATION

TO: Dick Polson DATE: April 7, 1982

FROM: Clackamas County Planning Division
902 Abernethy Road
Oregon City, Oregon 97045
(655-8521)

FILE NUMBER: 829-81-C, I, WALTER DORROUGH

The Planning Division would like your comments on the attached application. Please indicate any information which would assist the county in acting on this application. Comments received by April 19, 1982 will be included with the Planning Division report to the hearings body. Please return this form only. If no form is received we will assume no objection. If more information is needed, please call the Planning Division.

Recommendation: As of this date, details of the
proposed sewage disposal system for the
stable have not been presented or approved.
Assuming that this problem can be
rectified, we would have no objections to
this proposal. The applicant or his
consultant should contact our office
concerning their plans for sewage disposal.

Richard L. Polson
Signature

Chief Soil Scientist
Position

EX #11

Please return to address above.

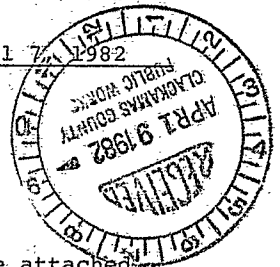
EMMA 5/3

NOTICE OF APPLICATION

TO: State Highway Division

DATE: April 7, 1982

FROM: Clackamas County Planning Division
902 Abernethy Road
Oregon City, Oregon 97045
(655-8521)



FILE NUMBER: 829-81-C, I, WALTER DORROUGH

The Planning Division would like your comments on the attached application. Please indicate any information which would assist the county in acting on this application. Comments received by April 19, 1982 will be included with the Planning Division report to the hearings body. Please return this form only. If no form is received we will assume no objection. If more information is needed, please call the Planning Division.

Recommendation: No DIRECT ACCESS TO HWY 26.
WE WOULD LIKE TO BE KEPT INFORMED
OF THE PROGRESS OF THIS DEVELOPMENT.

SPECIALTY

David M. Hill, D.E.
Signature

EX #12

ASST. DIST. MAINT. SUPER.
Position

Please return to address above.

NOTICE OF APPLICATION

EMMA

TO: BORING ACTION NEIGHBORHOOD GROUP DATE: 3/29/82

FROM: Clackamas County Planning Division
902 Abernethy Road
Oregon City, OR 97045
(655-8521)

FILE NUMBER & NAME: 829-81-CI DORROUGH

The Planning Division would like your comments on the attached application. Please indicate any information which would assist the county in acting on this application. Comments received by APRIL 19, 1982 will be included with the Planning Division report. PLEASE RETURN THIS FORM ONLY. If no form is received we will assume no objection. If more information is needed, please call the Planning Division.

Recommendation: _____

We have no objections to the proposed use of the building which was originally built for that purpose.

Leo Hinkhouse
Signature

President

Position

Please return to address above.

EX #13

EX # 15 829-81-CD

APPEAL OF CONDITIONAL USE - GENERAL TELEPHONE CO.

Appellant: Arthur & Mildred Edmon
13640 SE Highway 212
Space No. 146
Clackamas, OR 97015

R-20-79 X CU-19-79

Location: South side of Highway 26, approximately 600 feet east of its intersection with Haley Road, Boring area.

Recommendation: Approval by Hearings Officer

Dominic Mancini: This is for a conditional use permit by General Telephone Co. to use an existing facility for a support center for the telephone company. Adjacent to Highway 26. Current zoning on the map as FF10 and a portion FF5 and RA-1. Subject property outlined in red. Aerial photograph of 1976 depicts the subject property outlined in red. The Comprehensive Plan is suburban. County Planning Department recommendation was for approval subject to conditions. The community Organization, BANG, were notified but sent no response.

The hearing before the Hearings Offices was rather lengthy. Board has a copy of this hearing and the transcript. Conclusions of the Hearings Officer indicates were that he felt it was an appropriate use and was in compliance with its Comprehensive Plan and would not be detrimental to the County Comp Plan for the area and was a use that was permitted by the County zoning ordinance. He indicated compliance also with the State Land Use Planning Goals.

The appeal states disagreement with the Hearings Officer and also cited some impacts in the community - relative to cars and employees which he thought would be detrimental to the area.

Arthur Edmon, 13640 SE Highway 212, Clackamas: (Appellant advised that this is not a de novo hearing and that he can respond as to why he disagrees with the Hearings Officer's decision - no new evidence will be taken.)

Says originally he built this building and ran it as a horse stable. The community needs the horse facility. Can't see how the telephone company is in compliance with an FF-10 zoning - that's a commercial use - not a farm use. Feels they are losing their rural setting. Isn't structurally strong without the stables. People would have no place to go for their horse shows. Not the current owner - building is vacant at this time. It is built for a horse stable and is a recreational facility that is needed in this county. When he left the stable there were 130 horses and the daily traffic would be probably 50 cars. Not over that. People don't come every day. Telephone is a growing concern and they will have more cars in the future.

(Discussion - Mr. Edmon stated that the Hearings Officer made his decision on this matter on April 12th and he just received the transcript on the 13th of June. Consequently he has not had a chance to show it to anyone. A short recess was called to allow the appellants to determine whether or not they would like to continue this matter to a later date. Six criteria for new evidence to be presented was explained.)

David Frost, Attorney for Telephone Co., Hillsboro : Surprised at the number of people present. Thought the only concern in this matter was the problem of traffic. Beyond that, they are not prepared to rebut anything that might come up. Would not approve of an extension of time. They are not denying the need for a horse stable as a recreational facility. Has his doubts as to the relevancy of the need for the facility, since there is no facility there now.

Discussion of the reasons on the appeal application. (1) This was a farm connected operation. (2) Were told by a realtor that this had to remain a stable. (3) No drainfield for the sewer on this property. (4) Traffic. Mr. Edmon was advised that if applicants cannot receive a permit for a drainfields, he would not be permitted to build.

Mr. Edmon: Thought since they were here and no new evidence could be submitted, they should go ahead with the hearing.

Glen Nelson, Rt. 2, Box 1050, Troutdale: Would like to have a new hearing. There is additional evidence that they could come up with.

Mr. Edmon: Says there were very few people at the Hearings Officer hearing. Thinks they should go ahead.

David Royal, 8280 SW Peters Road: Says they have not seen the transcript so they cannot speak on it. They were not at the original hearing. They would not know what they were going to talk about. The two people who attended the original hearing are the only ones that could talk intelligently. There are several people who would like to say something.

Debra Noah, 29420 SE Lariat Lane, Boring, OR 97009: It has been brought up regarding the lack of facilities in this area. She brought up the matter of traffic on Haley Road - from Haley Road on down Lariat Lane - in good condition (Haley Road in bad condition) now but the amount of traffic going down Lariat Lane with the large vehicles (Telephone Co. vehicles) would be a detriment to the road and the community. She and her husband are purchasing Tax Lot 1700, which contains the drainfield formerly used by the stable, and Tax Lot 1600 also contains part of that drainfield, which property belongs to Mrs. Edmon - they would not allow the use of the drainfield to General Telephone. Where will they locate a drainfield.

Many 4-H groups from Clackamas and Multnomah County use the stables. Clackamas County is the biggest 4-H county in the State. They always thought the stable had to remain a stable.

Commissioner Groener: Referred to Goal 8 of LCDC - to satisfy the recreational needs of the citizens - however (reading from the Hearings Officer's transcript) the evidence also indicates that the property has not been utilized for this purpose in the recent past and converting this arena to the requested conditional use will therefore not remove an existing recreational facility. Not shown to him that this facility would be used.

Mr. Edmon: One thing that should have been brought up was the reason it is not being used as a horse barn now. The man that bought it took it out of the horse business - to make a profit for a commercial enterprise to go in there.

Mrs. Noah: One of the things that she brought up in her testimony was (Goal #8) to provide for the recreational needs of citizens and visitors of the County. Not the horse people's fault that the present owner did not run it as a stable. People living there do not want to see a Telephone Company in there.

Mr. Edmon: Traffic is concern. The number of trips and the cars going in there. Thinks it is a detriment to the community. Owns house on Lariat Lane. Feels the value of the homes will drop. Traffic will start at 7:30 in the morning and will be going on all day long - cars in and out. There will be 103 employees coming there every morning. He says there will be 366 one-way trips a day. Feels it is a terrible shame to lose a facility like this that has been recognized by people of national stature in the horse business. It is one of the finest there is in the country.

(Discussion as to whether or not the new owner would sell to the horse people even if this appeal were approved. Also the matter of subsurface drainage - which would be the decision of the engineers. Mr/ Groener interested in whether this property could be used in the future for horse utilization, if the owner were willing.)

Mr. Frost: Not certain they would have evidence this morning to address that question. Doesn't know if this would be relevant in any case.

Commissioner Groener: Would like to have the evidence regarding whether or not this would be removing a recreational facility. This would give both sides opportunity to research that question (if a 10 day delay were allowed).

Commissioner Schumacher: Doesn't know what relevance this is to that issue. If you had testimony that 500 people were banding together to buy that piece of property - doesn't know if that is rationale for denying this conditional use. Because there isn't a guarantee that anything is going to happen. Feels the horror of this whole thing is that Mr. Edmon built a horse facility out there and continued in good repair as long as he owned it but has since gone downhill - that it is in disrepair at the present time and the Telephone Co. has applied for a conditional use on that piece of property - which has been approved subject to subsurface disposal - if this is not approved they won't build anything on it at all. Feels there is nothing that can be said that would guarantee that this would be a horse stable again. It is not in a recreational use at the present time.

Arlene Allen, 1024 SE Jackson Park Road, Troutdale: No testimony given as it appeared to be new testimony.

Commissioner Groener: I move that that additional evidence be allowed relative to the future use of that land.

Commissioner Schumacher: I'll second the motion so that I can vote against it.

Commissioner Groener: I feel that Goal 8 in this case is relevant and that a major reason that the Hearings Officer allowed the conditional use - there was a lack of evidence showing what the use of that property would be in the future.

Commissioner Groener: Aye

Commissioner Schumacher: No.

Commissioner Skoko: No.

Commissioner Skoko: Concerned with the context that the Hearings Officer used for arriving at his decision. Does not find that the property falls within his interpretation of rural as it pertains to certain regulations put out by CRAIG, now MSD. The land is in a Farm Forest-10, which is indicative to an area that is suitable for farming. Knowledgeable of the general terrain of the property and the suitability of that particular piece of property for various types of agricultural - however, it could be a conditional use and used for other things.

Change to Tape II

Mr. Frost: Telephone Company not opposed to horses or the facility. They felt this was a building ideally suited for the type of use they have. Want the building for a support center. Not a public type of building. The general public would not be coming on a regular basis. This is primarily a warehouse type of operation. Place for storage of equipment and vehicles. No facilities for bill paying or filing complaints, etc. Occasionally contractors could come into that area. 99% of the traffic generated would come from company vehicles and company employees.

Right now the support center is located in Gresham in a very definite urban center. Talking about sizable trucks and a number of them. Moving to the subject location would take an enormous amount of pressure off the heavy peak hours in Gresham. Putting this facility next to a major highway is a real advantage. Traffic counts are set forth in the transcript. These are company vehicles as opposed to individual vehicles who would be coming and going one round trip per day. The 21 trips mentioned in the file are company vehicles returning to the facility. Does not want to mislead the Board, there will be traffic. Feels it would be a better facility as far as giving service to the clientele of the company. Advantage also to the public in reaching destinations quicker.

Re: Subsurface disposal. If they can't get approval, they surely will not be using this facility.

Feels that if it could be used for a stable economically, they may not have had the opportunity to purchase it for some other use. Does not know that for a fact. Does feel there is a major benefit to the public as a whole by the conversion of this to the support center for the company - which is supported by the staff and the Hearings Officer's recommendation. Feels there is no substantial evidence to show that their request is not a reasonable one.

Henry Kutschia, Division Manager: Re: Boundaries of the division - reaches over to the Camas site, so he will not address himself to that. Support Center will not be effected by the Camas operation. Boundaries - on the north side follow the Columbia River - follows the Sandy River going south - on the way to Sandy approximately two to three miles at different spots beyond Sandy. Cuts back west towards 165th, at some points, and reaches back into town to about 171st and 172nd when it reaches the river. Not a clean cut boundary.

(Commissioner Groener concerned with traffic onto Highway 26 - burden of proof. Feels there is no evidence to support this. No concern with subsurface - this will be determined by the engineers. Question of concern on a commercial use in this area. His question, do you see a horse stable that existed in the past, and could in the future, similar to the use by General Telephone in terms of strict commercial. Does not want to see Highway 26 a strip commercial development. Wants to know if they consider the support center not commercial.

Mr. Frost: Responding first to the question of traffic. They put in evidence only as to the number of vehicles and the hours in which they would normally operate. Thinks the impact was addressed prior to the hearing by the staff report (letters in the file). (Commissioner Groener questioned the applicant's burden of proof - no response from the State is not adequate.)

Feels the use proposed is not a commercial use - it is a warehouse. Would not contribute to strip commercial - such as gas stations, McDonalds, etc. Does not feel this is a large percentage count for traffic.

Mr. Edmons: Talks about 21 trips a day. He figures there is 366 trips a day according to his figures out of the facility a day. Understands that the City of Gresham doesn't want this facility at this location.

Mrs. Noah: Mr. Cross stated that he thought it would help the City of Gresham to take this out of the city. Says that the City of Gresham actually sent a letter of opposition to this move. Not concerned with traffic on #26 - concerned with traffic on Haley Road.

MOTION:

Commissioner Groener: Mr. Chairman, I move to overturn the Hearings Officer's decision.

Commissioner Schumacher: I'll second for discussion.

Commissioner Groener: Mr. Chairman, the reason for my motion is one, although I think that Mr. Frost has attempted to show that this is a minor traffic generator - Mr. Edmond has attempted to show that it is a major traffic generator - not only #26 but Lariat and Haley, that that is still in doubt and the fact that the detriment to that area from that significant, at least increased traffic generation would in my opinion negatively impair that area - impact that area, pardon me.

Second concern is that the stable has been and was approved previously because that was a farm related activity and that is what you stated in your appeal. I do not see either an industrial, or in this case light industrial, warehouse operation in that vicinity as compatible with that particular area and that neighborhood. I think we have got to be very concerned with increasing encroachment in that particular type of use in that kind of land use situation.

Also, the last one that you may not agree with, evidently didn't on a two to one vote, you can tell me that I can't tell the land owner what to do with that property, and that's correct, but that doesn't mean that I have to allow a light industrial or warehouse operation, therefore I limit the owner of that property as to what can happen with that property. I think you understand my logic.

Commissioner Schumacher: Well, I think I indicated earlier that we're talking about conditions use for the telephone company, not whether or not the barn or stalls are going to be used tomorrow or the next day or whether somebody is going to buy them and put them into use, which in fact is a traffic generator also.

I remember the original conditional use for the building of that facility. I'm not certain that I granted that conditional use. The question I have is whether or not General Telephone company has adequately presented their case to the Hearings Officer, and whether the Hearings Officer was correct in his determination and I can tell you I think he was. He has gone through some lengthy testimony indicating from the people - essentially what you have told us here today, that it is a shame to tear down the barn and stalls and not to use the stalls, that you might have to go to various parts of the State and the county in order to find adequate stalls for your horses. That does not take away from the fact that the stalls are currently not being used and if they are not being taken away and that there's no guarantee - even if you gave me a guarantee I don't think that would actually mean that the Telephone Company hasn't proven their case.

The two major areas of concern, beyond the recreational use, first the subsurface disposal, and I think the testimony in here and given to us today, that Mrs. Noah and Mr. Edmonds would not allow the Telephone Company to use the existing drainfields probably does a great deal of damage to General Telephone Company's conditional use, but it is one of the conditions that there be adequate facilities.

for subsurface disposal and that's something that this Board can order them to do. The other thing is traffic. We're talking about essentially small vehicles and perhaps a hundred round trips a day. I think you can equate that somewhat to what would happen if that were a full blown facility for horses and how many trips would be brought on that. I think the Hearings Officer was very fair and I know it is disturbing to the people who live in that area and I can assure you it's not going to happen - because I can see what's happening here, but I do think that General Telephone Company proved their case.

Commissioner Skoko: I am personally of the opinion - although it isn't a requirement available to that particular type of use - and I suggest perhaps the Boring urban area could have been explored and that facility located somewhere there. I feel, knowing that land and the general area out there, that I have to disagree somewhat with the Hearings Officer inasmuch as he said it is not currently used for agricultural uses - it is highly suitable and in fact in his transcript he indicates that there is a nursery adjacent to the subject property. In my opinion a nursery is on better land than some of our described agricultural lands - in other words it is superior agricultural land. Although it is not currently used for that particular purpose, it is suitable for that and it is very important for us to conserve all of the more desirable agricultural lands.

I think though they may have proven their case, as Commissioner Schumacher indicated, but the Telephone Company could have located elsewhere. If it must be in that area, yes. If not, certainly in the general area north of I-80 freeway toward the Columbia River, which is also within their district. I am going to stop now and I will submit more reasons when the vote is taken. Will you restate your motion so that it is clear for the record.

Commissioner Groener: To overturn the Hearing Officer decision based upon the reasons I stated.

Beth Blount: May I point out something at this time. In your reasoning for supporting Mr. Groener's motion, you have stated several times that the Telephone Company has proven their case, but they should look for an alternative location. The section that we are applying is Section 8 of the Conditional Uses and the need for an alternative location is not one of the criteria that they have to meet.

Commissioner Skoko: Then my prerogative is to deny a conditional use is enough.

Beth Blount: Based on the two criteria. That is that it will not be detrimental to the Comp Plan or surrounding property.

Commissioner Skoko: In my opinion as I somewhat indicated, and will submit further findings, that it is detrimental to surrounding property and in addition there is a reason behind that. I will give my reasons for that. Mr. Groener,

state the motion again.

Commissioner Groener: My motion was to overturn the Hearings Officer's decision based upon incompatibility with the Comp Plan - based upon the reasons I stated. One was that the traffic generation, although it is true where there is a stable there is traffic generation, it is much higher traffic generation with this light industrial or warehouse usage. Two, that this is not a farm related activity which I believe is incompatible with that area and three, that although related to what I just said, I believe this in fact is enhancing of type of, although this is not commercial, and Mr. Frost is correct, a type of land use that will impact the land use in the area in the future and by that I call it strip light industrial. I don't care what you want to call it - that means that if this is allowed so can in the future in that particular area similar uses which I feel are incompatible for that area.

Commissioner Skoko: I will supplement that with some of my reasoning. Clerk.

Commissioner Groener: Aye
Commissioner Schumacher: No
Commissioner Skoko: Aye

REHEARING APPEAL OF CONDITIONAL USE - GENERAL TELEPHONE COMPANY (Applicant)
ARTHUR & MILDRED EDMON (Appellant)
13640 S. E. Highway 212
Space No. 146
Clackamas, OR 97015

Location: South side of Highway 26, approximately 600 feet east of its intersection with Haley Road - Boring area.

Recommendation: Approval by Hearings Officer

History: Heard June 18, 1979. Appeal approved by Commissioners Groener and Skoko. A. R. Close, Owner of the Mt. Hood Stables has asked for a rehearing in the matter.

Ron Stangel explained that this is a rehearing granted by the Board of County Commissioners on September the 6th to reconsider the request of General Telephone to utilize the stables as a service center. Since the last time the Board heard this matter this was in the RUPA II area and there were some changes in the zoning. A map was posted showing that the area originally designated as RA-1 and FF-10 are now both FF-5.

Commissioner Schumacher explained that at the hearing on June 18th, the Board on a split vote (Groener & Skoko) denied the conditional use. Subsequent to that time the Commissioners allowed the petitioners to come back in based on the fact that something hadn't happened with the property.

Roger Rook, Attorney for A. R. Close, stated that they petitioned for rehearing and at the time of that rehearing Mr. Groener indicated that if by January 7th it hadn't become possible to use this property as a stable, he would reconsider the matter. He indicated that in addition to people from GTE, there are representatives of SBA and of course, people of the neighborhood.

Commissioner Groener stated that it wasn't just a question of the horses at the time. It was a question of traffic generation, whether this particular use was the kind of use that should be allowed in an FF-5 zone off Highway 26. Says he was concerned about the recreational goal of LCDC and thought if it was possible to use that property as a recreational facility then he feels, he would have done everything he could have to meet LCDC. Feels now that it does meet the conditional use requirements. The attempt has been made to meet the recreational goal of LCDC.

Commissioner Skoko does not agree with Commissioner Groener's reasoning. The location of the facility as proposed at this location would affect the aesthetic values of Highway 26. Feels the property should be retained as the area is zoned.

Mr. Peter Plumridge, District Council, Small Business Administration, stated that this facility has not really be actively used as a stable for over four years. There are various litigation actions going on. They have solicited offers to purchase the property for some use that would be somewhat compatible with the way it was originally built. They have seldom gotten an offer that

was really a firm offer at the price level that would be acceptable to SBA. After September of last year they again tried to market the property and placed a display ad in the Sunday Oregonian. They got about 30 inquiries. They prepared an invitation to bid and sent them out to those people responding. However, they did not receive an offer on the property so as far as they are concerned the only offer presently is the one from General Telephone.

David Frost, Attorney for General Telephone Company, displayed an architectural rendering of the plan since the matter of aesthetics was brought up. He explained that it does use the basic framework of the stables which are already there. The Hearings Officer did find that General Telephone had met all the requirements for a conditional use in the FF-10 and FF-5 area and that the type of facility is proper in that area.

Opposition

Carl Leathers, Owner of Leathers Oil Company, states he is concerned and confused on the issue at hand. Says that when he called in regarding the bid, he was told that they had a low bid of \$480,000 on the property. Feels SBA made a mistake on loaning that much money on a stable as he doesn't feel anyone could operate a stable with that type of investment. Feels that they should put it up for bid for a stable and if someone wants the property for half that amount they should have a stable there. Feels a stable is a form of recreation and it is needed in the area. Says he understands that General Telephone has offered something like \$580,000 or \$560,000 and that concerns him because he feels those paying telephone bills will have to absorb the expense of this property. He says he does not live in the area.

Commissioner Groener told Mr. Leathers that if he lived in the area he feels that he would not like to have a stable near his home because of the smell.

MOTION: Commissioner Groener: Mr. Chairman, I'm satisfied that the conditions that the Hearings Officer had found have been met. My concerns at that time . . . I've had several hearings to . . . and I apologize for the delay. I feel that the conditions that the Hearings Officer found have been met are there as well as the fact that I still stick by the fact that a stable has been needed. I feel I gave it my attempt to . . . maybe it wasn't good enough, I don't know but I'm not going to sit around for the next ten years trying to sell that stable. I'm not one who believes that the person who owns property ought to subsidize the public and if I hear Mr. Leathers correctly, he says a stable is needed in the community and frankly, what ought to occur is he ought to sell it for a lower price. I don't think that's economically feasible and I don't think the SBA would particularly appreciate it and I think that if, in fact, the people in that area . . . if you look at the aerial wanted a stable they would have formed a recreational district by now. They could have . . . They could have by

petition formed a recreational district. They could have taken over the stable and paid for it, as you know, through Bancroft bonding or any way they wanted to do it over a 30 year period. They did not do that. The people who live in that area and the facts support this request . . . it's allowed as a conditional use as long as those certain conditions are met and those have been met so I move approval or upholding the Hearings Officer's decision.

Commissioner Schumacher: Could I have a second?

Commissioner Skoko: No way.

Commissioner Schumacher: Would the Clerk call the roll please.

Commissioner Skoko: Wait a minute. I would like to discuss it.

Commissioner Schumacher: Well, you didn't second it.

Commissioner Skoko: I'll second it for discussion. In the first place the transcript indicates that adjacent to this property is a nursery. Nursery stock ordinarily commands much better agricultural soil than does the average agricultural products. Consequently, I cannot support the motion because you are removing from an agriculturally zoned area agricultural lands that are productive in their own right.

Commissioner Groener: Aye.

Commissioner Skoko: No.

Commissioner Schumacher: Aye.

(Scott Parker asked Mr. Frost to submit the final order)

EX # 18
829-81-C.I

HIGHWAY 26

ROADWAY EASEMENT

46,000 sq ft
APPRX.
78 SPACES

EXISTING BUILDING
(MT. HOOD STATE)

96,140 sq ft

100,100 sq ft
APPRX.
131 SPACES

23,450 sq ft
APPRX. 27 TRUCK SPACES

EXISTING

12,000 sq ft
APPRX. 14 SPACES

ON-SITE ROAD

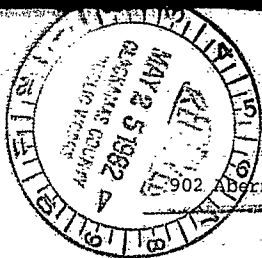
69,000 sq ft
port-a-stall
area

POND

15.43 ACRES

CUTBANK AREA - UNUSED

SITE PLAN
T1S, R4E SEC. 31



NOTICE OF PUBLIC HEARING

EX#19

CLACKAMAS COUNTY HEARINGS OFFICER

902 Abernethy Road, Oregon City, Oregon (655-8521)

HEARING DATE: June 7, 1982 (THIS MATTER ORIGINALLY HEARD MAY 3, 1982
BUT MUST BE HEARD AGAIN DUE TO INSUFFICIENT PUBLIC NOTICE)

TIME: This item will not begin before 3:00 p.m. However, it may begin
later depending on the length of preceding items.

PLACE: Clackamas County Department of Environmental Services, 902 Abernethy
Road, Oregon City, Oregon

TO: Property owners within 250 feet of application as listed on the county
assessor's roll

SUBJECT: Interpretation, Conditional Use Application

FILE NAME & NO.: 829-81-C,I

Applicant: Walter R. Dorrrough, P.O. Box 38 Boring 97009

Owner of Property: U.S.A. Small Business Administration

Proposal: (1) Interpretation of the determination of the Planning Division
staff that an earlier Conditional Use Permit for a riding stable became invalid
at the time a later Conditional Use Permit was approved for General Telephone
Co. (2) A Conditional Use Permit to use existing improvements on the property
as a riding stable horse arena, to board horses, and hold horse shows. Up
to 190 horses would be boarded on the property. Approximately 10 horse shows
per year would ultimately be held on the property.

Location: On the south side of U.S. Hwy. 26, at its intersection with S.E. Lariat
Lane; Boring area.

Site Address: 29450 S.E. Lariat Lane Boring 97009

Legal Description: T1S, R4E, Section 31A, Tax Lots 1300, 1302, 1401, W.M.

Total Area Involved: Approximately 11.05 acres.

Zoning: RREF-5, Rural Residential Farm Forest, 5 acres minimum lot size.

CPO: Boring Action Neighborhood Group, Lloyd Hinkhouse, 661-4934 or 666-5521. This
organization has been notified of the application. You are welcome to attend
this organization's meeting.

Planning Division Staff Contact: Terry Curry or Gary Naylor

All interested citizens are invited to attend the hearing. An agenda will be
provided at the hearing. The following procedural rules have been established
to allow for an orderly hearing:

1. The length of time given to individuals speaking for or against an item
will be determined by the Hearings Officer prior to the item being considered.
2. A spokesperson representing each side of an issue is encouraged.
3. Only specifically relevant testimony to the item being considered will be
allowed.

The above application is available for inspection at the Clackamas County Planning
Division (address above). The Hearings Officer will give careful consideration
to all written correspondence.

To receive written notification of the Hearings Officer's decision, provide this
office with a stamped, self-addressed envelope indicating the application file
number.

EB:elk
4/30

We have no objection to the proposal of Mr. Dorrrough to utilize
the additional 4.38 Acres for additional parking. Tax Lot 1400.

May 21, 1982

Boring Action Neighborhood Group
Lloyd Hinkhouse

Exhibit F Page 79 of 190

Dept. of Environmental Services
902 Abernethy Rd.
Oregon City, Ore.

~~NOT PART OF~~
RECORD

May 3, 1982.

Dear Mrs. Terry Curry,

This letter is in regard to the application for the Mt. Hood Horse Stables for Mrs. Walter R. Dorrrough.

Gentlemen, before you make your final decision I wish to emphasize that you take in to consideration the property is not large enough to accomodate the amount of people that would be involved for 200 horses plus trailers, campers, trucks etc. Also sewage disposal, human & animal. ~~the~~ When they had big horse shows before, Lariat lane would be completely blocked.

The house that is unfinished, that they plan to make a residential home out of does not have its drain field in yet and under the Clackamas Co. regulations there is no place to put it.

If you do approve the application for Mr. Dorrrough then I think there should be certain stipulations

- ① Curfew hours, no later than 9:30 p.m.
- ② Horse Manure removed off the premises, minimum at least each week.
- ③ Sanitary toilet conditions from a liable company
- ④ Excessive noise from P.A. system
- ⑤ No swimming in that dirty pond
- ⑥ That the Clackamas co. environmental dept. enforce all the rules

If not fulfilled by Mr. Dorrrough & his associates then they should be fined under the environmental laws.

Thank You

Vern W. Lundquist
 11007 McGarry Lane
 Boring, Ore. 97009
 663-5202

EX #21

NOTICE OF APPLICATION

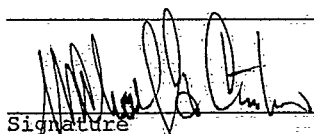
TO: Mike Christensen DATE: 5-27-82

FROM: Clackamas County Planning Division
902 Abernethy Road
Oregon City, Oregon 97045
(655-8521)

FILE NUMBER: 829-81-C, I - thorough

The Planning Division would like your comments on the attached application. Please indicate any information which would assist the county in acting on this application. Comments received by 5-27-82 will be included with the Planning Division report to the hearings body. Please return this form only. If no form is received we will assume no objection. If more information is needed, please call the Planning Division.

Recommendation: REVIEWED TRAFFIC DATA ~~AND~~ NO PROBLEM
NOTED


Signature

TRAFFIC OPERATIONS ENGINEER
Position

Please return to address above.



file

General Telephone Company
of the Northwest, Inc.

1800-41st Street, P.O. Box 1003
Everett, Washington 98206
206-258-5321

May 24, 1982

Mr. Peter A. Plumridge
District Counsel
U.S. Small Business Administration
Federal Building
1220 SW Third Avenue
Portland, Oregon 97204

Dear Mr. Plumridge:

Re: Mt. Hood Stables ✓
Arthur R. Close
NR 454268 11 02 PTD

This will confirm the fact that General Telephone Company of the Northwest, Inc. is no longer interested in acquiring the subject property. The telephone company no longer has an option to purchase same. The telephone company has no desire to utilize any conditional use permit for said property issued by Clackamas County.

Very truly yours,

A. Timothy L. Williamson

A. Timothy L. Williamson
Associate General Counsel

EX #22

Chris Bickford Stable
10680 S.W. Clutter Road
Sherwood, Oregon 97140
June 6, 1982

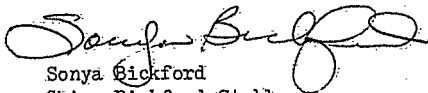
EX # 23
82A-81-C

To Whom It May Concern;

We feel that Mt. Hood Stables is one of the finest horse show facilities in the Northwest and have attended many shows there during the time that the facility was operating.

The stabling facilities are excellent, the warm-up arenas and show arena are very adequate for almost any kind of horse related event, and the access to Portland and the surrounding area is as good as offered by any facility.

Sincerely;



Sonya Bickford
Chris Bickford Stable

From the Desk of

EX#24
829-81-C, I

..... Kay Herbst

June 5, 1982

When Mt. Hood Stables was in operation in the past I managed a number of all Arabian horse shows at this facility.

It is an outstanding horse show facility. We found it to be one of the best in the state of Oregon.

We had no problems with the parking of cars, horse trailers or vans. We never had any problems or complaints.

Enchanted Arabians
Kay Herbst

Exhibit F Page 85 of 190

Aurora One 97002

Portland, Oregon.
June 2, 1982.

Doug Bragg,
Painted Valley Farms, Ltd.,
25100 S.W. Garden Acre Road,
Sherwood, Oregon. 97140.

To : Doug Bragg

From: Dave Ault

Re : Mt. Hood Stables.

EX #25
829-81-C, I

I wish to make known my feelings for the facilities known in the past as, 'Mt. Hood Stables'.

Personal qualifications;

An R AFSA Judge and Steward,
An Approved multi breed Horse Show Judge,
An Approved OHA Judge and Steward.

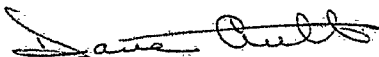
The Horse Industry desperately needs a facility of this kind in this area. The nearest useable Horse Show Arena is at Canby, Oregon.

I have attended the Mt. Hood Stables as a spectator, an Officiating Judge and/or Steward and never experienced the feeling of lack of parking space for attending Exhibitors or Spectators.

Mr. Edmonds the original Owner/Manager built the arena with Horse Shows in mind.

Parking is no problem on the north, south and west sides of said structure, especially when incoming units are parked uniformly. The east side can and usually did accommodate the large Horse Van Rigs,

Respectfully,



Dave Ault

Dave Ault
4812 N.E. 103 Ave
Portland, OR. 97220

503 254 3816

DATE: May 28, 1982

HEARING DATE: June 7, 1982

FILE NO.: 829-81-C,I



PLANNING DIVISION

JOHN C. McINTYRE Director DOMINIC T. MANCINI Planning Director

ADDENDUM TO

PLANNING STAFF REPORT/RECOMMENDATION TO THE HEARINGS OFFICER

Applicant: Walter R. Dorrough, PO Box 38, Boring, OR 97009

Owner: USA Small Business Administration

Proposal: (1) Interpretation of the determination of the Planning Division staff that an earlier Conditional Use Permit for a riding stable became invalid at the time a later Conditional Use Permit was approved for General Telephone Co. (2) A Conditional Use Permit to use existing improvements on the property as a riding stable-horse arena. Up to 190 horses would be boarded and there would be approximately 10 horse shows per year. Shows would range from 30 to 300 horses with portable stalls accommodating the overflow from the stable. Tax Lot 1400 would only be used for any overflow parking.

Legal Description: T1S, R4E, Section 31A, Tax Lots 1300, 1302, 1400, 1401, W.M.

HISTORY

On May 3, 1982 a public hearing was held on file no. 829-81-C,I. At that time the request was continued for decision only to May 12, 1982.

On May 12, 1982 the Clackamas County Hearings Officer issued a decision denying the applicant's Interpretation request. At this time the Hearings Officer announced the Conditional Use portion of the request would be reopened for further testimony on June 7, 1982.

During the process of mailing notifications to surrounding property owners that the hearing would be reopened for further testimony, it was noted that five property owners adjacent to the subject property had not been notified of the original hearing. At this time it was determined both the Conditional Use and Interpretation would have to be reheard.

During this same general period the Conditional Use proposal was changed at the applicant's request to read "A Conditional Use Permit to use existing improvements on the property as a riding stable-horse arena. Up to 190 horses would be boarded and there would be approximately 10 horse shows per year. Shows would range from 30 to 300 horses with portable stalls accommodating the overflow from



829-81-C,I
5/28/82
JCM

the stable. Tax Lot 1400 would only be used for any overflow parking." In addition to altering the Conditional Use proposal, Tax Lot 1400 was added to the legal description, thereby increasing the parcel size to approximately 15.43 acres.

RESPONSES REQUESTED (Since staff report of April 22, 1982)

- I. DES, Traffic Operations Engineer

EXHIBITS (in addition to those identified in the staff report of April 22, 1982)

18. Revised site plan.
19. Boring Action Neighborhood Group response.
20. Letter in opposition.
21. DES, Traffic Operations Engineer response

RESPONSES RECEIVED (in addition to those identified in the staff report of 4/22/82)

5. Boring Action Neighborhood Group states, we have no objection to the proposal of Mr. Dorrrough to utilize the additional 4.38 acres for additional parking. Tax Lot 1400.
6. DES, Traffic Operations Engineer states, reviewed traffic data. No problem noted.

CONCLUSIONS

- A. No new information has been received which would change the Planning Division staff conclusions and recommendations, contained in the staff report of April 22, 1982, on the applicant's Interpretation request.
- B. Due to the fact that the Conditional Use portion of this application has been revised, and the staff's misunderstanding of the size of the horse shows which have been requested as part of the Conditional Use, it is necessary to reconsider the sections of the Zoning Ordinance which apply to the Conditional Use. The Conditional Use portion of this application is subject to the requirements of Section 309, 800, and 1203 of the Zoning and Development Ordinance.
- C. Subsection 801.03 of the Zoning Ordinance identifies the minimum submittal requirements for all Conditional Use Permit applications.

This application is in sufficient form to meet the requirements as set forth in subsection 801.03.

- D. Subsection 1203.01 of the Zoning Ordinance states, the Hearings Officer may allow a Conditional Use, after a public hearing, provided that the applicant provides evidence substantiating that all of the criteria of this ordinance relative to the proposed use are satisfied, and demonstrates the proposed use also satisfies all of the criteria listed under subsection 1203.01. The Planning Division staff has reviewed these criteria and makes the following findings:

1. The use is listed as a Conditional Use in the underlying zoning district. Subsection 309.05a of the Zoning Ordinance identifies the Conditional Uses which may be allowed in the RREF-5 zoning district. Subsection 309.05a10 identifies service recreational uses, subject to the provisions of section 813.

Subsection 813.01e of the Zoning Ordinance identifies riding stables as a service recreational use. Subsection 813.01 does not specify any development or conditional standards for the establishment of a riding stable.

It does not appear to the Planning Division staff that horse shows ranging from 30 to 300 horses falls under the permitted conditional use of riding stables. However, the staff does feel the horse shows can be considered a service recreational conditional use under subsection 813.01g, which identifies any other use similar to specified uses. It appears the horse show use is similar in intensity to other uses identified under subsection 813.01e, which includes riding stables, boat moorages, parks and concessions.

2. Regarding the suitability of the characteristics of the site, the staff adopts conclusion D2 of the staff report prepared on April 22, 1982.

With the addition of Tax Lot 1400 the Planning staff would find the site to be suitable for all aspects of the proposed use. The applicant and the Planning staff have identified sufficient area to accommodate approximately 263 45 foot long parking spaces. The 45 ft. long parking spaces would be more than adequate to accommodate a pickup truck with an attached horse trailer. It would appear to the staff that this amount of parking would be adequate to support the proposed use, as that use has been described by the applicant. The applicant has indicated the largest horse shows conducted on the property would be approximately 300 horses. These horse shows would be conducted over a two day period. These shows, as described by the applicant, would generally involve approximately one-half of the horses and human participants on one day of the show and the other half on the other day of the show. The human participants and their horses would generally be leaving the site after the portion of the show they are involved in is completed. The applicant has further indicated that approximately 90% of the spectators at a horse show are also participants. Based on this information the Planning staff finds the site to be generally suitable to accommodate the proposed use.

3. The Planning Division staff finds the proposed development to be timely for the reasons specified under Conclusion D3 of the staff report prepared on April 22, 1982.
4. The Planning Division staff finds the proposed use will not alter the character of the surrounding area in any manner which substantially limits, impairs or precludes the use of surrounding properties for primary uses listed in the underlying zoning district for the reasons specified under Conclusion D4 of the staff report prepared on April 22, 1982.

The response received from the Department of Environmental Services, Traffic Operations Engineer indicates traffic data has been reviewed and the Traffic Operations Engineer sees no problem with the proposed use. It should be pointed out that the traffic data referred to in this response is partially the information identified under D2, above.

5. The proposed use satisfies goals and policies of the Comprehensive Plan for the reasons specified under Conclusion D5 of the staff report prepared April 22, 1982.
6. The proposed use is consistent with LCDC Goals and Guidelines for the reasons stated under Conclusion E of the staff report prepared April 22, 1982.

RECOMMENDATION:

The Planning Division staff recommends denial of the applicant's Interpretation request. The Planning Division staff would specifically recommend the Hearings Officer find the approval of Conditional Use Permit #CU-19-79 (conditional use for a support center for General Telephone Company) negated the earlier approval of Conditional Use Permit #CU-11-70 (to establish a riding stable and arena). If the Hearings Officer finds for approval, the staff recommends the approval be subject to the six conditions identified in the staff report prepared on April 22, 1982.

The Planning Division staff recommends approval of the applicant's requested Conditional Use Permit subject to conditions 1 through 4 of the staff report prepared on April 22, 1982, plus the following conditions:

5. The portable stalls shall be set up and used only to accommodate overflow from the stable.
6. The parking area on Tax Lot 1400 shall be used only for overflow parking.
7. Approval is for the basic revised site plan submitted by the applicant (see exhibit #18) to the extent it is consistent with all other conditions of approval.
8. Approval is subject to the above stated conditions, failure to comply with all conditions of approval will be cause for revocation of this permit.

TC:fl

NAME: Walter R. Dorrough
FILE NO.: 829-81-C, I
HEARING DATE: May 3, 1982
REPORT DATE: April 22, 1982



PLANNING DIVISION

JOHN C. McINTYRE DOMINIC T. MANCINI
Director Planning Director

PLANNING STAFF REPORT/RECOMMENDATION

TO HEARINGS OFFICER

FACTS

GENERAL INFORMATION

Applicant: Walter R. Dorrough

Owner(s): U.S.A. Small Business Administration

Proposal: 1) Interpretation of the determination of the Planning Division staff that an earlier Conditional Use Permit for a riding stable became invalid at the time a later Conditional Use Permit was approved for General Telephone Co.; 2) A Conditional Use Permit to use existing improvements on the property as a riding stable horse arena, to board horses, and hold horse shows. Approximately 114 horses would be boarded on the property. Approximately 10 horse shows per year would ultimately be held on the property.

Location: On the south side of U.S. Hwy. 26, at its intersection with S.E. Lariat Lane; Boring area.

Legal Description: T1S, R4E, Section 31A, Tax Lots 1300, 1301, 1302, 1401, W.M.

Zone: RREF-5, Rural Residential Farm Forest, 5 acres minimum lot size

History: On May 4, 1970 a Conditional Use Permit (CU-11-70) was approved for a riding stable and arena on a portion of subject property. The riding stable and arena were operated on subject property until approximately 1976.

On March 17, 1980 the Clackamas County Board of Commissioners approved a conditional use permit (CU-19-79) for a support center for General Telephone Company. This support center was approved to occupy the building previously used for the riding stable and horse arena.

SITE DESCRIPTION

The subject property is approximately 11.05 acres in size. The primary types of vegetation on the property are grass, some deciduous trees, weeds, and blackberries; there are no significant areas of vegetation on the property. The topography of the property is rolling in nature, with a moderate downhill slope to the southeast. The northern 1/3 of the subject property has been levelled and developed with



cc: HO app 4/26/82

the building used as a stable and a storage building. The building used as a stable and indoor horse arena is approximately 2.2 acres in size. This structure has stalls for approximately 190 horses. The storage building is approximately 5,000 square feet in size. A partially completed single family residence is located in the northwestern corner of the property. A transportation network has been established on the property. This road system enters the property at the northwestern corner, then circles the stable/arena building. The area to the south of the stable/arena building is an unimproved open area. The tax lot to the east of the subject property (tax lot 1400), under contiguous ownership, is unimproved, and contains a small lake on its southern portion.

VICINITY DATA

Surrounding Conditions: The area in which subject property is located is generally rural in character, although it does contain a mixture of commercial and agricultural uses. U.S. Highway 26 borders the property on the north. Development across Hwy. 26 consists of primarily single family residential uses, on parcels of approximately one acre in size. These residential uses generally include some limited agricultural use. The parcels immediately to the west of the subject property are developed primarily as rural residential home sites. A commercial nursery operation is located on the parcel off the northwest corner of the subject property. Parcels to the east of the subject property are generally rural residential home sites. Properties to the southwest, south, and southeast of the subject property are currently used for agricultural purposes. The intersection of Hwy. 26 and State Hwy. 212 is approximately 3/4 mile southeast of subject property. This intersection has considerable commercial development, including Heidi's restaurant and several auto wrecking and auto sales facilities.

Service Considerations: On site subsurface sewage disposal, Mt. View Water District

RESPONSES REQUESTED

1. Orient School District
2. Gresham Union High School District
3. Mt. View Water District
4. Boring Fire District
5. B.A.N.G. Neighborhood Group
6. DES, Soils Division
7. DES, Operations Division
8. State of Oregon, Highway Division
9. State of Oregon, Department of Environmental Quality

EXHIBITS

1. Zoning Ordinance considerations
2. Selected comments from the Comprehensive Plan
3. Display map
4. Slides
5. Aerial photograph
6. Site plan

7. Building profiles
8. Field map
9. Letter from the U.S.A. Small Business administration authorizing the applicant to make this application
10. DES, Operations Division response
11. DES, Soils Division response
12. State of Oregon, Highway Division response
13. Boring Action Neighborhood Group response
14. File No. CU-19-79
15. Board of County Commissioners minutes from June 18, 1979
16. Board of County Commissioners minutes from February 11, 1980
17. Microfilm copy of CU-11-70

FINDINGS

ZONING ORDINANCE CONSIDERATIONS

See Exhibit No. 1

PLAN CONSIDERATIONS

Comprehensive Plan Map Designation: Rural

Selected Comments from the Comprehensive Plan: See Exhibit No. 2

RESPONSES RECEIVED

1. DES, Operations Division has no comment
2. DES, Soils Division states, as of this date, details of the proposed sewage disposal system have not been presented or approved. Assuming that this problem can be rectified, we would have no objections to the proposal. The applicant or his consultant should contact our office concerning their plans for sewage disposal.
3. State of Oregon Highway Division states, no direct access to Hwy. 26. We would like to be kept informed of the progress of this development.
4. Boring Action Neighborhood Group states, we have no objections to the proposed use of the building which was originally built for that purpose.

CONCLUSIONS

- A. The Planning Division staff has determined that the approval of the Conditional Use Permit for a support center for General Telephone Company (CU-19-79) negated the earlier conditional use (CU-11-70) for a riding stable and arena on the subject property. The applicant disagrees with this determination. The applicant raises the question as to whether the original conditional use should become void upon approval of a new conditional use, or if that original conditional use should become invalid when the approval granted through the new Conditional Use permit is exercised.

The determination by the Planning Division staff that the most recently approved conditional use permit negates the earlier conditional use permit is to a degree based on the proposed uses and existing improvements. Both conditional use permits approved on subject property were intended to occupy the same building, the building constructed under the original conditional use permit to house the stable and indoor riding arena. Both approved uses would generally occupy the entire area of this building. Therefore, it would not be possible for both uses to exist simultaneously on the subject property. The General Telephone Company conditional use permit came before the Board of County Commissioners twice. On June 18, 1979 the Board of County Commissioners upheld an appeal of the approval of this conditional use permit, and denied General Telephone Company's application. On February 11, 1980, during a rehearing the Board of County Commissioners denied the appeal of the hearings officer's decision, and approved the application. The minutes of both of these hearings reflect some concern on the part of the Commissioners that the approval of the General Telephone Company application would result in the property no longer being utilized for a stable. The concern being that the approval of the General Telephone Company permit would remove the property from availability as a stable and may be in conflict with LCDC Goal 8, dealing with the recreational needs of the citizens of the State and visitors. Although these concerns are probably based on the assumption that General Telephone Company would exercise their conditional use permit, it is the opinion of the Planning Division that these concerns also indicate a position that the approval of General Telephone Company's conditional use permit would preclude the use of the subject property as a stable.

The further question as to what reasonable expectations surrounding property owners and other concerned citizens in the area would have regarding the conditional use development of the property must be addressed. In 1970, when the conditional use permit was approved for a riding stable on the subject property, surrounding property owners and other concerned citizens in the area were entitled to a reasonable expectation that the subject property would be developed with a stable/riding arena. When the General Telephone Company conditional use permit was approved in 1980 the surrounding property owners, and other concerned citizens in the area were entitled to a reasonable expectation that the subject property would be developed with a support center for General Telephone Company. The latest notice given surrounding property owners, with the exception of the notice of this application, was for a conditional use permit for General Telephone Company's support center. It would follow that surrounding property owners, and other concerned citizens who had followed the permit process through the Board of County Commissioners hearing, are entitled to the reasonable

expectation that the subject property would be developed with a support center for General Telephone Company. The position of the Planning Division is that the property cannot be developed with a stable until such time as adequate public notice of a conditional use permit is given to surrounding property owners and approval is granted.

- B. The Conditional Use permit portion of this application is subject to requirements of Sections 309, 800, and 1203 of the Zoning and Development Ordinance. The staff has reviewed this proposal with respect to these sections and finds that:
- C. Subsection 801.03 of the Zoning Ordinance identifies the minimum submittal requirements for all conditional use permit applications.

This application is in sufficient form to meet the requirements as set forth under subsection 801.03.

- D. Subsection 1203.01 of the Zoning Ordinance states, the hearings officer may allow a conditional use, after a public hearing, provided that the applicant provides evidence substantiating that all of the criteria of this Ordinance relative to the proposed use are satisfied, and demonstrates the proposed use also satisfies all of the criteria listed under subsection 1203.01. The staff has reviewed these criteria and makes the following findings:-
 - 1. The use is listed as a conditional use in the underlying zoning district. Subsection 309.05A of the Zoning Ordinance identifies the conditional uses which may be allowed in the RREF-5 zoning district. Subsection 309.05A 10 identifies service recreational uses, subject to the provisions of section 813.

Subsection 813.01 E of the Zoning Ordinance identifies riding stables as a service recreational use. Subsection 813.01 does not specify any development or conditional standards for the establishment of a riding stable.
 - 2. The characteristics of the site are suitable for the proposed use considering size, shape, location, topography, existence of improvements, and actual features. The proposed use will utilize existing improvements on the property. These improvements have been used in the past as a riding stable. The size, shape, and natural features of the property should not hinder the use of the subject property for the purposes requested by the applicant. The subject property is located at an exit from a major highway in the area. The property is well accessed by its location near the intersection of two major highways (U.S. Hwy. 26 and State Hwy. 212).
 - 3. The site and proposed development is timely considering the adequacy of transportation systems, public facilities, and services existing or planned for the area affected by the use. The use proposed by the applicant will require no greater demand on public facilities and services than presently exist. There is currently an unresolved question as to the suitability of the site for subsurface sewage disposal, however, this concern will be addressed through conditions of approval.

4. The proposed use will not alter the character of the surrounding area in a manner which substantially limits, impairs, or precludes the use of surrounding properties for the primary uses listed in the underlying zoning district. The surrounding area is primarily developed with rural residential uses. Approval of this application would appear to have a minimal impact on surrounding land uses. The approval of this application would not preclude or limit the use of surrounding properties for uses authorized in the RREF-5 zoning district.

Two obvious areas which may potentially impair the use of surrounding properties must be addressed. These areas are the disposal of horse manure and the impact of traffic. As a condition of approval the staff will recommend that horse manure be adequately disposed of. It is quite obvious that the approval of the requested conditional use permit would create an increase in traffic over present conditions. The question is whether this increase in traffic would be of such a level that it would impair the use of surrounding properties for primary uses allowed in the RREF-5 zoning district. Traffic to the subject property will generally utilize major roadways in the area, with the exception of the final 500 feet approaching the property to the west. The access road to the subject property has the outward appearance of being a continuation of the public road, with the exception of fencing and a gate. Given this situation it does not appear that traffic to the property would be backed up on the public road. Additionally, vehicles entering the property must make a turn to the right which should discourage high speed traffic on the public road. Based on these conditions the Planning Division staff finds the traffic generated by the use would not impair the use of surrounding properties for uses authorized by the RREF-5 zoning district.

5. The proposal satisfies the goals and policies of the Comprehensive Plan which apply to the proposed use. The Planning Division staff finds the request to be generally consistent with the goals and policies of the Rural element of the Comprehensive Plan, specified on pages 78, 79, 80 and 81 of the Plan. The Planning Division staff finds the proposal to be consistent with the goal of the Parks and Recreation element of the Plan, which states, provide land, facilities, and programs which meet the recreation needs of county residents and visitors.
- E. This proposal is consistent with LCDC goals and guidelines. The applicable goals are goals 3 (Agricultural Lands), 4 (Forest Lands), and 8 (Recreational Needs). Exceptions to LCDC goals 3 and 4 were taken by the county when the area was designated Rural on the county's Comprehensive Plan. The purpose of LCDC goal 8 is to satisfy the recreational needs of the ^{residents}existence of the State and visitors. This goal further encourages coordination between governmental agencies and private enterprise in the establishment of recreational facilities. The Planning Division staff finds the establishment of the proposed use to be consistent with LCDC goal 8.

RECOMMENDATION

The Planning Division staff recommends denial of the applicant's interpretation request. The Planning Division staff would specifically recommend the hearings officer find the approval of Conditional Use permit No. CU-19-79 (conditional use for a support center for General Telephone company) negated the earlier approval of Conditional Use permit No. CU-11-70 (to establish a riding stable and arena). If the hearings officer finds for approval, approval should be subject to the following conditions:

1. Approval by the Department of Environmental Services, Soils Division of the means of subsurface sewage disposal.
2. Proper sanitation shall be maintained at all times. The applicant shall make provision for adequate means of manure disposal. This condition is intended to minimize the impact on surrounding properties by the manure odor.
3. Operation of the subject property as a riding stable and arena shall be conducted between the hours of 8:00 a.m. and 10:00 p.m. (The above are conditions of approval of CU-11-70)
4. Any signs advertising the use of this facility shall be subject to design review approval.
5. Any exterior changes to the existing building shall be subject to design review approval.
6. Approval is subject to the above stated conditions, failure to comply with all conditions of approval shall be cause for revocation of this permit.

The Planning Division staff recommends approval of the applicant's requested conditional use permit subject to the following conditions:

1. Conditions 1 through 5 above.
2. There shall be no direct access to Hwy. 26.
3. All horse riding associated with the approved stable facility shall be conducted on the subject property.
4. Design review approval of parking, landscaping, and on-site circulation.
5. Approval is subject to the above stated conditions, failure to comply with all conditions of approval will be cause for revocation of this permit.

TC:tlo

4/11-17

MODIFIED

NOTICE OF PUBLIC HEARING

CLACKAMAS COUNTY HEARINGS OFFICER
902 Abernethy Road, Oregon City, Oregon (655-8521)

HEARING DATE: June 7, 1982 (THIS MATTER ORIGINALLY HEARD MAY 3, 1982
BUT MUST BE HEARD AGAIN DUE TO INSUFFICIENT PUBLIC NOTICE)

TIME: This item will not begin before 3:00 p.m. However, it may begin
later depending on the length of preceding items.

PLACE: Clackamas County Department of Environmental Services, 902 Abernethy
Road, Oregon City, Oregon

TO: Property owners within 250 feet of application as listed on the county
assessor's roll

SUBJECT: Interpretation, Conditional Use Application Application

FILE NAME & NO.: 829-81-C,I

Applicant: Walter R. Dorrough, P.O. Box 38 Boring 97009

Owner of Property: U.S.A. Small Business Administration

Proposal: (1) Interpretation of the determination of the Planning Division
staff that an earlier Conditional Use Permit for a riding stable became invalid
at the time a later Conditional Use Permit was approved for General Telephone
Co. (2) A Conditional Use Permit to use existing improvements on the property as
a riding stable-horse arena. Up to 190 horses would be boarded and there would
be approximately 10 horse shows per year. Shows would range from 30 to 300
horses with portable stalls accommodating the overflow from the stable. Tax Lot
1400 would only be used for any overflow parking.

Location: On the south side of U.S. Hwy. 26, at its intersection with S.E.
Lariat Lane; Boring area.

Site Address: 29450 S.E. Lariat Lane Boring 97009

Legal Description: T1S, R4E, Section 31A, Tax Lots 1300, 1302, 1400, 1401, W.M.

Total Area Involved: Approximately 15.43 acres.

Zoning: RREF-5, Rural Residential Farm Forest, 5 acres minimum lot size.

CPO: Boring Action Neighborhood Group, Lloyd Hinkhouse, 661-4934 or 666-5521.
This organization has been notified of the application. You are welcome to
attend this organization's meeting.

Planning Division Staff Contact: Terry Curry or Gary Naylor

All interested citizens are invited to attend the hearing. An agenda will be
provided at the hearing. The following procedural rules have been established
to allow for an orderly hearing:

1. The length of time given to individuals speaking for or against an item
will be determined by the Hearings Officer prior to the item being considered.
2. A spokesperson representing each side of an issue is encouraged.
3. Only specifically relevant testimony to the item being considered will be
allowed.

The above application is available for inspection at the Clackamas County Planning
Division (address above). The Hearings Officer will give careful consideration
to all written correspondence.

To receive written notification of the Hearings Officer's decision, provide this
office with a stamped, self-addressed envelope indicating the application file
number.

EB:elk
4/30

REFILM

245-1100

MODIFIED

NOTICE OF PUBLIC HEARING

CLACKAMAS COUNTY HEARINGS OFFICER
902 Abernethy Road, Oregon City, Oregon (655-8521)

HEARING DATE: June 7, 1982 (THIS MATTER ORIGINALLY HEARD MAY 3, 1982
BUT MUST BE HEARD AGAIN DUE TO INSUFFICIENT PUBLIC NOTICE)

TIME: This item will not begin before 3:00 p.m. However, it may begin later depending on the length of preceding items.

PLACE: Clackamas County Department of Environmental Services, 902 Abernethy Road, Oregon City, Oregon

TO: Property owners within 250 feet of application as listed on the county assessor's roll

SUBJECT: Interpretation, Conditional Use Application Application

FILE NAME & NO.: 829-81-C,I

Applicant: Walter R. Dorrough, P.O. Box 38 Boring 97009

Owner of Property: U.S.A. Small Business Administration

Proposal: (1) Interpretation of the determination of the Planning Division staff that an earlier Conditional Use Permit for a riding stable became invalid at the time a later Conditional Use Permit was approved for General Telephone Co. (2) A Conditional Use Permit to use existing improvements on the property as a riding stable-horse arena. Up to 190 horses would be boarded and there would be approximately 10 horse shows per year. Shows would range from 30 to 300 horses with portable stalls accommodating the overflow from the stable. Tax Lot 1400 would only be used for any overflow parking. .

Location: On the south side of U.S. Hwy. 26, at its intersection with S.E. Lariat Lane, Boring area.

Site Address: 29450 S.E. Lariat Lane Boring 97009

Legal Description: T1S, R4E, Section 31A, Tax Lots 1300, 1302, 1400, 1401, W.M.

Total Area Involved: Approximately 15.43 acres.

Zoning: RRFF-5, Rural Residential Farm Forest, 5 acres minimum lot size.

CPO: Boring Action Neighborhood Group, Lloyd Hinkhouse, 661-4934 or 666-5521. This organization has been notified of the application. You are welcome to attend this organization's meeting.

Planning Division Staff Contact: Terry Curry or Gary Naylor

All interested citizens are invited to attend the hearing. An agenda will be provided at the hearing. The following procedural rules have been established to allow for an orderly hearing:

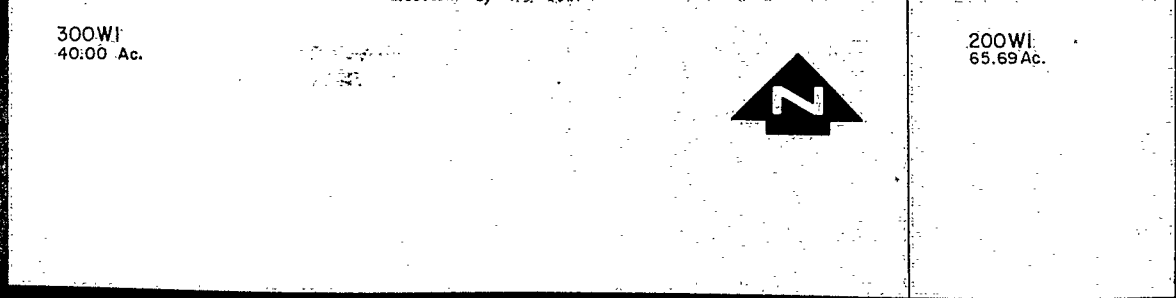
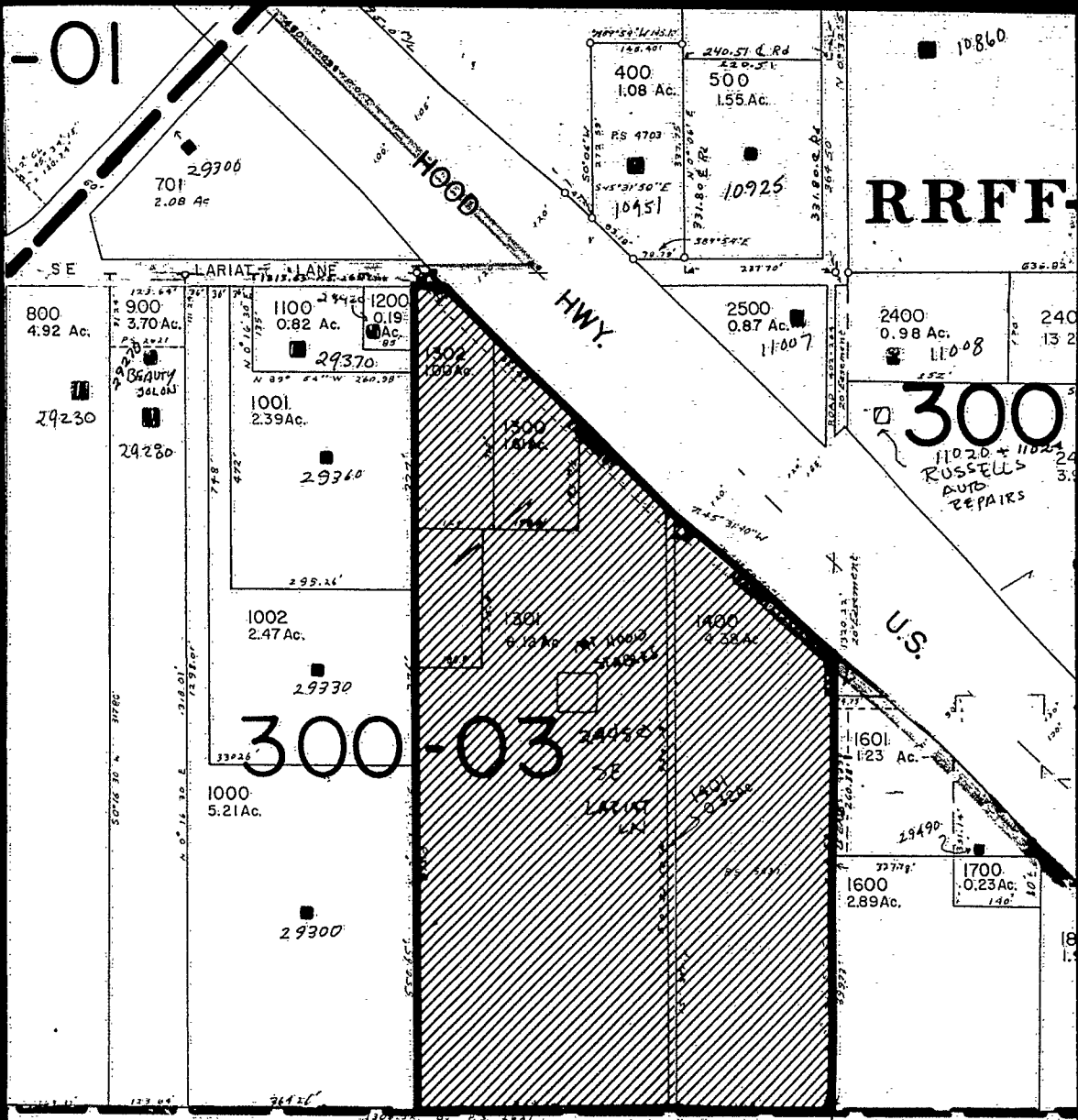
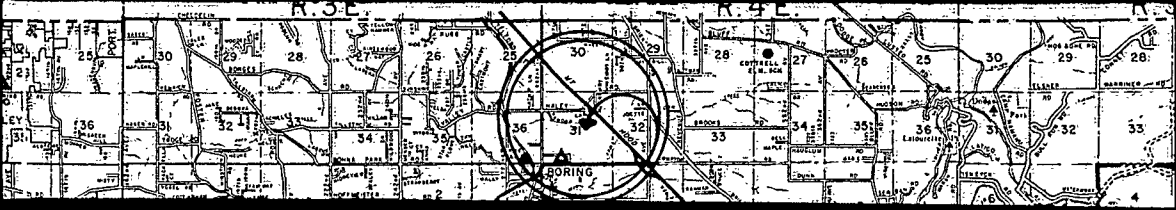
1. The length of time given to individuals speaking for or against an item will be determined by the Hearings Officer prior to the item being considered.
2. A spokesperson representing each side of an issue is encouraged.
3. Only specifically relevant testimony to the item being considered will be allowed.

The above application is available for inspection at the Clackamas County Planning Division (address above). The Hearings Officer will give careful consideration to all written correspondence.

To receive written notification of the Hearings Officer's decision, provide this office with a stamped, self-addressed envelope indicating the application file number.

EB:elk
4/30

Date Mailed: 5/18/82
Postmarked: ☒
Registered: ☒
Priority: ☒
Insurance: ☐
Others: ☐
☐
☐



DORROUGH, WALTER
829-81-C, I,

SECTION 31A, T1S, R4E
SCALE 1" = 200'

NOTICE OF PUBLIC HEARING

CLACKAMAS COUNTY HEARINGS OFFICER
902 Abernethy Road, Oregon City, Oregon (655-8521)

HEARING DATE: June 7, 1982 (THIS MATTER ORIGINALLY HEARD MAY 3, 1982
BUT MUST BE HEARD AGAIN DUE TO INSUFFICIENT PUBLIC NOTICE)

TIME: This item will not begin before 3:00 p.m. However, it may begin later depending on the length of preceding items.

PLACE: Clackamas County Department of Environmental Services, 902 Abernethy Road, Oregon City, Oregon

TO: Property owners within 250 feet of application as listed on the county assessor's roll

SUBJECT: Interpretation, Conditional Use Application

FILE NAME & NO.: 829-81-C,I

Applicant: Walter R. Dorrough, P.O. Box 38 Boring 97009

Owner of Property: U.S.A. Small Business Administration

Proposal: (1) Interpretation of the determination of the Planning Division staff that an earlier Conditional Use Permit for a riding stable became invalid at the time a later Conditional Use Permit was approved for General Telephone Co. (2) A Conditional Use Permit to use existing improvements on the property as a riding stable horse arena, to board horses, and hold horse shows. Up to 190 horses would be boarded on the property. Approximately 10 horse shows per year would ultimately be held on the property.

Location: On the south side of U.S. Hwy. 26, at its intersection with S.E. Lariat Lane; Boring area.

Site Address: 29450 S.E. Lariat Lane Boring 97009

* Legal Description: T1S, R4E, Section 31A, Tax Lots 1300, 1302, 1401, W.M.

Total Area Involved: Approximately 11.05 acres.

Zoning: RREF-5, Rural Residential Farm Forest, 5 acres minimum lot size.

CPO: Boring Action Neighborhood Group, Lloyd Hinkhouse, 661-4934 or 666-5521. This organization has been notified of the application. You are welcome to attend this organization's meeting.

Planning Division Staff Contact: Terry Curry or Gary Naylor

All interested citizens are invited to attend the hearing. An agenda will be provided at the hearing. The following procedural rules have been established to allow for an orderly hearing:

1. The length of time given to individuals speaking for or against an item will be determined by the Hearings Officer prior to the item being considered.
2. A spokesperson representing each side of an issue is encouraged.
3. Only specifically relevant testimony to the item being considered will be allowed.

The above application is available for inspection at the Clackamas County Planning Division (address above). The Hearings Officer will give careful consideration to all written correspondence.

To receive written notification of the Hearings Officer's decision, provide this office with a stamped, self-addressed envelope indicating the application file number.

EB:elk
4/30

Date Mailed: 5-14-82
Neighborhood Group ☒
Property owners (250') ☒
Applicant ☒
Attorney _____
Others: _____

NEWS RELEASE

DATE: May 12, 1982
FROM: Department of Environmental Services
Planning Division
CONTACT: Emma Baer
Phone Number: 655-8521
RE: 829-81-C,I

FOR IMMEDIATE RELEASE

A Interpretation, Conditional Use application will be considered by the Clackamas County Hearings Officer at 3:00 p.m. June 7, 1982, at the Department of Environmental Services.

The proposal and the location of the above application are as follows:

PROPOSAL: (1) Interpretation of the determination of the Planning Division staff that an earlier Conditional Use Permit for a riding stable became invalid at the time a later Conditional Use Permit was approved for General Telephone Co. (2) A Conditional Use Permit to use existing improvements on the property as a riding stable horse arena, to board horse, and hold horse shows. Approximately 114 horses would be boarded on the property. Approximately 10 horse shows per year would ultimately be held on the property.

LOCATION: On the south side of U.S. Hwy. 26, at its intersection with S.E. Lariat Lane, Boring area.

Citizens are invited to attend this hearing. The Hearings Officer will give careful consideration to testimony and to all written correspondence.

The application is available for inspection at the Department of Environmental Services, Planning Division, 902 Abernethy Road, Oregon City, Oregon.

-30-

EB:clk
3/22

Gresham Outlook

AGENDA

CLACKAMAS COUNTY HEARINGS OFFICER
902 Abernethy Road, Oregon City, Oregon
May 3, 1982

Agenda items will not begin before the time noted; but may begin later depending on the length of preceding items. All interested parties may appear and be heard. The applications and records may be inspected at the Planning Division, address above, between 8:00 a.m. and 5:00 p.m.

9:00 AM File No. and Subject: 829-81-C, I, Interpretation, Conditional Use

Applicant: Walter R. Dorrough, P.O. Box 38 Boring 97009

REC:
DENY INT,
APPROVE CU

PRO: 111

CON: |

Proposal: (1) Interpretation of the determination of the Planning Division staff that an earlier Conditional Use Permit for a riding stable became invalid at the time a later Conditional Use Permit was approved for General Telephone Co. (2) A Conditional Use Permit to use existing improvements on the property as a riding stable horse arena, to board horse, and hold horse shows. Approximately 114 horses would be boarded on the property. Approximately 10 horse shows per year would ultimately be held on the property.

DEC. CONTINUED
DECISION ONLY
5-12-82
9:00A.M.

Location: On the south side of U.S. Hwy. 26, at its intersection with S.E. Lariat Lane; Boring area.

Legal Description: T1S, R4E, Section 31A, Tax Lots 1300, 1301, 1302, 1401, W.M.

MOTION TO HEAR
I & C SEPARABLY
- GRANTED

Zoning: RRRF-5, Rural Residential Farm Forest, 5 acres minimum lot size.

CPO: Boring Action Neighborhood Group, Lloyd Hinkhouse, 661-4934, or 666-5521

10:00 AM File No. and Subject: 871-81-C, Conditional Use

REC:
APPROVAL

Applicant: Elehue Freeman, 2700 S.W. 16th Place Sandy 97055, 665-5155 or 667-1683

Proposal: To use existing building as gymnastics center to instruct children ages 2 1/2 to 18 in gymnastics.

Location: East side of S.E. Hwy. 26 approximately 1600 feet southeast of S.E. Vista Loop Drive; Sandy area.

Legal Description: T2S, R5E, Section 19AD, Tax Lot 800, W.M.

Zoning: RC, Rural Commercial

CPO: Firwood Neighbors, c/o Norm Trost, P.O. Box 206, Sandy 97055

DEC. CONTINUED
DECISION
ONLY 5-6-82
9:00A.M.

EB:elk
5/7

May 11, 1982

829-81-CI

Enterprise-Courier
P.O. Box 471
Oregon City OR 97045

RE: Hearings Officer Agendas, June 7, and 10, 1982

Dear Sir or Madam:

Enclosed are copies of the Clackamas County Hearings Officer agendas for June 7, and 10, 1982. Please publish all items contained in said agendas on or before May 26, 1982.

Please return two (2) copies of the Affidavit of Publication together with your statement. When submitting your statement, please refer to Purchase Order No. 9003497. Thank you.

Sincerely,

EMMA BAER, Secretary
Planning Division

EB:clk
3/7

Enclosure

NOTICE OF PUBLIC HEARING

CLACKAMAS COUNTY HEARINGS OFFICER
902 Abernethy Road, Oregon City, Oregon (655-8521)

HEARING DATE: May 3, 1982

TIME: This item will not begin before 9:00 a.m. However, it may begin later depending on the length of preceding items.

PLACE: Clackamas County Department of Environmental Services, 902 Abernethy Road, Oregon City, Oregon

TO: Property owners within 250 feet of application as listed on the county assessor's roll

SUBJECT: Interpretation, Conditional Use Application

FILE NAME & NO.: 829-81-C,I

Applicant: Walter R. Dorrough, P.O. Box 38 Boring 97009

Owner of Property: U.S.A. Small Business Administration

Proposal: (1) Interpretation of the determination of the Planning Division staff that an earlier Conditional Use Permit for a riding stable became invalid at the time a later Conditional Use Permit was approved for General Telephone Co. (2) A Conditional Use Permit to use existing improvements on the property as a riding stable horse arena, to board horse, and hold horse shows. Approximately 114 horses would be boarded on the property. Approximately 10 horse shows per year would ultimately be held on the property.

Location: On the south side of U.S. Hwy. 26, at its intersection with S.E. Lariat Lane; Boring area.

Site Address: 29450 S.E. Lariat Lane Boring 97009

Legal Description: T1S, R4E, Section 31A, Tax Lots 1300, 1301, 1302, 1401, W.M.

Total Area Involved: Approximately 11.05

Zoning: RRFF-5, Rural Residential Farm Forest, 5 acres minimum lot size.

CPO: Boring Action Neighborhood Group, Lloyd Hinkhouse, 661-4934 or 666-5521. This organization has been notified of the application. You are welcome to attend this organization's meeting.

Planning Division Staff Contact: Terry Curry or Gary Naylor

All interested citizens are invited to attend the hearing. An agenda will be provided at the hearing. The following procedural rules have been established to allow for an orderly hearing:

1. The length of time given to individuals speaking for or against an item will be determined by the Hearings Officer prior to the item being considered.
2. A spokesperson representing each side of an issue is encouraged.
3. Only specifically relevant testimony to the item being considered will be allowed.

The above application is available for inspection at the Clackamas County Planning Division (address above). The Hearings Officer will give careful consideration to all written correspondence.

To receive written notification of the Hearings Officer's decision, provide this office with a stamped, self-addressed envelope indicating the application file number.

EB:elk
5/3

Date Mailed: 4-12-82
Neighborhood Group ☒
Property owners (250') ☒
Applicant ☒
Attorney ☐
Others: ☐



PLANNING DIVISION

JOHN C. MCINTYRE DOMINIC T. MANCINI
Director Planning Director

April 12, 1982

Enterprise-Courier
P.O. Box 471
Oregon City, OR 97045

RE: Hearings Officer Agendas, May 3 and 6, 1982

Dear Sir or Madam:

Enclosed are copies of the Clackamas County Hearings Officer agendas for May 3, and May 6, 1982. Please publish all items contained in said agendas on or before April 21, 1982.

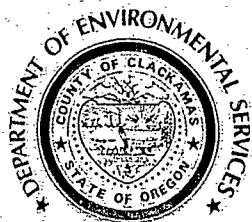
Please return two (2) copies of the Affidavit of Publication together with your statement. When submitting your statement, please refer to Purchase Order No. 9005570. Thank you.

Sincerely,

Emma Baer

Emma Baer, Secretary
Planning Division

EB:elk
5/8
Enclosure



PLANNING DIVISION

JOHN C. MCINTYRE DOMINIC T. MANCINI
Director Planning Director

NEWS RELEASE

DATE: March 12, 1982

FROM: Department of Environmental Services
 Planning Division

CONTACT: Emma Baer
 Phone Number: 655-8521

RE: 829-81-C,I

FOR IMMEDIATE RELEASE

A Interpretation, Conditional Use application will be considered by the Clackamas County Hearings Officer at 9:00 a.m. May 3, 1982 at the Department of Environmental Services.

The proposal and the location of the above application are as follows:

PROPOSAL: (1) Interpretation of the determination of the Planning Division staff that an earlier Conditional Use Permit for a riding stable became invalid at the time a later Conditional Use Permit was approved for General Telephone Co. (2) A Conditional Use Permit to use existing improvements on the property as a riding stable horse arena, to board horse, and hold horse shows. Approximately 114 horses would be boarded on the property. Approximately 10 horse shows per year would ultimately be held on the property.

LOCATION: On the south side of U.S. Hwy. 26, at its intersection with S.E. Lariat Lane; Boring area.

Citizens are invited to attend this hearing. The Hearings Officer will give careful consideration to testimony and to all written correspondence.

The application is available for inspection at the Department of Environmental Services, Planning Division, 902 Abernethy Road, Oregon City, Oregon.

-30-

EB:elk
5/9

Grassman Outlook



1162

BOARD HORSES	HOW MANY	- 190 at 60%
HORSE SHOWS	" "	- 10 ultimate -
← SALE OF HORSE RELATED PRODUCTS		?
VETERINARIAN SERVICE		?

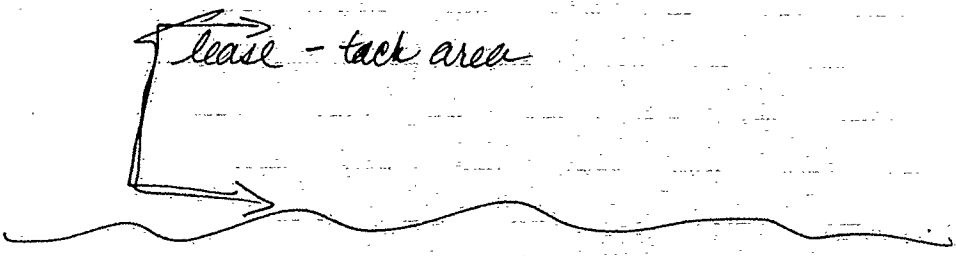
OWNERSHIP OF LOTS?

AUTHORIZATION!

4-1 - BUSY

4-2 - CALLED, LEFT MESSAGE - OUT OF TOWN
UNTIL 4-5

lease - tack area



drainfield on adjacent prop.

772-81 ←

902. Abernathy Road Oregon City, OR 97045
655-8521

I hereby certify the statements contained herein, along with the evidence submitted, are in all respects true and correct to the best of my knowledge and belief.

OTHER PERSONS WHO WISH NOTIFICATION:

_____ Name	X <u>Walter Leland Lanson</u> Applicant's Signature
_____ Address	<u>3-26-82</u> Date
_____ Name	Legal Owner's Signature if applicant is agent
_____ Address	

WHEN THAT OPTION HOLDER EITHER TAKES POSSESSION OF THE PROPERTY OR BUYS THE PROPERTY.

THE VALUE OF THE PROPERTY TO THE OWNER IS REFLECTED TO AN EXTENT BY THE CONDITIONAL USE ATTACHED TO THAT PROPERTY. IF THE CONDITIONAL USE ATTACHED TO THAT PROPERTY IS NEGATED BY THE SECOND CONDITIONAL USE AT THE EXACT INSTANT INSTANT THE SECOND CONDITIONAL USE IS GRANTED THEN THE VALUE OF THE PROPERTY HAS BEEN SEVERELY DECREASED SHOULD THE OPTION NOT BE EXERCISED. THE SECOND CONDITIONAL USE SHOULD TAKE EFFECT IF AND ONLY IF THE PROPERTY IS TAKEN POSSESSION OF. AND THE ORIGINAL CONDITIONAL USE SHOULD BE IN EFFECT UNTIL THAT OPTION IS EXERCISED.

CLACKAMAS COUNTY PLANNING DIVISION

902 Abernathy Road Oregon City, OR 97045
655-8521

- ☐ Zone Change
☐ Non-Farm Use
☐ Expansion of Non-Conforming Use
☐ Greenway Conditional Use
☐ Unzoned Area Development Permit
☐ Extraordinary Exception
☐ Other

- ☒ Conditional Use
☐ Variance
☐ Transitional Use
☐ Temporary Permit
☐ Flood Hazard Permit
☐

FOR STAFF USE

Pre-application conf. date: _____
File No. 829-81-01 Recpt. No. _____
Date Received: 3-26-82 Fee: 200
Hearing Date: May 3, 1982
Staff Member: T. Abbot
Comp. Plan: Rovet
Present Zone: RL-EF-5
CPO _____ Date Not.: _____

Request Summary:

Name of Applicant: WALTER R DORROUGH Office Phone: 503-661-2899
Mailing Address: P.O. BOX 38 BORING OREGON 97009 Home Phone: 415-726-6297
Site Address: 29450 S.E. LAMAR LANE, BORING 97009 415-574-7072
Applicant is: ☐ Legal Owner ☒ Contract Buyer ☐ Option Holder ☐ Agent
Legal Description: Sec 31A, T 1S, R 4E, W/4 Tax Lot 1301, 1401 Total Land Area: 15 ACRES
List other contiguous property under your ownership: 1302, 1300, 1400
List pending County permits: (e.g. building permits, septic tank permits, zoning permits, etc.) _____

1. Proposed use(s), sequence of construction, anticipated timetable for project, and specific reason for the request.

EXISTING FACILITIES TO BE UTILIZED AS A HORSE ARENA,
TO STALL HORSES, [TO HOLD SHOWS] TO SELL HORSE RELATED
PRODUCTS, TO PROVIDE VETERINERIAN CARE FOR HORSES,
CONSTRUCTION TO INCLUDE WHATEVER FIRE AND LIFE SAFETY
WORK REQUIRED BY BLDG DEPT., PERMIT TO INCLUDE COMPLETION
AND FINAL INSPECTION AND CERTIFICATE OF OCCUPANCY (INCLUDING
WHATEVER WORK NEEDS TO BE DONE. WORK TO BE COMPLETED WITHIN 180
DAYS. REQUEST FOR CONDITIONAL USE DESIRED IN ORDER TO RETURN BLDG
TO ITS ORIGINAL AND BEST USE, TO FILL SOME OF THE RECREATIONAL NEEDS
OF THE STATE AND VISITORS

2. Present use of this property: VACANT

3. Method of sewage disposal: DRAINFIELD water supply: CITY WATER

4. Has County Soils Department approved this request? ☐ Yes ☐ No ☐ Not consulted
RICHARD POLSON GAVE TENTATIVE APPROVAL AS TO FUTURE LOCATION OF DRAINFIELD

5. Total employees and/or occupants: Present: _____ Proposed: 5 EMPLOYEES

I hereby certify the statements contained herein, along with the evidence submitted, are in all respects true and correct to the best of my knowledge and belief.

OTHER PERSONS WHO WISH NOTIFICATION:

Name _____

Address _____

Name _____

Address _____

x Walter Dorough
Applicant's Signature

3-26-82
Date

Legal Owner's Signature if applicant is agent

CONDITIONAL USE FACT SHEET

CLACKAMAS COUNTY DEPARTMENT OF ENVIRONMENTAL SERVICES
Planning Division
902 Abernethy Road
Oregon City, Oregon 97045
Phone: 655-8521

The Hearings Officer may approve a conditional use permit for a specific use in specific zoning districts. The greater the departure from the present land use pattern of the area the greater the burden of proof is on the applicant to show the Hearings Officer that the proposal satisfies all of the following conditions:

1. Is your proposed conditional use listed in the underlying zoning district?

YES

2. Are the characteristics of the site suitable for the proposed use considering size, shape, location, topography, existence of improvements and natural features? Please elaborate.

THE USE CONSISTS OF EXISTING FACILITIES, AND THE VISUAL IMPACT WILL BE MINIMIZED, ESPECIALLY WITH THE UTILIZATION OF DESIGN REVIEW FOR LANDSCAPING. BLDG TO BE PAINTED

3. Is the site and proposed development timely, considering the adequacy of transportation systems, public facilities and services existing or planned for the area affected by the use? Please elaborate.

THE SHORTAGE OF COVERED HORSE ARENAS IN THE METROPOLITAN AREA OF PORTLAND SUPPORTS THE USAGE OF THIS EXISTING FACILITY

4. Will the proposed use alter the character of the surrounding area in a manner which substantially limits, impairs, or precludes the use of surrounding properties for primary uses listed in the underlying zoning district?

NO, PREVIOUS OWNERS HAVE UTILIZED FACILITY IN THE EXACT WAY APPLICANT PROPOSED TO UTILIZE FACILITY. GTE. CONDITIONAL USE GRANTED IN 1980 WAS A HIGHER USAGE THAN APPLICANT PROPOSES.

5. Does the request satisfy the goals and policies of the Comprehensive Plan which apply to the proposed use? Please elaborate.

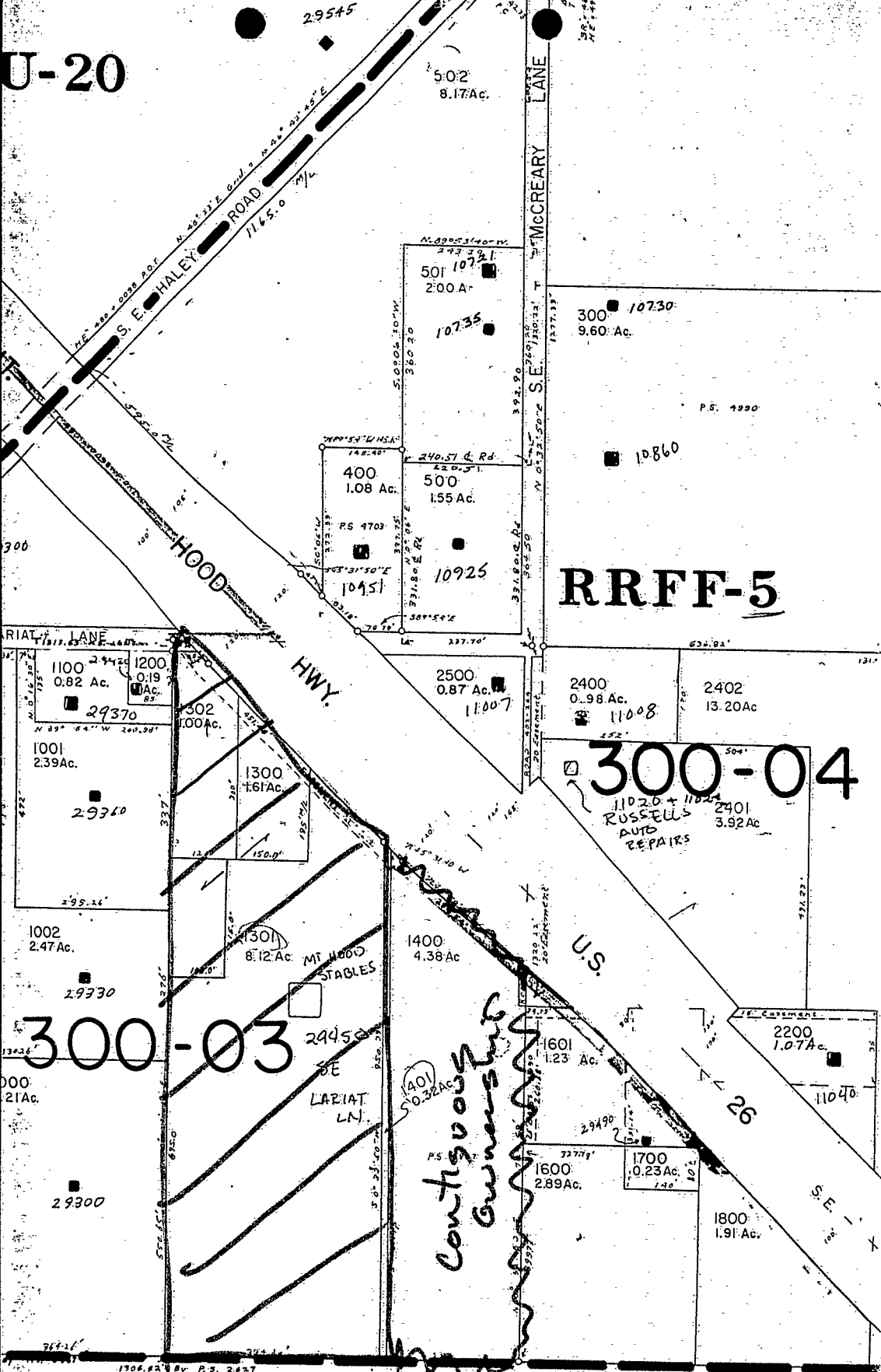
CONDITIONAL USE IS ALLOWED UNDER COMPREHENSIVE PLAN. PREVIOUS OWNER UTILIZED FACILITY UNDER PREVIOUS CONDITIONAL USE. THE FACILITY WOULD SERVE THE NEIGHBORING COMMUNITIES FOR RECREATIONAL USAGE AS A COVERED HORSE ARENA FACILITY

Applicant must submit the following:

1. Responses to the above fact sheet questions.
2. Application (attached).
3. A site plan (see attached example).
4. \$200 fee.

MT:nl
132/1

U-20



district authorized by ORS 198.010 to 198.430 and 198.510 to 198.915 or 451.010 to 451.600, [1973 c.80 §17, 18; 1977 c.664 §12; 1981 c.748 §15; 1983 c.827 §3].

Note: Section 3a, chapter 827, Oregon Laws 1983, provides:

Sec. 3a. It is the intention of the Legislative Assembly in amending ORS 197.175 (1) by section 3 of this Act to correct grammatical inconsistencies in the amendments to ORS 197.175 (1) by section 15, chapter 748, Oregon Laws 1981. It is not the intention of the Legislative Assembly to become involved in, or reflect on, pending proceedings concerning incorporations proclaimed before the effective date of this Act (August 9, 1983).

197.180 State agency planning responsibilities; certain information to be submitted to department; determination of compliance with goals and plans; rules.

(1) Except as provided in ORS 527.722, state agencies shall carry out their planning duties, powers and responsibilities and take actions that are authorized by law with respect to programs affecting land use.

(a) In compliance with goals adopted or amended pursuant to ORS 197.005 to 197.430 and 197.610 to 197.850; and

(b) Except when a finding is made under ORS 197.640 (3)(c), in a manner compatible with:

(A) Comprehensive plans and land use regulations initially acknowledged under ORS 197.251; and

(B) Amendments to acknowledged comprehensive plans or land use regulations or new land use regulations acknowledged under ORS 197.625.

(2) Upon request by the commission, each state agency shall submit to the department the following information:

(a) Agency rules and summaries of programs affecting land use;

(b) A program for coordination pursuant to ORS 197.040 (2)(e);

(c) A program for coordination pursuant to ORS 197.090 (1)(b); and

(d) A program for cooperation with and technical assistance to local governments.

(3) Within 90 days of receipt, the director shall review the information submitted pursuant to subsection (2) of this section and shall notify each agency if the director believes the rules and programs submitted are insufficient to assure compliance with goals and compatibility with city and county comprehensive plans and land use regulations.

(4) Within 90 days of receipt of notification specified in subsection (3) of this section, the agency may revise the rules or programs and resubmit them to the director.

(5) The director shall make findings under subsections (3) and (4) of this section as to whether the rules and programs are sufficient to assure compliance with the goals and compatibility with acknowledged city and county comprehensive plans and land use regulations, and shall forward the rules and programs to the commission for its action. The commission shall either certify the rules and programs as being in compliance with the goals and compatible with the comprehensive plans and land use regulations of affected local governments or shall determine the same to be insufficient.

(6) Until state agency rules and programs are certified as being in compliance with the goals and compatible with applicable city and county comprehensive plans and land use regulations, the agency shall make findings when adopting or amending its rules and programs as to the applicability and application of the goals or acknowledged comprehensive plans, as appropriate.

(7) The commission shall adopt rules establishing procedures to assure that state agency permits affecting land use are issued in compliance with the goals and compatible with acknowledged comprehensive plans and land use regulations, as required by subsection (1) of this section. The rules shall prescribe the circumstances in which state agencies may rely upon a determination of compliance or compatibility made by the affected city or county. The rules shall allow a state agency to rely upon a determination of compliance by a city or county without an acknowledged comprehensive plan and land use regulations only if the city or county determination is supported by written findings demonstrating compliance with the goals. Nothing in this subsection requires decisions made under ORS 197.835 (7) to be reviewed for or include findings showing compliance with the goals.

[1973 c.80 §21; 1977 c.664 §13; 1981 c.748 §16; 1983 c.827 §4]

197.185 Special district planning responsibilities; agreements with local governments. (1) Special districts shall exercise their planning duties, powers and responsibilities and take actions that are authorized by law with respect to programs affecting land use, including a city or special district boundary change as defined in ORS 197.175 (1), in accordance with goals approved pursuant to ORS 197.005 to 197.430 and 197.610 to 197.850.

(2) Each special district operating within the boundaries of a

district authorized by ORS 198.010 to 198.430 and 198.510 to 198.915 or 451.010 to 451.600.
[1973 c.80 §§17, 18; 1977 c.664 §12; 1981 c.748 §15; 1983 c.827 §3]

Note: Section 3a, chapter 827, Oregon Laws 1983, provides:

Sec. 3a. It is the intention of the Legislative Assembly in amending ORS 197.175 (1) by section 3 of this Act to correct grammatical inconsistencies in the amendments to ORS 197.175 (1) by section 15, chapter 748, Oregon Laws 1981. It is not the intention of the Legislative Assembly to become involved in, or reflect on, pending proceedings concerning incorporations proclaimed before the effective date of this Act [August 3, 1983].

197.180 State agency planning responsibilities; certain information to be submitted to department; determination of compliance with goals and plans; rules. (1) Except as provided in ORS 527.722, state agencies shall carry out their planning duties, powers and responsibilities and take actions that are authorized by law with respect to programs affecting land use:

(a) In compliance with goals adopted or amended pursuant to ORS 197.005 to 197.430 and 197.610 to 197.850; and

(b) Except when a finding is made under ORS 197.640 (3)(c), in a manner compatible with:

(A) Comprehensive plans and land use regulations initially acknowledged under ORS 197.251; and

(B) Amendments to acknowledged comprehensive plans or land use regulations or new land use regulations acknowledged under ORS 197.625.

(2) Upon request by the commission, each state agency shall submit to the department the following information:

(a) Agency rules and summaries of programs affecting land use;

(b) A program for coordination pursuant to ORS 197.040 (2)(e);

(c) A program for coordination pursuant to ORS 197.090 (1)(b); and

(d) A program for cooperation with and technical assistance to local governments.

(3) Within 90 days of receipt, the director shall review the information submitted pursuant to subsection (2) of this section and shall notify each agency if the director believes the rules and programs submitted are insufficient to assure compliance with goals and compatibility with city and county comprehensive plans and land use regulations.

(4) Within 90 days of receipt of notification specified in subsection (3) of this section, the agency may revise the rules or programs and resubmit them to the director.

(5) The director shall make findings under subsections (3) and (4) of this section as to whether the rules and programs are sufficient to assure compliance with the goals and compatibility with acknowledged city and county comprehensive plans and land use regulations, and shall forward the rules and programs to the commission for its action. The commission shall either certify the rules and programs as being in compliance with the goals and compatible with the comprehensive plans and land use regulations of affected local governments or shall determine the same to be insufficient.

(6) Until state agency rules and programs are certified as being in compliance with the goals and compatible with applicable city and county comprehensive plans and land use regulations, the agency shall make findings when adopting or amending its rules and programs as to the applicability and application of the goals or acknowledged comprehensive plans, as appropriate.

(7) The commission shall adopt rules establishing procedures to assure that state agency permits affecting land use are issued in compliance with the goals and compatible with acknowledged comprehensive plans and land use regulations, as required by subsection (1) of this section. The rules shall prescribe the circumstances in which state agencies may rely upon a determination of compliance or compatibility made by the affected city or county. The rules shall allow a state agency to rely upon a determination of compliance by a city or county without an acknowledged comprehensive plan and land use regulations only if the city or county determination is supported by written findings demonstrating compliance with the goals. Nothing in this subsection requires decisions made under ORS 197.835 (7) to be reviewed for or include findings showing compliance with the goals.
[1973 c.80 §21; 1977 c.664 §13; 1981 c.748 §16; 1983 c.827 §4]

197.185 Special district planning responsibilities; agreements with local governments. (1) Special districts shall exercise their planning duties, powers and responsibilities and take actions that are authorized by law with respect to programs affecting land use, including a city or special district boundary change as defined in ORS 197.175 (1), in accordance with goals approved pursuant to ORS 197.005 to 197.430 and 197.610 to 197.850.

(2) Each special district operating within the boundaries of a

March 21, 1983

Vern Lundquist
11007 McCreary Lane
Boring, Oregon 97009

RE: 829-81-CI, Horse Stables for Walter Dorrough

In October of 1982 the Board of County Commissioners approved an interpretation application for Mr. Walter Dorrough to operate horse stables adjacent to Highway 26 at its intersection with S.E. Lariat Lane in the Boring area. In approving this request, the Board of Commissioners attached twelve conditions of approval. A copy of these conditions is enclosed for your information and review.

Condition No. 2 requires proper sanitation at all times. Information contained in your letter would indicate that the operation has not properly adhered to this condition. However, the remainder of the five conditions stipulated in your letter do not seem to appear on the list of conditions attached to the approval of the application. Although testimony may have been given at the hearing regarding no parking on Lariat Lane, installing sprinkling systems, keeping the noise down and putting up portable toilets, these do not appear as adopted conditions of approval.

I am referring your letter to Mr. David Phillips in the county's Solid Waste Division to review and pursue as appropriate your concerns dealing with proper sanitation.

Dominic Mancini
Planning Director

DM:tlc

Enclosure

1/2

cc: Dave Phillips, Code Compliance

RECEIVED
APR 27 1983

~~SLAC~~

JAB
RHW

4-22-83

NORTHWEST REGION

DEAR MR. Chuck CLINTON

Regional Supervisor, D.E.Q.

DEAR SIR I AM WRITING THIS LETTER IN REGARD

TO THE MT. HOOD EQUESTRIAN CENTER LOCATED AT

S.E. LARIATE LANE IN BERING ORE. OFF HY. 26

HALEY RD. I HAVE WRITTEN LETTERS TO THE

DEPARTMENT OF ENVIRONMENTAL SERVICES IN CLACK-

AMAS COUNTY TO NO AVAIL - WHEN THE CO.

COMMISSIONERS APPROVED AN APPLICATION FOR

A MR. WALTER DORROUGH TO OPERATE THE HORSE

STABLES. THERE WAS SOME REQUIREMENTS TO

BE MET.

① PROPER SANITATION AT ALL TIMES -

② MAKE ADEQUATE MEANS OF MANURE DISPOSAL -

(THE PILE OF MANURE IS HUGE -)

I BELIEVE THAT THERE IS A STATE

VIOLATION HERE - AND ALSO A HEALTH

HAZARD TO US AND OUR SURROUNDING

NEIGHBORS BECAUSE THESE REQUIREMENTS

ARE NOT BEING MET -

I AM IN HOPE THAT YOU WILL LOOK INTO

THIS MATTER AS SOON AS POSSIBLE.

THANK YOU VERY MUCH

VEEN LANDQUIST

11007 M'CREEKY LANE

BERING ORE 97009

663,5202 P.S. THE SMELL IS UNBEARABLE

WHEN THE TEMP. RISES.

Dept. of Environmental Quality

RECEIVED
APR 29 1983



PLANNING DIVISION

JOHN C. MCINTYRE DOMINIC T. MANCINI
Director Planning Director

September 20, 1982

Mr. Walter T. Dorrough
P.O. Box 38
Boring, Or 97009

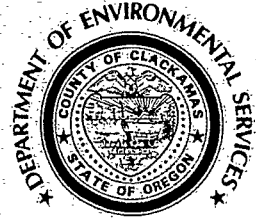
Re: Applicant/Appellant: Dorrough
No. 829-81-C, I/R

Dear Mr. Dorrough:

The verbatim transcript of the proceedings before the Hearings Officer has been completed and is now on file with the Clackamas County Planning Division. The cost of preparation of that transcript was \$45. There is a balance due of \$0.

Sincerely,

Richard F. Crist
RFC/ps
cc: Planning Department ✓



PLANNING DIVISION

JOHN C. MCINTYRE DOMINIC T. MANCINI
Director Planning Director

September 24, 1982

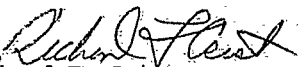
County of Clackamas
Planning Division
902 Abernethy Road
Oregon City, OR 97045

Gentlemen:

Re: Applicant/Appellant: Walter T. Dorrrough
No. 829-81st C, I/R

Enclosed please find the transcript of the public hearing held on June 7, 1982, pertaining to the above matter. Please be advised that the cost of preparation of this transcript in the above matter was \$45, as evidenced by the attached invoice. There is a balance due of \$0.

Sincerely,


Richard F. Crist
Hearings Officer
RFC/ps
cc: Walter T. Dorrrough



8974

SOLD TO <i>Chief of Police, New York</i>			SHIPPED TO		
STREET & NO.			STREET & NO.		
CITY	STATE	ZIP	CITY	STATE	ZIP

[illegible]

Date: _____
Applicant only
Charged for 18 pgs
@ 2.50 = \$45⁰⁰.

Typist who's
informed of this
and transcribed
whole transcript!
our error! Pam

PLANNING DEPARTMENT

COUNTY OF CLACKAMAS

HEARINGS OFFICER: RICHARD F. CRIST

STAFF REPRESENTATIVE: TERRY CURRY

FILE NO.: 829-81-C, I

APPLICANT: WALTER R. DORROUGH
P. O. Box 38
Boring, Oregon 97009

PUBLIC HEARING: June 7, 1982
3:00 p.m.
Department of Environmental Services
902 Abernethy Road
Oregon City, Oregon 97045

ORAL DECISION: June 7, 1982
3:00 p.m.
Department of Environmental Services
902 Abernethy Road
Oregon City, Oregon 97045

PROCEEDINGS

HEARINGS OFFICER: Okay. The next item scheduled for public hearing is File No. 829-81-C,I. A request for an interpretation and second, a conditional use permit. The applicant is shown as Walter R. Dorrough. Mr. Dorrough is present at this time. Let me read the proposal in more detail.

One, an interpretation of the determination of the Planning Division staff that an earlier conditional use permit for a riding stable became invalid at the time a later conditional use permit was approved for General Telephone Company. Two, a conditional use permit to use the existing improvements on the property as a riding stable-horse arena to board horses and to hold horse shows. Up to 190 horses will be boarded on the property. Approximately 10 horse shows per year would ultimately be held on the property. The property in question being located on the south side of U.S. Highway 26 at its intersection with Southeast Lariat Lane in the Boring area.

My name is Rich Crist. I'm the Zoning Hearings Officer for Clackamas County. To my right is Terry Curry, who is the Planning staff representative for this hearing. I'm going to first state for the record a couple of things by way of history on this application.

This is the hearing scheduled for further public hearing on each of these two requests. There was previously a public

hearing held on May 3rd and an oral decision rendered on May 12.

Insofar as the first part of the application is concerned, the interpretation as to whether or not the later conditional use for a General Telephone Company invalidated a prior conditional use for a stable and arena. Subsequent to my rendering an oral decision on that and determining that further public hearings were needed on the separate conditional use application, it was discovered by the Planning staff that in giving public notice as required by the statute for the original hearing, some property owners were not notified and didn't receive the required notice. It was determined that the hearing that was scheduled for today would serve as a full public hearing on each of those two issues.

The conditional use portion of this, as I understand it, has been modified and now includes property not originally included within the application, particularly Tax Lot 1400, which would be used for overflow parking in the event it's necessary.

Now, as I have indicated, substantial testimony was taken on May 3rd. I would ask at this time if there is anyone who objects to that testimony being included within the record of this hearing.

UNIDENTIFIED PERSON: I do.

HEARINGS OFFICER: Okay, Mr. Dorrough.

MR. DORROUGH: Yes.

HEARINGS OFFICER: Okay. Mr. Dorrough, I'd ask you to

come on up, state your name and mailing address and state your reasons.

MR. DORROUGH: Walter R. Dorrough, P. O. Box 38, Boxing, Oregon.

I ask that the interpretation request portion of my application be heard before the conditional use portion be considered since the interpretation portion of the hearing will put less data on the record than the conditional use portion of the hearing. The cost of appeal to me would be a great deal less. There is little point in paying for the transcription of the conditional use portion if I deem it necessary to appeal the interpretation portion of the request.

HEARINGS OFFICER: Okay. So, if I understand what you're saying right now, you object to the testimony that came in on May 3rd being considered a part of this record.

MR. DORROUGH: Until such time as a ruling is made on the interpretation portion. Then I would move that that testimony be entered into the record.

HEARINGS OFFICER: Okay. And you're requesting that we essentially divide this hearing in half and consider the first part of the application, which is the interpretation appeal?

MR. DORROUGH: That's correct. I have very brief remarks to that portion. I would anticipate spending a little time on it.

HEARINGS OFFICER: Is there anyone else who has any

comments they would like to make concerning the issue that I raised as to whether or not the record and testimony of May 3 should be included within this hearing at this time?

Let me just state for the record that technically if proper notice isn't given out I don't have jurisdiction to hear the matter. And anyone of you who did not receive proper notice are clearly in a position to complain that you did not have an opportunity to hear the testimony that was given, perhaps to even have reviewed it before today's hearing. You know, you are within your rights to object to that.

Mr. Dorrough, your objection to that procedure will be granted. Any testimony from May 3 will not be included within the record today, at least at this time, unless some other request is made later.

Is there anyone here who would like to offer comments procedurally concerning Mr. Dorrough's request that we hear this application in two parts, first the interpretation appeal, which is appealing the staff's determination that the second conditional use permit did invalidate the first. And then the second part of the hearing involving the conditional use application. And that's the way we'll proceed.

I don't know if I introduced myself to you or not. Some of you I recognize from prior hearings, but my name is Rich Crist. To my right is Terry Curry, who is the Planning staff representative.

Given what we've just determined, let me try and outline for you the procedure we'll follow. I will first ask Mr. Curry to make the staff presentation.

And Terry, I don't know whether you feel you can divide your staff presentation into those two issues or not. If you can, I'll ask you to try and do so. Certainly not insofar as the property description is concerned or the area is concerned.

His staff presentation will include descriptions of the property and the area. It does appear that there are slides which will be shown. I would ask that they all be shown. I'm not going to try and divide them up. If there are any other materials received by the staff since the most recent addendum to the staff report has been written, they would be marked as exhibits and made exhibits to the file at this time. And finally, he will indicate his or the staff's recommendation concerning the request.

Following the staff presentation, we will consider first the interpretation appeal. I'll ask Mr. Dorrough or someone in his behalf to come forward and make any presentation that they would like. And then for any other person who would like to speak in support of the request. And then for comments from the Boring Action Neighborhood Group if there is a representative here. And finally, for anyone who would like to speak in opposition with rebuttal available to both sides in the event that there is opposition.

The same procedure will be employed on the conditional

use permit portion of the application in the event that we get to that.

I don't know, Mr. Dorrough, are you asking that we hold one today the other some other time or what are you asking?

MR. DORROUGH: What is our timetable?

HEARINGS OFFICER: Very flexible. I don't recall of any hearings that I have to be at tonight. The Planning Division is closed. I don't know if Mr. Curry has got time problems or not.

MR. CURRY: None. I don't have any time problems.

HEARINGS OFFICER: Okay. I don't know how -- there are a number of people here -- I don't know how much time it's going to go, but I'd say I'd probably be willing to run until about 7 o'clock. I doubt seriously I'd be willing to go later than that, but we can start and see.

Terry?

MR. CURRY: Do you want to start with the interpretation?

HEARINGS OFFICER: The interpretation.

MR. CURRY: Do we need to go through the slides for the interpretation?

HEARINGS OFFICER: Pardon?

MR. CURRY: The slides for the interpretation. I don't feel those are necessary. We can save those for the conditional use.

HEARINGS OFFICER: Well, I guess the slides aren't strictly speaking necessary for the interpretation. It's essentially

a legal issue.

MR. CURRY: Right. First of all, the -- (inaudible because of tape ending.)

MR. CURRY: Okay. The map on the wall has an area identified outlined in red. Now, this display map has not been modified to reflect the properties involved in the conditional use application. The conditional use application has been expanded to include Tax Lot 1400. It would then include this area I'm cross-hatching. Through the interpretation request we would be viewing only the property outlined in red. This was the area that was approved in 1970 as a horse riding stable and arena.

Now, this property -- access to the property is taken off of Southeast Lariat Lane. There is no access from Highway 26, which runs the northeast border of the property. The access road enters the property at the northwest corner and basically follows the flow of my pen there. There is a single family residence which is partially completed in the northwest corner of the property. There is the stable building, large stable building, approximately two acres I believe, located in this general area. About the center of the northern half of the property there is a storage building located on the northern half of the property near the western property line. The southern portion of the property is generally undeveloped.

Residential uses established in the area include five residential uses along the western property line. There is a

mobile home located on Tax Lot 1601. There are other residential uses established along the southern side of Southeast Lariat Lane. There are a number of residential uses established on the north-eastern side of Highway 26. Just off the northwest corner of the property, Tax Lot 701 is developed with a nursery operation.

Okay. The history regarding this portion of the application is basically that in May of 1970 a conditional use permit was approved for a riding stable and arena on the portion of the property outlined in red. The riding stable and arena were operating on the property until approximately 1976. In March of 1980, the Clackamas County Board of County Commissioners approved a conditional use permit for General Telephone Company to operate a supply center basically from that building and -- as a support center, excuse me. The support center was approved to occupy the building which had in the past been used as a stable and riding arena.

The Planning Division staff has determined that the approval of the conditional use permit for General Telephone Company negated the prior approval for the conditional use permit of the riding stable. And the applicant, in making this request for an interpretation disagrees with that determination. The applicant's contention being -- or question if you would -- whether the original conditional use permit should become void upon the approval of a second conditional use permit or either the original conditional use permit should become void upon the second conditional use permit being exercised.

Okay. The determination of the Planning Division staff that the second superseded the first is based partially on the proposed uses and the existing improvements. The original conditional use was occupying the entire structure. The second conditional use also occupied the entire structure. Therefore, it is obvious that both conditional use permits could not have coexisted on the property at the same time.

The request by General Telephone Company came before the Board of County Commissioners. They initially denied that application and then in February of 1980 they approved that application. Part of the concern of the County Commissioners was that the approval of the General Telephone conditional use permit would remove from operation or availability a recreational use that assisted the County in meeting the State's land use goal for the provision of recreational lands for recreational uses to the County's citizens and visitors to the State.

The staff's position is that although these concerns are probably based on the assumption that General Telephone would have utilized their conditional use permit. That these concerns also indicate a position that the approval of the General Telephone Company's conditional use permit would preclude the use of the property as a stable.

The other question in the mind of the Planning Division is the expectation of surrounding property owners. The last notification property owners had received on the use of that

property prior to the notification regarding this hearing and the earlier hearing were that the property would be used as a support center for General Telephone.

It's the Planning Division staff's position that a person who followed those proceedings for General Telephone through the appeal to the Board of County Commissioners would have every expectation of seeing that property developed with a support center for General Telephone Company. That's basically the position of the Planning staff on the interpretation request.

The recommendation of the Planning staff is that the applicant's interpretation request be denied and that the Hearings Officer specifically find that the approval of Conditional Use Permit CU-19-79, which was the conditional use permit for a support center for General Telephone, negated the earlier approval of Conditional Use Permit CU-11-70, which was the riding stable conditional use.

Now if the Hearings Officer finds for approval of the interpretation request, the staff has identified six conditions which would be recommended conditions of approval. That's it as far as the interpretation is concerned.

HEARINGS OFFICER: Okay. None of the conditions that you're recommending in your addendum dated June 7th apply to the interpretation; is that correct?

MR. CURRY: That's correct. The staff's position on the interpretation has not changed through the addendum.

HEARINGS OFFICER: Thank you very much.

Mr. Dorrough? State your name and mailing address again.

MR. DORROUGH: Walter Dorrough, P. O. Box 38, Boring.

HEARINGS OFFICER: Thank you. Please go ahead, sir.

MR. DORROUGH: GTE applied for a conditional use on February 16th, 1979 and received final approval on February 11th, 1980. This conditional use was granted to them alone to utilize the property as quote, a support center for General Telephone Company, unquote. That's from Findings and Decision of the Hearings Officer, April 25, 1979.

Certain specific effects, such as proliferation of strip highway development, quote, unquote, and quote, traffic impact, unquote, also from the Hearings Officer's report of April 25, 1979 were considered before that permit was granted specifically to GTE. Again, as a support center for GTE. Not a support center but to them alone.

Since any other support facility would have different effects on that property, there can be little argument that a different conditional use permit would be required by anyone other than GTE. This conditional use permit granted to GTE could not go with the property as other conditional uses normally do. Their practical utilization of that property lapsed with their option to purchase that property. Shortly after the application was granted to GTE, they changed their position on utilization of the facility, but their option lapsed on the property. A

letter by their attorney is offered now in evidence to show that GTE has no intention of utilizing the property. By then --

HEARINGS OFFICER: Let me have this marked as an exhibit, Mr. Dorrough.

The letter on the letterhead of General Telephone Company Northwest, Inc., dated May 24 will be marked as the next numbered exhibit.

MR. CURRY: 22.

HEARINGS OFFICER: It will be No. 22 and reads as follows: It's addressed to Peter A. Plumridge (phonetic), District Counsel of the U.S. Small Business Administration, in reference to Mt. Hood Stables. Reading:

This will confirm the fact that General Telephone Company Northwest, Inc., is no longer interested in acquiring the subject property. The telephone company no longer has an option to purchase same. The telephone company has no desire to utilize any conditional use permit for said property issued by Clackamas County.

And that's signed, A. Timothy L. Williamson, Associate General Counsel.

MR. DORROUGH: I might also indicate that he made the original application for GTE.

The question then, why should the property not revert back to the original conditional use, CU-11-70, to establish a riding stable and arena.

The second consideration is a matter of intent. The County Commissioners were extremely reluctant to grant the GTE application. They first denied the GTE request on June 18th, 1979 before approving the request on February 11th, 1980. The Commissioners wanted to give the property another six months to be utilized, possibly being utilized as a horse facility. It considered the utilization by GTE to be in conflict with Goal 8. Their intent was for utilization as a horse facility before any other use.

That's all I have to say.

HEARINGS OFFICER: Your last comments, Mr. Dorrough, are they contained within the minutes of the hearing before the Board of County Commissioners?

MR. DORROUGH: The intent?

HEARINGS OFFICER: Yes. Because the minutes of those hearings are included within the staff report which is a part of this hearing. I don't recall that from reading the minutes. I could have overlooked it or forgotten it.

MR. DORROUGH: The first question is: Are the minutes an accurate representation of what was said at the hearing?

HEARINGS OFFICER: Well, we'll start with that, yes.

MR. DORROUGH: They are abbreviated or -- some of what I have said here is, been inferred by staff that it was in conflict with Goal 8 and that the staff --

MR. CURRY: That is referred to in the Commissioner's

minutes. They either reference Goal 8 or they do reference the recreation goal. They do speak directly to Goal 8

HEARINGS OFFICER: I'll have to go back and reread them again.

Is there anyone else here who would like to speak in support of Mr. Dorrough's interpretation request?

Yes, sir?

MR. BRAGG: I'm Douglas Bragg, 25100 SW Garden Acre Road, Sherwood, Oregon.

This is in reference as a professional horseman... When the property was first built by Mr. Art Edmond, it was built with the County's approval as a horse facility. The highest and best use of the property would be as a horse facility. When GTE put their application in my own mind I would think if they were using it as a support facility or a warehouse, they would be using it as a warehouse facility. There is a difference between a warehouse facility and a stable. In this stable not only do they have the concrete box stalls, 12 by 12, and bleachers and a kitchen area, et cetera, that you would not have in a regular warehouse. So if the property was given an occupancy permit as a stable, then that permit should have some bearing on what the County does now in not seeing that it was originally granted as a stable. Then there was some conflict granted to GTE as a warehouse support facility. And I would think that the first granting of that permit would still be or have valid impact because the property and the buildings that are out there are the exact same when it

was first granted as a stable. And if anything has been done to it, it has been to improve the buildings and the property as a horse facility and not as a warehouse or support facility for another organization.

HEARINGS OFFICER: Okay. Thank you, Mr. Bragg.

Is there anyone else here who would like to speak in support of the requested interpretation?

(No response.)

HEARINGS OFFICER: Is there a representative of the Boring Action Neighborhood Group who would like to speak concerning the request?

(No response.)

HEARINGS OFFICER: Is there anyone here who would like to speak in opposition to the requested interpretation?

(No response.)

HEARINGS OFFICER: I think the record already reflects that at the conclusion of the prior hearing on May 12th I indicated that I would deny the request for an interpretation, finding that the staff's determination that the conditional use permit granted in 1980 to GTE did have the effect of negating the prior conditional use permit. I haven't heard anything today that requires me to change my mind that that is the best interpretation that can be accorded this situation with the materials and language that's in our Zoning & Development Ordinance.

Your approach, Mr. Dorrough, makes a lot of sense for

this particular circumstance. That since GTE did not develop the property it should revert to a horse stable and riding arena and that no one else can take up GTE's conditional use permit because of the restricted use that's approved.

However, I am interpreting the Zoning & Development Ordinance as it applies to every conditional use permit whatsoever kind in a similar situation where a second and inconsistent use is approved as a conditional use. Many of those would permit it to run with the land, if you will, using your terms, and permit someone else to take up that conditional use permit. The situation that we have here is that no time limitations were placed on the approval by the Board of County Commissioners. Though it didn't expire automatically in and of itself, the Zoning Ordinance provides no specific criteria. And the second approval of the conditional use permit has to be given effect. If it's given effect, the only effect that it can have is to negate the prior approval. So, my decision again is to deny the appeal interpretation and find that the issuance of the Conditional Use Permit on File No. CU-11 -- I'm sorry -- CU-19-79 did have the effect of negating the prior approval for the riding stable and arena in CU-11-70.

Mr. Dorrough, as I know you know, you do have the ability to appeal this decision to the Board of County Commissioners. You have previously requested we take that matter first and a decision be made. What, if anything, is your wish insofar as the second item that's scheduled for public hearing, the conditional

use permit application?

MR. DORROUGH: I would like to proceed with that and to enter onto the record all data that was placed in evidence before.

HEARINGS OFFICER: Okay. Is there anyone here who objects to proceeding at this time with the second part of the application, the conditional use permit application?

(No response.)

HEARINGS OFFICER: Terry, if you'd make the staff presentation?

MR. CURRY: The slides are on the record already. Do you want to see them again?

HEARINGS OFFICER: I'd like to see them. I've seen the property too, but there are those here who maybe have not seen the slides and they are a part of the record, so we'll show them again.

MR. DORROUGH: Can we have entered into the record the previous material?

HEARINGS OFFICER: Well, I haven't, but if you wish, I'll go ahead and make a decision. Mr. Dorrough has requested that all testimony and exhibits received at the prior public hearing of May 3 be considered as a part of the record for this public hearing. Is there anyone here who objects to that procedure?

(No response.)

HEARINGS OFFICER: I would indicate to you I don't know

where you're all coming from insofar as this application is concerned. There are tapes that were made at that hearing and anybody, you know, frankly requests of me an opportunity to listen to those tapes, I'll grant it to you so that you can know what was said and have an opportunity to respond to it.

In affording a public hearing in this type of a request, what we call a quasi-judicial land use decision, every person, both the applicant and anyone else who is either a party because of where their property is located or because they're interested and come, is entitled to one, present evidence that's material to the question and two, to rebut or respond to any other evidence that's presented opposing their point of view. And that's difficult for you to do if you don't know what that evidence has been. So, I know that there are more people here than there were at the prior public hearing. I make this comment from the point of view that anyone who wishes an opportunity to review the testimony that was previously received, all you've got to do is ask and I'll make sure you get that opportunity. In the absence of any objection to the procedure and receiving or making that testimony and those exhibits a part of the record for this hearing I will do so. The tapes and the exhibits received at the May 3 hearing as well as any tapes of the hearing of May 12 will be considered a part of this record.

Terry?

MR. CURRY: This first slide is taken from Lariat Lane.

It's in a southwesterly direction to the access point of the property. This road is basically an extension of Lariat Lane, although it is a private easement road. A portion of it runs down the northeast property line as an access road to the mobile home located to the east of the property. The rest of the road takes a right right at this paved area right here and heads into a southerly direction into the property.

This slide is taken from on the property. It's in a northwesterly direction to the partially completed single family residence located in the northwest corner of the property.

This shot is in a south, southwesterly direction. It was taken to the storage building. The storage building is located just to the west of the riding arena and stable. The westernmost portion of the scene, right here on the left-hand side of the picture.

This slide is south, southeasterly direction, basically showing the western one-half of the stable and riding arena building.

And this is a slide to the southeast showing the remaining portion of that building.

This slide is in a northwesterly direction to the residential development, part of the residential development, which is located on the parcels to the west.

From the same spot directly west to the residential development.

This slide is taken from the southern end of the extension of the access road, which makes a loop around the stable/riding arena building. This portion of the property, approximately the bottom one-half of the slide is part of the property under consideration. This row of vegetation roughly marks the property line between that and the agricultural use established on the property to the south.

And the final slide is to the mobile home located on Tax Lot 1601.

Okay. As I mentioned earlier, the area included in the conditional use portion of this application includes Tax Lot 1400 which has been cross-hatched. Tax Lot 1400 is a relatively clear portion of land on the northern half. And there's a pond located on the south half of the property.

Let's go through the addendum. Okay. The original portion of the application of the conditional use application dealt with the conditional use permit to use existing improvements on the property as a riding stable, horse arena, to board horses and hold shows. At that time it was indicated approximately 114 horses would be boarded on the property and approximately 10 horse shows per year would be held on the property. The testimony and the staff report regarding that part of this application is a part of the record that has been adopted. There is an addendum to the staff report which deals with the amended proposal, which would include the, okay, which would include horse shows ranging

in specified size from 30 to 300 horses, and the use of portable stalls to be located in the south existing stable building which would be utilized only as overflow, overflow of horses in the event the permanent stable facility is full. The request also involves the inclusion of Tax Lot 1400 for parking purposes. Tax Lot 1400 would be utilized for parking only for overflow measures.

Okay. The Planning Division staff has reviewed the additional portions of the request with regard to the appropriate sections of the Zoning Ordinance. And initially the staff finds the request to be in sufficient form to meet the requirements of Subsection 801.03 which sets forth the submittal requirements for all conditional use applications.

Subsection 1203.01 of the Zoning Ordinance sets forth the standards for you of a conditional use permit. The Planning Division has reviewed those standards. It has made findings with regard to those standards.

Subsection 309.05(A) of the Zoning Ordinance identifies conditional uses which may be allowed in the rural residential farm forest zoning district. Item Sub 10 under that subsection identifies service recreational uses subject to the provisions of Section 813.

The staff has reviewed Section 813.01(E) of the Ordinance and finds the request is identified as that section does identify stables as service recreational uses. That subsection does not

specify any particular development requirements.

The staff -- it does not appear to the Planning staff that the horse shows ranging from 30 to 300 horses falls under the permitted conditional use of riding stables. However, it's the opinion of the Planning Division staff that the horse shows are a similar use -- (inaudible because of tape ending.) --

Similar to other uses described under Subsection 813.01(E) Therefore, the staff finds the use of the property to hold horse shows is an allowed conditional use as specified under Subsection 813.01(G), which allows uses similar to those which are specified.

The staff has reviewed the suitability characteristics of the site for the proposed use. Findings contained in the staff report of April 22nd, 1982 under item E2 are adopted for this addendum. In addition to that, the staff has viewed the site with respect to the suitability for large horse shows. The staff finds that the site is suitable. The revised site plan submitted by the applicant identifies a number of parking areas. The potential parking spaces available within those parking areas has been estimated at approximately 63. These spaces are 45 feet long, which would accomodate a truck and horse trailer. It's quite likely that more than 263 parking spaces are available if an individual were to sit down and draw up a functional parking plan rather than just identifying the minimum potential parking area, which is what the applicant and the staff did together to get that number. The 263 parking spaces would appear to be suitable based

on testimony from the applicant which has indicated basically that very seldom does an individual come to a horse show with just one horse. Anyway, even with the maximum size horse show of 300, which is the maximum that has been requested in this application, that the parking would be more than adequate on site, considering the potential overflow parking on Tax Lot 1400.

Okay. The applicant has further indicated regarding the parking and suitability of the site that on a large horse show that approximately one-half the show is held one day and the other half of the show is held the other day on a weekend. And that generally speaking, the horses involved one day of the show are not on the site the second day of the show unless they are entered in more than one event.

The applicant has indicated that approximately, of spectators, approximately 90 percent of the spectators are also participants in one area of the show or another. So it is not expected that the horse shows held on the site would generate a participation from spectators who are not also participants in the show.

Okay. Basically for those reasons the staff finds the request generally suitable to accommodate the use of the property for horse shows up to the size of approximately 300 horses. The staff has found the request to be timely and had adopted the conclusions of the April 22nd, '82 staff report, conclusion No. D3, and has felt no need to alter that conclusion based on the revised

information.

The staff further finds the request will not alter the character of the surrounding area in a manner which would substantially limit, impair or preclude the use of surrounding properties for private uses listed in the zoning district. And has adopted the conclusions of staff report April 22nd, 1982.

The staff has received a response from the County's Traffic Operations Engineer which was not available at the original hearing. And the Traffic Operations Engineer sees no problem with the proposed use based on the information submitted on the size of horse or size of horse shows and the amount of participation both from participants and from purely spectators.

Okay. The staff finds the request to be consistent with the County's Comprehensive Plan and with LCDC Goals as specified in the April 22nd, 1982 staff report and further specified under conclusions D5 and E.

Okay. The Planning staff recommends approval of the applicant's requested conditional use permit subject to conditions 1 through 4 of the staff report on April 22nd, 1982, plus conditions 5 through 8 identified in the addendum, dated June 7th, 1982.

HEARINGS OFFICER: Okay. Thank you very much.

Mr. Dorrough?

MR. DORROUGH: Walter Dorrough.

This application concerns itself with the utilization of an existing horse facility commonly known as Mt. Hood Stables.

This facility was utilized extensively in '75, '76 and I believe part of '77. This facility is one of the nicest in the Pacific Northwest. There are larger facilities only in the amount of stall spaces. To allow utilization of this facility would most certainly conform with Goal 8. It would provide recreational facilities for area residents and out of area residents. Those from out of the area would spend money in the local economy, not only at the facility, but at restaurants, motels, gas stations. Some of the out of town people would come from Washington, California, but they would also come from other states as well. The facility is well laid out to accomodate more than the greatest number of people who might attend a horse show at Mt. Hood Stables.

Two hundred sixty parking spaces have been identified on the property. If utilized properly, these spaces would be more than enough to accomodate a two-day horse show of more than twice the largest show envisioned in the application. Assuming 640 horses came to the facility over a two day period, less than 300 trailers would be used as most people double up when they come to a horse show that they generally travel long distances, they try to come with a friend to conserve costs or else they're bringing more than one horse to enter. So when we talk about a 300 horse show, we're talking about 300 horses, not necessarily 300 entrants. Far less than 160 cars, assuming a much higher percentage. We were using the figure of 90 percent of the people coming would be spectators. But let's use the figure of only

75. Let's use a 25 percent figure and assume 160 cars of spectators. Still we can't come up with more than 230 people on the property at one time. Assuming a horse show of in excess of twice the figure that we've estimated would be the largest. So clearly, our contingency factor is great, well over 60 percent.

I ask that the recommendation by staff that the operating hours to end at 10:00 p.m. be changed. The impact of automobiles leaving the facility would be on those houses adjacent to Lariat Lane. The facility sits in the middle as the large setback from the closest property approximately 500 feet from the closest house. People who would leave the facility in the evening would come up this general direction, get onto the easement at this point by making a sharp turn, make another sharp turn and at this point proceed down Lariat Lane. There's a house here on Tax Lot 1200 and a house on Tax Lot 1100. There's a beauty parlor on Tax Lot 900. There's a house that's set back from here. So, we're talking about the impact on these two houses alone. The nursery is shut down. There's no house here.

Mt. Hood Highway 26 is four lanes. The U.S. Highway with a constant background of noise. And so we'd have to assume a rather high level of ambient noise at these two points to begin with. It reverberates from here and then comes up in this general direction.

So, a later operating hour time would not effect people who are adjacent to us because the activities obviously would be

after dark. They would be inside. And we'd just be talking about the amount of vehicles that would be leaving the facility. Again, you don't have 200 people leaving the facility in the evening. We're talking about in the neighborhood of 10 cars. That's 10, maybe 20 cars that would be leaving after 10 o'clock or whatever the closing time would be.

HEARINGS OFFICER: What closing time are you anticipating would be necessary?

MR. DORROUGH: Other stables in the area have closing times of midnight. I anticipate that we would close the arena at 11 o'clock.

HEARINGS OFFICER: During shows do you use the public address system?

MR. DORROUGH: Yes, there is a public address system in the building. I would --

HEARINGS OFFICER: Is it audible outside the building?

MR. DORROUGH: No. I realize that point was brought up at a previous hearing and I don't see any validity in that point. I don't believe it to be possible to hear that unless there was broken skylights inside the facility. But certainly not across that area.

And during the -- there are two aspects to this consideration. One is the consideration of closing time at horse shows, the utilization of loud speaker systems during horse shows runs after 10 o'clock. But the other, then there's the aspect of utilization

of the facility when there are not horse shows going on and there are not great numbers of people there at the facility. I would ask that those uses be considered separately. If the Hearings Officer deems it necessary to set closing times, then let's look at each of those separately. People who do utilize that facility would like to utilize it later than 10 o'clock.

The speed of automobiles leaving through Lariat Lane is not great. It's just not safe to travel much above 15 miles an hour through that point.

Since the property was foreclosed on by the Small Business Administration it's paid no taxes. There's approximately \$40,000 due in back taxes. And it would seem it would be in the County's interest to have those taxes paid and to be collecting approximately \$15,000 a year in taxes. Also consideration of the jobs that would be provided and what would happen to the economy on a local basis there. How much money would be brought in to that local area.

That's all I have to say.

HEARINGS OFFICER: Thank you, Mr. Dorrough.

Is there anyone else here who would like to speak in support of this application for a conditional use permit? State your name and your mailing address, please.

MR. BRAGG: I'm Douglas Bragg, 25100 SW Garden Acre Road, Sherwood. I'm the president of Painted Valley Farms, Ltd. We are a private corporation set up in the State of Oregon now

for about nine years for the sole activity of putting on horse shows and related horse events. I am the show manager of the name of our shows, the Colorful Classic. And we are now in our ninth year of operation, finished our ninth and going into our 10th year.

I'm here for two or three different reasons. One, we held our show at the Mt. Hood Stable in 1976 of approximately 200 horses. And we have found this facility to be an excellent facility. We had no trouble with parking. We had no trouble with the surrounding area and the internal use of the building. Everything was under one roof. You have your concrete sides so if it is raining, or if there's other activities that are going on, whatever happens inside the building is not effected by what goes on on the outside.

In terms of the speaker system or whatever at that time, we used the speaker system that was inside the building only. I think there was a speaker system at that time on the outside, but it generally is not necessary. Most anybody that would come to a horse show would be stabled inside in one of the stalls and if you had to go on an outside type of event, then you can have runners that go out to the outside and tell people what's going on.

When a person comes to a horse show, they enter in maybe one class or 10 or 15 classes. And they certainly have a good idea of how the show is running and they check in at what's called a paddock, which is an entry and they're checked off the paddock before they actually go in and perform. But being having everything

under one roof accomodates not only the show management, but it also accomodates the spectator things right there.

I brought with me letters of reference which I would like to submit to the County. I'd like to read these and identify who they are. The first letter is from Chris Bickford (phonetic) Stable, Clutter Road, on Sherwood, Oregon. It's dated June 6th. It says: To Whom It May Concern:

We feel that the Mt. Hood Stable is one of the finest horse show facilities in the northwest and I have attended many shows there during the time that the facility was operating. The stabling facilities are excellent. The warm up arenas and show arena are very adequate for almost any kind of horse related event. And the access to Portland and the surrounding area is as good as offered by any facility.

Chris and Sonya are national trainers and they reside in the Clackamas County area.

HEARINGS OFFICER: Okay. Mr. Bragg, that letter will be received and marked as Exhibit 23.

MR. BRAGG: The second letter is from the desk of Kay Herps. Kay Herps and her husband, Fritz, own Enchanted Arabians. They're located in Aurora. They are also working under what they call professional horse management and they put on horse shows. Kay has been a show secretary of several of the different shows that have been held around in the State of Oregon and I believe also in Washington. But right now we'll talk in Oregon. It's dated

June 5. It says:

When the Mt. Hood Stable was in operation in the past I managed a number of Arabian horse shows at this facility. It is an outstanding horse show facility. We found it to be one of the best in the State of Oregon. We had no problems with the parking of cars, horse trailers or vans. We never had any problems or complaints.

Signed, Enchanted Arabians, Kay Herps, Aurora, Oregon.

HEARINGS OFFICER: That will be marked and received as Exhibit 24.

MR. BRAGG: Okay. I have a third letter from people that could not attend this hearing. The third letter is dated June 2nd, 1982. It's to Doug Bragg, Painted Valley Farms and it's from Mr. Dave Alt. Mr. Alt is somewhere in the neighborhood of 65 to 70 years old. He is a professional horseman and he is a large R rated judge and steward, et cetera. I'll go on with the letter here. It says:

RE: Mt. Hood Stables

I wish to make my feelings known -- make known my feelings for the facility known in the past as, quote, Mt. Hood Stables. His personal qualifications, he's a Large R American Horse Show Judge and Steward. He travels all around the United States. He's an approved multi-breed horse show judge. In other words, he has more than one judge's card. He can grade, judge Appaloosas or Pintos or Paints or whatever. He's also an approved OHA Judge

and Steward. It means he is approved for the State of Oregon for horse shows that take place at Mt. Hood Stables.

The letter states:

The horse show industry desperately needs a facility of this kind in this area. The nearest useful horse show arena is at Canby, Oregon. I have attended the Mt. Hood Stables as a spectator, an officiating judge and/or a steward and never experienced a feeling of lack of parking space for attending exhibitors or spectators.

Mr. Edmonds, the original manager built the arena with horse shows in mind. Parking is not a problem on the north and south and west sides of said structure, especially when incoming units park uniformly. The east side can and usually did accomodate the large horse show van rigs.

Respectfully, Dave Alt.

It has his name and address on it.

HEARINGS OFFICER: It will be received as Exhibit 25.

MR. BRAGG: We -- when I say we I'm talking in terms of Painted Valley Farms, we normally have been holding our shows at the State Fair Grounds in Salem. We have also held our shows at Canby and again also at Mt. Hood. Mt. Hood is a fine facility. It's access problems -- there is no problem with the access. You get right off your Highway 26 and go right down.

As far as coming or going out of there, these spectators are hauling around horses that are valued from \$500 to \$500,000.

They normally take their time, especially on these small access roads. And so the normal speed is somewhere around five miles an hour. We found the show facility to be excellent. I would recommend from our standpoint that it be considered for reopening for another stable.

And there's one other thing I want to throw in too. The operation recommendation No. 3 where you have your hours recommended from 8:00 a.m. to 10:00 p.m. I think that's what Dick was, Mr. Dorrough was talking about. As a show manager and as a potential boarder out there in the stable, I would recommend that those hours if possible be eliminated. Two or three reasons. The building being all under cover with all the activities inside the building it provides minimal, if any, impact upon surrounding area. If I was to stable a horse out there and then get off work at 5:00 or 6 o'clock and I go out and I ride my horse from 8:00 to 10:00, then there's a certain cooling off period where you would have to maybe 45 minutes or so to cool your horse off and put your horse away. So, closing it at 10 o'clock or so could be restrictive. The same thing with horse shows. Because the activity is inside and under cover, it is hard to restrict -- well, we can go with the State Fairgrounds where we hold our show. And there is no restriction on a time. If I want to run until 2:00 or 3 o'clock in the morning I can do so. When we held our show at Canby, which is also in Clackamas County, there is no restriction there of time. At least there wasn't when we held our show out there. Strictly because they're there to

provide the benefit of the arena to the horse show management and let them operate it at their own scope. As a show you are limited, well, if you run a two day event, you are limited by National Rules to the amount of time that you can actually hold your show. So a show has more limitations put on it than actually what's being proposed by the County, but that makes it difficult to even provide an adequate facility for spectators or exhibitors of either a boarding or horse show facility.

HEARINGS OFFICER: Mr. Bragg, you indicated you presented a show at the Mt. Hood Stables in '76. I think you said about 200 horses.

MR. BRAGG: Yes, there was approximately 200 horses that came at that time.

HEARINGS OFFICER: Do you know how the facility would handle 300 horse shows?

MR. BRAGG: It would -- well, 300 horses would be the number of horses. We, our show is normally running right now about 300 horses. This year we were down to 250. But most of the horse shows are off a little bit. It would accomodate 300 horses without any problem. The other horse shows that have been out there, they bring in what they call a port-a-stall. And they provide a stall that's set up for the weekend. There is not good facilities for stabling the horse undercover. So some of these horses could be put outside. But, as Mr. Dorrough had indicated previously, you will not receive when you say 300 horses, you don't

receive 300 horses in one day or necessarily it would be over the two day event. We handle a multi-breed show. We're approved nationally for Appaloosa, Pinto, Paint, Buckskin, Palomino, Pony of America and we're OHA approved. We bring quarter horses, saddle breeds and a variety of other types of horses. The classes that we offer, for example, like this Saturday we would offer Paint and Pinto classes and then it would be in the morning under a halter and in the afternoon under a performance and on your open division, which could bring in any type of horse, they would be different, either a halter division where they show for confirmation or performance where they come for one or two or three classes. So a horse might theoretically come in and I would say 20 or 30 percent of the people don't even get stalls. They come in and they work out of their trailer. They come in, they unload the horse, they prepare the horse right there where the trailer sits, they go in, they ride in the show, they come out in the trailer and they go home. So for a 300 horse show it would be adequate down there.

We rented, well, I think even when we were talking with Kay, Mrs. Herps, they run, they need about 250 stalls. But, that 250 is spread out over a four day event. So, if you take four days and 250, you're looking at 75 to 80 stalls per day, which is customary for a 300 day show. Which Mt. Hood would adequately be able to do. And if not, if they did have overflow problems, they can certainly go to a portable stall and take care of the situation.

HEARINGS OFFICER: Thank you, Mr. Bragg.

Is there anyone else who would like to speak in support of the request?

MR. DILLON: Gary Dillon, 21920 SE Stark Street in Gresham. I've been a practicing veterinarian in the Gresham area for about seven years.

And the comments I wanted to make refer specifically to filling a need or the existence of a need in the area. And I think I mentioned this at the previous hearing, but it's pretty well known in horse circles that there is a lot of shows that are held throughout Multnomah or Clackamas County every summer or all year round. Probably several shows every month. And pretty much, with the exception perhaps of Canby and Salem, a lot of these smaller shows are held at facilities that do not meet the County's requirements for seating, parking, sanitation or fire safety. And here you've got a facility that has been designed and is meeting the requirements for just those needs set down by the County. And I feel that it's certainly a prudent consideration to go ahead and get such a facility available for use considering the fact that the horse industry is growing. It's very large now and it continues to grow and it's a popular pasttime for thousands of residents of the surrounding counties and this area. In lacking such a facility, the horse owning public is forced to do what it is doing and that is utilize underequipped and poorly designed facilities that do exist. And the people want to have horse shows and it brings in

a lot of activity and a pleasurable pasttime and is a lot of fun for children and families.

The impact on the area I think is something that was of concern at the last hearing and has probably been brought up a little bit today. I think the aspect of boistrousness and uncontrolled activity and parties and people staying around till late at night and so on and so forth are -- even a consideration of that is totally out of context because horse shows, horses and boistrous activity do not mix well. Horses and their horse owners particularly in many of the larger shows where you've got horses that are valued as he mentioned, from \$50 to \$50,000 and sometimes hundreds of thousands of dollars, people don't have parties around those horses and get them nervous and upset. When they drive in, they drive in carefully. They're observing probably extremes of control with the speed limitations and so forth. And they don't want people bothering their horses and they take good care of them. Their quiet. Their horse shows are organized and they get in there the only activity that as far as noise is concerned is some occasional applause at the end of different events. Other than that they have to be structured, because horses can be dangerous animals. And if you don't observe the proper management that is necessary to deal with horses, then you do have problems. Well run stables and show facilities do just exactly that.

As far as the concerns for sanitation and so forth, I think that those have been addressed already and would be taken

care of as far as odor or rodents, any other problems such as that aren't going to be of any consequence in a well kept facility and certainly this facility is designed to be better kept than probably the majority of horse facilities in either of the surrounding counties. That's all.

HEARINGS OFFICER: Thank you, Mr. Dillon.

Is there anyone else here who would like to speak in support of the request? Whoever wants to come up; I'm not going to pick and choose.

MS. FREAU: My name is Debbie Freauf. I --

HEARINGS OFFICER: Could you spell your last name for me?

MS. FREAU: F-r-e-a-u-f.

HEARINGS OFFICER: Mailing address, please?

MS. FREAU: 16919 SE Bartell Road, Boring.

HEARINGS OFFICER: Thank you, please go ahead.

MS. FREAU: I own and manage Rainbow Ridge Stables. I also went through a conditional use hearing and permit hassle two years ago. My barn is a much smaller situation than Mt. Hood Stables. I just would like to make a few comments.

We get calls all the time, particularly from 4-H leaders in the Clackamas County area who are looking for somewhere to go with their kids to practice, to put on shows, other related activities. We were limited on our permit on the number of horses and the number of people who could be in our barn. So, I cannot do anything in a group situation. But these kids and these people

need somewhere to go. It is an absolutely fantastic facility. It should be utilized. We only board and in that vein I would like to say something about the hours 8:00 to 10:00.

We are open 24 hours a day. My people come and go with their work schedules. Most of them are out by 11:00 at night, but I do have a lot of people who come in early in the morning, 6:00, 7 o'clock and ride their horses before they go to work. And that's worked out well for them.

The other thing that I would like to say is we had a lot of neighbor input from surrounding homes on our permit. (Tape ending.)

We've been in operation two and a half years now. We've had no direct complaints from our neighbors. We've abided by everything that was put down to us. We've even gone so far as to people who came to the hearings and protested against my barn and have come to me now and said, gee, we really enjoy having you in the neighborhood. We like seeing the horses. All the things that we thought were going to be trouble, weren't. Quite often it's those people that their kids want to come up, pet the horses and some day have one. That we really do need the facility because there's nowhere anywhere close by for us to go for shows.

HEARINGS OFFICER: Thank you very much.

MS. CATE: My name is Esther Cate and my address is 26115 SE Sunshine Valley Road, Gresham 97030. I've been a 4-H leader for the last eight years in Clackamas County and also I live about

a mile and a half from the facility. And it was a real disappointment to the 26 kids that I had in my 4-H club that it did close. They attended shows. I personally attended shows there and it was an enjoyable atmosphere. It was adequate. I'm not currently judging 4-H shows throughout the State. I've judged in 12 counties throughout the State and I'd have to say that Mt. Hood is definitely the nicest in the State.

I guess I'd just like to support everything else that has been said and I think there definitely is a need for this stable to be open. A lot of people get a lot of enjoyment out of horse shows. I think everything else has been pretty well said. Thank you.

HEARINGS OFFICER: Thank you very much.

MS. AYER: My name is Lee Ayer. My address is 1700 NE 134th Place, Portland. I am at present the Chairman of the Show Committee of the Oregon Pinto Breeders and Exhibitors Association. And I've been connected with their shows in one way or another for at least six years.

I want to address myself primarily to the question of the need for this facility. Up until 1978 our club used to put on three shows a year, one early in the spring, one in mid-summer and the fall. In 1979, in the spring of 1979 we discovered to our horror that our spring show was scheduled for Easter. These schedulings have to be made so far ahead we didn't yet have the current calendar for '79. We we discovered it hit Easter, we first

tried to change the date and found there was nothing available. And we felt since ours was a family oriented show we could not hold it on Easter. Since that time we have been unable to hold a show at this general time. There simply have not been any facilities available. People who took over the date, which we released, have taken that date since and there simply have not been other dates open in April or March. Particularly since in April you need a facility where you are stabling is undercover with the weather what it is. And this is practically the only facility of that type in Oregon.

MR. EDMOND: My name is Art Edmond. My address is 16109 SE Bartell Road.

I originally built the building in question. And in my mind there's no question but what it is, the very best facility in the area and it should be considered for a stable, that's what it was for. That was the plan from the word go, to be a stable and it should have been all the time.

The only thing that I've heard here today that I don't agree with that and that is their closing time. I think it was originally set up for 10 o'clock and I think that's the time it should close on all days except when the horse shows are on, because on horse shows you can't regulate the time on.

I see no need of the traffic going out through Lariat Lane after 10 o'clock at night.

That's all I have to say.

HEARINGS OFFICER: Thank you, Mr. Edmond.

MR. TANGULA: My name is John Tangula, 9306 NE Couch, Portland. I own and edit the paper called Northwest Road Apple. We handle and have shows advertised in our newspaper in Washington, Idaho, Montana.

And as was stated previously by some of the other people there is a definite need for a facility in this area. We get a number of calls every month of groups that want to schedule a show and there are no facilities available. Mt. Hood, it is one of the better looking facilities between here and Seattle I'd say and going down as far as Sacramento, California I'd say. They will draw horses from a good three state area when they get into full operation. And I strongly recommend that it be put in. Thank you.

HEARINGS OFFICER: Thank you.

Is there anyone else who would like to speak in support of the application? Most everybody has testified, but I don't think everybody has testified.

(No response.)

HEARINGS OFFICER: Okay. Is there a representative of the Boring Action Neighborhood Group who would like to speak at this time?

(No response.)

HEARINGS OFFICER: Is there anyone here who would like to speak in opposition to the request?

UNIDENTIFIED PERSON: I suppose I do.

MR. MCKITTRICK: My name is Dennis McKittrick. I live at 29300 SE Lariat Lane.

HEARINGS OFFICER: Could you spell your last name for me, please, Mr. McKittrick?

MR. MCKITTRICK: M-c-K-i-t-t-r-i-c-k.

I'm not opposed to the stables at all. It's just that I'm not -- I have some questions that I want to bring up. I can agree that it's going to help the tax base and so forth.

The closing time, 10 o'clock, Mr. Dorrough wants 11:00. Possibly 10 o'clock during the week and 11 o'clock on the weekends. I can see something like that. I'm a person that goes to bed early and gets up early. If they open it up at 6:00 in the morning it wouldn't bother me at all. After 10:00 it would effect me some.

According to the pictures I'm the white house, the one at the bottom of the hill, probably the closest one to the building.

HEARINGS OFFICER: Do you know what your Tax Lot Number is, Mr. McKittrick?

MR. MCKITTRICK: Well, it's to the west. It's straight down. Right there. And I don't know whether it's 500 feet. I heard that number mentioned. Possibly. To me it seems closer than that.

Any time -- of course, it's been vacant. I've lived there two years now. The stables have been vacant. Any time somebody goes through there, a horse and rider, as quiet as they are, we know about it. Trucks and trailers they go through

occasionally. That's why I tend to think that a later closing time would be not harmful but detrimental. We don't hear the traffic from Highway 26 where we're located because of the building. The building itself is a sound barrier for that highway. It's there for that reason alone.

When Mr. Dorrough first wanted to open this as a stables, he was inquiring about the possibility of sewage, septic system, drainfield system. Has that been resolved? I think that was part of the problem of GTE.

HEARINGS OFFICER: Well, I'm not sure it's been fully resolved. A condition of approval being recommended by the staff is that there be an approval by the Department of Environmental Services Soils Division on the means of subsurface sewage disposal system before operation anyhow.

MR. MCKITTRICK: It could be that some of these things that I'm asking --

HEARINGS OFFICER: Whether that approval has been obtained I don't have any idea. I'm not aware that it has been.

MR. MCKITTRICK: It could be that some of these things I'm asking is in some of this paperwork, but I haven't --

HEARINGS OFFICER: Well, that's a reasonable request. That would be a condition of any approval granted that that be resolved ahead of time.

MR. MCKITTRICK: Also, I noticed on some of the pictures shown today, there is on certain sides of the property it's fenced,

but on the side, the west side it's not fenced. And I was wondering if that's going to be any sort of condition to opening the stables. One loose horse getting into a lot of the work that I've gone into in my place. A fence would be cheaper in the long run because I used to have horses. I know how easy it is for them to get away from you. And if it's fenced on three sides they're only going to go out one way.

Basically, that's the only problem that I have. Like I say, I'm not against the stables.

HEARINGS OFFICER: Is there no fencing at all along the west line, Mr. McKittrick?

MR. MCKITTRICK: As far as I know. I can't see clear up to the road.

HEARINGS OFFICER: At least along your property?

MR. MCKITTRICK: Mine and the two neighbors to the north of me I don't think there's any fencing along there. I do have part of my field fenced and I think it would keep a horse out; I'm not sure. It keeps cattle in.

That's all I have to say.

HEARINGS OFFICER: Okay. Thank you, sir.

For the sake of the record, well, perhaps not -- is there anyone else who would like to speak in opposition to the request?

(No response.)

HEARINGS OFFICER: Mr. Dorrough, would you like an

opportunity for rebuttal? State your name again.

MR. DORROUGH: Walter Dorrough.

There are informally approved plans for subsurface sewage disposal as approved by the County. There are two alternate methods approved. But as you said, that would be a condition of opening the facility anyway.

The issue of the fence I've contacted most of the people, including Mr. McKittrick and asked if they would like to share in some sort of erection of a fence. I was offered to provide materials; they would provide labor so that they could get the kind of fence that they wanted. And I've contacted all the people on that property. And I believe that Mr. McKittrick's house is beyond 500 feet from that property. I don't believe it is the closest one either. I'm almost positive that Tax Lot 1002 has a house that's much closer. And the house that's on Tax Lot 1001 is actually closer as illustrated here.

Can I ask the Hearings Officer if there are any points here raised that I should address myself to?

HEARINGS OFFICER: Well, I guess I'm not sure what you're saying insofar as your plans to fence the west side. Do you plan to or not?

MR. DORROUGH: Yes. I have no plans to fence the west side of the property in some sort of uniform fencing. I've contacted the neighbors about what sort of materials that they are most interested in seeing up there, which might vary from place

to place. If it's a condition of opening the facility, I will provide fencing there. It might not be the kind of fencing the neighbors would like.

HEARINGS OFFICER: I guess I have very little way to judge what an appropriate opening or closing time is. Tell me what the effect or impact is, Mr. Dorrough, closing at 10 o'clock as opposed to 11 o'clock.

MR. DORROUGH: The impact would be to me personally would be a reduction in revenue. There are people who would not board at the facility because they could not utilize the facility at the time that they'd want to. So it would be less people. I don't believe we're talking about a great number of vehicles leaving after 10 o'clock. I think we're talking in the range of 10 vehicles at the most. So what the closing time would be, even if you extended it to 12 o'clock I don't think you'd be talking about the number of vehicles drops off, because all those people aren't going to be utilizing the facility. But there are a lot of facilities in the neighborhood that have no closing time or that impose a 12 o'clock closing time.

UNIDENTIFIED PERSON: Can I interject?

HEARINGS OFFICER: In a moment you can.

Earlier you suggested that if I have to set times, and don't like your 11 o'clock suggestion, then set separate times for horse shows and non-horse show events just regular business. I'm not sure which you were recommending be 11 o'clock and which

be 10 o'clock.

MR. DORROUGH: I'd like all of it to be --

HEARINGS OFFICER: Well, I appreciate that you would, but if I have to draw a line.

MR. DORROUGH: Well, I think we do fall into the classification of we have to revert to impact. What is the impact on the surrounding people. And as Mr. McKittrick said, the impact obviously a Friday night or a Saturday night is not the same impact as on a Wednesday night. It can't be because people don't keep the same hours as they do during the week. And if people are up later, if the surrounding neighborhood is up later, then it certainly should be that the facilities should be able to operate later just in using some sort of logic there to that. But the horse shows are there and once they're in progress you can guide something of that magnitude to an end, but controlling it to a precise time might be a little difficult. So it would certainly seem that those horse shows which are typically scheduled on the weekends anyway should run longer. The weekend hours should run at the very least longer than the weekday hours.

HEARINGS OFFICER: Okay. I really don't have any other questions, Mr. Dorrough.

MR. DORROUGH: Thank you.

HEARINGS OFFICER: Whichever one of you.

MR. PLUMRIDGE: Peter Plumridge, Small Business Administration. We are the agency that originally financed the con-

struction of this facility and had to foreclose on it twice to take it back because the operator was not able to generate enough income to pay the bills.

I would certainly urge you not to place any restrictions on the facility that would cut down on the revenue to come in. It's a very expensive facility for Mr. Dorrough to purchase. It's a very expensive facility for him to operate. And he needs every dollar that he can pull in. And if in his judgment he has to stay open till 11 o'clock every night to attract maximum patronage and maximum stable usage, I would certainly urge that be granted. Or we're going to have to take it back again and try all over again and we don't want to do that.

HEARINGS OFFICER: You don't like running it, huh?

MR. BRAGG: I'm Doug Bragg. Basically I'm saying the same thing, but I'm going to relate to the other two major facilities in this State and one being at -- more than two -- one at Salem and one at Canby and Canby is in Clackamas County. They have no restriction on the hours. The impact is -- there in Canby I think if you look at that facility that you'll see that there are many more residential houses in the direct vicinity as what you'll find here at Mt. Hood Stables. And the last time that we operated a show there, there was no restriction there or at the State Fairgrounds. So those are two things that are in progress.

HEARINGS OFFICER: You are referring to the County Fairgrounds?

MR. BRAGG: The County Fairgrounds, right, Clackamas County Fairgrounds.

And the gal that was up here that was testifying about the stables, most all independent operations and this is an independent operation, are, they put their own restrictions on their own time limits. It's a business enterprise. So it's difficult to restrict or in my mind it would be difficult to restrict a free enterprise of time basis other than the fact that if they were causing a hardship or something on this range. But this facility is designed for everything being inside except for people coming and going. And I suspect that the traffic on Highway 26 would be far greater with the noise impact than it would be from coming and going out of that stable.

HEARINGS OFFICER: Okay. Thank you, Mr. Bragg.

Anyone else in support of this request who would like to speak in rebuttal?

(No response.)

HEARINGS OFFICER: Terry, do you have anything further you would like to add on behalf of the staff?

MR. CURRY: No, I don't.

HEARINGS OFFICER: I know that the, Terry, the staff recommendation for the 8:00 to 10:00 hours came out of the original approval in the 1970 conditional use permit. Is there any other basis for the staff recommending those hours?

MR. CURRY: No. That's the only basis; the staff

assumption being that there was a reason for those hours. No one seems to know what those, the reason was, but there's no one here who worked on the application.

HEARINGS OFFICER: The testimony doesn't reflect that.

MR. CURRY: No, no, it does not. And the staff in this case is only operating under the assumption there must have been some justification for those hours.

Actually, Mr. Edmond may be able to speak better to that than I. They were his hours.

UNIDENTIFIED PERSON: (Inaudible response.)

HEARINGS OFFICER: I'm not sure, Mr. Edmond, that the tape is picking you up, but essentially you said you don't know why the 8:00 to 10:00 except those were imposed on you and that may have been in response to more than one immediately adjacent neighbor being at your hearing.

(Pause.)

HEARINGS OFFICER: Okay. Well, I'm satisfied that the testimony that I've heard and the materials in the file support granting a conditional use permit. The individual criteria of the Zoning & Development Ordinance are adequately addressed by the staff and I will adopt the staff's proposed findings as my own in support of approving the request.

I would further find that the application does not conflict with applicable LCDC Goals. The site itself is already committed to a horse arena and riding stable facility and I believe

that the conditions of approval will adequately protect adjacent property.

I'm going to approve the application subject to what the staff has recommended by way of conditions, and just because they are a little vague, that includes conditions 1 through 4 on page, the last page of the staff report dated April 22. Condition 1 of that 1 through 4 incorporates 1 through 5 above it also. So they have a total of nine conditions from the original staff report together with the four that the staff is recommending here.

The hours of operation be limited by a condition of approval, I can't find from the testimony that I have received any reason to believe that 8:00 a.m. to 11 o'clock p.m. would impose an undue burden on the neighborhood. I frankly am impressed by the fact that Mr. Dorrough does have his work cut out for him in making it a going operation and if GTE is not going to utilize the building, perhaps it can be used for what it was built to do.

The other conditions will remain as recommended by the staff. So it will be subject to those four, five, nine, 13 conditions. The only change being the hours of operation.

Any questions at all concerning my decision?

UNIDENTIFIED PERSON: (Inaudible response.)

HEARINGS OFFICER: Mr. Edmond --

UNIDENTIFIED PERSON: I have a question about one of the conditions.

HEARINGS OFFICER: Okay. Just a second.

If you give Mr. Curry your name, I'm sure he will get a copy of those from prior staff reports and mail them to you.

Mr. Dorrough, what is your question?

MR. DORROUGH: My question is could someone please tell me what condition 2, there shall be no direct access to Highway 26, specifically means?

HEARINGS OFFICER: It means you are going to have to take Lariat Lane off the property to Highway 26 and not directly onto Highway 26.

MR. DORROUGH: Okay. That's good enough.

In other words the staff would find that entrance to, directly into the facility would not be desirable if that were possible? To eliminate the traffic over Lariat Lane?

HEARINGS OFFICER: That's what the staff is intending.

MR. CURRY: I believe that's the response to the comments from the State Highway Division.

HEARINGS OFFICER: I would be very amazed if the State Highway Division would give you another cut anyhow.

MR. CURRY: I would too.

HEARINGS OFFICER: They don't want additional roads going --

MR. CURRY: Yeah. Their comment was no direct access. It simply just mimics their comment.

(Public testimony and oral decision concluded on this matter at this time.)

CONDITIONAL USE/
INTERPRETATION

- WALTER R. DORROUGH, Applicant
P.O. Box 38
Boring, OR 97009

829-81-C,I

Proposal: Interpretation of the determination of the Planning Division staff that an earlier Conditional Use Permit for a riding stable became invalid at the time a later Conditional Use Permit was approved for General Telephone Company.

Location: On the south side of US Highway 26, at its intersection with SE Lariat Lane, Boring area.

Recommendation: Approval by the Hearings Officer.

Campbell Kintz explained this is an appeal of the interpretation request by Mr. Dorrough that the original conditional use granted on the property for a horse stable and riding facility in 1970 expired when the County granted a subsequent conditional use on the property.

Walter R. Dorrough said that General Telephone Company took an option on the property, but didn't fulfill the option. He would prefer to operate under the original conditional use as it has fewer restrictions. This property has been vacant since 1977 and is now owned by the Small Business Administration with no taxes having been paid since 1979 amounting to \$40,000. Originally approval was given for a snack shop, a tack shop and a veterinarian area and he would like to have these included in his conditional use permit. The permit granted GTE was for a support center for the company and anyone else wanting a permit on this property would have different requirements.

Commissioner Schumacher asked if the general public would have access to these facilities.

Walter R. Dorrough said the facilities would not be advertised to the general public but that it would be difficult to discriminate. This location would not be the veterinarian's main office.

Commissioner Schumacher feels that as long as the snack shop, tack shop and veterinarian are incidental to the arena and horse show, they should be approved.

Walter Dorrough said the veterinarian had equipment needed to treat horses that he couldn't keep at his office in Gresham. Some of the people bringing their horses to the stables may be staying one or two days and during that time will be using the veterinarian's services.

Campbell Kintz said that it was determined a veterinarian office could be allowed as a conditional use in an EFU zoning district under the provision that considers activities that are used exclusively in conjunction with farm uses that cannot be located in another zoning district.

Walter Dorrough questioned the lack of compensation to the property owners for the Commissioners granting Mr. Edmonds an easement across the Mt. Hood Stables property. The compensation could have been a trading of easements.

MOTION: Commissioner Schumacher: Mr. Chairman, I'm going to move that the Hearings Officer be upheld. His decision was denial of the interpretation and approval of the requested conditional use permit and he made 12 conditions. I would suggest that included in there is the finding that a snack bar and tack shop incidental to the riding stable be allowed.

Commissioner Groener: Second

Commissioner Schumacher: Aye
Commissioner Groener: Aye

Also refer to
Cu - 11-70 , Cu - 14-70

May 26, 1983

Mr. Walter R. Dorrough
P.O. Box 38
Boring, Oregon 97009

RE: File No. 829-81-C,I

Dear Mr. Dorrough:

In October of 1982 the Board of County Commissioners approved an interpretation application for yourself to operate horse stables adjacent to Hwy. 26 at its intersection with S.E. Lariat Lane in the Boring area. In approving this request, the Board of County Commissioners attached 12 conditions of approval.

Condition #2 requires "Proper sanitation shall be maintained at all times. The applicant's shall make provision for adequate means of manure disposal. This condition is intended to minimize the impact on surrounding properties by the manure odor."

It has been brought to our attention by Mr. Chuck Clinton of the Department of Environmental Quality that a substantial manure pile exists on the site.

I would encourage you to comply with this condition of approval both in fact and in the spirit in which intended. The visual impact and odor associated with accumulation or improper disposal of a large manure pile can be disconcerting to users and neighbors of your facility.

Your earliest and continued attention to this detail would be a significant factor in maintaining the good image and neighbor you indicated you intended to be.

Your cooperation in this matter is appreciated.

Sincerely,

DOMINIC MANCINI, Director
Planning Division

DM:elk

1/2

August 17, 1982

Walter R. Dorrough
P.O. Box 38
Boring, Oregon 97009

RE: Mt. Hood Equestrian Center
File No. 829-81-C, I, D
T1S, R4E, Section 31A,
Tax Lots 1300, 1302, 1400, 1401, W.M.

Dear Mr. Dorrough:

On August 17, 1982, the Planning Division staff met and considered your request for establishing a riding stable/arena, located at 29450 S.E. Lariat Lane in the Boring area.

It was the decision of the staff to approve your request, based on the conditions listed within the attached copy of the staff report.

You may proceed with your plans after the appropriate permits have been obtained. Except as provided under subsection 1104.02 (Bonding procedures) of the Clackamas County Zoning Ordinance, all items shown on the approved plans must be completed prior to occupancy (subsection 1102.10).

Sincerely,

JOHN BORGE, Planner
Planning Division

ENCLOSURE

JB:elk
2/7

NAME: Dorrough, Walter
FILE NO.: 829-81-C,I,D
REPORT DATE: August 17, 1982

DESIGN REVIEW STAFF REPORT

CLACKAMAS COUNTY PLANNING DIVISION

Proposal. To use an existing structure and associated improvements on the subject property as a riding stable/horse arena.

Applicant. Walter R. Dorrough

Location. On the south side of Hwy. 26, just southeast of its intersection with Haley Road in the Boring area. The local name of the facility has been referred to as "The Mt. Hood Stables".

Legal Description. T1S, R4E, Section 31A, Tax Lots 1300, 1302, 1400, 1401, W.M.

Zone. RRRF-5, Rural Residential Farm Forest, 5 acre minimum lot size.

Comprehensive Plan. Rural

Site Information. The subject site is approximately 15.75 acres in size. Significant vegetation consists of scattered deciduous trees, blackberries and field grasses. The site is gently undulating with a slight slope towards the drainage that runs through the south part of the property. Improvements on the subject site consist of a very large stable, a storage building, and an incomplete single family residence.

The southerly portion of the subject site is inundated with Canary grass and other vegetation associated with creeks. There is a small pond located in this portion of the property. This area is significantly lower than the remainder of the site and appears to be quite wet during the winter months.

Vicinity Information. The subject site is located in a rural area that contains pockets of residential homes, churches and a commercial garden center. To the north is Hwy. 26 (a four-lane median highway) with rural residential property located on the other side; to the east is an existing single family residence, to the south is agricultural land; to the west some rural residential properties. A commercial garden center lies to the northwest of the subject site and a couple of churches are in the immediate vicinity.

Decision. Approval subject to the following conditions:

1. The applicant shall satisfy those conditions of the conditional use permit as identified in 829-81-C,I,D.
2. The applicant shall secure approval of the method of subsurface sewage disposal through the Clackamas County Soils Department.
3. The applicant shall satisfy and meet those health standards and regulations as determined by the Clackamas County Health Department.
4. There shall be no parking of automobiles, trailers, or related vehicles on S.E. Lariat Lane.
5. The applicant shall avoid the most southerly area that is lower in elevation than the immediate facility. This area shall be used as an overflow area only.
6. The proposed parking area on tax lot 1400 shall be used on an overflow basis only.
7. The traffic lane shall remain open around the entire facility to facilitate emergency vehicle access when necessary. Under no circumstances shall this "lane" be blocked through the parking of vehicles.
8. This approval is contingent upon implementing the submitted landscape plan approved by the staff, including the following revisions:
 - a. The applicant shall place groupings of Shore Pine, minimum three to a group, every 15 feet along the east property line of tax lot 1400 to screen the residence to the east.
9. Proposed signing shall be reviewed by the Planning Department staff prior to placement.

JB:elk
2/5-6

Occupancy A2.1-B2
Type of Building _____
Single Family _____
Multi-Family (No. _____)
Commercial _____
Industrial _____
Ag. Bldg. _____
Other _____

CLACKAMAS COUNTY
DEPARTMENT OF ENVIRONMENTAL SERVICES
902 ABERNETHY ROAD, OREGON CITY, OR 97045

BUILDING PERMIT APPLICATION

Serial No. _____
Plans Accepted By RVA Date 4/23/82
Application Received By _____ Date _____

Permit No. _____
Plan Check No. C-5426-82
Construction Cost _____
Permit Fee _____
Mech. Fee _____
State Surcharge _____
Plan Check Fee _____
Total Fee _____
Less Prepaid _____
Amount Due _____

Project Location (Address) 29450 S.E. LARIAT LANE, BORING, 97009
Nearest Cross Street HALEY RD
Subdivision Name _____ Lot _____ Block _____
Township 1S Range 4E Section 31A Tax Lot 1300, 1301, 1302, 1401
Lot Size 11.05 AC (Sq. Ft.) Building Area 96,000 (Sq. Ft.) Basement Area _____ (Sq. Ft.) Garage Area _____ (Sq. Ft.)
Stories 1 Bedrooms _____ Water Source CITY WATER (BORING) Sewage Disposal DRAINFIELD
Estimated Cost of Labor and Material _____

Plans and Specifications made by SCHERZINGER ENGINEERS accompany this application.
Owner's Name USA SMALL BUSINESS ADMIN Builder's Name W R DORRUGH (CONTRACT BUYER)
Address Room 676, FEDERAL BLDG Address Box 38
City PORTLAND State ORE City BORING State ORE
Phone 294-5226 Zip 97204 Phone 661-2899 Zip 97009
ATTN PETER PLUMRIDGE

I certify that I am registered under the provisions of ORS Chapter 701 and my registration is in full force and effect. I also agree to build according to the above description, accompanying plans and specifications, the State of Oregon Building Code, and to the conditions set forth below.

Walter Dorrugh APPLICANT HOMEBUILDER'S REGISTRATION NO. 4-23-82 DATE

I certify that I am exempt from the provisions of ORS Chapter 701. The basis for my exemption is _____

I agree to build according to the above description, accompanying plans and specifications, the State of Oregon Building Code, and to the conditions set forth below.

Walter Dorrugh APPLICANT DATE 4-23-82

SEWAGE DISPOSAL REQUIREMENTS:
Septic Tank Capacity _____ Gallons. Drainfield (Equal _____ or Serial _____) Distribution _____
Total Length of Lines _____ Feet. Number of Lines _____ Distance Between Lines _____ Feet.
Comments: _____

PLANNING DEPARTMENT REQUIREMENTS: 829-81-CI
Approved for 3/22

ZONE _____
Development Construction Sewage Disposal Plans Checked Planning Department Permit Issued
☐ Approved ☐ Denied ☐ Approved ☐ Denied and Approved Approved
By _____ By _____ By _____ By _____ By _____
Date _____ Date _____ Date _____ Date _____ Date _____

Exhibit F Page 184 of 190

EFU-20

300-01

SEE MAP

Center
Section

700
2.06 Ac.

800
4.92 Ac.

24230

900
3.70 Ac.

24280

701
2.08 Ac.

1000
5.21 Ac.

29300

1002
2.47 Ac.

29330

1001
2.39 Ac.

29370

1000
0.82 Ac.

1200
0.19 Ac.

1302
1.00 Ac.

1300
1.61 Ac.

1301
8.12 Ac.

1400
4.38 Ac.

1600
2.89 Ac.

1601
0.32 Ac.

2500
0.87 Ac.

500
1.55 Ac.

501
1.07 Ac.

502
8.17 Ac.

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300-03

MT HOOD
STABLES

SE
LARIAT
LN.

24450

1401
0.32 Ac.

1600
2.89 Ac.

1601
0.32 Ac.

1400
4.38 Ac.

1301
8.12 Ac.

1300
1.61 Ac.

1302
1.00 Ac.

1200
0.19 Ac.

1100
0.82 Ac.

1001
2.39 Ac.

1002
2.47 Ac.

900
3.70 Ac.

800
4.92 Ac.

700
2.06 Ac.

701
2.08 Ac.

702
2.09 Ac.

DATE 4-29-82

YOUR BUILDING/SEPTIC PERMIT APPLICATION NO. 5426 IS BEING HELD AT THE PLANNING DEPARTMENT OFFICE BECAUSE OF THE FOLLOWING PROBLEM(S):

- | | | |
|---|---|---|
| <input type="checkbox"/> SETBACKS | <input type="checkbox"/> LOT SIZE | <input type="checkbox"/> MAY NEED A VARIANCE |
| <input type="checkbox"/> ROAD FRONTAGE | <input type="checkbox"/> IN FLOOD HAZARD DISTRICT | <input type="checkbox"/> MAY NEED TEMPORARY PERMIT |
| <input type="checkbox"/> MAY NEED A CONDITIONAL USE PERMIT | <input type="checkbox"/> MAY NEED TO FILE FOR A MINOR PARTITION | <input type="checkbox"/> MAY NEED A NON-FARM USE PERMIT |
| <input type="checkbox"/> MAY NEED A GREENWAY CONDITIONAL USE PERMIT | <input type="checkbox"/> MAY NEED TO FILE FOR A MAJOR PARTITION | <input checked="" type="checkbox"/> OTHER |

EXPLANATION Prior to the issuance of the requested permit it will be necessary to apply for & receive approval of: 1) a Conditional Use; & 2) Design Review.

PLEASE CONTACT Peggy Jones / Dan Wilson / John Borge AT THE PLANNING DEPARTMENT OFFICE, 940 WARNER MILNE ROAD, OREGON CITY, OREGON 97045, OR CALL 655-8491 OR (TOLL FREE) 1-800-452-6382 AND ASK FOR THE PLANNING DEPARTMENT.

CCP-PL7



Clackamas County Planning Division
902 Abernethy Road
Oregon City, Oregon 97045
503 655 8521



Application for Design Review

DESIGN REVIEW CONTACT PERSON

Name of Applicant: WALTER R DORRUGH
Mailing Address: BOX 38 BORING OR 97009
Zip: _____
Home Phone: 661-2899 Office Phone: 665-5582
Name of Property Owners: USA SMALL BUSINESS
ADMINISTRATION
Home Phone: _____ Office Phone: 294-5226

PROPERTY LOCATION AND DESCRIPTION

Street Address of Proposed Development (Include Road Name:)
29450 SE. LARIAT LANE BORING OR 97009
Legal Description:
Township 1S Range 4E Section 31A
Tax Lot(s) 1300, 1302, 1400 Total Land Area 15.43A
1401

PROJECT DESCRIPTION

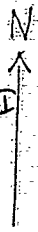
Proposed Title: MOUNT HOOD EQUESTRIAN CENTER
Proposed Use: RIDING STABLE-HORSE ARENA
Estimated Cost of Construction (labor and materials) \$ _____
STAFF USE ONLY

Staff Member: _____ DR Application No. 829-81-LID
Date Filed: _____ Zone: _____
Comprehensive Plan: _____ Design Review Fee \$ _____
Other Permits on This Site: _____

60

EX # 6

829-81-C.I



HIGHWAY 26

PARTIALLY
COMPLETED
HOUSE

(9)

(17)

46,000

(25)

(27)

EXISTING BUILDING
(MT. HOUL SHANE)

96,140 sq

131
78
51
260

TOTAL
SPACES

100' 10"

(50)

(44)

(37)

250'

75'

450'

15.43 Acres

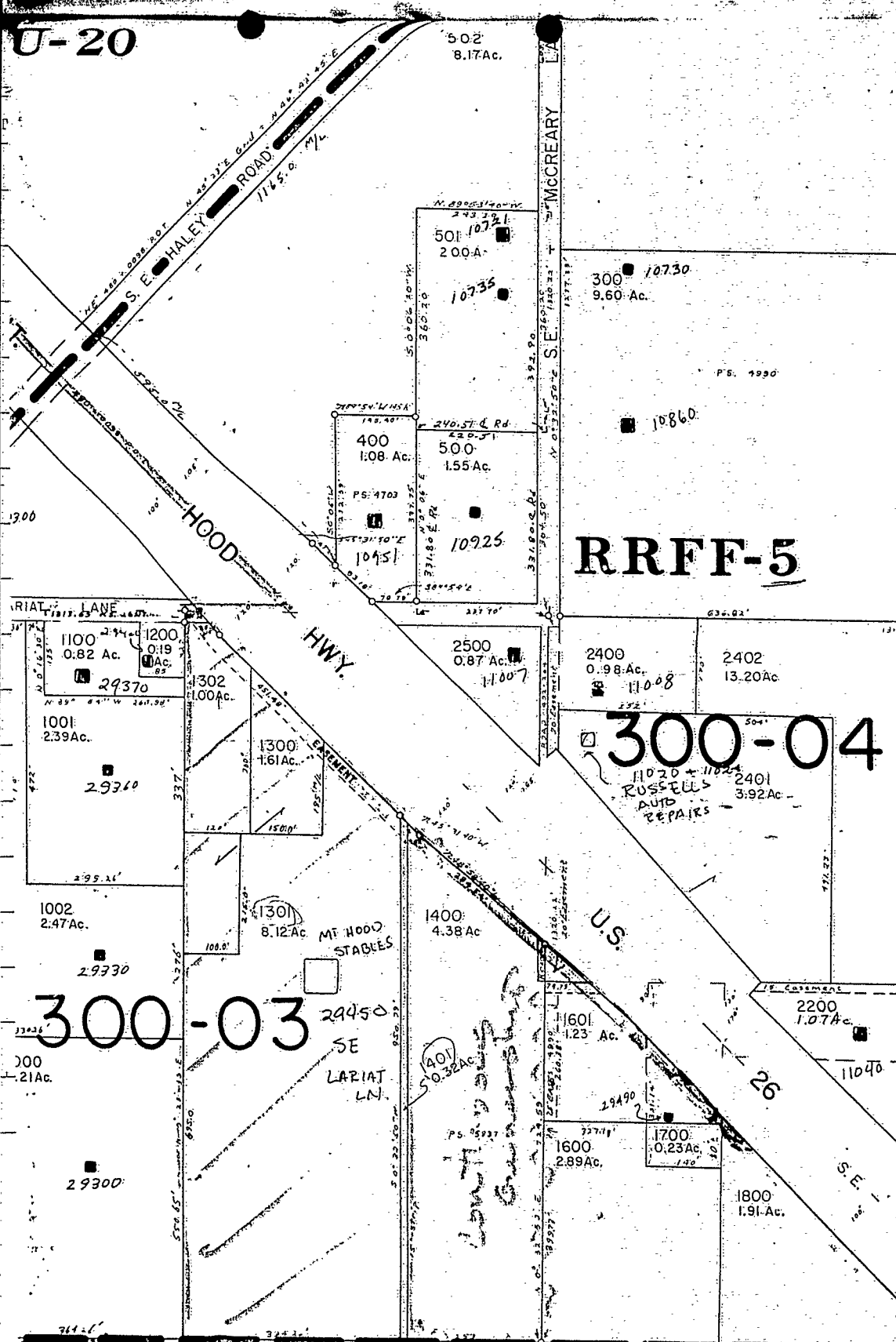
653'

1" = 100'

SITE PLAN

T1S, R4E SEC. 31

U-20



SEE MAP I 4E 31D



CLACKAMAS COUNTY

DEPARTMENT OF TRANSPORTATION & DEVELOPMENT

MICROFILMING DIVISION

TITLE GUIDE

DEPARTMENT

Planning Division

REEL NO.

P-70

SECTION

DESCRIPTION OF RECORDS

1981 Files

STARTS WITH:

N-720-81

ENDS WITH:

C.I.D - 829-81

CERTIFICATE OF AUTHENTICITY

I certify that the microphotographs appearing on this reel and described in the above Title Guide are accurate and complete reproductions of the original documents

SIGNED:

Shirley Cahoon
(Camera Operator)

DATED:

6/1/87

CLACKAMAS COUNTY
MICROFILMING DIVISION
902 ABERNETHY ROAD
OREGON CITY, OR 97045



August 24, 2018

Kaluga, LLC
Kelvin Vuong, Registered Agent
29450 SE Lariat Lane
Boring, OR 97009

Dean Najdawi
5 Kingswood Circle
Hillsborough, CA 94010
mdn2inc@yahoo.com

Subject: Violations of the Clackamas County Building Code

Site Address: 29450 SE Lariat Lane, Boring, OR, 97009

Legal Description: T1S, R4E, Section 31A, Tax Lots 1301, 1400, 1300 and 1303

This letter is in follow up to the site visit of the above referenced property that occurred on August 16, 2018. This letter will outline the *known* items that need to be brought into compliance on the subject property. However, due to the size of the structures and long history of unpermitted work on site, this letter cannot guarantee that additional items of concern or violation may be revealed. Additionally, we understand that the intention is to return the property to an equestrian use consistent with the conditional use authorization #CU-11-70. The permitting requirements outlined below are with that use in mind. It is noted that there are land use applications and an appeal submitted that may change the use and if this occurs and is implemented additional permitting or review may be required.

Please note that items listed on the Clackamas Fire District #1 Fire Marshal's, August 16, 2018 Special Inspection report may be resolved with the successful completion of permits required below.

For the commercial arena building:

- If the structure is going to be an equestrian arena, no change of use permit is required. It remains a permitted commercial building and is not agriculturally exempt. A building permit is required to address the repair of the fire wall separation issues.

- All unpermitted interior walls must be removed or permitted. Walls above the kitchen lounge area, walls in the shop area and in the stall area were especially noted. These walls can be included on the building permit for the fire walls.
- The roof was repaired without the benefit of permits or inspections. A building permit is required for this work.
- Siding to the commercial arena building was completed without permit or inspections. A building permit is required for this work.
- A new water heater in the stall area never received permits or inspections. A building permit is required for this work.
- All remaining mechanical work must be removed or permitted.
- The needs and repair of the fire suppression, sprinkler system and fire alarm panel require building permits.
- The area used as an apartment is not approved as such. Please submit a letter acknowledging that the area cannot and is not approved to be inhabited for sleeping.
- Due to the electrical history of the structure a new electrical permit will be required to verify all unpermitted electrical is removed and all remaining electrical is code compliant for the entire structure and must receive all inspections. This work must be completed by a licensed electrician.
 - Once PGE runs 3-phase a new electrical permit will be required and this work will require plan review.
- These are the electrical permit records that were applied for but not approved.
 - E0146708 – Burglar alarm – never inspected
 - E0168513 – 4 circuits at Mt Hood Equestrian Center – never inspected
 - E0709415 – Install cell unit of fire system – never inspected
 - E0184818 – 2 200 amp panels in old stable area, 10 circuits in panel 1 and 14 in panel 2 – never inspected.

For the manufactured home:

- There is an unpermitted deck structure around the above ground pool on site. The deck structure must be removed or permitted.
- There are at least two unpermitted covered patio/roof structure behind the manufactured home. They appear to be of a size and height that requires permitting.
- Permit # E0603690 – the electrical to the Manufactured home was never inspected. This requires a new electrical permit for a MH feeder and inspections. This electrical permit for the tenant occupied residence requires a licensed electrical contractor to sign the permit and verify the work.
- During the August 16th inspection it was noted that the manufactured home did not have a code compliant water source. Boring Water District #24 confirmed that they expect the water service will be reinstated.

For the site:

- Waterline work was completed without permit.
- The septic system was failing and septic work was required. Mr. Shelley stated that the prior owner had septic work completed. This work was not permitted.

For the hay barn/warehouse (5000 sq.ft. structure):

- B0101315 – interior buildout – needs final inspection.
- P0128415 – exterior lines and 1 toilet, 5 sinks, 1 water heater, 7 floor drains, 2 hose bibs – needs final inspection.
- B0385715 – Air handler and AC – This permit received final inspection.
- E0646615 – 2 200 amp panels & 20 circuits – never inspected
- All remaining mechanical work must be removed or permitted.
- The needs and repair of the fire suppression and sprinkler system require a building permit.

The above listed concerns are numerous violations of Chapter 9.02 of the Clackamas County Code as it pertains to the Application and Enforcement of the Clackamas County Building Code.

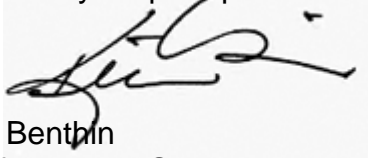
In order to abate the violations, please complete the following **not later than September 10, 2018:**

- Please submit the building permit applications, technically complete plans and appropriate fee(s).
 - The permit(s) must be picked up within ten days of being notified.
 - Please schedule all inspections so that final inspections may be obtained not later than 45 days of the date of the permit being issued.

If you have any questions concerning the building permit requirements, it is requested that you contact Permits Technician Christine Cannon. She is familiar with the violation file, permitting needs and also attended the August 16th inspection. Her desk phone is 503-742-4729. Or, you may stop by our offices at 150 Beavercreek Road, Development Services Building, Oregon City. The lobby hours are open between the hours of 8:00 a.m. and 4:00 p.m. Monday through Thursday and 8:00 a.m. to 3:00 pm on Fridays.

You are always welcome to contact me with questions my direct telephone number is 503-742-4457 and my email is kimben@clackamas.us.

Thank you for your prompt attention to this matter.



Kimberly Benthin
Code Enforcement Specialist
Code Enforcement Section

Required Notice of Fines and Penalties

It is important that you contact the Code Enforcement Section to resolve the violations described in the enclosed letter. Failure to resolve those violations may result in one or more of the following: (1) a citation and fine, (2) assessment of a \$75 per month administrative compliance fee, and (3) referral of this matter to the County Code Enforcement Hearings Officer.

The Clackamas County Code provides for fine amounts of up to \$500 and additional civil penalties of up to \$3,500 for each day the County verifies the noncompliance. Fine amounts and civil penalties may be assessed for each cited violation and may be assessed separately against each named party. In addition, the Code Enforcement Hearings Officer may order the violation to be abated by the County at the expense of the property owner(s) and responsible parties.

Clackamas County encourages voluntary compliance with code violations to support a safe and healthy community for all. Please note that when a property owner works cooperatively with the County to resolve a confirmed code enforcement violation, the County may in its discretion waive all or part of the \$75 per month administrative fee.

Fines and costs are payable upon the effective date of the final order declaring the fine and costs. Fines and costs under this Chapter are a debt owing to the County, pursuant to ORS 30.460, and may be collected in the same manner as any other debt allowed by law. If fines or costs are not paid within 60 days after payment is ordered, the County may file and record the order for payment in the County Clerk Lien Record.

Also, be advised that non-compliance with a Hearings Officer's Order may result in the matter being referred to County Counsel for legal action in Circuit Court which may result in additional penalties or other sanctions.

Finally, recurrences of abated violations may result in the issuance of a citation without prior notice.

Benthin, Kim

From: Benthin, Kim
Sent: Saturday, October 27, 2018 2:20 PM
To: 'Aaron Shelley'; Dean Najdawi
Cc: Shawn Olson (shawn.olson@clackamasfire.com); Lorilei Ritmiller; Samantha MacDonald; Steven; Don Griffie; Walter Ovenston
Subject: 29450 SE Lariat Lane Tax lots 1301. 1400. 1300, 1303
Attachments: 18-08-24 V0010615 Vio Ltr.pdf

Hello Aaron,

I have responded below with this green font and the date "10-27-18" before each comment. Also – I know you and the tenant are asking for clarification from the Planning and Zoning Division regarding the allowed uses on site. Because of the current Zoning applied to this property and the approved Conditional Use and approved Design Review I recommend gaining authorization from the Planning and Zoning Division before going outside of the approved activities and also before adding buildings or changing the footprint of the buildings. This site is one legal lot of record even though it is comprised of 4 tax lots and two street numbers.

I will be out of the office the week of October 29th and I will have intermittent access to email. I hope we can schedule an inspection the week of November 5th.

Talk to you soon!

Kimberly Benthin
Code Enforcement Specialist
Clackamas County Code Enforcement Section

From: Aaron Shelley [mailto:aaronshelley67@gmail.com]
Sent: Wednesday, October 17, 2018 9:41 PM
To: Benthin, Kim <KimBen@co.clackamas.or.us>; Dean Najdawi <mdn2inc@yahoo.com>
Subject: 29450 SE Lariat Ln

Thanks for getting back to me Kim.

I spoke to Dean and we discussed each bullet point. Below your responses in blue, you will find Dean's response to these points.

Also, he wanted to point out that he wants to focus on occupying the large building at 29450 for now. We'd like to just keep the smaller building at 29448 locked up for now until after the new renter get situated in the large building and then becomes ready to move forward on the smaller building.

Aaron Shelley, Ph.D, MSS, SCCC, SPN, SSC, CFT

503-841-8869

<https://www.facebook.com/coachaaronshelley>

On Oct 16, 2018, at 4:08 PM, Benthin, Kim <KimBen@co.clackamas.or.us> wrote:

Hello Aaron,

First, I think it is important to understand that 'who' did the work or 'who' did not permit the work is not relevant to the County. The County is concerned about the property being safe and code compliant. The current ownership owns the violations regardless of who may be responsible for creating the violations.

Please see below the notes I have made on your status updates. (my notes are in red)

Kimberly Benthin

Code Enforcement Specialist

Clackamas County Code Enforcement Section

From: Aaron Shelley [<mailto:aaronshelley67@gmail.com>]

Sent: Friday, October 12, 2018 3:57 PM

To: Benthin, Kim <KimBen@co.clackamas.or.us>; Cannon, Christine <CCannon@co.clackamas.or.us>; Dean Najdawi <mdn2inc@yahoo.com>; FIRE DIST BORING SHAWN OLSON <shawn.olson@ClackamasFire.com>; Walter Ovenston <walt@expressfiresystems.com>; Don Griffie <don@expressfiresystems.com>

Cc: Steven <Stevensalmonmx501@gmail.com>; Samantha MacDonald <2018aohfoundation@gmail.com>; Lorilei Ritmiller <Lritmiller@comcast.net>

Subject: 29450 SE Lariat Ln

Hi Kim,

Here is an update from your letter dated August 24th. I've cc'd the new tenant, Express Fire owners, electrician, plumber and, the fire marshal on this so we are all aware of the progress and expectations that need to be met to gain our CO. I also included a copy of your letter as a reference to the bullet points below.

Commercial building

*** 1** The new tenant hired a contractor last week to address the firewall and will commence pulling the permit and repair after signing the lease (any day now). **The deadline for this submittal was September 10, 2018.**

This will get done asap.

10-27-18 The County has not received any communication or permit submittal from your tenant nor the contractor. It is long past the deadline.

***2** All but one questionable interior wall have been removed. The last wall will come down next week. Bear in mind, those walls were built when the county deemed the structure an Ag building under AG007816. Although a mute point now, they were built in good faith but are being removed. Likewise, any other structural work or repairs that were done on the building was done under the same pretense. Obviously, this does not excuse plumbing, electrical or mechanical permits. **Aaron, please**

remember that the building was never deemed agricultural because the necessary documents and steps for AG007816 were never completed. Additionally, Steve Frost requested earlier last week that the north corner of the arena be barricaded from use-- in order that it can be occupied on November 1st-- because the walls remain and additional electric work is still left to be completed there. Has this changed?? The deadline to submit permits to keep these walls has passed.

There was a misunderstanding between Steve and I. He got me up to speed yesterday. He still wants to leave the area barricaded as you and he discussed.

10-27-18 The barricading of southeast corner of the building does not abate the violations. This remains in violation. The walls placed without permits must be removed or permitted.

***3** Mentions a roof repair without a permit. However, to my knowledge, no roof repairs have been performed. Can you be more specific? The previous owner Mr. Todd Siverston told the Sandy Post that he put a large amount of his own money into renovating the property, fixing the once leaking roof, repairing the siding, ...and much more. If you wish, Aaron, you can also observe the repair from Google Earth. Some of the work may have been prior to Mr. Sivertson's ownership – but the roof work on a commercial building must be permitted.

Dean doesn't feel comfortable making repairs/pulling permits based on hearsay, newspaper reports and/or Google Earth images and poses the following. If you have any other substantiation for this claim please feel free to submit it to us for consideration. Otherwise this item will be considered a nonissue and shall require no action.

10-27-18 No permit for the roof repair has been submitted. This requires action and remains in violation.

***4** Mentions siding was completed without a permit. However, the building is a concrete tilt up building. It has no siding, but just painted concrete. Could you be more specific? See answer above. Perhaps this was the hay barn?

Dean doesn't feel comfortable making repairs/pulling permits based on hearsay, newspaper reports and/or Google Earth images and poses the following. If you have any other substantiation for this claim please feel free to submit it to us for consideration. Otherwise this item will be considered a nonissue and shall require no action.

10-27-18 If you wish, a building inspector can attend the next inspection so that we can all be on the same page.

***5** You and I resolved the fact the water heater permit was pulled. The permit #P0079518 was confirmed to be in the arena building and received all inspections and is completed. Complete

***6** The tenant is overseeing removal of mechanical ducting. Are all of the unpermitted mechanical systems being removed? We will need to conduct an inspection to confirm. This is also past the deadline for compliance.

All Mechanical units were removed by the previous tenants when they departed. Todd Sivertson required their removal once he found out they were not permitted. As the HVAC units have been removed the presence of any remaining ducting shall not be an issue. Let me know when you'd like to inspect.

10-27-18 Your statement that Todd required the removal doesn't make sense to me. However, it would be great to inspect sometime the week of November 5th. Ducting is reviewed under permits.

***7** Walt and Don from Express Fire are working hand in hand to finish all of the fire suppression work and safety inspections required. **Please note: The electric permit E0709415 has not been completed. This is past the deadline. Additionally, if sprinkler heads were replaced or removed a permit would be required.**

Express Fire is working on fire suppression hand in hand with the Fire Marshall, Shawn Olson. We will make sure an Alarm permit is pulled as well.

10-27-18 I received an email from Walt on October 18, 2018 stating that his last understanding was that the building was under an agricultural exemption. He stated that with the clarification that it is not an agricultural building permits will be pulled for any sprinkler work to be performed. On October 26, 2018 an application for "Add Cell Communicator to Fire Alarm" was submitted to the County.

***8** The upstairs lounge area (referred to as an apartment in the letter) has not and will not be used as for sleeping. **The County requires a signed letter from the ownership acknowledging it will not be used for sleeping.**

The current ownership fully intends to comply with the codes and laws regarding the property. Dean and his attorneys do not feel the need to provide any written guarantees that any specific codes/laws will be observed and hence no such letter(s) will be provided.

10-27-18 The Building Code is administered in Clackamas County by the Building Codes Administrator. If you wish, this letter can be rolled into the permit required for repairing the fire walls.

***9** Steve Frost (electrician) has pulled permits, met on site with the electrical inspector multiple times, met with you and, completed the majority of the work required by the inspector. He plans to wrap up next week. **It is my understanding that there has only been one inspection for the permit E0519818. This is in conflict with the original plan the Electrical contractor proposed to the electrical inspector. Steve Frost met with me and the electrical inspector earlier last week to ask for an extension and to block off part of the structure in order to occupy it by November 1st. I do not know if this work is sufficient for occupancy. Additionally there are other concerns – such as the fire suppression systems.**

OK. I will check with the contractor.

10-27-18 As of today's date only ONE inspection has occurred. October 3, 2018. This is not consistent with the agreement your contractor made with the County's electrical inspector.

***10** E0146708 Burglar Alarm was apparently removed by previous tenant. It no longer exists. **Please insure via your electrical contractor that the removal is code compliant.**

E0168513 being handled by Steve Frost. **This might be addressed under the permit Steve Frost pulled E0519818. Only one inspection has occurred.**

E0709415 is being handled by ADT (formerly Precision One). Apparently, they installed the system but but never had it finalized. **This permit was to "Install cell unit of fire system" it never received a single inspection. ADT (formerly Precision One) might have handled it or will be handling it. However, it has not been renewed nor inspected as of the date of this email. This is past the deadline.**

E0184818 being handled by Steve Frost. **This might be addressed under the permit he pulled E0519818. Again, only one inspection has occurred.**

OK. I will check with the contractor.

10-27-18 As I stated above, no further electrical inspections have occurred nor have any additional permits been pulled.

For the site

***1** We can't see any evidence of any new waterline work. I've had the plumber walk through and he can't say with certainty what it might be either. So we could use some direction. See the Sandy Post article. Additionally, the demolition of plumbing work requires a permit to insure that what remains is code compliant. I understand that you were taking out the bathroom that was in the grow rooms on the upper floor. This requires a permit. I believe Christine Cannon spoke with a plumber and there is a plan? Additionally, there is a plumbing permit that has some inspection history that has not been finalled. When Christine returns to the office we can follow up on that.

All plumbing permits will be pulled by Randy from Rain Forrest Plumbing. He will work with the plumbing inspector and do what is required. He pulled the permit today and plans to call for inspection tomorrow.

10-27-18 Your contractor, Rain Forest Plumbing has met with the County's Plumbing Inspector. It is my understanding they have a game plan and have identified a/the new unpermitted waterline. It appears that the completion of that work and permitting is underway. The plumbing permit P0264718 has been issued and the first inspection occurred on October 19th. There are several items listed in the inspection that need to be completed.

***2** I contacted the previous plumber who looked at the septic system. He reviewed his notes and said that he performed no work requiring a permit. He inspected the exterior mounted wall panel adjacent to the septic tank, ordered the septic tank pumped, and cleaned and repaired a bad seal on an existing pump. We are unaware of any failures in the system itself. This is a very old sand filter system. I have reviewed with the soil scientist the permit history and the repairs. There are no permits required for the repairs you have described. The soil scientist did ask me to express concern regarding the drainfield. It appears that horses have been allowed to utilize the area over the drainfield. Please note that livestock can destroy a drainfield.

Thank you.

For the manufactured home

***1** permit has been pulled for the deck. B0487018. There have been no inspections on this permit. An inspection is scheduled Thursday, October 18th. Confirmation number 035487.

10-27-18 The inspection occurred and this permit is finalled.

***2** A permit has been requested. I hired an engineer to engineer the pergolas. In order to suspend further enforcement action on these two permits please have your engineer contact me with the estimated date s/he expects to be able to provide you the required information for the permit.

Ok

10-27-18 I have not heard from your engineer. This remains in violation until such time as the permit submittal is complete, issued and all inspections including the final approved inspection is obtained.

***3** E0603690 Steve Frost is handling this.

The electrical contractor specifically did not include the hay barn or the manufactured home in the permit he pulled.

No he did not. He said he would need to pull a separate permit for this separate address. Or did you want it under the same permit? He seemed to think it wasn't right for it to be under the same permit. He's trying to get the large building done, then the house, then the small building in that order. He's been hired to do all of it.

10-27-18 Electrical work for the residence would be under a separate permit.

***4** water line repaired by Boring Water District. The Boring Water District confirmed that the water service has been restored.

Correct and complete.

Aaron, you missed these points in the letter:

For the hay barn/warehouse (5000 sq.ft. structure): You do not mention any progress on the items below.

We'd like to just keep the smaller building at 29448 locked up for now until after the new renter get situated in the large building and then becomes ready to move forward with use on the smaller building. This will likely be after the power upgrade is done.

10-27-18 Aaron, locking up the building does not abate the violations. Nor has this option ever been discussed.

1. B0101315 – interior buildout – needs final inspection.

We can schedule that any time.

10-27-18 This permit has not been scheduled for the inspection. Please contact Christine Cannon to do so.

2. P0128415 – exterior lines and 1 toilet, 5 sinks, 1 water heater, 7 floor drains, 2 hose bibs – needs final inspection.

None of this work has been completed yet. And no exterior line work has been done. As you recall from your visit photos, no toilet, sinks, water heater, hose bibs have been installed yet. Randy from Rain Forest Plumbing will tackle that.

10-27-18 The County plumbing inspector and Rain Forest plumbing have had a conversation regarding bringing this building into compliance. No permit or renewal has yet been submitted.

3. B0385715 – Air handler and AC – This permit received final inspection.

Complete

4. E0646615 – 2 200 amp panels & 20 circuits – never inspected

Steve Frost is handling this.

10-27-18 This remains in violation. Until the permits are obtained and inspections completed this remains in violation. It would be an encouraging sign if he would pull the permit even if he does not yet have time to complete the work.

5. All remaining mechanical work must be removed or permitted.

I believe the only mechanical work is the AC permit you mentioned above. Did you see something that doesn't match with that permit?

10-27-18 Ducting was present and some of it was removed. Ducting is part of HVAC permits. If you wish – we can follow up during the inspection to be scheduled.

6. The needs and repair of the fire suppression and sprinkler system require a building permit.

This is on Express Fire's list to complete as well. We have accepted their bid to do this work. They are focusing on the 29450 address first.

10-27-18 This remains in violation.

Aaron Shelley, Ph.D, MSS, SCCC, SPN, SSC, CFT
[503-841-8869](tel:503-841-8869)
<https://www.facebook.com/coachaaronshelley>

Begin forwarded message:

From: Aaron Shelley <AaronShelley67@gmail.com>
Subject: plumbing inspection
Date: September 24, 2018 at 12:23:03 PM PDT
To: Kim Benthin <KimBen@co.clackamas.or.us>

Hi Kim. I was reviewing our punch list today. I wanted to make sure that the water heater issue was satisfied. I didn't see any other plumbing issues on the list except for the mention of "waterline work was completed without a permit." Are you familiar with what this work was that is mentioned?

Also, I wanted to formally acknowledge that ownership is fully aware that the upstairs lounge area is not be used as an apartment living space of any sort.

Thanks Kim!

Aaron Shelley, Ph.D, MSS, SCCC, SPN, SSC, CFT
[503-841-8869](tel:503-841-8869)
<https://www.facebook.com/coachaaronshelley>

<image001.jpg><image002.jpg><image003.jpg>

Aaron Shelley, Ph.D, MSS, SCCC, SPN, SSC, CFT
503-841-8869
<https://www.facebook.com/coachaaronshelley>

[Spam Email](#)
[Phishing Email](#)

Benthin, Kim

From: Dean <mdn2inc@yahoo.com>
Sent: Wednesday, November 7, 2018 11:45 AM
To: Benthin, Kim
Cc: Aaron Shelley
Subject: Fw: 29450 SE Lariat Lane Tax lots 1301. 1400. 1300, 1303

Kim,

My apologies for forgetting...my number is 415.515.6874

I look forward to speaking with you.

Thanks again.

Dean

----- Forwarded Message -----

From: Dean <mdn2inc@yahoo.com>
To: "Benthin, Kim" <KimBen@co.clackamas.or.us>
Cc: 'Aaron Shelley' <aaronshelley67@gmail.com>
Sent: Wednesday, November 7, 2018 11:43 AM
Subject: Re: 29450 SE Lariat Lane Tax lots 1301. 1400. 1300, 1303

Kim,

I appreciate the fact that you are quite busy and I would like to accommodate your suggestion that we address these issues via email however I don't believe that will be possible. This being the case I will suggest the following; please feel free to call me anytime that you have approximately 15 minutes available in your schedule. Please send me the number from which you will be calling as I do not answer calls from numbers that I do not recognize. I would appreciate it if you would call me today before 3 pm or tomorrow prior to the site meeting. I look forward to hearing from you.

As for the 1pm meeting I will defer to Aaron on this as he will be attending.

Thank you,

Dean

From: "Benthin, Kim" <KimBen@co.clackamas.or.us>
To: mdn2inc <mdn2inc@yahoo.com>
Cc: 'Aaron Shelley' <aaronshelley67@gmail.com>
Sent: Wednesday, November 7, 2018 11:32 AM
Subject: 29450 SE Lariat Lane Tax lots 1301. 1400. 1300, 1303

Dean and Aaron,

I hope that 1pm on Thursday works for the site inspection.
I am sorry you won't be able to attend the inspection Dean.

I am in meetings this afternoon. I often have to attend to the counter in the lobby – so I am not always at my desk to take calls.

Can I answer your questions or concerns via email since we are both very busy?

Kimberly Benthin

Code Enforcement Specialist
Clackamas County Code Enforcement Section

From: mdn2inc [mailto:mdn2inc@yahoo.com]
Sent: Tuesday, November 6, 2018 7:17 PM
To: Benthin, Kim <KimBen@co.clackamas.or.us>
Cc: 'Aaron Shelley' <aaronshelley67@gmail.com>
Subject: RE: Automatic reply: 29450 SE Lariat Lane Tax lots 1301. 1400. 1300, 1303

Thank you for getting back to me promptly Kim. Unfortunately due to unforeseen circumstances along with the uncertainty of the date/time of our site meeting I have been unable to carve out the time in my schedule necessary to be there. Nonetheless I am looking for to communicating with you via phone. I will try to reach you tomorrow at a convenient time.

Although I will likely not be attending please inform me of the date/time that you have chosen for the site meeting as soon as you are able. Thank you for your cooperation.

Dean

Sent from my Verizon, Samsung Galaxy smartphone

----- Original message -----

From: "Benthin, Kim" <KimBen@co.clackamas.or.us>
Date: 11/6/18 4:40 PM (GMT-08:00)
To: mdn2inc <mdn2inc@yahoo.com>
Subject: RE: Automatic reply: 29450 SE Lariat Lane Tax lots 1301. 1400. 1300, 1303

Hello Dean,

I can't guarantee a time I will be avail for a phone call. My number is 503-742-4457

I am trying to schedule a bldg. inspector to attend the meeting.

Can we chat at the site visit?

Kimberly Benthin

Code Enforcement Specialist
Code Enforcement Section
Clackamas County Department of Transportation and Development
office: 503.742.4457 • fax: 503.742.4741 • Development Services Building • 150 Beavercreek Road • Oregon City, OR 97045
Lobby hours are from 8:00 a.m. to 4:00 p.m. Monday through Thursday, and 8:00 a.m. to 3:00 p.m. on Friday
Kimben@clackamas.us

From: mdn2inc [<mailto:mdn2inc@yahoo.com>]
Sent: Tuesday, November 6, 2018 10:30 AM
To: Benthin, Kim <KimBen@co.clackamas.or.us>
Cc: 'Aaron Shelley' <aaronshelley67@gmail.com>
Subject: Re: Automatic reply: 29450 SE Lariat Lane Tax lots 1301. 1400. 1300, 1303

Hi Kim,

This is Dean from 29450 Lariat. I would like for us to have a brief phone chat prior to your site visit. Could you please let me know when it would be best to call you along with the best number to reach you.

Thank you for your assistance.

Dean

Sent from my Verizon, Samsung Galaxy smartphone

----- Original message -----

From: "Benthin, Kim" <KimBen@co.clackamas.or.us>
Date: 11/4/18 6:57 AM (GMT-08:00)
To: mdn2inc <mdn2inc@yahoo.com>
Subject: Automatic reply: 29450 SE Lariat Lane Tax lots 1301. 1400. 1300, 1303

I am sorry to have missed your email. I will return to the office, Monday November 5th, 2018

If you need assistance you might also explore the Code Enforcement page on the Clackamas County's website for more information. There is also an online complaint form.

Thank you,
Kimberly Benthin
Code Enforcement Specialist

[Spam Email](#)
[Phishing Email](#)









Do NOT Touch
Clock!

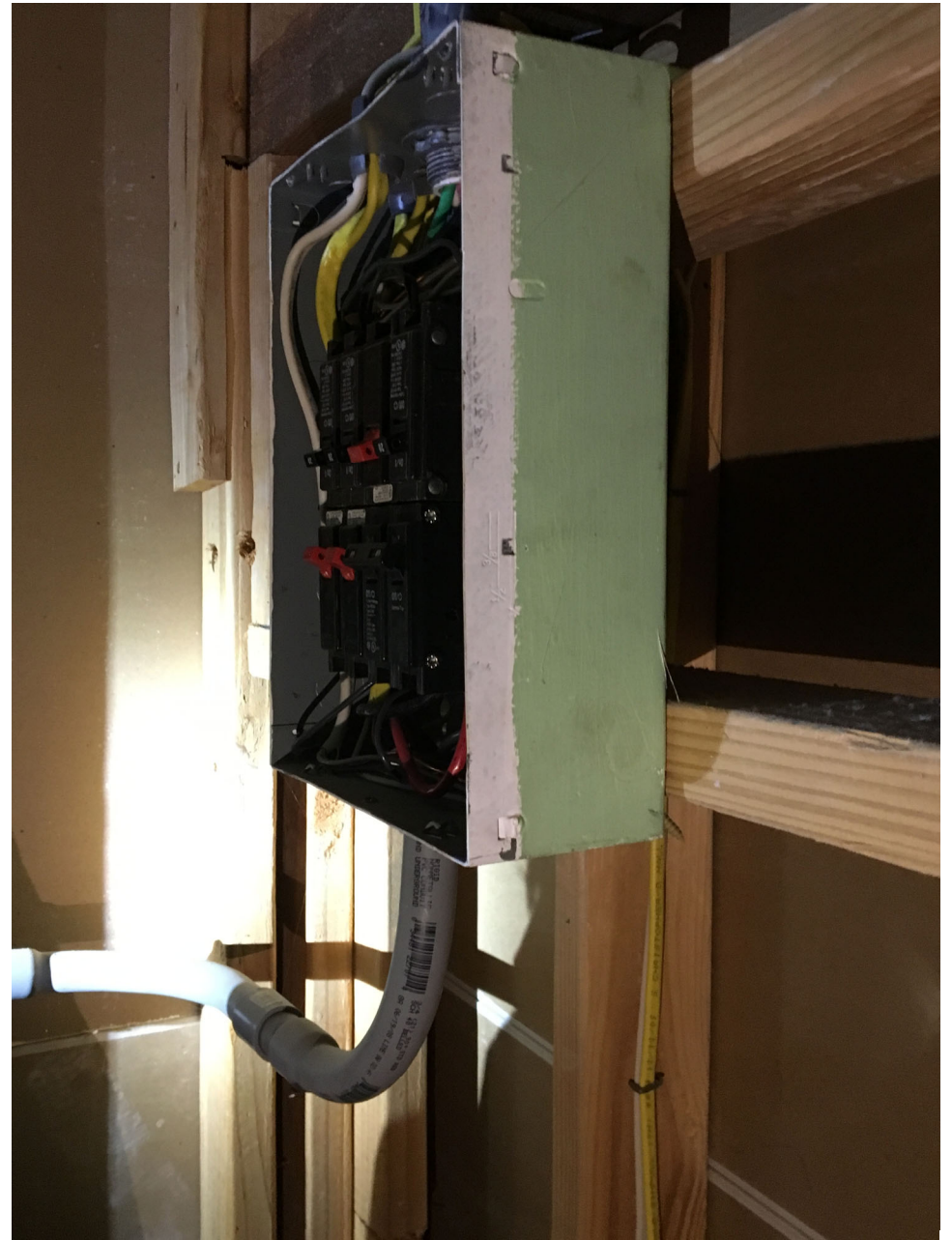














Benthin, Kim

From: Blessing, Ben
Sent: Wednesday, November 14, 2018 12:36 PM
To: Aaron Shelley
Cc: Benthin, Kim; Hughes, Jennifer; Nesbitt, Lindsey
Subject: RE: 29450 SE Lariat LN

Hi Aaron,

Just to echo the voice message I just left you, I would reference my prior my email and follow the instructions therein. You will need to provide a detailed site plan delineating all parts of the Equestrian Center. Please also include a detailed narrative and business plan. The question below can be part of your submitted site plan, narrative, etc. Again, staff will need to look at your plan in FULL, and compare it with prior approvals I mentioned in the previous email.

Also, depending on the scope of your request (e.g., if it takes up to 1 hour or more to respond to the site plan, business plan, and narrative), a fee will be required, starting at \$70/hr.

Thanks,

Ben Blessing
Planner 2, Certified Floodplain Manager (CFM) Clackamas County Planning and Zoning
503-742-4521

-----Original Message-----

From: Aaron Shelley [mailto:aaronshelley67@gmail.com]
Sent: Monday, November 05, 2018 10:56 PM
To: Blessing, Ben <BBlessing@co.clackamas.or.us>
Cc: Benthin, Kim <KimBen@co.clackamas.or.us>
Subject: 29450 SE Lariat LN

Hi Ben,

Several years ago, a non load bearing partition wall was built inside of the Mt Hood equestrian center in the northwest corner closet to the manufactured home. Kim Benthin (cc'd here) has brought it to the new owners attention that this wall must be permitted since the equestrian center is a commercial building and not an Ag exempt building as previously assumed. I am including the application for permit in this email for your review. Kim may also have pictures for your review or I can send you some too if that helps in any way.

The walls were built for the sole purpose of keeping tenants out of the tool rooms and storage area in the northwest corner. They contain no wiring or plumbing within or attached to the walls. There is no business or alternative purpose for this space other than as a tool room and storage.

The new owner would like to keep this space as well since the building will be filled with boarded horses and will therefore have horse owner foot traffic. Additional periodic events (as permissible by the CU permit) will also temporarily increase traffic. The wall will serve as a simple deterrent from curiosity seekers and possible theft.

The area has two egress points including a large roll up door and a man door at opposite ends of the space as outlined in the floor plan. The original layout of the fire sprinkler system and its intended purpose for each hall way remains intact.

The fire suppression system remains uninhibited in this area since there is no false or double ceiling in the area impeding the sprinklers water flow.

The walls are constructed on top of the existing 8' concrete wall and span from 4' to 7' in height above the concrete walls, depending on the roof height as the wall height follows the roof pitch. The only exception is the location of the man door which is between two stalls.

My question to you is are there any special conditional use permits needed for this non load bearing partition wall inside this commercial structure as described above and in this attached application?

Thank you. I look forward to your response.

--

BEGIN-ANTISPAM-VOTING-LINKS

Teach CanIt if this mail (ID 04WUuWop8) is spam:

Spam Email:

<https://mhub.clackamas.us/canit/b.php?c=s&i=04WUuWop8&m=e0dcbae7ed08&rlm=base&t=20181105>

Phishing Email:

<https://mhub.clackamas.us/canit/b.php?c=p&i=04WUuWop8&m=e0dcbae7ed08&rlm=base&t=20181105>

END-ANTISPAM-VOTING-LINKS

From: Aaron Shelley [<mailto:aaronshelley67@gmail.com>]
Sent: Friday, February 22, 2019 4:28 PM
To: Blessing, Ben <BBlessing@co.clackamas.or.us>
Cc: Dean Najdawi <mdn2inc@yahoo.com>; Dale Burkholder <daleburkholder@rocketmail.com>; Glasgow, Clay <ClayGla@co.clackamas.or.us>
Subject: Re: 29450 SE Lariat LN

Hi Ben. Thank you for getting back to me. I really appreciate it.

We hired someone to work on this for us as a project manager. We are also engaging an architect, a landscape architect, a designer, Energy Trust of Oregon, and numerous other vendors and participants for this project. The goal is to do everything right and make sure the facility is a first class community event center when completed.

It is important to note that the new owner has a completely different outlook and way of doing business than the previous owner. We all know I worked with both the old owner and the new owner and I can say with certainty that the new ownership will operate with a completely different set of ground rules and is not interested in following in the old owners foot steps. I believe this is self evident by the fact that he has already spent tens of thousands of dollars in remediating 40 + years of code violations, including violations that occurred under the previous owner's watch. He has worked diligently with Kim Benthin, numerous county inspectors and Clackamas County Fire Department to bring the facility up to code.

The goal is to create an event center Clackamas County and its residents can be proud of. Having that said, it will take us some time to get together a new site plan, narrative and business plan. But the process is already underway. In the meantime, we are working on clean up. This is a monumental project in and of itself. A huge mess was left behind from the previous tenants. Assuming there is no objection from you, we will be boarding a few horses in the stalls during the process of completing the up keep and maintenance. We will pull permits for any construction, electrical, plumbing or HVAC that we find that needs repair and, of course, that which gets worked into the new design.

Please feel free to come on site and have a look, make suggestions and, talk about the project at your leisure. We want to operate with full transparency. County input is of great value to us.

Again, thank you for your help.

Aaron Shelley, Ph.D, MSS, SCCC, SPN, SSC, CFT
503-841-8869
<https://www.facebook.com/coachaaronshelley>

On Feb 21, 2019, at 1:30 PM, Blessing, Ben <BBlessing@co.clackamas.or.us> wrote:

Aaron,

Below is copy of what I sent a couple months ago. You will note that I also attached the land use permits you are requesting. To reiterate, you need to send a detailed site plan, narrative, business plan, etc. describing the use proposed use. Planning will review the proposal for compliance with the previously approved land use permit.

Staff has identified historic land use permits CU-11-70, CU-19-79, Z0829-81-C, Z0829-81-D, and Z0829-81-I. The riding arena was originally approved in 1970 per CU-11-70. In 1976 (per Z0829-81-1) the riding arena use was discontinued and the then property owner was approved, through a conditional use permit (CU-19-79), to operate a telephone support center. The telephone support center was never implemented and the owner subsequently requested that the riding arena be reestablished. The owner/applicant also appealed a Planning Director Interpretation that found the original 1970 Condition Use Permit (CU) was invalidated because the 1979 CU was so different in character. The Hearings Officer and Board of County Commissions (BCC) affirmed the staff decision and denied the owner/applicant's request. Subsequently, the owner also applied for a new CU under Z0829-81-C for a riding arena. This was approved. You are subject to the conditions set forth by the Hearings Officer and BCC. (You can find these Conditions on Pg. 21 and 28 of the attached pdf). You are also subject to Design Review on Pg. 182 of the attached pdf (Z0829-81-D).

Prior to implementing any part of your plan staff requires the following:

Please submit a detailed site plan, floor plan, and business plan narrative, that illustrates that complete operation parameters of the proposed riding arena prior to implementing any change. Staff will review the submitted documents and verify that they are CONSISTENT WITH the previously approved land use permits.

In terms of a rodeo, this is not an allowed use. In fact, the Planning Director denied a request for a rodeo back in 2007 under permit Z0562-07-STU (see attached).

Regarding your requests for horse shows/car shows, this use, once again, is not outright allowed in the zoning district. You may try to apply for a temporary use otherwise prohibited as the previous owner did back in 2007, although I do not suspect such a request could meet that criteria.

Let me know if you have any other questions

Ben Blessing

Planner 2, Certified Floodplain Manager (CFM) Clackamas County Planning and Zoning
503-742-4521

Ben Blessing

Planner 2, Certified Floodplain Manager (CFM) Clackamas County Planning and Zoning
503-742-4521

-----Original Message-----

From: Aaron Shelley [<mailto:aaronshelley67@gmail.com>]

Sent: Wednesday, February 20, 2019 9:28 AM

To: Blessing, Ben <BBlessing@co.clackamas.or.us>; Dean Najdawi
<mdn2inc@yahoo.com>

Subject: 29450 SE Lariat LN

Good morning Ben.

We are looking for some direction and I am assuming you are the person we need to talk to. If not, please let me know ASAP. We are anxious to start the ball rolling in the right direction to reopen the Equestrian Event Center.

1. We would like to see clearly defined what our CUP allows us to do on site at the moment. We have reviewed the documents you sent us a few months ago that had information dating back to the mid 1980's. Is this the most current guidelines we have to follow? If not, how do we obtain the current CUP allowances? **If you want to follow current guidelines, you can set up a Pre-Application for a Conditional Use Permit, assuming that is what would be required.**

2. We want to share our hope and vision with the planning department for two important reasons. First, we want to have guidance and approval BEFORE substantial investment of capital and other resources. **(As I noted in previous emails, you can send a detailed site plan, narrative and business plan for staff to review)** Second, since the Mt. Equestrian and Event Center is a historical feature and landmark within the community and is very prevalent feature, we would value and appreciate the input from the planning department and other interested departments at the county offices (This property is not a designated a Historic Land. This is a venue that will deeply impact the lives and emotions of many people directly and indirectly. Having that said, would you suggest a preplanning meeting as the first step? If not, what is the first step? If so, could you assist me with what information is required to commence a preplanning meeting and who would be in attendance to such a meeting?

Thank you for your help Ben!

Ben Blessing

Planner 2, Certified Floodplain Manager (CFM)

Planning & Zoning
Clackamas County
(503)742-4521
bblessing@clackamas.us
<http://www.clackamas.us/planning/>

My Normal Hours:
Tuesday – Friday, 7:30am -6pm

For directions to our office: <http://binged.it/1zwOf11>

DTD HOURS: 2nd and 3rd floor permit lobbies are open Monday-Thursday from 8 am to 4 pm, and 8 am to 3 pm on Fridays.

The Department of Transportation and Development is committed to non-discrimination. For more information go to: www.clackamas.us/transportation/ or call 503-742-4696.

<Z0829-81-C.I.D.PDF><Z0562-07-STU Sft Rpt.doc>

[Spam Email](#)
[Phishing Email](#)

From: Dale Burkholder [mailto:daleburkholder@rocketmail.com]
Sent: Wednesday, March 06, 2019 6:12 PM
To: Blessing, Ben <BBlessing@co.clackamas.or.us>
Subject: Re: 29450 SE Lariat LN

Thanks Ben
I will fillow up with the modification s
Thanks
Dale Burkholder

go phones old5038308614@
New phone (503)?<> help

On Mar 6, 2019, at 4:20 PM, Blessing, Ben <BBlessing@co.clackamas.or.us> wrote:

Hi Dale and Aaron,

I looked at the floorplan/site plan you (Dale) submitted. It really doesn't cover any proposed use other than the prior use associated with Ripped City Gardens buildout, which, or course, has never technically been lawfully established since the Nonconforming Use was withdrawn. There are also callouts for various vacant and unused spaces in the equestrian center. But I do not see any proposed uses, or event areas.

Regarding the email below, I certainly understand that it will take some time to clean up the facility and make it compliant. When you do have a detailed business plan and narrative, please provide email to me and also amend the site plan/floor plan to call out the various sections of the equestrian center that will support said event center.

Again we also need to know hours of operation, type of events, amount traffic, etc.

Thanks,

Ben Blessing
Planner 2, Certified Floodplain Manager (CFM)
Clackamas County Planning and Zoning
503-742- 4521

Benthin, Kim

From: Dale Burkholder <daleburkholder@rocketmail.com>
Sent: Monday, May 13, 2019 10:15 AM
To: Benthin, Kim
Cc: Dean Najdawi; Aaron Shelley; Amend, Michelle
Subject: THE MT HOOD CENTER 29450 SE LARIAT LN BORING OR

Hi Kim

I have been appointed as an agent to the Mt Hood Center by the owner Dean Najdawi to assist in the land use application for restoring the CU approved in 1986 and restore the facility to an event center for equine and other events.

I understand there are some old code issues V0010615, V029809 that Shirley in the building department pulled up from previous owners. I also understand you have received some complaints from the neighbor that has been working for Dean at the site concerning the removal of black berries and some other unwanted vegetation to restore some grass land for the use of pasturing horses there at the site. I don't believe their complaints have any merit and lack complete information to the work activities at the Center

I recently delivered plans to be issued permits to upgrade the ADA bath rooms in the Center. There was no mention of these Vo issues. I was of the understanding All the permit issues had been resolved with the building. If not. The owner wants to clean them up and move forward with his vision to restore the Center

Please let me know what we can do to clear what ever issues effect the property as the Owners Goal is to restore the recreational use of the Center for the community and clubs.

I am communicating with you in response to your May 8th email to Aaron Shelley as i will be the designated agent for all land use requirements to bring the property into compliance.

Kind Regards
Dale Burkholder / Agent

[Spam Email](#)
[Phishing Email](#)

Benthin, Kim

From: Aaron Shelley <aaronshelley67@gmail.com>
Sent: Friday, May 17, 2019 5:56 PM
To: Benthin, Kim
Cc: Dale Burkholder; Amend, Michelle; Blessing, Ben; Dean Najdawi
Subject: Re: THE MT HOOD CENTER 29450 SE LARIAT LN BORING OR

Thank you for getting back to me Kim. I really appreciate that. Yes please. Please communicate with Dale also.

Thanks again!

Aaron Shelley, Ph.D, MSS, SCCC, SPN, SSC, CFT
[503-841-8869](tel:503-841-8869)
<https://www.facebook.com/coachaaronshelley>

On May 17, 2019, at 4:14 PM, Benthin, Kim <KimBen@clackamas.us> wrote:

Afternoon Aaron!

The ongoing building code concerns are nearly the same as the last time we exchanged emails. I did notice that building permit # B0486718 received its final approved inspection today.

We have a new Building Codes Official and therefore there may be some new direction specifically in regards to priorities.

I will review the remaining building code needs with the new Building Codes Official and let you know what he decides.

I have been told that the Center is advertising events and weddings. That is a tad premature since land use authorization has not yet been obtained – but I am given to understand that Dale is pursuing those approvals.

Dale mentioned the concern of removal of blackberries and other unwanted vegetation. It is, of course, allowed to remove noxious vegetation such as blackberries. However, if the removal occurred near the pond there is a requirement to replant with native vegetation. See map insert, the pond has zoning overlays of Habitat Conservation Area District 706 and Water Quality Resource Area District 709. These overlays require the conservation of native vegetation.

Aaron:

I am confident we can move through all of these issues and gain compliance. I am willing to work with Dale as we go forward. Dale stated he is your agent for all

land use requirements, do you also want me to follow up with him in regards to the building concerns?

Dale:

You stated in your email that when you submitted the ADA bathroom permits that there was no mention of the violations. Please understand that existing violations does not require that we prevent permitting of construction. Additionally, our permit staff might not discuss violations with a contractor or consultant – because the contractor or consultant may not have been retained by the owner for such a purpose.

Thanks!

<image001.png>

Kimberly Benthin

Code Enforcement Specialist

Code Enforcement Section

Clackamas County Department of Transportation and Development

office: 503.742.4457 • fax: 503.742.4741 • Development Services Building • 150 Beavercreek Road • Oregon City, OR 97045

Lobby hours are from 8:00 a.m. to 4:00 p.m. Monday through Thursday, and 8:00 a.m. to 3:00 p.m. on Friday

Kimben@clackamas.us

From: Aaron Shelley [<mailto:aaronshelley67@gmail.com>]

Sent: Thursday, May 16, 2019 1:24 PM

To: Benthin, Kim <KimBen@clackamas.us>; Dale Burkholder <daleburkholder@rocketmail.com>

Cc: Amend, Michelle <MAmend@clackamas.us>; Blessing, Ben <BBlessing@clackamas.us>

Subject: Re: THE MT HOOD CENTER 29450 SE LARIAT LN BORING OR

Hi Kim,

We have enlisted the help of Dale Burkholder in this matter in hopes that he will be able to facilitate a speedy solution whereby we can obtain a list of current violations on the big building. To my knowledge, all of the electrical, plumbing and HVAC (there is no HVAC as the previous tenant removed it when he vacated in 2018) issues have been satisfied. The plumbing, building and electrical inspectors have all been assigned to come to the property and have done so. Dale stopped by your office today and last week while you were away. He is trying to find out what the remaining code violations that are outstanding on the large building.

We would like to get a list of the violations and subsequent code references from you via email. If it is easier for you, please make an appointment with Dale directly and he will gladly meet you here onsite, at your office, or anywhere you deem more convenient.

Again, thank you for all your help Kim.

Aaron Shelley, Ph.D, MSS, SCCC, SPN, SSC, CFT
503-841-8869
<https://www.facebook.com/coachaaronshelley>

On May 13, 2019, at 10:15 AM, Dale Burkholder <daleburkholder@rocketmail.com> wrote:

Hi Kim

I have been appointed as an agent to the Mt Hood Center by the owner Dean Najdawi to assist in the land use application for restoring the CU approved in 1986 and restore the facility to an event center for equine and other events.

I understand there are some old code issues V0010615, V029809 that Shirley in the building department pulled up from previous owners. I also understand you have received some complaints from the neighbor that has been working for Dean at the site concerning the removal of black berries and some other unwanted vegetation to restore some grass land for the use of pasturing horses there at the site. I don't believe their complaints have any merit and lack complete information to the work activities at the Center

I recently delivered plans to be issued permits to upgrade the ADA bath rooms in the Center. There was no mention of these Vo issues. I was of the understanding All the permit issues had been resolved with the building. If not. The owner wants to clean them up and move forward with his vision to restore the Center

Please let me know what we can do to clear what ever issues effect the property as the Owners Goal is to restore the recreational use of the Center for the community and clubs.

I am communicating with you in response to your May 8th email to Aaron Shelley as i will be the designated agent for all land use requirements to bring the property into compliance.

Kind Regards
Dale Burkholder / Agent
(503) 830-8614

Hello Aaron,

Mr. McCallister is retired from the County. Mr. Blessing is out on leave until June.

It is disappointing that you are conducting a meet and greet without completing all of building permit concerns. Although our last site inspection revealed the storage of automobiles inside the center I was amenable to providing additional time for Kaluga LLC complete the permits because the center was vacant and not operating.

The County has also received complaints regarding occupied recreational vehicles and proposed weddings on site.

Benthin, Kim

From: Aaron Shelley <aaronshelley67@gmail.com>
Sent: Friday, June 21, 2019 2:32 PM
To: Benthin, Kim
Cc: Dale Burkholder; Amend, Michelle; Dean Najdawi
Subject: Re: THE MT HOOD CENTER 29450 SE LARIAT LN BORING OR

Hi Kim. Thanks for getting back to me so quickly. I apologize for any confusion. I was told that you were going to be at our meeting next Wednesday with Dale, Shirley, and Heidi Freymark (possibly another from building). The architects that are working on the design for our building revisions have some questions that they were going to discuss with some of the staff members there. And I was told that you were going to be in attendance as well. I was looking forward to getting a list of code violations (if any) so we could get those corrected immediately.

So I'm cordially inviting you. ☺ If you'd like Michelle attend, please invite her as well. It looks to be scheduled for 11am Wednesday the 26th.

Aaron Shelley, Ph.D, MSS, SCCC, SPN, SSC, CFT
[503-841-8869](tel:503-841-8869)
<https://www.facebook.com/coachaaronshelley>

On Jun 21, 2019, at 2:21 PM, Benthin, Kim <KimBen@clackamas.us> wrote:

I am looking forward to a meeting !
However, I have not been invited to a meeting!

Kimberly Benthin
Code Enforcement Specialist
Clackamas County Code Enforcement Section

From: Aaron Shelley [<mailto:aaronshelley67@gmail.com>]
Sent: Friday, June 21, 2019 1:43 PM
To: Benthin, Kim <KimBen@clackamas.us>
Cc: Dale Burkholder <daleburkholder@rocketmail.com>; Amend, Michelle <MAmend@clackamas.us>; Dean Najdawi <mdn2inc@yahoo.com>
Subject: Re: THE MT HOOD CENTER 29450 SE LARIAT LN BORING OR

Hi Kim. I'm looking forward to seeing you at our meeting next Wednesday.

Please bring list of any existing code violations delineated by building.

Thank you!

Aaron Shelley, Ph.D, MSS, SCCC, SPN, SSC, CFT
[503-841-8869](tel:503-841-8869)

On Jun 14, 2019, at 11:38 AM, Benthin, Kim <KimBen@clackamas.us> wrote:

Dale,

It is my understanding that you were in the County lobby yesterday, asking about the violations. I apologize for not being available!

I thought, as suggested by Aaron, that we meet on site and go through the remaining violations and possible alleged violations. It will be helpful going forward if we are on the same page. Additionally, I will be able to have an understanding of the current conditions.

The County is also going to close the old violation file related to the prior owner and waive all of those administrative compliance fees.

We will open a new file for the new owners, Kaluga LLC.

Under this new file number we will address the outstanding violations that have not been remedied and any new allegations the County might have received.

I hope this will be helpful. For the most part my schedule seems to be tame and open for the next few weeks! Whew! Please let me know when you would like to schedule this, I am looking forward to working with you!

Kimberly Benthin

Code Enforcement Specialist

Clackamas County Code Enforcement Section

Benthin, Kim

From: Aaron Shelley <aaronshelley67@gmail.com>
Sent: Monday, July 1, 2019 12:51 PM
To: Benthin, Kim
Cc: Dale Burkholder; Amend, Michelle
Subject: Re: 29450 SE Lariat Ln

Hi Kim. Based on Michelle's email, Dale and I would like to schedule a meeting with you at your office. Could you please let us know some available time we could choose from? My only consistent unavailable time is Thursday mornings from 6am to 1:30pm.

Also, could you please email us the amended violation list that reflects the outcome of your November 8th, 2018 inspection with Matt Van Loom? We still have a copy of the previous older inspection report prior to the November 8, 2018. We are looking to see what violations, if any, still remained after your November 8, 2018 inspection. We would like to receive a copy 48+ hours prior to our meeting so we have enough time to review any possible violations prior to our meeting.

We are looking forward to meeting and working with you.

Thank you!

Aaron Shelley, Ph.D, MSS, SCCC, SPN, SSC, CFT
503-841-8869
<https://www.facebook.com/coachaaronshelley>

On Jul 1, 2019, at 7:25 AM, Amend, Michelle <MAmend@clackamas.us> wrote:

Kim will be happy to meet with you and work through the process.

Michelle Amend
Code Enforcement Supervisor | Clackamas Building Codes Division
150 Beavercreek Rd | Oregon City OR 97045
503-742-4785 (Office) | mamend@clackamas.us

My regular work schedule is M-F from 7:30 am until 4:00 pm.

The Clackamas County Building Codes Division operates Monday through Friday, 7:30 a.m. to 4:30 p.m.
Lobby hours are from 8:00 a.m. to 4:00 p.m. Monday through Thursday and 8:00 a.m. to 3:00 p.m. on Friday.

From: Aaron Shelley <aaronshelley67@gmail.com>
Sent: Friday, June 28, 2019 11:10 PM
To: Amend, Michelle <MAmend@clackamas.us>
Cc: Benthin, Kim <KimBen@clackamas.us>; Dale Burkholder <daleburkholder@rocketmail.com>
Subject: Re: 29450 SE Lariat Ln

Hi Michelle. I was thinking, after I sent my last email response below that, much can be accomplished in a short period of time with a sit down face-to-face meeting. Many great outcomes have been achieved in a short period of time I simply sitting down and talking through things. Could you please let me know when you and Kim are available for a sit down meeting at your offices? We can make ourselves available to come see you there.

Thank you again and I am looking forward to working together to get any and all violations at this facility cleaned up.

Thank you Michelle.

I was there when you came on site with Kim earlier in the year of 2018 (possibly the May 27, 2018 inspection? I'd have to check my notes). Either way, it was months before Kim's last inspection on November 8, 2018.

If I understand you correctly, it sounds as though you plan ask Kim to resend the violations from earlier in the year of 2018. Here is my question, will it be amended to show all of the corrections that were made as of Kim's last inspection on November 8, 2018? Or will it just simply be a repeat of the list from earlier in the year (2018) that doesn't reflect any of the violation corrections that we made? We are looking for our current status as of November 8, 2018 when Kim and Matt Vanloon came on site together and inspected the facility. Obviously, we spent months making many corrections and feel that we made all of the corrections in the list of violations from earlier in the year, 2018. So we are hoping to see a current list as of November 8, 2018. Otherwise, what was the point of that inspection if not to update our violations to that point in time? Keep in mind no list of violations was ever sent to us after the November 8, 2018 inspection. That is the date of the last inspection.

Hopefully I'm misunderstanding and we are talking about a new, updated list of complaints/violations that reflects the status of the building as of November 8, 2018.

Please let me what I should be expecting. And most of all, thank you for responding to my email.

Aaron Shelley, Ph.D, MSS, SCCC, SPN, SSC, CFT

[503-841-8869](tel:503-841-8869)

<https://www.facebook.com/coachaaronshelley>

On Jun 28, 2019, at 8:06 AM, Amend, Michelle <MAmend@clackamas.us> wrote:

Aaron,

I did an inspection with you and Kim also and we discussed everything that needed addressed. Kim provided a list of violations that need to be abated around that same time. I have asked Kim to get you that list again. The new case is being opened at my direction to keep the information and fees separate for the new owner. This will be a clean start and will be easier to work through what needs permitted and abated. Kim will be your contact for the code enforcement case and will continue to work in a cooperative manner with you.

Thank you,

Michelle Amend

My regular work schedule is M-F from 7:30 am until 4:00 pm.

The Clackamas County Building Codes Division operates Monday through Friday, 7:30 a.m. to 4:30 p.m. **Lobby hours** are from 8:00 a.m. to 4:00 p.m. Monday through Thursday and 8:00 a.m. to 3:00 p.m. on Friday.

From: Aaron Shelley <aaronshelley67@gmail.com>
Sent: Thursday, June 27, 2019 9:14 PM
To: Amend, Michelle <MAmend@clackamas.us>
Cc: Benthin, Kim <KimBen@clackamas.us>; Dale Burkholder <daleburkholder@rocketmail.com>
Subject: 29450 SE Lariat Ln

Hi Michelle,

I checked my messages today and didn't see a call back. Just in case I was connected to the wrong VM box or something, I thought I'd follow up with an email.

I'm trying to get a copy of our outstanding violations from our last on site inspection on November 8th, 2018. Kim Benthin and Matt Van Loon came on site and walked the property together. At the conclusion of the inspection, Kim and Matt had only a couple of concerns that they were going to research and get back to me if there was a problem. One of which was the vehicles parked inside the building. The second was a wall that was perforated by HVAC ducting but was not connected to any HVAC system. According to my notes I took during that visit, there were no there violations that had not be rectified since Kim's last visit. Kim and Matt said they would look into the remaining two potential concerns and get back to me if indeed there was any problem.

On all previous site visits over the last 5 years, by Dean Brown and Kim Benthin, the customary protocol has been to follow up within two weeks with an email to myself and the property owner followed by a mailed letter specifying any remaining violations that still remained unresolved or incomplete since the previous visit. Since we invited Kim out to show her the progress that had been made because we felt we had rectified ALL outstanding violations on the large building (we stated at that time we hadn't addressed the small building yet), we assumed the protocol would be the same as all the other visits without exception or clarification of policy. Simply put, if there were any violations, we would get an email within 2 weeks, followed by a mailed letter stating the violations.

My conclusion from listening and taking notes during the site inspection by Matt and Kim was that everything appeared in order and rectified. Kim was going to verify that the electrical and plumbing inspector had indeed signed off on the property as I stated they had and was going to research further the parking of vehicles inside the building and how we need to address the HVAC ducting (if at all, since it was not attached to any HVAC system since the previous tenant and removed the HVAC units before the new owner acquired the property).

Two weeks passed with no email or letter. 6 months passed with no email or letter. Our assumption was that we had indeed rectified all outstanding code violations and we were now finally in compliance. We were happy and ready to move forward

On May 2nd, 2019 I invited Kim to a "meet and greet" where we allowed the public (who is chomping at the bit to see what is going on with all the painting and arena footing (horse riding dirt) improvements, property clean up, etc) to come in and look around and hear our goals and hopes for the future. Kim's response was "It is disappointing that you are conducting a meet and greet without completing all of building permit concerns. Although our last site inspection revealed the storage of automobiles inside the center I was amenable to providing additional time for Kaluga LLC complete the permits because the center was vacant and not operating.

The County has also received complaints regarding occupied recreational vehicles and proposed weddings on site.

I have been out of the office quite a bit these last few weeks and I am leaving again today. I will not return to the office until Monday. I understand that you are not the owner, Kaluga LLC is the owner, and I will direct my response to the owner.

I will review the record, and complaints and send a more formal response in the next week or two."

It is now June 27th and we still don't know what violations are outstanding or what permits we lack. Keep in mind that from 2 weeks after the Nov 8th, 2018 meeting, we assumed our large building was compliant. Needless to say, this email response came as a HUGE shock.

Just recently we sent a contractor and architects down to Clackamas County to look into pulling permits and/or asking for direction on how to best proceed with design and they were told that there were still outstanding violations. A meeting was scheduled and confirmed with our architect team and Heidi Frymark for 6/26/19 at 11am via email to discuss ingress/egress questions with their new design. The architects wanted to get some advice/clarification of building code BEFORE submitting the design for review. We were informed within minutes before the meeting that Kim had canceled the meeting and Shirley Cass-Crosby told us that all meeting had to be scheduled through Kim because of building code violations. Yet we still don't have the list.

We are at a stand still. We need help. I am not trying to blame Kim, though I'm sure it sounds like it. We know she is out of the office a lot and extremely busy. We are the only business in Clackamas County. But we want to be proactive. We don't want a fight. We just need a list. What are the existing violations on the large building? We want to fix them. We NEED to fix them ASAP. We need to move forward. This is not the old regime where ownership didn't want to spend the time or money to make things right. The new owner wants to make EVERYTHING right. But the building cost \$3000/day to sit vacant and non operational. Each day we don't move forward costs the Mt Hood Center \$3000/day. Plus we lose contractors to other jobs while they wait for us to clear these violations. Plus our reputation is soiled because of violations from years gone by. The building is known as a code violation albatross. Contractors hear outstanding violations and they run. Potential business partners hear violations and they run. The public and potential clients hear violations and they run. Some of these violations date back 40+ years and we just WANT to fix all of them. We just need the list.

Kim emailed us all on 6/14/19, "The County is also going to close the old violation file related to the prior owner and waive all of those administrative compliance fees. We will open a new file for the new owners, Kaluga LLC."

We haven't seen any manifestation of the new file. In fact, everything seems "same old, same old or status quo" thus far. We are open to yet another new site visit but we would like to have a chance remedy any outstanding violations remaining from the November 8th, 2018 visit first. Since we are under the impression there are no outstanding violations, we assume this list will be very short and consolidated. Kim, Matt and I had a very positive meeting on November 8th, 2018. We walked away with only two questions that needed to be resolved according to my notes from that meeting. No other repairs or permits were mentioned. Since Kim and her team have had 8 months to reference and cross reference all the photos and notes she took on that day to building code and compare to the previous site inspection, we hope we can get the new updated list and make all the necessary corrections from the last visit BEFORE we have your team out again. It seems only logical and fair we be given a chance to fix the violations from the last inspection before having a new inspection.

Michelle, can you please help us get a list from the violations in the large building from the last inspection, November 8th, 2018? I promise will will make getting those violations remedied my top priority and personally invite you, Kim and anyone else that would like to come from Clackamas County onsite as soon as we have them rectified for a full tour and inspection of the facility.

Best,

Aaron Shelley, Ph.D, MSS, SCCC, SPN, SSC, CFT
503-841-8869

<https://www.facebook.com/coachaaronshelley>

[Spam Email](#)
[Phishing Email](#)



July 3, 2019

Kaluga LLC
5 Kingswood Cir
Hillsborough, CA 94010

**Subject: Alleged Violations of the Zoning and Development Ordinance,
Title 12, Section 316 of the Clackamas County Code**

Site Address: 29450 SE Lariat Ln, Boring OR 97009
Legal Description: T1S, R4E, Section 31A, Tax Lot 01301

It has come to the attention of Clackamas County Code Enforcement that the arena structure on site may be operating as the Mt Hood Center and may be using the arena as an events center and wedding venue from the above referenced property without land use approval. Additionally vegetation and trees have been reported to have been removed within the protected area of a Water Quality Resource Area.

In addition, an unauthorized occupied recreational vehicle may exist on the above referenced property.

This may constitute violations of the Zoning and Development Ordinance, Title 12, Section 316 of the Clackamas County Code.

Please contact Kimberly Benthin, Code Enforcement Specialist, within ten (10) days of the date of this letter in order to discuss this matter.

E-mail address is kimben@clackamas.us

Telephone number is 503-742-4457

**Clackamas County encourages voluntary compliance with code violations to support a safe and healthy community for all. Please note that a \$75.00 monthly Administrative Compliance Fee will be assessed if a violation has been determined and has not been abated. When a property owner works cooperatively with the County to resolve a confirmed code violation, the County may waive all or part of that fee.*

Department of Transportation and Development

Nondiscrimination Policy:

The Department of Transportation and Development is committed to non-discrimination. For more information go to:

www.clackamas.us/transportation/nondiscrimination, email swilliams@clackamas.us or call (503) 742-4696.

¡LE DAMOS LA BIENVENIDA! Spanish

El Departamento de Transporte y Desarrollo está comprometido con la no discriminación. Para obtener más información, visite: www.clackamas.us/transportation/nondiscrimination, envíe un correo electrónico a swilliams@clackamas.us o llame al 503-742-4696.

ДОБРО ПОЖАЛОВАТЬ! Russian

Департамент транспорта и развития инфраструктуры стремится к соблюдению политики недопущения дискриминации. Для получения дополнительной информации посетите веб-сайт: www.clackamas.us/transportation/nondiscrimination, отправьте письмо на адрес эл. почты swilliams@clackamas.us или позвоните по телефону 503-742-4696.

欢迎! Chinese (Mandarin)

交通和发展部致力于实现非歧视。如需了解更多信息，请访问 www.clackamas.us/transportation/nondiscrimination，发送电子邮件至 swilliams@clackamas.us 或致电 503-742-4696。

CHÀO MỪNG! Vietnamese

Bộ Vận Tải và Phát Triển cam kết thực thi chính sách không phân biệt đối xử. Để biết thêm thông tin, vui lòng truy cập trang mạng:

www.clackamas.us/transportation/nondiscrimination, gửi email đến swilliams@clackamas.us hoặc gọi điện thoại theo số 503-742-4696.

환영합니다. Korean

운송개발부는 차별 금지를 위해 모든 노력을 기울이고 있습니다. 자세한 내용은 홈페이지 www.clackamas.us/transportation/nondiscrimination을 참조하거나 이메일 swilliams@clackamas.us, 또는 전화 503-742-4696번으로 연락 주십시오.

Benthin, Kim

From: Dale Burkholder <daleburkholder@rocketmail.com>
Sent: Tuesday, July 9, 2019 4:04 PM
To: Benthin, Kim
Subject: Re: 29450 SE Lariat Ln Alleged Violations

Hi Kim yes Aaren and I can meet you at 10 tomorrow I hope this reaches you before you leave the office today please let me know if iYou receive this message thank you

go phones old5038308614@
New phone (503)?<> help

On Jul 9, 2019, at 2:17 PM, Benthin, Kim <KimBen@clackamas.us> wrote:

Afternoon Aaron and Dale!

Aaron - I understand that a little while ago you left a voice mail message for my supervisor, Michelle, regarding my large work load and response time. I much appreciate the sentiment, however, alas! I still have a large case load and I remain assigned to your violation file!

It will be great to meet with you!

I attempted to schedule a meet with Dale on site as you suggested, but that didn't work out.

As per our conversation on November 8th during the site visit, there remained violations. The storage of vehicles in the arena building was a new violation identified during the visit. The site visit itself could not abate the remaining building code concerns. As you are aware, progress was made on building permits as you continued to complete some of the building code issues/permits since that date.

For your request *"1) A list of all violations (if any) that were still outstanding immediately after your November 8, 2018 inspection"* I have attached the last email that we exchanged – as you were instrumental in working on and completing some permits after November 8th, I am certain you have a handle on the remaining issues.

Regarding your second request: *"2) List of all violations (if any) that took place from November 9, 2018 to July 3, 2019...."* I would direct you to the letter you received July 3rd regarding the new complaints the County received and the remaining items on the attached email.

Per your request that I utilize the Lariat Lane mailing address for all mailed correspondence; Please be advised that I am required to notice the recorded owner. You have told me that you are not an owner. The registered agent Kelvin Vuong, for Kaluga LLC, is using the 29450 SE Lariat Lane address and also has a California address as a mailing address. I can, of course, send you copies of correspondence to 29450 SE Lariat Lane.

Dale- your July 8th email suggested we meet on Wednesday July 10th at 10:00 am. However, this will not provide you the two days receipt of the information prior to meeting that you had requested previously. If you still wish to meet tomorrow – please let me know- I am available.

Also – Dale you requested that I mail future correspondence to *"the Center 29545 SE Lariat Lane."* I can, if you wish, also send copies of correspondence to that address – but this address does not appear in our database. Is it a typographical error?

It is important to note the violation file is not preventing your progress in submitting applications to expand the center uses. For example, the recent fire sprinkler permits, and plumbing permits are ongoing.

Let me know when you would like to meet! I am in the office Monday through Friday 7:30-4:00. I am available tomorrow at 10:00 am or if that doesn't work out; the 10:00 am slot is open the rest of this week and next week. Or please propose a date and time that works for you two!

Best,

Kimberly Benthin

Code Enforcement Specialist

Code Enforcement Section

Clackamas County Department of Transportation and Development

office: 503.742.4457 • Development Services Building • 150 Beavercreek Road • Oregon City, OR 97045

Lobby hours are from 8:00 a.m. to 4:00 p.m. Monday through Thursday, and 8:00 a.m. to 3:00 p.m. on Friday

Kimben@clackamas.us

From: Aaron Shelley [<mailto:aaronshelley67@gmail.com>]

Sent: Sunday, July 7, 2019 4:40 PM

To: Benthin, Kim <KimBen@clackamas.us>; Dale Burkholder <daleburkholder@rocketmail.com>

Subject: 29450 SE Lariat Ln Alleged Violations

Hello Kim,

We received your July 3rd letter. We would like to schedule a time to meet with you in your office. In order to clarify our scope of conversation during that meeting we would like to delineate our understanding of your position. On several occasions, we have requested a list of any remaining code enforcement violations that were still outstanding once your November 8, 2018 inspection was completed and have not received any such documentation from you specifically addressing those items. In the absence of such documentation from you after several requests shall we assume that the only code enforcement items currently remaining for the property are contained in your July 3rd letter? If the alleged items in your July 3rd letter are not the only currently outstanding code enforcement violations then please promptly provide the list of outstanding items that remained immediately after your November 8, 2018 inspection.

In the interest of clarity I will reiterate our request. Please provide the following:

1) A list of all violations (if any) that were still outstanding immediately after your November 8, 2018 inspection. Please include the violation itself along with any and all supporting documentation. If there are 'NONE' then please state so.

2) A list of all violations (if any) that took place from November 9, 2018 to July 3, 2019. Please include the violation itself along with any and all supporting documentation. If there are 'NONE' then please state so.

Please forward items 1 and 2 above as requested and please let us know what time and date you would like to meet with us. Dale Burkholder will be reaching out to you as well to establish a meeting. Please include both of us on any correspondences.

Moving forward, please utilize the following mailing address for all mailed correspondences:
29450 SE Lariat LN
Boring, OR 97009

Thank you,

Benthin, Kim

From: Benthin, Kim
Sent: Saturday, October 27, 2018 2:20 PM
To: 'Aaron Shelley'; Dean Najdawi
Cc: Shawn Olson (shawn.olson@clackamasfire.com); Lorilei Ritmiller; Samantha MacDonald; Steven; Don Griffie; Walter Ovenston
Subject: 29450 SE Lariat Lane Tax lots 1301. 1400. 1300, 1303
Attachments: 18-08-24 V0010615 Vio Ltr.pdf

Hello Aaron,

I have responded below with this green font and the date "10-27-18" before each comment. Also – I know you and the tenant are asking for clarification from the Planning and Zoning Division regarding the allowed uses on site. Because of the current Zoning applied to this property and the approved Conditional Use and approved Design Review I recommend gaining authorization from the Planning and Zoning Division before going outside of the approved activities and also before adding buildings or changing the footprint of the buildings. This site is one legal lot of record even though it is comprised of 4 tax lots and two street numbers.

I will be out of the office the week of October 29th and I will have intermittent access to email. I hope we can schedule an inspection the week of November 5th.

Talk to you soon!

Kimberly Benthin
Code Enforcement Specialist
Clackamas County Code Enforcement Section

From: Aaron Shelley [mailto:aaronshelley67@gmail.com]
Sent: Wednesday, October 17, 2018 9:41 PM
To: Benthin, Kim <KimBen@co.clackamas.or.us>; Dean Najdawi <mdn2inc@yahoo.com>
Subject: 29450 SE Lariat Ln

Thanks for getting back to me Kim.

I spoke to Dean and we discussed each bullet point. Below your responses in blue, you will find Dean's response to these points.

Also, he wanted to point out that he wants to focus on occupying the large building at 29450 for now. We'd like to just keep the smaller building at 29448 locked up for now until after the new renter get situated in the large building and then becomes ready to move forward on the smaller building.

Aaron Shelley, Ph.D, MSS, SCCC, SPN, SSC, CFT

503-841-8869

<https://www.facebook.com/coachaaronshelley>

On Oct 16, 2018, at 4:08 PM, Benthin, Kim <KimBen@co.clackamas.or.us> wrote:

Hello Aaron,

First, I think it is important to understand that 'who' did the work or 'who' did not permit the work is not relevant to the County. The County is concerned about the property being safe and code compliant. The current ownership owns the violations regardless of who may be responsible for creating the violations.

Please see below the notes I have made on your status updates. (my notes are in red)

Kimberly Benthin

Code Enforcement Specialist

Clackamas County Code Enforcement Section

From: Aaron Shelley [<mailto:aaronshelley67@gmail.com>]

Sent: Friday, October 12, 2018 3:57 PM

To: Benthin, Kim <KimBen@co.clackamas.or.us>; Cannon, Christine <CCannon@co.clackamas.or.us>; Dean Najdawi <mdn2inc@yahoo.com>; FIRE DIST BORING SHAWN OLSON <shawn.olson@ClackamasFire.com>; Walter Ovenston <walt@expressfiresystems.com>; Don Griffie <don@expressfiresystems.com>

Cc: Steven <Stevensalmonmx501@gmail.com>; Samantha MacDonald <2018aohfoundation@gmail.com>; Lorilei Ritmiller <Lritmiller@comcast.net>

Subject: 29450 SE Lariat Ln

Hi Kim,

Here is an update from your letter dated August 24th. I've cc'd the new tenant, Express Fire owners, electrician, plumber and, the fire marshal on this so we are all aware of the progress and expectations that need to be met to gain our CO. I also included a copy of your letter as a reference to the bullet points below.

Commercial building

*** 1** The new tenant hired a contractor last week to address the firewall and will commence pulling the permit and repair after signing the lease (any day now). **The deadline for this submittal was September 10, 2018.**

This will get done asap.

10-27-18 The County has not received any communication or permit submittal from your tenant nor the contractor. It is long past the deadline.

***2** All but one questionable interior wall have been removed. The last wall will come down next week. Bear in mind, those walls were built when the county deemed the structure an Ag building under AG007816. Although a mute point now, they were built in good faith but are being removed. Likewise, any other structural work or repairs that were done on the building was done under the same pretense. Obviously, this does not excuse plumbing, electrical or mechanical permits. **Aaron, please**

remember that the building was never deemed agricultural because the necessary documents and steps for AG007816 were never completed. Additionally, Steve Frost requested earlier last week that the north corner of the arena be barricaded from use-- in order that it can be occupied on November 1st-- because the walls remain and additional electric work is still left to be completed there. Has this changed?? The deadline to submit permits to keep these walls has passed.

There was a misunderstanding between Steve and I. He got me up to speed yesterday. He still wants to leave the area barricaded as you and he discussed.

10-27-18 The barricading of southeast corner of the building does not abate the violations. This remains in violation. The walls placed without permits must be removed or permitted.

***3** Mentions a roof repair without a permit. However, to my knowledge, no roof repairs have been performed. Can you be more specific? The previous owner Mr. Todd Siverston told the Sandy Post that he put a large amount of his own money into renovating the property, fixing the once leaking roof, repairing the siding, ...and much more. If you wish, Aaron, you can also observe the repair from Google Earth. Some of the work may have been prior to Mr. Sivertson's ownership – but the roof work on a commercial building must be permitted.

Dean doesn't feel comfortable making repairs/pulling permits based on hearsay, newspaper reports and/or Google Earth images and poses the following. If you have any other substantiation for this claim please feel free to submit it to us for consideration. Otherwise this item will be considered a nonissue and shall require no action.

10-27-18 No permit for the roof repair has been submitted. This requires action and remains in violation.

***4** Mentions siding was completed without a permit. However, the building is a concrete tilt up building. It has no siding, but just painted concrete. Could you be more specific? See answer above. Perhaps this was the hay barn?

Dean doesn't feel comfortable making repairs/pulling permits based on hearsay, newspaper reports and/or Google Earth images and poses the following. If you have any other substantiation for this claim please feel free to submit it to us for consideration. Otherwise this item will be considered a nonissue and shall require no action.

10-27-18 If you wish, a building inspector can attend the next inspection so that we can all be on the same page.

***5** You and I resolved the fact the water heater permit was pulled. The permit #P0079518 was confirmed to be in the arena building and received all inspections and is completed.
Complete

***6** The tenant is overseeing removal of mechanical ducting. Are all of the unpermitted mechanical systems being removed? We will need to conduct an inspection to confirm. This is also past the deadline for compliance.

All Mechanical units were removed by the previous tenants when they departed. Todd Sivertson required their removal once he found out they were not permitted. As the HVAC units have been removed the presence of any remaining ducting shall not be an issue. Let me know when you'd like to inspect.

10-27-18 Your statement that Todd required the removal doesn't make sense to me. However, it would be great to inspect sometime the week of November 5th. Ducting is reviewed under permits.

***7** Walt and Don from Express Fire are working hand in hand to finish all of the fire suppression work and safety inspections required. **Please note: The electric permit E0709415 has not been completed. This is past the deadline. Additionally, if sprinkler heads were replaced or removed a permit would be required.**

Express Fire is working on fire suppression hand in hand with the Fire Marshall, Shawn Olson. We will make sure an Alarm permit is pulled as well.

10-27-18 I received an email from Walt on October 18, 2018 stating that his last understanding was that the building was under an agricultural exemption. He stated that with the clarification that it is not an agricultural building permits will be pulled for any sprinkler work to be performed. On October 26, 2018 an application for "Add Cell Communicator to Fire Alarm" was submitted to the County.

***8** The upstairs lounge area (referred to as an apartment in the letter) has not and will not be used as for sleeping. **The County requires a signed letter from the ownership acknowledging it will not be used for sleeping.**

The current ownership fully intends to comply with the codes and laws regarding the property. Dean and his attorneys do not feel the need to provide any written guarantees that any specific codes/laws will be observed and hence no such letter(s) will be provided.

10-27-18 The Building Code is administered in Clackamas County by the Building Codes Administrator. If you wish, this letter can be rolled into the permit required for repairing the fire walls.

***9** Steve Frost (electrician) has pulled permits, met on site with the electrical inspector multiple times, met with you and, completed the majority of the work required by the inspector. He plans to wrap up next week. **It is my understanding that there has only been one inspection for the permit E0519818. This is in conflict with the original plan the Electrical contractor proposed to the electrical inspector. Steve Frost met with me and the electrical inspector earlier last week to ask for an extension and to block off part of the structure in order to occupy it by November 1st. I do not know if this work is sufficient for occupancy. Additionally there are other concerns – such as the fire suppression systems.**

OK. I will check with the contractor.

10-27-18 As of today's date only ONE inspection has occurred. October 3, 2018. This is not consistent with the agreement your contractor made with the County's electrical inspector.

***10** E0146708 Burglar Alarm was apparently removed by previous tenant. It no longer exists. **Please insure via your electrical contractor that the removal is code compliant.**

E0168513 being handled by Steve Frost. **This might be addressed under the permit Steve Frost pulled E0519818. Only one inspection has occurred.**

E0709415 is being handled by ADT (formerly Precision One). Apparently, they installed the system but but never had it finalized. **This permit was to "Install cell unit of fire system" it never received a single inspection. ADT (formerly Precision One) might have handled it or will be handling it. However, it has not been renewed nor inspected as of the date of this email. This is past the deadline.**

E0184818 being handled by Steve Frost. **This might be addressed under the permit he pulled E0519818. Again, only one inspection has occurred.**

OK. I will check with the contractor.

10-27-18 As I stated above, no further electrical inspections have occurred nor have any additional permits been pulled.

For the site

***1** We can't see any evidence of any new waterline work. I've had the plumber walk through and he can't say with certainty what it might be either. So we could use some direction. See the Sandy Post article. Additionally, the demolition of plumbing work requires a permit to insure that what remains is code compliant. I understand that you were taking out the bathroom that was in the grow rooms on the upper floor. This requires a permit. I believe Christine Cannon spoke with a plumber and there is a plan? Additionally, there is a plumbing permit that has some inspection history that has not been finalled. When Christine returns to the office we can follow up on that.

All plumbing permits will be pulled by Randy from Rain Forrest Plumbing. He will work with the plumbing inspector and do what is required. He pulled the permit today and plans to call for inspection tomorrow.

10-27-18 Your contractor, Rain Forest Plumbing has met with the County's Plumbing Inspector. It is my understanding they have a game plan and have identified a/the new unpermitted waterline. It appears that the completion of that work and permitting is underway. The plumbing permit P0264718 has been issued and the first inspection occurred on October 19th. There are several items listed in the inspection that need to be completed.

***2** I contacted the previous plumber who looked at the septic system. He reviewed his notes and said that he performed no work requiring a permit. He inspected the exterior mounted wall panel adjacent to the septic tank, ordered the septic tank pumped, and cleaned and repaired a bad seal on an existing pump. We are unaware of any failures in the system itself. This is a very old sand filter system. I have reviewed with the soil scientist the permit history and the repairs. There are no permits required for the repairs you have described. The soil scientist did ask me to express concern regarding the drainfield. It appears that horses have been allowed to utilize the area over the drainfield. Please note that livestock can destroy a drainfield.

Thank you.

For the manufactured home

***1** permit has been pulled for the deck. B0487018. There have been no inspections on this permit. An inspection is scheduled Thursday, October 18th. Confirmation number 035487.

10-27-18 The inspection occurred and this permit is finalled.

***2** A permit has been requested. I hired an engineer to engineer the pergolas. In order to suspend further enforcement action on these two permits please have your engineer contact me with the estimated date s/he expects to be able to provide you the required information for the permit.

Ok

10-27-18 I have not heard from your engineer. This remains in violation until such time as the permit submittal is complete, issued and all inspections including the final approved inspection is obtained.

***3** E0603690 Steve Frost is handling this.

The electrical contractor specifically did not include the hay barn or the manufactured home in the permit he pulled.

No he did not. He said he would need to pull a separate permit for this separate address. Or did you want it under the same permit? He seemed to think it wasn't right for it to be under the same permit. He's trying to get the large building done, then the house, then the small building in that order. He's been hired to do all of it.

10-27-18 Electrical work for the residence would be under a separate permit.

***4** water line repaired by Boring Water District. The Boring Water District confirmed that the water service has been restored.

Correct and complete.

Aaron, you missed these points in the letter:

For the hay barn/warehouse (5000 sq.ft. structure): You do not mention any progress on the items below.

We'd like to just keep the smaller building at 29448 locked up for now until after the new renter get situated in the large building and then becomes ready to move forward with use on the smaller building. This will likely be after the power upgrade is done.

10-27-18 Aaron, locking up the building does not abate the violations. Nor has this option ever been discussed.

1. B0101315 – interior buildout – needs final inspection.

We can schedule that any time.

10-27-18 This permit has not been scheduled for the inspection. Please contact Christine Cannon to do so.

2. P0128415 – exterior lines and 1 toilet, 5 sinks, 1 water heater, 7 floor drains, 2 hose bibs – needs final inspection.

None of this work has been completed yet. And no exterior line work has been done. As you recall from your visit photos, no toilet, sinks, water heater, hose bibs have been installed yet. Randy from Rain Forest Plumbing will tackle that.

10-27-18 The County plumbing inspector and Rain Forest plumbing have had a conversation regarding bringing this building into compliance. No permit or renewal has yet been submitted.

3. B0385715 – Air handler and AC – This permit received final inspection.

Complete

4. E0646615 – 2 200 amp panels & 20 circuits – never inspected

Steve Frost is handling this.

10-27-18 This remains in violation. Until the permits are obtained and inspections completed this remains in violation. It would be an encouraging sign if he would pull the permit even if he does not yet have time to complete the work.

5. All remaining mechanical work must be removed or permitted.

I believe the only mechanical work is the AC permit you mentioned above. Did you see something that doesn't match with that permit?

10-27-18 Ducting was present and some of it was removed. Ducting is part of HVAC permits. If you wish – we can follow up during the inspection to be scheduled.

6. The needs and repair of the fire suppression and sprinkler system require a building permit.

This is on Express Fire's list to complete as well. We have accepted their bid to do this work. They are focusing on the 29450 address first.

10-27-18 This remains in violation.

Aaron Shelley, Ph.D, MSS, SCCC, SPN, SSC, CFT
[503-841-8869](tel:503-841-8869)
<https://www.facebook.com/coachaaronshelley>

Begin forwarded message:

From: Aaron Shelley <AaronShelley67@gmail.com>
Subject: plumbing inspection
Date: September 24, 2018 at 12:23:03 PM PDT
To: Kim Benthin <KimBen@co.clackamas.or.us>

Hi Kim. I was reviewing our punch list today. I wanted to make sure that the water heater issue was satisfied. I didn't see any other plumbing issues on the list except for the mention of "waterline work was completed without a permit." Are you familiar with what this work was that is mentioned?

Also, I wanted to formally acknowledge that ownership is fully aware that the upstairs lounge area is not be used as an apartment living space of any sort.

Thanks Kim!

Aaron Shelley, Ph.D, MSS, SCCC, SPN, SSC, CFT
[503-841-8869](tel:503-841-8869)
<https://www.facebook.com/coachaaronshelley>

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Aaron Shelley, Ph.D, MSS, SCCC, SPN, SSC, CFT
503-841-8869
<https://www.facebook.com/coachaaronshelley>

[Spam Email](#)
[Phishing Email](#)

Benthin, Kim

From: Dale Burkholder <daleburkholder@rocketmail.com>
Sent: Monday, July 8, 2019 9:26 AM
To: Benthin, Kim; Aaron Shelley; Amend, Michelle
Subject: MEETING TO REMOVE CODE ISSUES FOR 29450 SE LARIAT LN

Hi Kim

WE are in receipt of your July 3rd letter. If I understand, the items listed are not actual code violations but some allegations from a third party not verified or identified.

We are asking you to provide the list of remaining code violations from your inspection back in November of 2018.

if there are no remaining violations and just the allegations mentioned in your July 3rd letter, please state so.

WE would like to have a list of any code violation issues still outstanding prior to scheduling a meeting with you with the goal of receiving a completion letter and removing the center from code enforcement status.

WE would like very much to put all our time and resources into the restoring of the center under its current conditional use approved status. We will be submitting an application soon to expand on the event center uses. WE are looking forward to meeting with you, ASAP, to bring the issues to a resolve, if any remain.

Please let me know if this Wednesday July 10 at 10:00 AM will work for you.

Also please mail future correspondence to the Center 29545 SE Lariat Ln Boring ,Or 97009

Kind Regards
Dale Burkholder / Agent
Mt Hood center

[Spam Email](#)
[Phishing Email](#)

Benthin, Kim

From: Aaron Shelley <aaronshelley67@gmail.com>
Sent: Sunday, July 7, 2019 4:40 PM
To: Benthin, Kim; Dale Burkholder
Subject: 29450 SE Lariat Ln Alleged Violations

Hello Kim,

We received your July 3rd letter. We would like to schedule a time to meet with you in your office. In order to clarify our scope of conversation during that meeting we would like to delineate our understanding of your position. On several occasions, we have requested a list of any remaining code enforcement violations that were still outstanding once your November 8, 2018 inspection was completed and have not received any such documentation from you specifically addressing those items. In the absence of such documentation from you after several requests shall we assume that the only code enforcement items currently remaining for the property are contained in your July 3rd letter? If the alleged items in your July 3rd letter are not the only currently outstanding code enforcement violations then please promptly provide the list of outstanding items that remained immediately after your November 8, 2018 inspection.

In the interest of clarity I will reiterate our request. Please provide the following:

- 1) A list of all violations (if any) that were still outstanding immediately after your November 8, 2018 inspection. Please include the violation itself along with any and all supporting documentation. If there are 'NONE' then please state so.
- 2) A list of all violations (if any) that took place from November 9, 2018 to July 3, 2019. Please include the violation itself along with any and all supporting documentation. If there are 'NONE' then please state so.

Please forward items 1 and 2 above as requested and please let us know what time and date you would like to meet with us. Dale Burkholder will be reaching out to you as well to establish a meeting. Please include both of us on any correspondences.

Moving forward, please utilize the following mailing address for all mailed correspondences:
29450 SE Lariat LN
Boring, OR 97009

Thank you,

Aaron

Aaron Shelley, Ph.D, MSS, SCCC, SPN, SSC, CFT
503-841-8869
<https://www.facebook.com/coachaaronshelley>

CRC Top 20 breakaway roper
CRC Top 15 Barrel Racing Permit Holder



142 7 Comments 18 Shares

Like Comment Share

All Comments

- Write a comment...
- Rita Dunnihoo** Wonderful !!!! And so close by !!! Congratulations on all your accomplishments..!!
Like · Reply · 2w
- Roz Rushing** She's a great addition to your team! 🙌
Like · Reply · 2w
- Kryss Cochran Helfrich** Way to go Val!!!
Like · Reply · 2w
- Gretchen Lundeen** Yahoo! Val!!! 🎉🎉🎉
Like · Reply · 2w
- George Hogan** Shes the real deal congratulations
Like · Reply · 2w
- Kellie Puckett** Val James Norma Jean James
Like · Reply · 2w
- Samantha MacDonald** Yay Val
Like · Reply · 2w

Write a comment...

Mt Hood Center — 🥳 feeling happy with Sarah's Raven at Mt Hood Center.

June 19 at 7:12 PM · Boring, OR · 🌐

Everything has been finalized! Here is the current link to the online registration paperwork!

Search for posts on this Page

Visitor Posts



Marlene Nichols
June 20 at 3:02 PM · 🌐

Too funny not to share! Lol

Like · Comment



Rhonda Erickson
June 8 at 3:38 PM · 🌐

Show comments plans for another barrel race soon?

1 Comment
Like · Comment

Oldest



Mt Hood Center YES
working on finalizing dates
and we will also have a
time only night! I will post
that soon!

Like · Reply · 4w



Rhonda Erickson Mt Hood Center
Awesome! I wasn't
able to make the last

English (US) · Español · Português (Brasil) ·
Français (France) · Deutsch

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Mt Hood Center is at Mt Hood Center.

June 7 · Boring, OR · 🌐

Enchanted Family Day

June 22nd, 2019 11AM to 4PM

Bring your princesses and knights to our Family Fun Day in celebration of our ribbon cutting for our new playground!... [See More](#)



18

11 Comments 7 Shares



Like



Comment



Share

Most Relevant ▾



Write a comment...



Nicole Denniston Are any of the activities going to charge? Pony rides? Bounce castle? Thanks

Like · Reply · 3w

↩ 2 Replies



Teresa Meyer I should did up old pics when i showed there

Like · Reply · 4w



1



Mt Hood Center

May 20 · 🌐

Playday 6/2/19 Sign in @ 8am Races start @9am!!!!
Wait until you see the prizes!!!!

MT HOOD CENTER PLAYDAY

6/2/19

~ 29450 SE Lariat LN, Boring OR 97009 ~



MT HOOD CENTER

EVENTS:

- BARRELS
- JACKPOT BARRELS
- POLE BENDING
- FIGURE 8
- SINGLE STAKE
- KEY RACE
- ST-RANGEE



FEES:

- \$10 PER CLASS
- \$50 ALL DAY
- \$10 JACKPOT BARRELS AWARD FOR FASTEST TIME AND CASH!!!!
- \$10 OFFICE FEE

HIGH POINT & RESERVE HIGH POINT AWARDS IN EACH AGE GROUP!!!

WAIT UNTIL YOU SEE WHAT THE AWARDS ARE!!!!

AGE GROUPS:

- 8 AND UNDER
- 9-12
- 13-17
- 18-34
- 35 AND UP



OFFICE OPENS @ 8AM

RACES START @ 9AM

FOR MORE INFORMATION CONTACT KELLIE
KELLIE@MTHOODCENTER.COM * (503) 779-3371

49

10 Comments · 62 Shares

Like

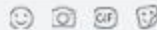
Comment

Share

All Comments ▾



Write a comment...



Mt Hood Center Want to skip the line on Sunday???? I am now accepting pre entries!!
Please send your entry forms to my email or if you have any Questions?? Need a PDF??
Email me @ kellie@mthoodcenter.com



MT HOOD CENTER
REGISTRATION FORM

Name	_____
Address	_____
City	_____
State	_____
Zip	_____
Phone	_____
Signature	_____
Date	_____

MT HOODCENTER EQUINE ACADEMY PRESENTS

2019 Summer Clinics



Mt. Hood Center's Equine Academy welcomes students ages 5 to 15 to participate in our weekly summer clinics.

Each of the five days students will participate in courses that include Horsemanship, Permaculture, Health & Wellness and STEAM (Science, Technology, Engineering, Art and Math). The students will be grouped with others in their age band, 5-8, 9 to 12 and 13 to 15. There will be 4 one week clinics offered over the 2019 summer.

Dates clinics are being offered include

July 15th to the 19th

July 22nd to the 26th

Aug. 12th to the 16th

Aug. 19th to the 23rd.

To enroll your student or contact Sarah Anderson, our Education director
Sarah@mhhoodcenter.com for more information.

Mt Hood Center

Local Business

Send Message

29

11 Comments 15 Shares

Like

Comment

Share

All Comments



Write a comment...



Danielle Donnelly Oh I would love to have Willow do this!!! I bet the girls would love it!

Like · Reply · 7w

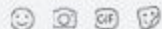


Sarah's Raven Let us know if you are interested !!

Like · Reply · 2w



Write a reply...



Cassie Abney Mt Hood Center I heard you guys were going to have an open show. Is this correct?? If so, please post info about it. I'm only seeing clinics. We need schooling shows! Thank you!

[About Us](#)
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Community Involvement

At Mt Hood Center we recognize that we have been entrusted with a piece of history that has been a pillar of the equestrian community for decades. The new facilities and grounds will hopefully breath new life into community programs such as 4-H, OHSET and other youth programs. We are also hoping to bring value to the community by providing new and expanded conference and gathering facilities.

We encourage our community to get involved and hope that you will share your stories and experiences with all of us here at Mt Hood Center. Join us at our facility for a sneak peek into our progress, meet our amazing staff, and learn more about our vision. On May 18th, 2019 – starting at 10 AM – we will be serving light refreshments and providing tours of the grounds. We are looking forward to meeting with everyone.

Events

Mt Hood Center will be the host to local as well as regional equestrian events. The Center also hopes to host community events from children's birthday parties to corporate conferences.

[BOOK NOW](#)

PUERTAS ABREN A LAS 2PM

EL DORADO PROMOTIONS

SÁBADO 13 DE JULIO

PRESENTA JARIPEO-BAILE



MAX TORRES



ROGELIO MARTINEZ



ALEX RIVERA



CHRISTIAN DADO



JINETES LOS NIÑOS DE LA SIERRA



BANDA RM

PREVENTA \$25

INFORMES: 503-710-0241

29450 SE LARIAT LN, BORING, OR 97009

WWW.FACEBOOK.COM/EL-DORADO-RANCH

MENORES DE 10 AÑOS GRATIS



El Dorado Ranch
Like This Page · June 27 ·

Estan cordialmente invitados!!

Sabado 13 de Julio

29450 SE Lariat Lane, Boring Oregon 97009...
[See More](#)

They are cordially invited!!

Saturday July 13th

29450 is lane, boring Oregon 97009

Doors Open at 2 PM

Presale of tickets \$ 25

VIP TABLES FOR 4 people \$ 100
\$ 20 extra for each chair

Questions at 503 710 0241

Pre-sale tickets now available at:

Fashion Princesses
604 181st ave Portland or 97233

Elegant Cowboy
19310 SE Stark St Portland OR 97233

Leo's Mini Market
7931 SE King Rd Milwaukee OR 97222

Villas market
9515 SE 82nd Ave Happy Valley OR 97086

The future
11945 SW Pacific Hwy Tigard OR 97223

Latin market
5910 NE Fourth Plain Blvd Vancouver WA 98661



Write a comment...



Benthin, Kim

From: Blessing, Ben
Sent: Monday, July 22, 2019 10:30 AM
To: Aaron Shelley
Cc: Benthin, Kim; daleburkholder@rocketmail.com
Subject: RE: GOOD NEWS / Mount Hood Equestrian Local Signature for odot ROW permit

Aaron,

Unfortunately, I cannot sign off on the ODOT right-of-way application until I know that the use it will be serving is an outright permitted use or a use that was permitted in the previous conditional use permits. Again, you need to submit a business plan/narrative, floorplan, and site plan to demonstrate compliance with ZDO. I'm glad to see that you have been working with professional architects and engineers to get detailed plans ready for submittal. Still, I cannot sign off on anything until I review, at minimum, a business plan/narrative, floorplan, and site plan (Please reference my previous emails for more details).

Please let me know if you have questions,

Ben Blessing
Planner 2, Certified Floodplain Manager (CFM)
Clackamas County Planning & Zoning &
City of Estacada
(503)742-4521
bblessing@clackamas.us

From: Aaron Shelley [mailto:aaronshelley67@gmail.com]
Sent: Friday, July 19, 2019 10:06 AM
To: Blessing, Ben <BBlessing@clackamas.us>
Cc: Benthin, Kim <KimBen@clackamas.us>; daleburkholder@rocketmail.com
Subject: Re: GOOD NEWS / Mount Hood Equestrian Local Signature for odot ROW permit

Ben,

Hope all is well. Due to some recent events it has occurred to me that you may not be completely up to speed as to where we are in preparing our submission to the County regarding our plans for Mt Hood Center. Please allow me to update you. For more than several months now we have been working with architects, engineers, life safety professionals, land use experts and many others to develop and streamline the vision for the new Center. As you can imagine this is quite an extensive task and has evolved as we have worked on it. Community need and impact as well as practical considerations such as life safety and financial viability all have had to have been woven into the fabric of what we are attempting to create. All the while we have been significantly addressing previous violations and other County concerns on which we have made great strides. In fact, we have a final meeting today with the architects before the plans are submitted for a pre-planning meeting. My apologies for not keeping you abreast of what has been going on at the Center. One of the resources that we have determined are essential to the the success of the Center in its current and/or future state is access to a Fiber Optic Utility Service. I understand that in order for the Utility to move forward with our request for service that there requires some paperwork to be processed by the County. My understanding is that you are in possession of that paperwork. We kindly request that you complete that paperwork as soon as possible and forward it back to the utility so that they can provide us with our Utility Service. As I mentioned above the Center requires the Utility for its current and future success and time is of the essence regarding this matter. Security, providing both a safety provision and monitoring system of the facility, including equipment ingress/egress, horses,

contractors, visitors, etc is very important during both the early phases and long term success. Your cooperation is greatly appreciated. If you have any questions or comments please feel free to contact me.

Thank you

Aaron Shelley, Ph.D, MSS, SCCC, SPN, SSC, CFT
[503-841-8869](tel:503-841-8869)
<https://www.facebook.com/coachaaronshelley>

On Jul 16, 2019, at 5:35 PM, Blessing, Ben <BBlessing@clackamas.us> wrote:

No. I did not sign off on the odot right-of-way permit because the high speed internet connection will be servicing land uses at the equestrian center that have not yet been approved.

To reiterate, I still do not have a business plan, narrative, site plans, traffic calcs, or any other information to determine if your proposed uses are compliant with the prior land use approvals. You recall, I sent over an email that clearly detail that information and also contained the land use permits.

If you can supply this information, I can see if your uses are compliant with the prior approvals, and/or if you need additional land use permits. Then I can sign off on the high speed permit. Let me know if you would like me to forward you that email that details what is need.

Thanks,

Ben Blessing
Planner 2, Certified Floodplain Manager (CFM)
Clackamas County Planning and Zoning
503-742-4521

From: Aaron Shelley [<mailto:aaronshelley67@gmail.com>]
Sent: Monday, July 15, 2019 10:17 AM
To: Blessing, Ben <BBlessing@clackamas.us>
Subject: Fwd: GOOD NEWS / Mount Hood Equestrian Local Signature for odot ROW permit

Ben, please review the email exchanges. Let me know what you think. Thank you!

Aaron Shelley, Ph.D, MSS, SCCC, SPN, SSC, CFT
[503-841-8869](tel:503-841-8869)
<https://www.facebook.com/coachaaronshelley>

Begin forwarded message:

From: Aaron Shelley <aaronshelley67@gmail.com>
Date: July 15, 2019 at 9:59:08 AM PDT
To: KimBen@clackamas.us
Cc: daleburkholder@rocketmail.com, Dean Najdawi <mdn2inc@yahoo.com>
Subject: Re: GOOD NEWS / Mount Hood Equestrian Local Signature for odot ROW permit

Hi Kim.

Wave Internet seems to think the county is not willing to sign off on getting internet to the building.

Currently, we are using my home internet for the building via Wi-Fi extenders and it works poorly. We Wi-Fi for the workers, contractors, architects, owners, and myself.

We are planning, in the near future to permit and install a security system for the building, property and stalls. This will help to protect equipment during our clean up phase.

Our security system provider needs to have our internet installed before they can test our internet system for constant bandwidth and load capacity before they can quote the best camera system and modem system.

Our security system will be permitted and submitted once the final design is complete.

Wave is 3+ months out on install so we are trying to expedite the their process.

Aaron Shelley, Ph.D, MSS, SCCC, SPN, SSC, CFT
[503-841-8869](tel:503-841-8869)
<https://www.facebook.com/coachaaronshelley>

On Jul 15, 2019, at 9:30 AM, Ronda Miller <romiller@wavebusiness.com> wrote:

Ronda Miller
Senior Enterprise Manager
Fiber Division / Wave Business Solutions
<image001.png>
111 SW 5th Ave Suite 3100
Portland Oregon 97204
W 503-278-2043 C 503-724-2122

romiller@wavebusiness.com
<http://business.wavebroadband.com/enterprise/>

Voted the "2014 Fastest ISP in the NW" by PCMAG.com

From: Derek Larson <dlarson@wavebroadband.com>
Sent: Friday, July 12, 2019 3:17 PM
To: Ronda Miller <romiller@wavebusiness.com>; Matt Updenkelder <matt.updenkelder@wavebusiness.com>
Cc: Tamara Kuhn <tkuhn@wavebroadband.com>; Ray Hensley <rahensley@wavebusiness.com>
Subject: RE: GOOD NEWS / Mount Hood Equestrian Local Signature for odot ROW permit

Ronda,

Not cleared up, see attached

Thank you in advance,

Derek Larson, MBA, PMP

Construction Manager

Construction Project Management

wave

400 2nd Ave W. Suite 210
Seattle, WA

503-798 - 8426 (m)

dlarson@wavebroadband.com

From: Ronda Miller

Sent: Friday, July 12, 2019 2:42 PM

To: Matt Updenkelder <matt.updenkelder@wavebusiness.com>

Cc: Tamara Kuhn <tkuhn@wavebroadband.com>; Derek Larson

<dlarson@wavebroadband.com>; Ray Hensley

<rahensley@wavebusiness.com>

Subject: GOOD NEWS / Mount Hood Equestrian Local Signature for odot ROW permit

All,

I Talked to Aaron and the Dispute was with the Previous owner not him . He went to the county today and cleared everything up. Ben Blessing is the county Planner assigned to him and his Admin Kim Benthin said there is no permit they can't have. If you have any issues Kim will solve it for you fast. Let's get this back on track fast ;)

Thanks,

Ronda

Ronda Miller

Senior Enterprise Manager

Fiber Division / Wave Business Solutions

<image001.png>

111 SW 5th Ave Suite 3100

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W 503-278-2043 C 503-724-2122

romiller@wavebusiness.com

<http://business.wavebroadband.com/enterprise/>

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From: Matt Updenkelder <matt.updenkelder@wavebusiness.com>
Sent: Friday, July 12, 2019 10:35 AM
To: Ronda Miller <romiller@wavebusiness.com>
Subject: FW: Local Signature for odot ROW permit
Importance: High

Sigh....

Matthew Updenkelder, PMP
Senior Director Construction - Oregon
Construction Project Management

wave

151 E Olive St.
Newport, OR
wavebroadband.com
541.760.9822 (m)
541.574.4212 (o)
matt.updenkelder@wavebusiness.com

From: Derek Larson <dlarson@wavebroadband.com>
Sent: Friday, July 12, 2019 10:34 AM
To: Tamara Kuhn <tkuhn@wavebroadband.com>; Pete Anderson <panderson@wavebroadband.com>; Matt Updenkelder <matt.updenkelder@wavebusiness.com>
Cc: Jaison Krueger <jkrueger@wavebroadband.com>; Phillip Fagin <pfagin@wavebroadband.com>
Subject: FW: Local Signature for odot ROW permit
Importance: High

Update:

Marlene at ODOT called me about Mt. Hood Equestrian Center. She said that she mailed us the approved permit assuming Clackamas County would sign off on it but they did not. Apparently the customer and county have a repeated pissing contest going back and forth, and the county planner is not signing off on this permit as the customer is not complying with county planning requirements related to his business. If this was service for residential personal use it would be a different story.

I argued that a customer simply asked us for service, that we don't get involved in their business dealings or specifics on how the service will be used and we aren't typically put in the middle like this. ODOT is putting our permit on hold, even though its already mailed, until the customer and county work out their dispute. Tami, we need you or the IPM to convey the situation to the customer and let them know what is going on and how we cannot proceed until the matter is resolved.

Thank you in advance,

Derek Larson, MBA, PMP
Construction Manager

Construction Project Management

wave

400 2nd Ave W. Suite 210
Seattle, WA

503-798 - 8426 (m)

dlarson@wavebroadband.com

From: NICHOLS Marlene T

[<mailto:Marlene.T.NICHOLS@odot.state.or.us>]

Sent: Friday, July 12, 2019 10:24 AM

To: Derek Larson <dlarson@wavebroadband.com>

Subject: FW: Local Signature for odot ROW permit

Marlene T. Nichols
District 2C - Permit Specialist
999 NW Frontage Road, Suite 250
Troutdale, Oregon 97060
Ofc: (503) 665-4006; Fax: (503) 665-4487

From: Cass-Crosby, Shirley <scasscrosby@clackamas.us>

Sent: Friday, July 12, 2019 9:28 AM

To: NICHOLS Marlene T <Marlene.T.NICHOLS@odot.state.or.us>

Subject: FW: Local Signature for odot ROW permit

From: Blessing, Ben <BBlessing@clackamas.us>

Sent: Thursday, July 11, 2019 10:39 AM

To: Cass-Crosby, Shirley <scasscrosby@clackamas.us>

Subject: Local Signature for odot ROW permit

I will **not** be signing the odot form for 29450 SE Lariat Ln (Mt. Hood Equestrian Center). You can forward this to folks requesting the form.

- 1) It is Planning staff's understanding that his proposed connection to the Equestrian Center is to allow for certain commercial uses (such as; equestrian events, weddings, etc. As I have informed the applicant numerous times, planning staff needs to approve their proposed business plan. Since they have not submitted anything, those events are currently not allowed.
- 2) If the high speed cable connection is for personal use, then it may be permitted. However, we would need something in writing from the applicant stating that this use will not be for cable.

Please let me know if anybody has questions.

Ben Blessing

Planner 2, Certified Floodplain Manager (CFM)

Planning & Zoning

Clackamas County

(503)742-4521

bblessing@clackamas.us

<http://www.clackamas.us/planning/>

My Normal Hours:

Monday – Thursday, 7:30am -6pm

For directions to our office: <http://binged.it/1zwOf11>

DTD HOURS: 2nd and 3rd floor permit lobbies are open Monday-Thursday from 8 am to 4 pm, and 8 am to 3 pm on Fridays.

The Department of Transportation and Development is committed to non-discrimination. For more information go to: www.clackamas.us/transportation/ or call 503-742-4696.

<mime-attachment>

[Spam Email](#)
[Phishing Email](#)

Benthin, Kim

From: Benthin, Kim
Sent: Monday, July 15, 2019 3:34 PM
To: 'Aaron Shelley'
Cc: daleburkholder@rocketmail.com; Dean Najdawi
Subject: RE: GOOD NEWS / Mount Hood Equestrian Local Signature for odot ROW permit

Aaron,

This is in the same boat as the building permit for the corner of the arena that is no longer horse stalls. You need land use first.

To be clear – this review by land use/planning would be the same if you did not have an open violation file. The code violation file is not the hold up.

In many different instances agencies look to the jurisdictional county for authorization. This is similar to getting the County's signature for OLCC and OHA's marijuana grows.

In this case ODOT is checking with the County. County Planning said they need land use first.

Kimberly Benthin

Code Enforcement Specialist

Clackamas County Code Enforcement Section

From: Aaron Shelley [mailto:aaronshelley67@gmail.com]
Sent: Monday, July 15, 2019 9:59 AM
To: Benthin, Kim <KimBen@clackamas.us>
Cc: daleburkholder@rocketmail.com; Dean Najdawi <mdn2inc@yahoo.com>
Subject: Re: GOOD NEWS / Mount Hood Equestrian Local Signature for odot ROW permit

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<https://www.facebook.com/coachaaronshelley>

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Senior Enterprise Manager
Fiber Division / Wave Business Solutions

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Portland Oregon 97204
W 503-278-2043 C 503-724-2122

romiller@wavebusiness.com
<http://business.wavebroadband.com/enterprise/>

Voted the "2014 Fastest ISP in the NW" by PCMAG.com

From: Derek Larson <dlarson@wavebroadband.com>
Sent: Friday, July 12, 2019 3:17 PM
To: Ronda Miller <romiller@wavebusiness.com>; Matt Updenkelder <matt.updenkelder@wavebusiness.com>
Cc: Tamara Kuhn <tkuhn@wavebroadband.com>; Ray Hensley <rahensley@wavebusiness.com>
Subject: RE: GOOD NEWS / Mount Hood Equestrian Local Signature for odot ROW permit

Ronda,

Not cleared up, see attached

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Derek Larson, MBA, PMP
Construction Manager

Construction Project Management

wave

400 2nd Ave W. Suite 210
Seattle, WA

503-798 - 8426 (m)
dlarson@wavebroadband.com

From: Ronda Miller
Sent: Friday, July 12, 2019 2:42 PM
To: Matt Updenkelder <matt.updenkelder@wavebusiness.com>
Cc: Tamara Kuhn <tkuhn@wavebroadband.com>; Derek Larson <dlarson@wavebroadband.com>; Ray

Hensley <rahensley@wavebusiness.com>

Subject: GOOD NEWS / Mount Hood Equestrian Local Signature for odot ROW permit

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Thanks,

Ronda

Ronda Miller

Senior Enterprise Manager

Fiber Division / Wave Business Solutions

<image001.png>

111 SW 5th Ave Suite 3100

Portland Oregon 97204

W 503-278-2043 C 503-724-2122

romiller@wavebusiness.com

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Sent: Friday, July 12, 2019 10:35 AM

To: Ronda Miller <romiller@wavebusiness.com>

Subject: FW: Local Signature for odot ROW permit

Importance: High

Sigh....

Matthew Updenkelder, PMP

Senior Director Construction - Oregon

Construction Project Management

wave

151 E Olive St.

Newport, OR

wavebroadband.com

541.760.9822 (m)

541.574.4212 (o)

matt.updenkelder@wavebusiness.com

From: Derek Larson <dlarson@wavebroadband.com>

Sent: Friday, July 12, 2019 10:34 AM

To: Tamara Kuhn <tkuhn@wavebroadband.com>; Pete Anderson <panderson@wavebroadband.com>;

Matt Updenkelder <matt.updenkelder@wavebusiness.com>

Cc: Jaison Krueger <jkrueger@wavebroadband.com>; Phillip Fagin <pfagin@wavebroadband.com>

Subject: FW: Local Signature for odot ROW permit

Importance: High

Update:

Marlene at ODOT called me about Mt. Hood Equestrian Center. She said that she mailed us the approved permit assuming Clackamas County would sign off on it but they did not. Apparently the customer and county have a repeated pissing contest going back and forth, and the county planner is not signing off on this permit as the customer is not complying with county planning requirements related to his business. If this was service for residential personal use it would be a different story.

I argued that a customer simply asked us for service, that we don't get involved in their business dealings or specifics on how the service will be used and we aren't typically put in the middle like this. ODOT is putting our permit on hold, even though its already mailed, until the customer and county work out their dispute. Tami, we need you or the IPM to convey the situation to the customer and let them know what is going on and how we cannot proceed until the matter is resolved.

Thank you in advance,

Derek Larson, MBA, PMP

Construction Manager

Construction Project Management

wave

400 2nd Ave W. Suite 210
Seattle, WA

503-798 - 8426 (m)

dlarson@wavebroadband.com

From: NICHOLS Marlene T [<mailto:Marlene.T.NICHOLS@odot.state.or.us>]

Sent: Friday, July 12, 2019 10:24 AM

To: Derek Larson <dlarson@wavebroadband.com>

Subject: FW: Local Signature for odot ROW permit

Marlene T. Nichols

District 2C - Permit Specialist

999 NW Frontage Road, Suite 250

Troutdale, Oregon 97060

Ofc: (503) 665-4006; Fax: (503) 665-4487

From: Cass-Crosby, Shirley <scasscrosby@clackamas.us>

Sent: Friday, July 12, 2019 9:28 AM

To: NICHOLS Marlene T <Marlene.T.NICHOLS@odot.state.or.us>

Subject: FW: Local Signature for odot ROW permit

From: Blessing, Ben <BBlessing@clackamas.us>
Sent: Thursday, July 11, 2019 10:39 AM
To: Cass-Crosby, Shirley <scasscrosby@clackamas.us>
Subject: Local Signature for odot ROW permit

I will **not** be signing the odot form for 29450 SE Lariat Ln (Mt. Hood Equestrian Center). You can forward this to folks requesting the form.

- 1) It is Planning staff's understanding that his proposed connection to the Equestrian Center is to allow for certain commercial uses (such as; equestrian events, weddings, etc. As I have informed the applicant numerous times, planning staff needs to approve their proposed business plan. Since they have not submitted anything, those events are currently not allowed.
- 2) If the high speed cable connection is for personal use, then it may be permitted. However, we would need something in writing from the applicant stating that this use will not be for cable.

Please let me know if anybody has questions.

Ben Blessing

Planner 2, Certified Floodplain Manager (CFM)

Planning & Zoning

Clackamas County

(503)742-4521

bblessing@clackamas.us

<http://www.clackamas.us/planning/>

My Normal Hours:

Monday – Thursday, 7:30am -6pm

For directions to our office: <http://binged.it/1zwOf11>

DTD HOURS: 2nd and 3rd floor permit lobbies are open Monday-Thursday from 8 am to 4 pm, and 8 am to 3 pm on Fridays.

The Department of Transportation and Development is committed to non-discrimination. For more information go to: www.clackamas.us/transportation/ or call 503-742-4696.

<mime-attachment>

[Spam Email](#)
[Phishing Email](#)

Benthin, Kim

From: Fix, Robert
Sent: Wednesday, July 24, 2019 12:06 PM
To: Carlson, Richard
Cc: aaronshelley67@gmail.com
Subject: Re: AUX BLDG - HANDRAIL ADDITION

Thank you Richard

Sent from my iPhone

On Jul 24, 2019, at 11:07 AM, Carlson, Richard <richardcar@clackamas.us> wrote:

All commercial reroofs require permits.
Richard Carlson
Plans Examiner
Clackamas County
503-742-4769

From: Fix, Robert <RFix@clackamas.us>
Sent: Wednesday, July 24, 2019 7:24 AM
To: Carlson, Richard <richardcar@clackamas.us>
Subject: FW: AUX BLDG - HANDRAIL ADDITION

Robert Fix

Robert Fix
Structural/ Mechanical Inspector
Building Codes Division
150 Beavercreek Road
Oregon City, OR 97045
503-519-1661
Hours 7am-3:30pm

From: Aaron Shelley [<mailto:aaronshelley67@gmail.com>]
Sent: Tuesday, July 23, 2019 3:51 PM
To: Fix, Robert <RFix@clackamas.us>
Subject: Re: AUX BLDG - HANDRAIL ADDITION

Hi Robert. I have a question for you about our roof at the Mt.Hood equestrian center. According to a roofing contractor we had come out, another layer of roofing was applied over the top of the existing roofing. My question is, does that require a permit? If so, I'll need to pull a permit and have it inspected

but if putting a layer over the top does not, then the roofing contractor is prepared to put in writing what the state of the roof is. He doesn't think it needs a permit but I wanted to doublecheck with you.

Thank you!

Aaron Shelley, Ph.D, MSS, SCCC, SPN, SSC, CFT
[503-841-8869](tel:503-841-8869)
<https://www.facebook.com/coachaaronshelley>

On Jul 18, 2019, at 5:14 AM, Fix, Robert <RFix@clackamas.us> wrote:

Aaron
That is perfect thank you.

Robert Fix

Robert Fix
Structural/ Mechanical Inspector
Building Codes Division
150 Beavercreek Road
Oregon City, OR 97045
503-519-1661
Hours 7am-3:30pm

From: Aaron Shelley [<mailto:aaronshelley67@gmail.com>]
Sent: Wednesday, July 17, 2019 4:03 PM
To: Fix, Robert <RFix@clackamas.us>
Subject: Fwd: AUX BLDG - HANDRAIL ADDITION

Hi Robert. What do you think of this?

Aaron Shelley, Ph.D, MSS, SCCC, SPN, SSC, CFT
[503-841-8869](tel:503-841-8869)
<https://www.facebook.com/coachaaronshelley>

Begin forwarded message:

From: "Peter Wasch" <pacificdesignworks@comcast.net>
Date: July 17, 2019 at 3:54:27 PM PDT
To: "Aaron Shelley" <aaronshelley67@gmail.com>
Cc: "Raphael Goodblatt" <rag@ahhappdx.com>
Subject: AUX BLDG - HANDRAIL ADDITION

Hi Aaron,

See the attached handrail plans.

After looking up the handrail code, I could not find the 90 degree handrail extension at the top of the first flight of stairs.

I think you should show the inspector who suggested the design to approve, prior to completion of top of first flight handrail.

Everything thing else is straight forward.

I would like to show Raphael too and see what he thinks

Regards,
Peter

Pacific Design Works
Peter D. Wasch
13600 SE Taylor Court
Portland, Or 97233
503-310-0438
pacificdesignworks@comcast.net

[Spam Email](#)
[Phishing Email](#)

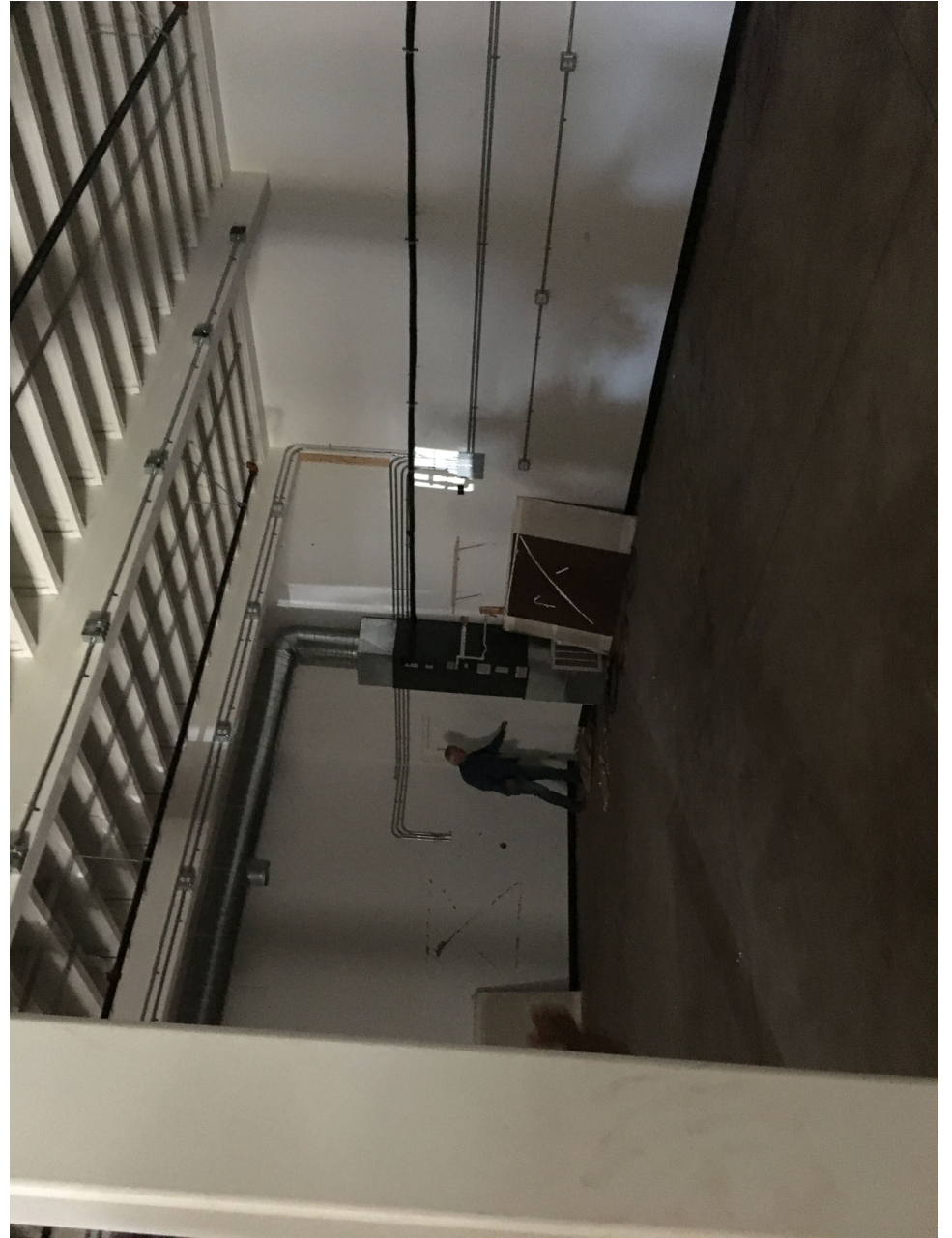




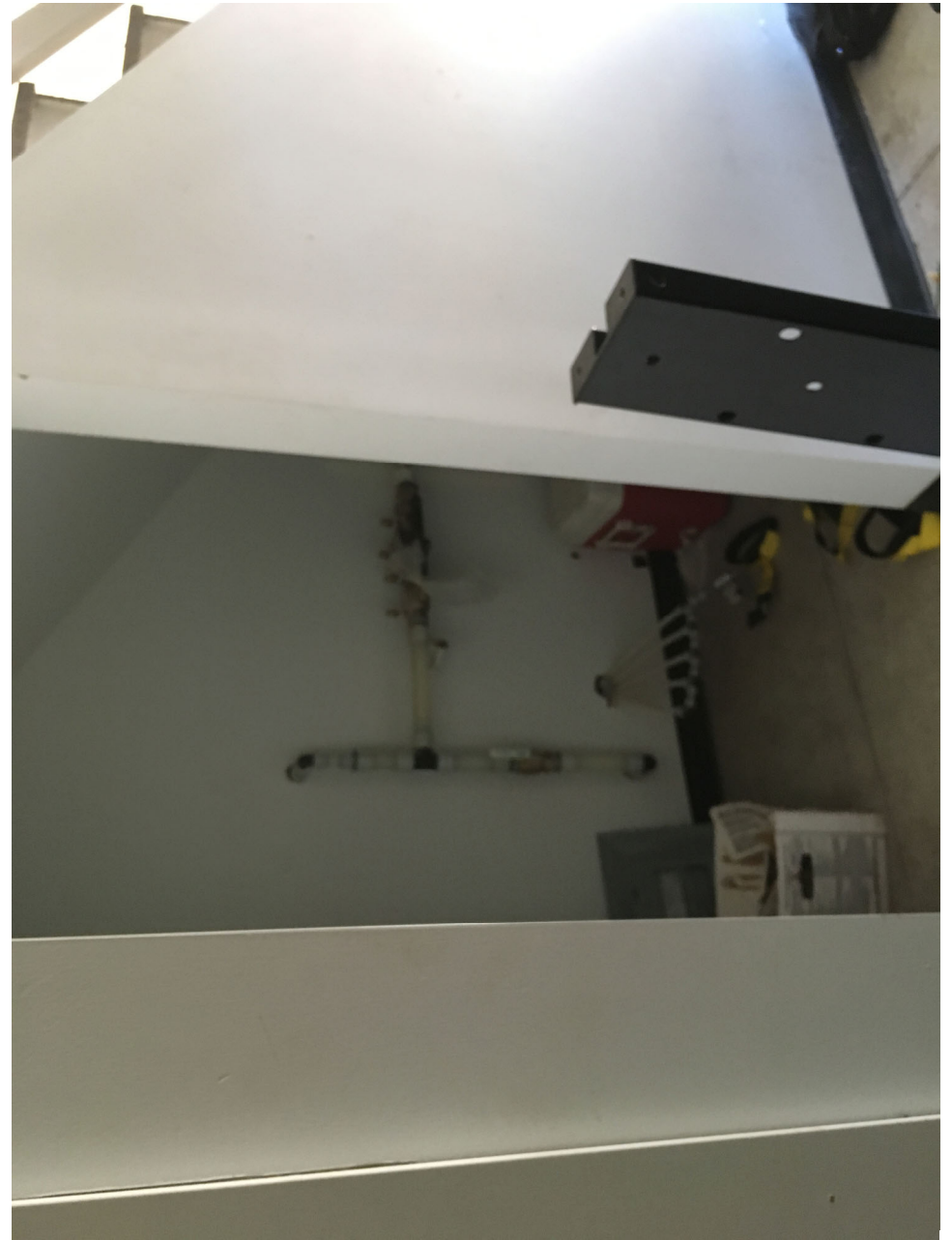
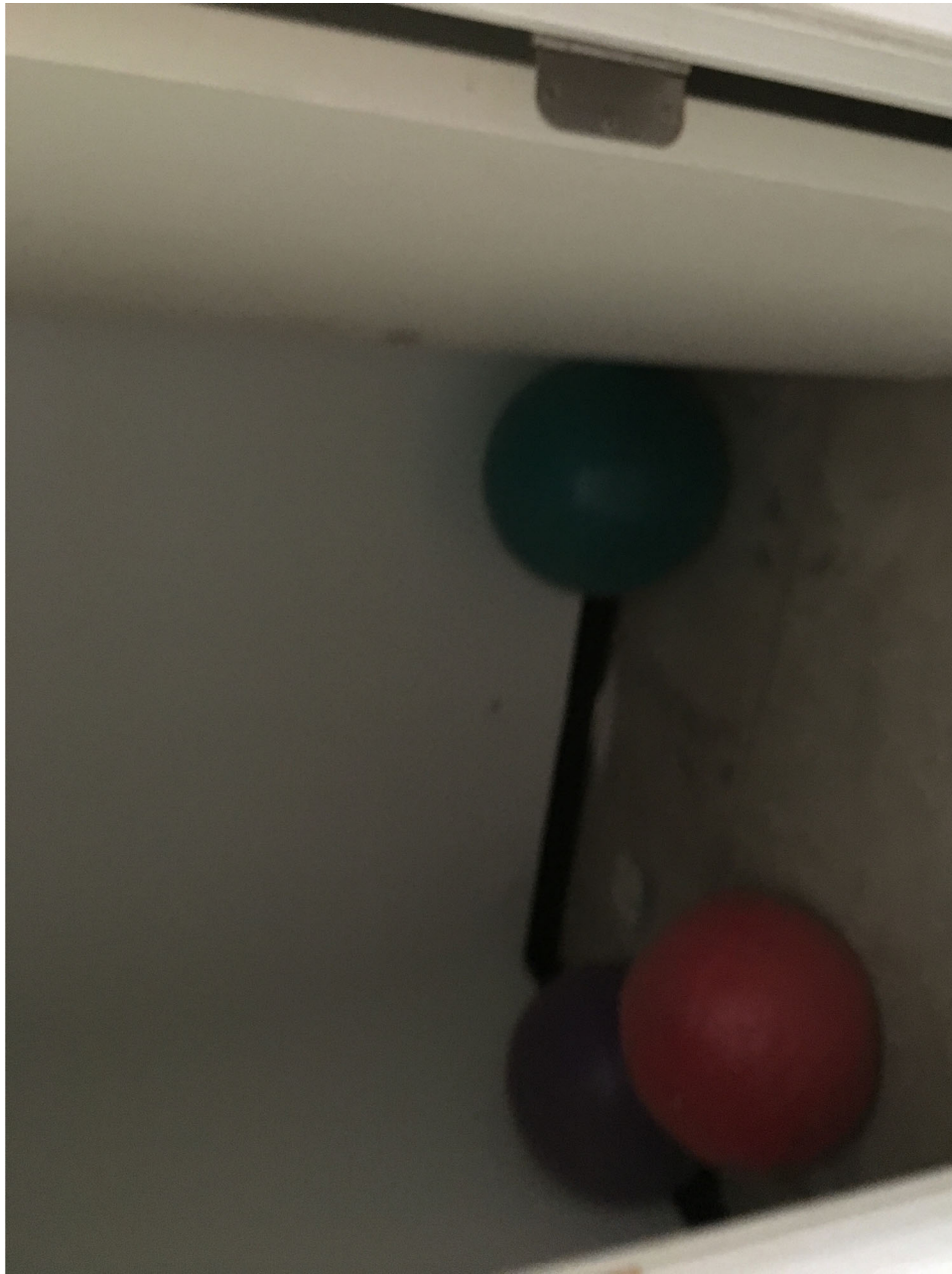






















Benthin, Kim

From: Blessing, Ben
Sent: Monday, August 5, 2019 12:58 PM
To: Aaron Shelley
Cc: Dale Burkholder; Benthin, Kim
Subject: RE: Business plan, narrative floor plan & site plan
Attachments: 1 SITE PLAN.PDF; 3 2nd FLOOR PLAN.pdf; 2 FLOOR PLAN.PDF; Business Plan 29450 SE Lariat Ln.rtf; Narrative 29450 SE Lariat Ln.rtf

Thanks Aaron. I will let you know when I have timeframe established to get a formal response back to you.

Ben Blessing

Planner 2, Certified Floodplain Manager (CFM)

Clackamas County Planning & Zoning &
City of Estacada
(503)742-4521
bblessing@clackamas.us

From: Aaron Shelley [mailto:Aaron@MtHoodCenter.com]
Sent: Friday, August 02, 2019 5:24 PM
To: Blessing, Ben <BBlessing@clackamas.us>
Cc: Dale Burkholder <daleburkholder@rocketmail.com>
Subject: Business plan, narrative floor plan & site plan

Hi Ben. I know it's late on Friday and you're likely long gone for the weekend. I just wanted to make sure you received my email with business plan, narrative and site plan. Thanks!

Hi Ben. Again, my apologies for the delay in getting these to you. Here are the Business Plan, Narrative, Floor Plan, and Site Plan you requested. Hopefully we can move forward with our utility access soon. Thank you for your help and support.

see attached: Business Plan, Narrative, Floor Plan, and Site Plan

[Spam Email](#)
[Phishing Email](#)

Mt Hood Center Business Plan

Vision

- Our goal is to board horses, provide horse clinics and horse shows. In keeping with the vision set forth in the original land use approval, the facility will remain divided into stall space, arena space, storage and viewing space. At this point, we will operate specifically within the parameters of the existing approved land use application From file Z0829-81-C.I.D.pdf). We will also be submitting a pre-application whereby we hope to work hand-in-hand with Clackamas County land use officials to explore options surrounding our future vision for the property. This will be long term vision planning which we will submit any and all required land use applications and pull any required building permits when the time comes before proceeding with any new endeavors beyond the scope of currently approved activities.

Mission Statement

- Our goal is to provide a place of learning and enjoyment for the community.

Timelines

- Time is of the essence. The financial and time overhead on a property of this scope is large. Delays measure in the thousands of dollars per day range. Accountability to timelines is critical. We had our first meeting with Clackamas County Code Enforcement on July 6, 2018. We closed on the purchase of the property just the day before on July 5th, 2018. We have been proactively seeking to close out ALL preexisting code violations since the inception of ownership of the property. Some of these violations appear to date back nearly 40 years. We hope to maintain that fact that no new violations have been cited under the new ownership. We have had numerous county inspections to determine the scope work

required and have completed the work required and had the final inspections performed. We have closed out numerous code violations from electrical, plumbing, HVAC and building. We have been working closely and have developed a good relationship with Clackamas County Code Enforcement. We realize there are still just a few items left on our “to do list” but they are being addressed as we speak. We have been working with code enforcement and have developed a systematic and reasonable timeline for the few remaining pre-existing violations.

Future Developments

- For future visionary planning, we have hired architects, a legal team, structural engineer, landscape architect, septic management personnel, environmental engineer, building contractor, electrical contractor, plumbing contractor, lighting expert, soil engineer, arena specialist, security specialist, IT specialist, life safety expert, and other experts and consultants to help us develop our long term vision. Due to various limitations and opportunities the property and zoning provide for this specific property, the process is constantly morphing in scope and direction. This is not a simple “cookie cutter” undertaking. Thus, it has taken us quite some time to get ready for our pre-application meeting. We are now ready to officially enlist the help of the county to focus our vision for the future and hope to submit our pre-planning application soon.

Strategies

- Since the facility already has a land use approval that fits our current goals and vision, we are strategically positioned with the community to successfully operate under our existing land use approval. The community is historically familiar with the operation of this property and has expressed great interest in our efforts to not only restore but, greatly improve the property beyond its former glory. The community is yearning for a center to gather, enjoy the equestrian arts and recreational potential and enjoy the

fellowship and social benefits the Mt. Hood Center offers. Community support has been overwhelming. We receive positive, phone calls, text messages, posts on social media and drop in visits on a daily basis. We realize there are also senseless rumors floating around but those are quickly laid to rest with a scheduled tour of the facility. Life-Safety is our number one priority in our business model.

Funds Required

- This endeavor is privately funded.

Mt Hood Center Narrative

Our goal is to board horses, provide horse clinics and horse shows. In keeping with the vision set forth in the original land use approval, the facility will remain divided into stall space, arena space, storage and viewing space. Since the facility already has a land use approval that fits our current goals and vision, we are strategically positioned to successfully operate under our existing land use approval. So at this point, we will operate specifically within existing permitted uses and the parameters of the existing approved land use application (From file Z0829-81-C.I.D.pdf).

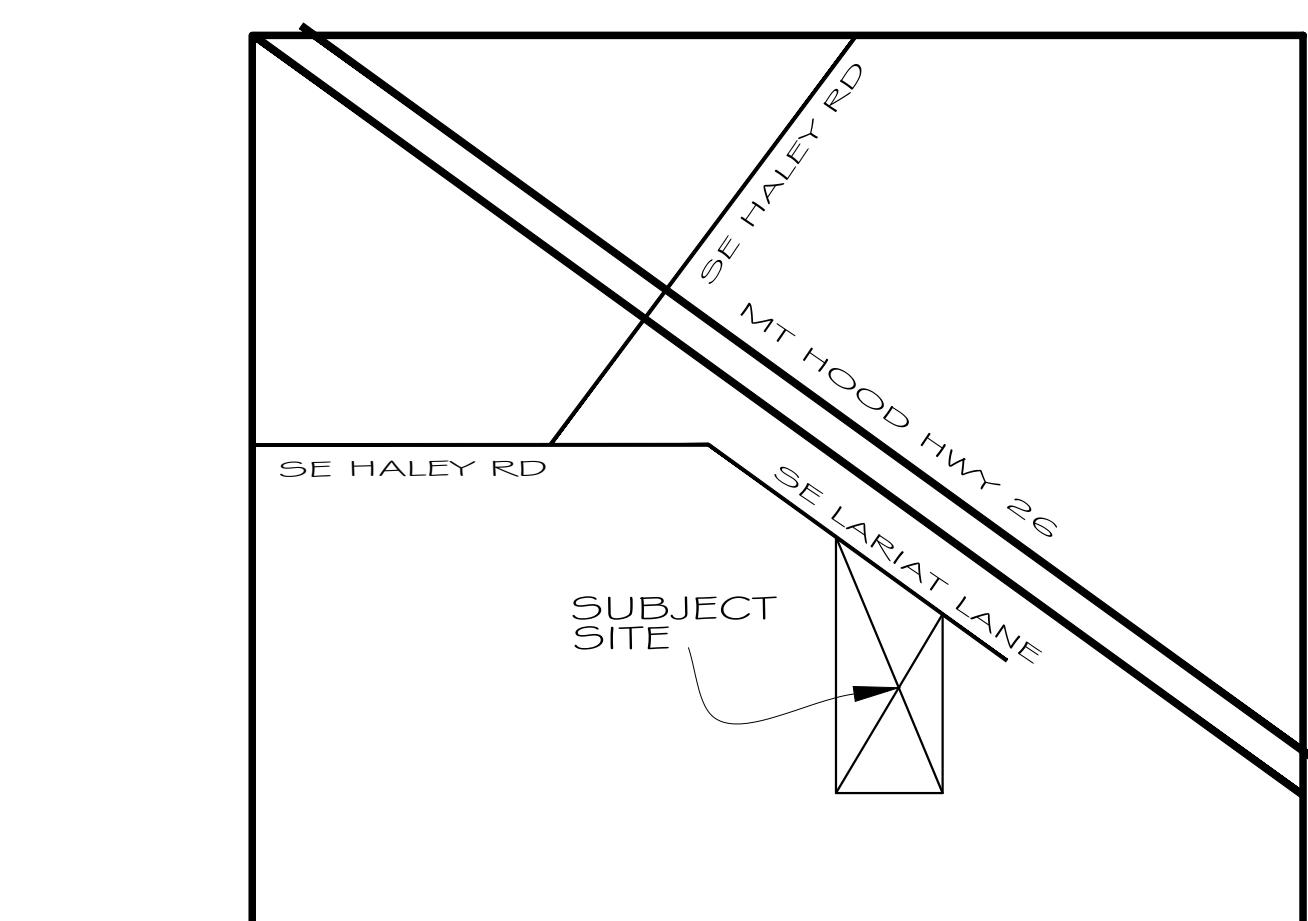
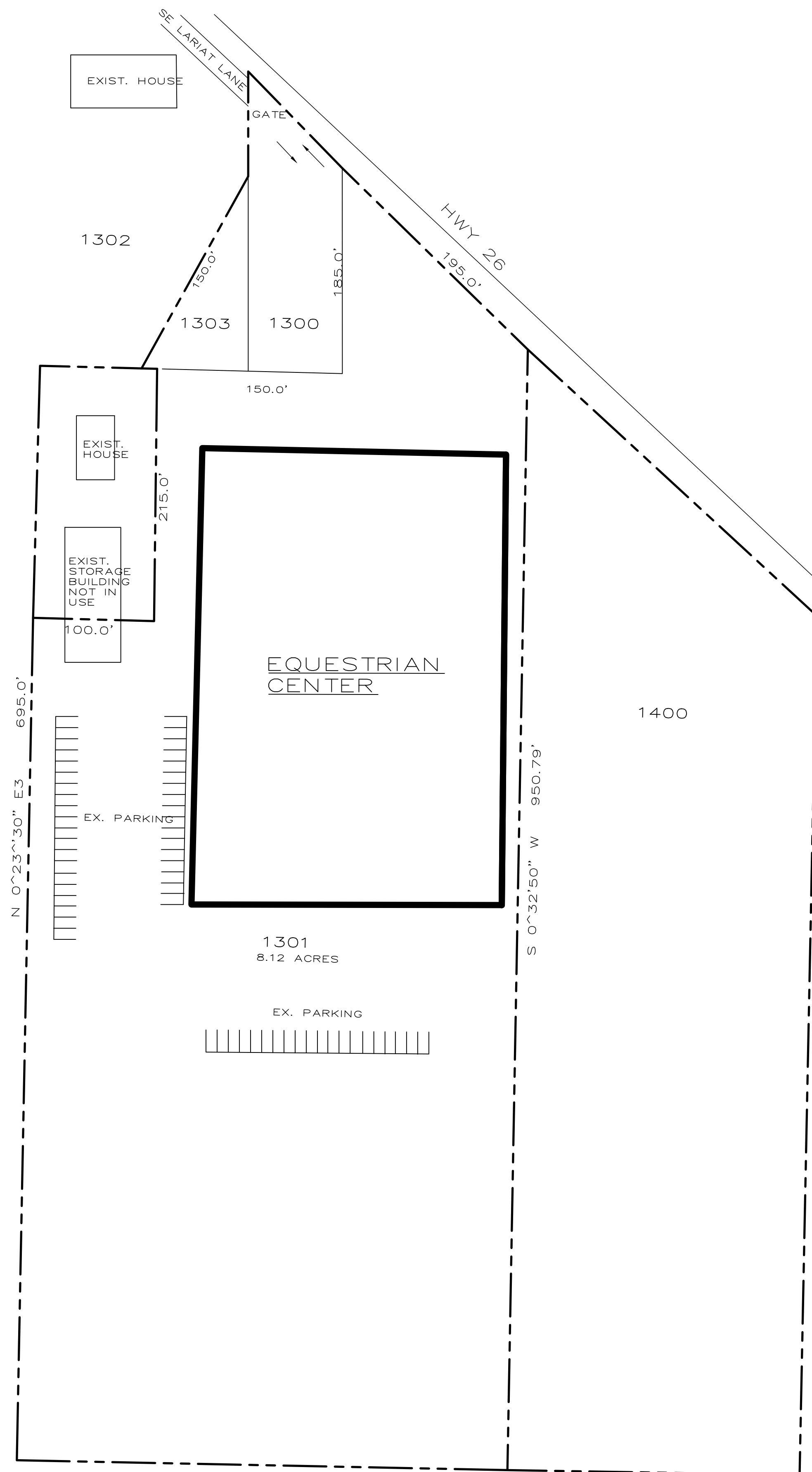
We will also be submitting a pre-application whereby we hope to work hand-in-hand with Clackamas County land use officials to explore options surrounding our future vision for the property. This will be long term vision planning. We will submit any and all required land use applications and pull any required building permits when the time comes before proceeding with any new endeavors beyond the scope of currently approved activities.

The financial and time overhead on a property of this scope is large, therefore, time is of the essence. Delays measure in the thousands of dollars per day range. Accountability to timelines is critical. We closed on the purchase of the property on July 5th, 2018. We had our first meeting with Clackamas County Code Enforcement on July 6, 2018. We have been proactively seeking to close out ALL preexisting code violations since the inception of ownership of the property. Some of these violations appear to date back nearly 40 years. We humbly pride ourselves on the fact that no new violations have been cited under the new ownership. We have have had numerous

county inspections to determine the scope work required. We have completed the work required and had the final inspections performed. We have closed out numerous code violations from electrical, plumbing, HVAC and building. We have been working closely and have developed a good relationship with Clackamas County Code Enforcement. We realize there are still just a few items left on our “to do list” but they are being addressed as we speak. Code Enforcement has helped us create a reasonable time line to close out the few remaining violations.

For future project ideas we have hired architects, a life safety expert, legal team, structural engineer, landscape architect, septic management personnel, environmental engineer, building contractor, electrical contractor, plumbing contractor, lighting expert, soil engineer, arena specialist, security specialist, IT specialist and other consultants to help us develop our long term vision. Due to various limitations and opportunities the property and zoning provide for this specific property, the process is constantly morphing in scope and direction. This is not a simple “cookie cutter” undertaking. Thus, it has taken us quite some time to get ready for our pre-application meeting. We have invited both County officials and Fire Department officials to the property on multiple occasions for the purpose of maintaining transparency and an open dialogue with the hopes of gaining the valuable insight of county personnel. In fact, we strive to maintain transparency and an open dialogue with the county. To this end, we have enlisted the services of Dale Burkholder to act as our liaison to the county. Dale has years of experience working with county personnel from multiple counties and has a good rapport with Clackamas County personnel. Our goal in doing so is to make sure we don't

overlook any important details regarding permits, meetings and other communications. This should also prevent foolish rumors from gaining traction and slowing down our process. We are planning to submit our pre-planning application soon.



NORTH

VICINITY MAP

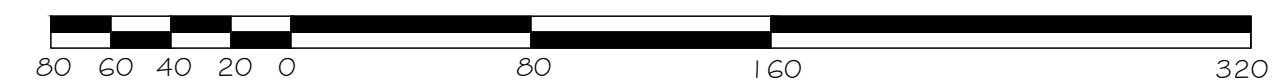
N.T.S.

NORTH

SITE PLAN

$$1/64'' = 1'-0''$$

GRAPHIC SCALE



ADDRESS:

29450 SE LARIAT LANE
BORING, OREGON 97009

ZONE: RRFF5 TOTAL SITE AREA: 8.24 ACRES

TAX ID NUMBER:
14E31A 01301

REVISIONS BY:

PACIFIC DESIGN WORKS, LLC
BUILDING DESIGNER / PLANNER
3600 SE TAYLOR CT. PORTLAND, OR 97233
PH: (503) 310-0432 e-mail pacificdesignworks@comcast.net

DESIGN FOR:
MT HOOD CENTER
29450 SE LARAT LANE
BORING, OREGON 97009

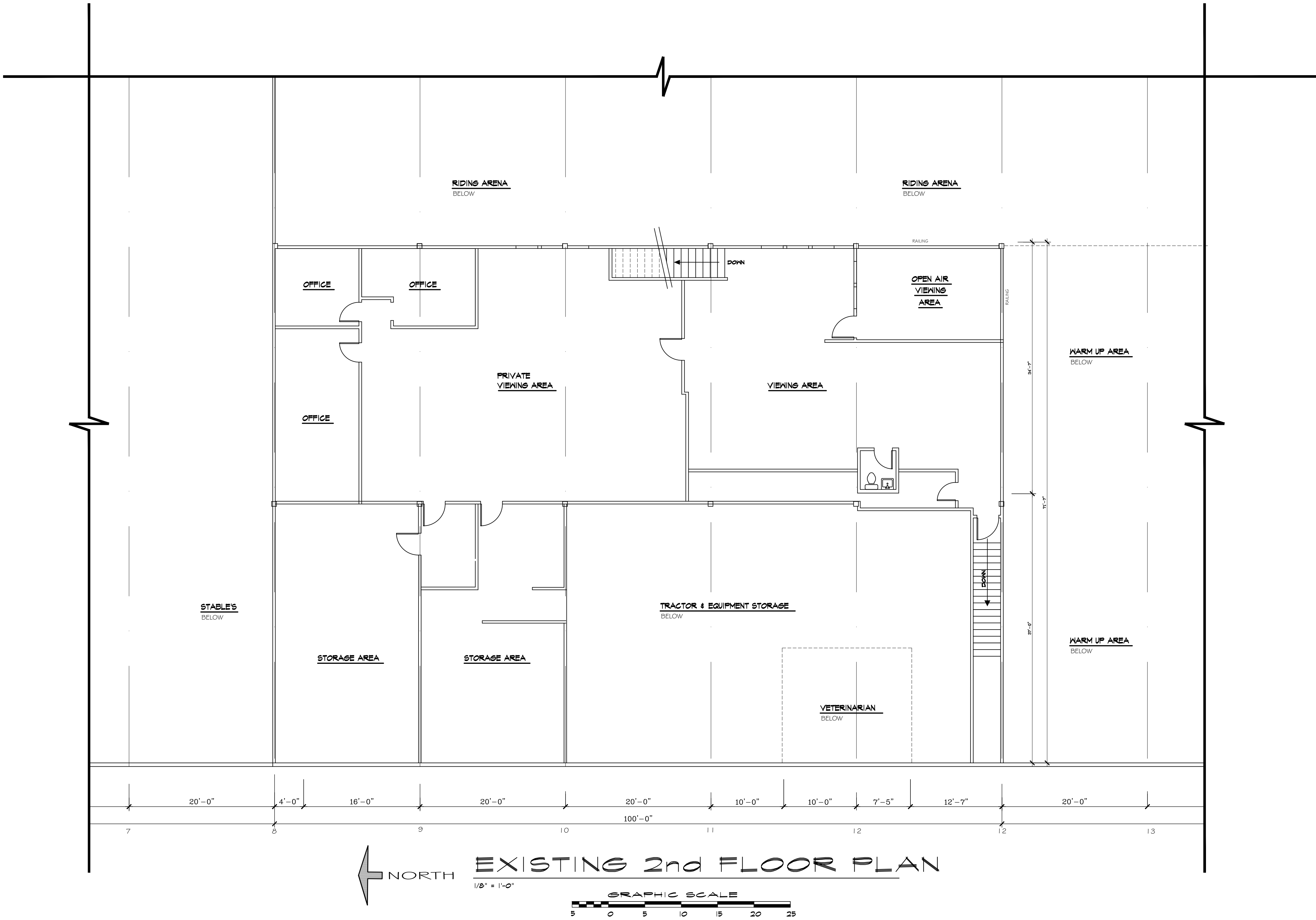
DATE: 7-24-19

DRAWN BY: PDW

JOB: 19-0327

SCALE: A/N

SHEET:

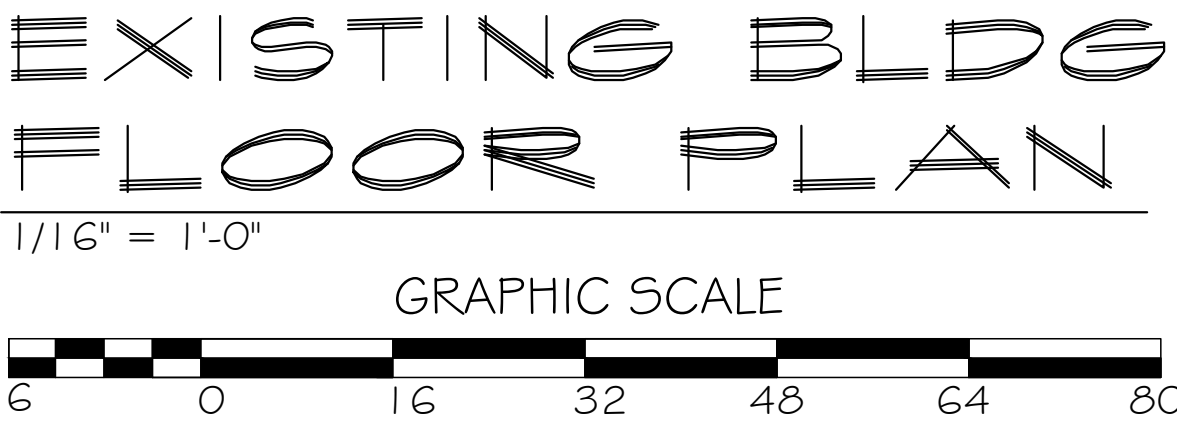
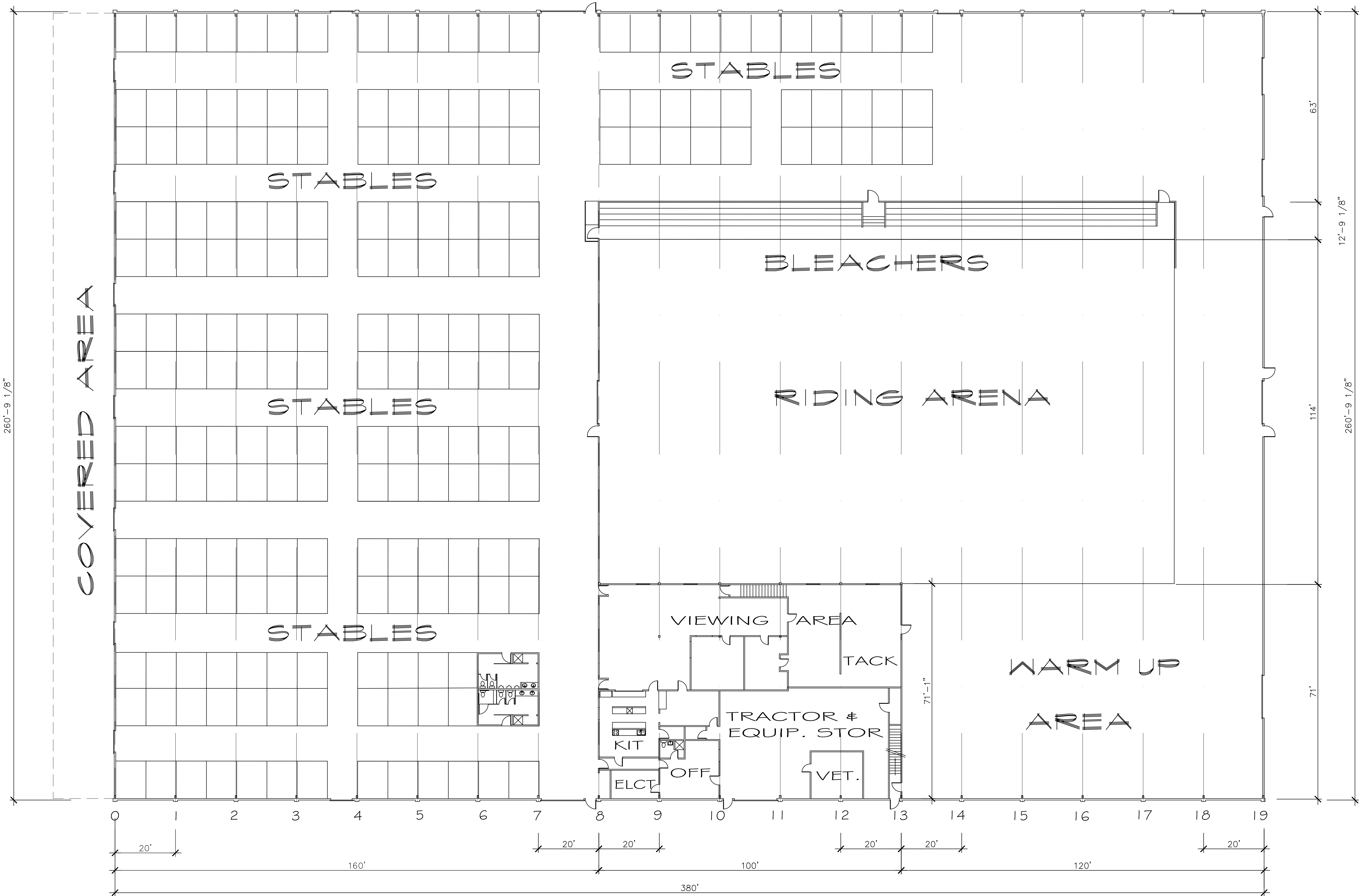


EXISTING 2nd FLOOR PLAN

1/8" = 1'-0"



REVISIONS BY:	
PACIFIC DESIGN WORKS, LLC	
BUILDING DESIGNER / PLANNER	
13600 SE TAYLOR CT. PORTLAND, OR 97233	
PH: (503) 510-0439 e-mail: pacificdesignworks@comcast.net	
DESIGN FOR:	
MT HOOD CENTER	
29450 SE LARIAT LANE	
BORING, OREGON 97004	
DATE:	7-24-19
DRAWN BY:	PDW
JOB:	19-0327
SCALE:	A/N
2nd FLR PLAN	
SHEET:	3



DESIGN FOR:

MT HOOD CENTER
29450 SE LARIAT LANE
BORING, OREGON 97009

DATE: 7-24-19

DRAWN BY: PDW

JOB: 19-0327

SCALE: A/N

FLOOR PLAN

SHEET:

2

REVISIONS BY:

NO.	DESCRIPTION	DATE

PACIFIC DESIGN WORKS, LLC
BUILDING DESIGNER / PLANNER
13600 SE TAYLOR CT. PORTLAND, OR 97233
PH: (503) 510-0439 e-mail: pacificdesignworks@comcast.net

Promociones El Dorado Ranch

JARIPEO

BAILE

Sab. 31
Agosto



LOS
RUCHONES
DE GULIACAN



KEVIN ORTIZ

Narrando las Montañas

El Tata

Miguel Silva

Para los Sones



RANCH



Cavilan de San Juan

Tabano de Michoacan

Preventa \$30

INFORMES: 503-710-0241

Niños Menores de 10 Años
Entran Gratis

29450 SE Lariat LN, Boring Or 97009

EXHIBIT Y PAGE 1 OF 1

Benthin, Kim

From: Blessing, Ben
Sent: Thursday, September 5, 2019 2:30 PM
To: Aaron Shelley
Cc: Dale Burkholder; Dennis, Aaron; Englebert, Erik; Benthin, Kim
Subject: RE: Business plan, narrative floor plan & site plan
Attachments: August 5 2019 ZINFO00212-19_24950 Lariat Ln.docx; Operating Parameters, Conditions, Site Plan (ex. 18).pdf

Hi Aaron,

I have reviewed your proposal for reestablishing the equestrian center based on the Planning File Z0829-81-C, I, D. You must adhere to the requirements set forth in the attached letter dated August 5, 2019 for Zoning Information File: ZINFO00212-19. Also attached are the accompanying operating parameters and conditions of approval you must adhere to. Please let me know if you have any other questions.

Thanks,

Ben Blessing
Planner 2, Certified Floodplain Manager (CFM)
Clackamas County Planning & Zoning &
City of Estacada
(503)742-4521
bblessing@clackamas.us

From: Blessing, Ben
Sent: Thursday, August 29, 2019 5:34 PM
To: 'Aaron Shelley' <Aaron@MtHoodCenter.com>
Cc: Dale Burkholder <daleburkholder@rocketmail.com>
Subject: RE: Business plan, narrative floor plan & site plan

Aaron,

I have reviewed your business plan and site/floor plans. I have a couple more septic division and I still need to make sure the conditions of approval in Z0829-81-CID are being met. I will let you know next week as soon as I have verified that the conditions in Z0829-81-CID are being met, and then give you an answer.

Thanks for your patience...I am back on Tuesday

Ben Blessing
Planner 2, Certified Floodplain Manager (CFM)
Clackamas County Planning & Zoning &
City of Estacada
(503)742-4521
bblessing@clackamas.us

From: Aaron Shelley [<mailto:Aaron@MtHoodCenter.com>]
Sent: Thursday, August 29, 2019 9:10 AM
To: Blessing, Ben <BBlessing@clackamas.us>

Cc: Dale Burkholder <daleburkholder@rocketmail.com>
Subject: Re: Business plan, narrative floor plan & site plan

Hi Ben. I thought I'd wait a couple days after the 27th came and went to check in with you regarding your review of the materials you requested me to send you.

We (Mt Hood Center and the engineering and design teams from WAVE internet company) are hoping to move forward soon on getting internet service to the building. We really need this basic utility as soon as possible.

Thanks!

Aaron Shelley, Ph.D, MSS, SCCC, SPN, SSC, CFT
[503-841-8869](tel:503-841-8869)
<https://www.facebook.com/coachaaronshelley>

On Aug 12, 2019, at 3:46 PM, Blessing, Ben <BBlessing@clackamas.us> wrote:

Hi Aaron,

I have designated Tuesday August 27th as the day I will be able to review your submitted materials. That is the earliest day I have open.

Thanks,

Ben Blessing
Planner 2, Certified Floodplain Manager (CFM)
Clackamas County Planning & Zoning &
City of Estacada
(503)742-4521
bblessing@clackamas.us

From: Aaron Shelley [<mailto:Aaron@MtHoodCenter.com>]
Sent: Friday, August 02, 2019 5:24 PM
To: Blessing, Ben <BBlessing@clackamas.us>
Cc: Dale Burkholder <daleburkholder@rocketmail.com>
Subject: Business plan, narrative floor plan & site plan

Hi Ben. I know it's late on Friday and you're likely long gone for the weekend. I just wanted to make sure you received my email with business plan, narrative and site plan. Thanks!

Hi Ben. Again, my apologies for the delay in getting these to you. Here are the Business Plan, Narrative, Floor Plan, and Site Plan you requested. Hopefully we can move forward with our utility access soon. Thank you for your help and support.

see attached: Business Plan, Narrative, Floor Plan, and Site Plan



**Clackamas County Planning and Zoning Division
Department of Transportation and Development**

Development Services Building
150 Beaver Creek Road | Oregon City, OR 97045
503-742-4500 | zoninginfo@clackamas.us
www.clackamas.us/planning

September 5, 2019

Aaron Shelly
Mt Hood Equestrian Center
29450 SE LARIAT LN,
Boring, OR 97009

Re: Uses allowed in Conditional Use Permit 829-82-C, I, D. and associated conditions of approval.

Dear Mr. Shelly,

After reviewing your submitted business plan, site plan, and floorplans submitted via email on August 2, 2019, I have set forth the following requirements that must be met or adhered to allow for your proposed use:

You made the following statement in your business plan:

Our goal is to board horses, provide horse clinics and horse shows. In keeping with the vision set forth in the original land use approval, the facility will remain divided into stall space, arena space, storage and viewing space. At this point, we will operate specifically within the parameters of the existing approved land use application from file Z0829-81-C.I.D.pdf).

I reviewed Z0829-81-C.I.D (Hereafter referred to as the "old CU" where applicable). First, the old CU approved specific **operating parameters** which were requested by the original applicant in the old CU. They are the following:

- Use the existing improvements and properties as a riding stable-horse arena.
- Up to 190 horses will be boarded
- There would be approximately 10 horse shows allowed per year.
- Shows will range from **30 to 300 horses** with portable stalls accommodating the overflow from the stable.
- Tax Lot 1400 would only be used for any overflow parking.

Please adhere to these above operating parameters. If you plan on exceeding any of those listed or are unsure if you will exceed them, please contact the Planning and Zoning Division. Failure to follow these requirements may result in revocation of the conditional use permit. I have attached these specific requirements herein.

Additionally, there are Conditions of Approval set forth in the old CU that must still be met. First and foremost, you must contact the Septic Division and obtain an Authorization Notice to allow Septic Staff to verify that the existing tanks, sand filter, and drain field can adequately support the amount of sewage that will be produced by the proposed operating parameters listed above. Please contact Aaron Dennis, Soil Scientist for the Septic Division at 503-742-4614 if you have any questions. Planning staff, therefore, requires that you receive approval from the **Septic Division prior to commencing your above stated business plan. The approval must be in writing and signed by a soil scientist. Older Site Evaluations or Authorizations will not be accepted.**

The remainder of the Conditions of Approval are attached herein. There are twelve (12) conditions in the "Conditional Use" portion of Z0829-81-C.I.D., and nine (9) conditions in the "Design Review" portion of Z0829-81-C.I.D. You also need to ensure that you adhere to the "revised site plan (Exhibit 18)" described as Condition "11 of the "Conditional Use" portion of Z0829-81-C.I.D. I have attached said site plan.

Also, please contact the Planning and Zoning Division if you are planning on adding any signs anywhere on the site.

Once you meet the above requirements, and assuming you continue to adhere to the aforementioned conditions of approval, you may proceed with implementing the conditionally allowed uses approved in Z0829-C.I.D.

Please also remember that the following uses are currently prohibited:

- Rodeos (of any kind or genre)
- Flea markets and other large sales
- Storage of mechanical equipment, automobiles, RVs, or any other pieces of equipment that are not incidental to the riding-stable use or other on-site farm uses.
- Businesses of any kind, except for the riding arena/equestrian center, unless the business has received prior approval from the Planning and Zoning Division.
- Any other uses that are otherwise prohibited in the Zoning and Development Ordinance (ZDO).

If you have any plans to deviate from the parameters set forth, please contact the Planning and Zoning Division prior to doing so. Failure to comply with these requirements may result in a revocation of the old CU. Good luck in your ongoing endeavors.

If you have any further questions, please contact me directly.

Regards,

Ben Blessing

Planner 2

Clackamas County Planning and Zoning Division

503-742-4521

150 Beavercreek Road

Oregon City, OR 97045

Direct Ph: 503-742-4513

ncross@clackamas.us

Operating Parameters

RECEIVED

JUL 09 1982

CLACKAMAS COUNTY
PLANNING DEPARTMENT



902 ABERNETHY ROAD
OREGON CITY, OREGON 97045
(503) 655-8521

JOHN G. MCINTYRE
Director

WINSTON W. KIMMEL
Assistant Director
DON D. BROADEBENT
Operations Director
DAVID J. ABRAHAM
Utilities Director
DAVID R. SEIGNEUR
Planning Director
RICHARD L. DOPP
Development
Services
Administrator

FINDINGS AND DECISION OF THE HEARINGS OFFICER

File No. 829-81-C, I

Applicant: Walter R. Dorrough, PO Box 38, Boring, Ore. 97009

Proposal: (1) Interpretation of the determination of the Planning Division staff that an earlier Conditional Use Permit for a riding stable became invalid at the time a later Conditional Use Permit was approved for General Telephone Co. (2) A Conditional Use Permit to use existing improvements on the property as a riding stable-horse arena. Up to 190 horses would be boarded and there would be approximately 10 horse shows per year. Shows would range from 30 to 300 horses with portable stalls accommodating the overflow from the stable. Tax Lot 1400 would only be used for any overflow parking.

Date Application Filed: May 3, 1982

Decision Rendered: June 7, 1982

Last Date to Appeal: July 22, 1982

Planning Division Recommendation: Denial of the requested interpretation. Approval of the requested conditional use permit, subject to conditions.
Staff Representative: Terry Curry

Public Hearing: The public hearing was held at the Department of Environmental Service, 902 Abernethy Rd., Oregon City, Oregon on June 7, 1982 at 3:00 o'clock p.m.

Speaking in Support of Request:

1. Walter Dorrough, PO Box 38, Boring, Oregon 97009
2. Douglas Bragg, 25100 S.W. Garden Acre Rd., Sherwood, Oregon
3. Gary Dillon, address unknown.
4. Debbi Freauf, 16919 S.E. Bartell Rd., Boring, Oregon
5. Esther Cate, 26115 S.E. Sunshine Valley Rd., Gresham, Oregon
6. Lou Ayer, 1700 N.E. 134th Place, Portland, Oregon

Conditional Use Condition

- You will need Sept. 6 approval first*
1. Approval by the Department of Environmental Services, Soils Division of the means of subsurface sewage disposal.
 2. Proper sanitation shall be maintained at all times. The applicants shall make provision for adequate means of manure disposal. This conditions is intended to minimize the impact on surrounding properties by the manure odor.
 3. Operation of the subject property as a riding stable and arena shall be conducted between the hours of 8:00 o'clock A.M. and 11:00 o'clock P.M.
 - 4. Any signs advertising the use of this facility shall be subject to Design Review approval.
 - 5. Any exterior changes to the existing building shall be subject to Design Review approval. *See attached*
 - 6. There shall be no direct access to Hwy 26.
 - 7. All horse riding associated with the approved stable facilities shall be conducted on the subject property.
 - 8. Design Review approval of parking, landscaping, and on-site circulations.
 - 9. The portable stalls shall be set up and used only to accommodate overflow from the stable.
 - 10. The parking area on tax lot 1400 shall be used only for overflow parking.
 11. Approval is for the basic revised site plan submitted by the applicant (see exhibit #18) to the extent it is consistent with all other conditions of approval.
 12. Approval is subject to the above stated conditions. Failure to comply with all conditions of approval will be cause for revocation of this permit.

DATED this 7th day of July, 1982

Richard Hunt
 HEARINGS OFFICER

Copy mailed to applicant
 this 7th day of July, 1982

Richard Hunt
 HEARINGS OFFICER

Design Review Conditions

Decision. Approval subject to the following conditions:

See
Levers

①

1. The applicant shall satisfy those conditions of the conditional use permit as identified in 829-81-C,I,D.

②

2. The applicant shall secure approval of the method of subsurface sewage disposal through the Clackamas County Soils Department.

→

③

3. The applicant shall satisfy and meet those health standards and regulations as determined by the Clackamas County Health Department.

See specific requirements in my letter

→

④

4. There shall be no parking of automobiles, trailers, or related vehicles on S.E. Lariat Lane.

→

⑤

5. The applicant shall avoid the most southerly area that is lower in elevation than the immediate facility. This area shall be used as an overflow area only.

→

⑥

6. The proposed parking area on tax lot 1400 shall be used on an overflow basis only.

→

⑦

7. The traffic lane shall remain open around the entire facility to facilitate emergency vehicle access when necessary. Under no circumstances shall this "lane" be blocked through the parking of vehicles.

→

⑧

8. This approval is contingent upon implementing the submitted landscape plan approved by the staff, including the following revisions:

- a. The applicant shall place groupings of Shore Pine, minimum three to a group, every 15 feet along the east property line of tax lot 1400 to screen the residence to the east.

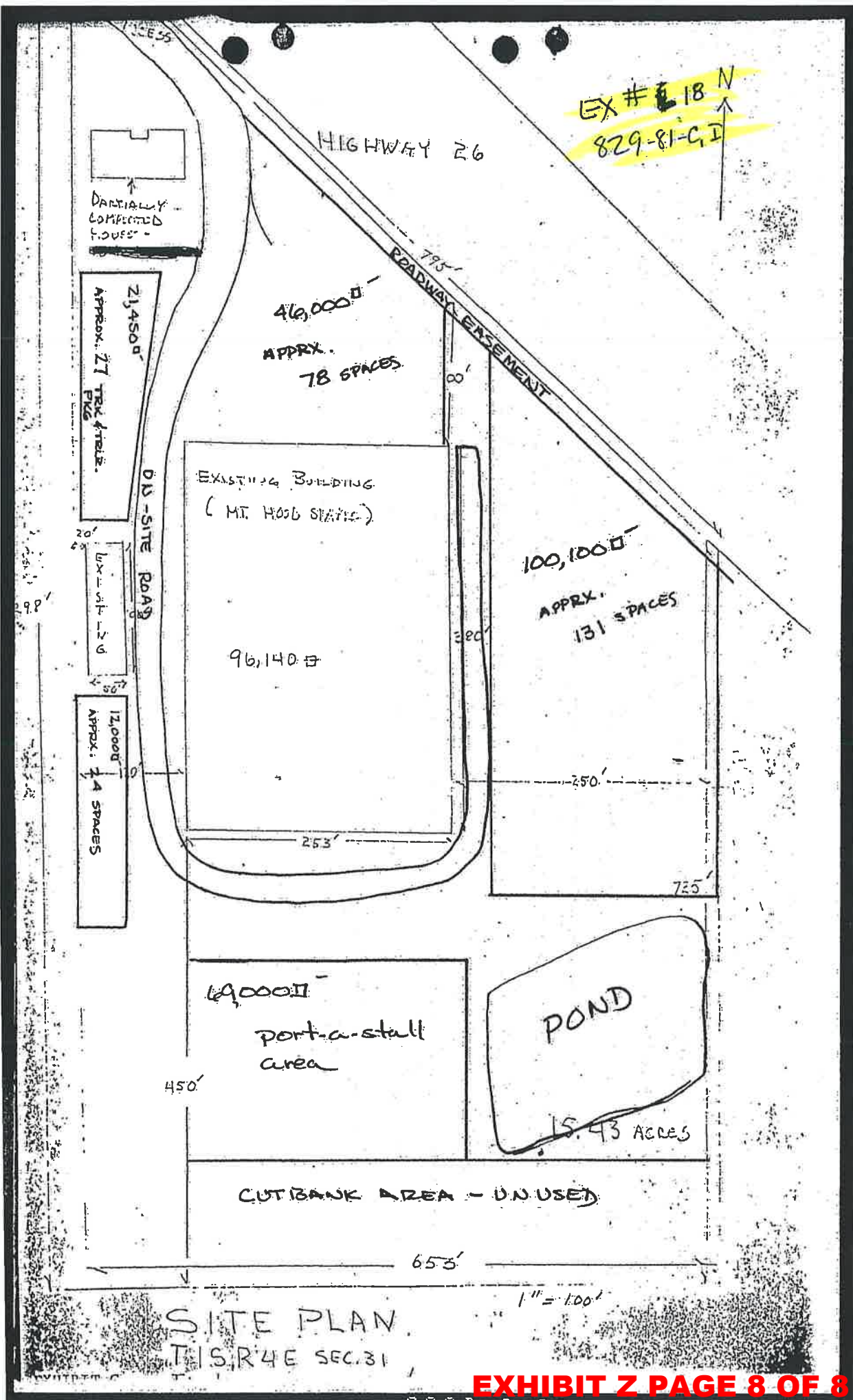
→ Please verify

→

⑨

9. Proposed signing shall be reviewed by the Planning Department staff prior to placement.

JB:elk
2/5-6



Benthin, Kim

From: Blessing, Ben
Sent: Tuesday, September 24, 2019 5:06 PM
To: Nesbitt, Lindsey; Benthin, Kim
Cc: Hughes, Jennifer; Cass-Crosby, Shirley
Subject: FW: B0482219- Tenant Improvement for 5,000 sq. ft. accessory structure

FYI

From: Blessing, Ben
Sent: Monday, September 23, 2019 2:19 PM
To: 'Aaron Shelley' <Aaron@MtHoodCenter.com>
Cc: 'Dale Burkholder' <daleburkholder@rocketmail.com>
Subject: RE: B0482219- Tenant Improvement for 5,000 sq. ft. accessory structure

Aaron,

I reviewed your Statement of Use and found that I cannot sign off on B0482219 until you receive an updated Conditional Use approval. Here are my comments:

After Reviewing applicant's statement of Use, staff has determined that a Conditional Use application will be required to allow for the applicant's request to have the 5,000 sq. ft. hay barn accessory structure be used as a "meeting facility for activities such as equine education, clinics, lectures as well as equine meetings." The proposed two ADA bathroom facilities and sliding door are essentially part of a proposed expansion of the Mt. Hood Equestrian Riding Arena and Stables. The prior Conditional Use Permit identified the 5,000 square foot structure as a hay barn, with the riding and stable uses taking place in the main, 97,000 square foot arena. It now appears the applicant wants the same use to take place in the 5,000 sq. ft. hay-barn. Staff advises applicant to submit a Pre-Application Conference request to determine if this proposal is feasible.

Please let me know if you have questions

Ben Blessing

Planner 2, Certified Floodplain Manager (CFM)

Clackamas County Planning and Zoning;
City of Estacada Planning and Zoning
(503)742-4521

bblessing@clackamas.us

<http://www.clackamas.us/planning/>

My Normal Hours:

Monday – Thursday, 7:30am -6pm

Directions to our office at 150 Beaver Creek Road, Oregon City:

<http://binged.it/1zwOf1l>



From: Blessing, Ben
Sent: Thursday, September 19, 2019 3:52 PM
To: 'Aaron Shelley' <Aaron@MtHoodCenter.com>
Cc: Dale Burkholder <daleburkholder@rocketmail.com>
Subject: RE: B0482219- Tenant Improvement for 5,000 sq. ft. accessory structure

Thanks Aaron,

I will get back to you early next week regarding the status of the Building Permit.

From: Aaron Shelley <Aaron@MtHoodCenter.com>
Sent: Thursday, September 19, 2019 3:03 PM
To: Blessing, Ben <BBlessing@clackamas.us>
Cc: Dale Burkholder <daleburkholder@rocketmail.com>
Subject: Re: B0482219- Tenant Improvement for 5,000 sq. ft. accessory structure

Hi Ben. Thanks for getting to us so quickly. Please find the attached statement of use form that answers your questions below. We look forward to working with you during the pre application process and gaining your insights on our project. The architect team and life-safety team are getting close to ready for the submission of the pre-app and they are working on the narrative as I type this. We should have this permit application submitted by the end of the month, hopefully. Shirley pointed out a few items that were missing or needed clarification when Dale came in last week. Unfortunately, the engineer wasn't readily available as he is out of town through next week so we are just waiting on him to wrap up a few loose ends. The complete application package will be coming your way as soon as Dale gets it through Shirley's review.

See attached: Statement of Uses or Uses form.

Sincerely,

Aaron Shelley, Ph.D, MSS, SCCC, SPN, SSC, CFT
Director
503-841-8869
<https://mthoodcenter.com>

STATEMENT OF USE OR USES

It is important that you describe in detail the use to which you or the future occupant will use the development or structure. This information will be used to insure compliance with land use laws and to determine appropriate building code occupancy classification.

It is essential that your description is as complete as possible.

This space will be used as a Meeting facility for activities such as equine education, clinics, lectures as well as equine association meetings. Examples of people that will have access to the restrooms and space include staff, guests, and visitors to the facility. After consulting with our architects and life safety experts, we were informed our occupancy load is 219 people. We will not exceed that number. The architect and design team suggest that two additional restrooms would adequately provide a comfortable arrangement for the people using the facility as the existing restroom is rather small. The building will be used between the hours of 8am and 11pm.

Date: 9/18/19 Print Name: Aaron Shelley Phone: 503-841-8869

Signature of Owner or Authorized Agent: 

FOR OFFICIAL USE ONLY

Township: _____ Range: _____ Section: _____ Tax Lot: _____ Zone: _____

Address: _____
(street address) (city) (state) (zip code)

For Structures – Occupancy Classification: _____

Date: _____ Staff Person: _____

Comments: _____

S:\Planning\LandUse\FORMS\StatementOfUseOrUses-New.doc

Hi Dale,

I received a copy of B0482219 for 2 new ADA toilets and a sliding exterior door. Prior to planning approval of this permit, our Division needs to know exactly who will be using these facilities and why. I have attached a Statement of Use that will need to accompany this permit. At minimum, please indicate the following on the Statement of Use:

- 1) Who will be using this facility?
- 2) How many people will be using this facility ?
- 3) Why are two new bathrooms needed?
- 4) What times of the day will this facility be used?
- 5) Will folks with horses that are using the riding arena have access to this facility?
- 6) Please also include any other details that describe the use of this proposed tenant improvement.

You can email the Statement of Use back to me once it is completely filled out. Let me know if you have any additional questions.

Benthin, Kim

From: Blessing, Ben
Sent: Monday, September 16, 2019 8:33 AM
To: Nesbitt, Lindsey; Cass-Crosby, Shirley; Benthin, Kim
Subject: FW: B0482219- Tenant Improvement for 5,000 sq. ft. accessory structure
Attachments: StatementOfUseOrUses-New.pdf

FYI

From: Blessing, Ben
Sent: Monday, September 16, 2019 8:18 AM
To: 'Dale Burkholder' <daleburkholder@rocketmail.com>
Cc: 'Aaron Shelley' <Aaron@MtHoodCenter.com>
Subject: B0482219- Tenant Improvement for 5,000 sq. ft. accessory structure

Hi Dale,

I received a copy of B0482219 for 2 new ADA toilets and a sliding exterior door. Prior to planning approval of this permit, our Division needs to know who will be using these facilities and why. I have attached a Statement of Use that will need to accompany this permit. At minimum, please indicate the following on the Statement of Use:

- 1) Who will be using this facility?
- 2) How many people will be using this facility ?
- 3) Why are two new bathrooms needed?
- 4) What times of the day will this facility be used?
- 5) Will folks with horses that are using the riding arena have access to this facility?
- 6) Please also include any other details that describe the use of this proposed tenant improvement.

You can email the Statement of Use back to me once it is completely filled out. Let me know if you have any additional questions.

Thanks,

Ben Blessing
Planner 2, Certified Floodplain Manager (CFM)

Clackamas County Planning and Zoning;
City of Estacada Planning and Zoning
(503)742-4521

bblessing@clackamas.us

<http://www.clackamas.us/planning/>

My Normal Hours:

Monday – Thursday, 7:30am -6pm

Directions to our office at 150 Beavercreek Road, Oregon City:

<http://binged.it/1zwOf1l>

Benthin, Kim

From: Blessing, Ben
Sent: Tuesday, December 10, 2019 1:49 PM
To: Aaron Shelley
Subject: RE: B0482219- Tenant Improvement for 5,000 sq. ft. accessory structure
Attachments: 20191210134903.pdf

Aaron,

If you follow all the criteria in the Modification Application and from ZDO Sec. 1309, it should be complete. However, you will need to address several other "Ordinance provisions" as stated in question "C" of the Modification Application. You need to address: ZDO Sec. [1203](#) in its entirety. You should also address the relevant parts of the 1000s. I would make sure you address, at minimum, Section [1003](#), [1006](#), [1007](#), [1009](#), and [1015](#).

You also will need to verify that the use you are proposing is still listed as a "Condition Use" in [ZDO Sec. 316](#).

Finally, here is a link to each chapter of the ZDO: <https://www.clackamas.us/planning/zdo.html>
And here is a link to the Comprehensive Plan: <https://www.clackamas.us/planning/comprehensive.html>

I hope this helps.

Thanks,

Ben Blessing
Planner 2, Certified Floodplain Manager (CFM)
503-742-4521



From: Aaron Shelley <Aaron@MtHoodCenter.com>
Sent: Thursday, December 5, 2019 2:20 PM
To: Blessing, Ben <BBlessing@clackamas.us>
Subject: Re: B0482219- Tenant Improvement for 5,000 sq. ft. accessory structure

Hi Ben,

I've got the land use application completed and the Narrative that addresses the approval criteria outlined in section 1309.01. Is there anything that needs to be submitted along with these items for the modification?

Thanks!

Aaron Shelley, Ph.D, MSS, SCCC, SPN, SSC, CFT
Director
503-841-8869
<https://mthoodcenter.com>
<https://www.facebook.com/coachaaronshelley>

On Nov 20, 2019, at 8:04 AM, Blessing, Ben <BBlessing@clackamas.us> wrote:

Here you go

Ben Blessing

Planner 2, Certified Floodplain Manager (CFM)

503-742-4521

<image001.png>

From: Aaron Shelley <Aaron@MtHoodCenter.com>

Sent: Thursday, November 14, 2019 8:14 PM

To: Blessing, Ben <BBlessing@clackamas.us>

Subject: Re: B0482219- Tenant Improvement for 5,000 sq. ft. accessory structure

Hi Ben.

Thanks for taking the time to talk to me the other day. You mentioned you were going to send me an email with some notes regarding the modification form. Dale brought me a copy of the modification criteria with line item 4 circled. Was this what you were referring to? He seemed to think that we were ok on line item 4 (increase in the density of development) since the density of development of the property was not increasing, nor is the intensity of use increasing. Here is what we are thinking. We are still limited by the same factors in our original CU regardless of how we use the small building. The CU clearly limits the intensity of use. Nor do we require or desire an increase in intensity of use. Also, we are not requesting a substantial modification to the structures. No matter what minor building modifications we make, the intensity of use limitations imposed by the existing CU remain intact and implicitly limit the intensity of use.

Let me know what you think. I appreciate your input.

BTW, Dale probably already mentioned it but, I wanted to make sure you were aware that permit number B0101315 has been finalized for the small 5000 sq ft building. I'm attaching the building permit application from 3/18/2015.

<20191120080426.pdf>

[Spam Email](#)

[Phishing Email](#)



SUPPLEMENTAL APPLICATION

Modification

(August 2018)

What is a modification of a previously approved land use permit?

The County Zoning and Development Ordinance (ZDO) allows modification of a previously approved land use applications under specified conditions.

What is needed for approval?

All modifications are discretionary and MAY be permitted after evaluation according to criteria in the ZDO. The County must make written findings to support the decision. The applicant is responsible for providing evidence to support the modification request, according to the ZDO.

What are the chances for approval?

Staff cannot predetermine the decision on this or any application. A decision of approval or denial will only be made after the complete application is processed. This includes review of citizen and agency comments. The decision is based on ZDO criteria relevant to this application. In order to address the necessary criteria, the information requested in this supplemental application should be as thorough and complete as possible.

Application process:

Modifications are subject to the Administrative Action process and public notice. Public comments received from the Community Planning Organization (CPO), property owners, agencies and other interested parties may affect the decision on the application. Special conditions may be attached to any approvals. Any decision on this application can be appealed to the County Land Use Hearings Officer and to the Oregon Land Use Board of Appeals (LUBA) by the applicant or any other interested person.

STAFF WILL ATTACHE THE FOLLOWING PERTINENT INFORMATION:

_____ Land Use Application _____ Sample Plot Plan

The following ZDO Sections: _____ See Link _____ See Link

_____ 800's _____ 1000's _____ 1100's _____ 1203 _____ 1309

Additional ZDO Sections as applicable: _____, _____, _____, _____, _____

Comp. Plan Goals/Policies as applicable: _____, _____, _____, _____, _____

_____ Preliminary Statement of Feasibility (x2)

The 1000

How long will it take to receive a final decision on an application?

Approximately 6 to 8 weeks. Oregon law requires a final decision on complete land use applications within 120 days (urban areas) or 150 days (rural areas).

Complete applications require the following:

1. Land Use Application – Information on applicant and land involved in application.
2. Supplemental Application – Information requested on this form. Please be as complete and thorough as possible. Questions should be answered on separate paper from this supplemental packet.
3. Preliminary Statement of Feasibility signed by the water provider, sanitary sewer provider, and surface water management authority (if applicable).
4. Application Fee: \$_____ (Fee is nonrefundable upon decision or staff report; partial refund if withdrawn after notice; full refund if withdrawn prior to notice.)
5. Vicinity Map showing the relationship of the proposed use to the surrounding area.
6. Plot Plan drawn to scale on 8.5" x 11" or 11" x 17" paper, showing the property and your proposal.
7. Building Profile of proposed new or remodeled structures as appropriate.
8. Copies: After we have reviewed your submitted application, we will notify you if additional copies are required. Additional copies may be required depending on such factors as the size of the materials submitted (e.g. oversize plans).
9. Narrative addressing the approval criteria for a modification application, which can be found in Section 1309 of the Zoning and Development Ordinance. At a minimum, please respond to the following:
 - A. Describe the proposed modification of the prior approval.
 - B. Is the modification proposal consistent with the prior approval? Explain.
 1. List prior approval number. (Example Z0123-01-C).
 2. List the number of people (employees, students, congregation, clients, etc.) associated with the proposed use, if applicable.
 3. List the days and hours of operation, if applicable.
 4. List the buildings, vehicles, equipment, and materials associated with the proposed use, if applicable.
 - C. Is the modification proposal consistent with all Ordinance provisions in effect on the date the modification request is submitted?
 1. Review applicable Zoning and Development Ordinance criteria for the application that will be modified, such as a Conditional Use (Section 1203), Subdivision (Section 1105) or Partition (Section 1106).

see link in
email and address
this criteria

Also see my links to
ZDO Sec. 516 & the 1000s

EXHIBIT AB PAGE 4 OF 5

2. How would the proposal satisfy the applicable requirements of any Overlay Zoning Districts that apply to the subject property, as well as any applicable criteria from Sections 800 & 1000 of the Zoning and Development Ordinance?

3. How would the proposal satisfy the goals and policies of the Comprehensive Plan that apply to the proposed use? Review pertinent chapters.

See link - Chapter 4, and others as necessary

D. Demonstrate that the proposal will **not** result in any of the following:

1. A change in the type of use (e.g. commercial, industrial, institutional) shall not result. Explain any proposed changes in the approved use.
2. An increase of greater than 25 percent of the original approved building floor area shall not result. Identify the total percentage change (increase or decrease) in the building floor area, including this proposal and any other modifications that have occurred since the original approval.
3. An increase of greater than 25 percent of the original approved lot coverage shall not result. Identify the total percentage change (increase or decrease) in the lot coverage, including this proposal and any other modifications that have occurred since the original approval.
4. An increase in the density of development (residential or recreational uses), or intensity of use, as demonstrated by a change in occupancy rating requiring substantial modifications to structures shall not result. What will be the change in density, if any? Is a change in occupancy rating requiring substantial modifications to structures required?
5. An increase in traffic congestion or use of public facilities shall not result. Explain any change in traffic congestion and use of public facilities.
6. A reduction in approved open space shall not result. Explain any proposed change in approved open space.
7. A reduction of off-street parking spaces or loading berths shall not result, except as provided under Section 1015. Explain any proposed changes in off-street street parking spaces or loading berths. If a reduction is proposed, explain how the reduction is provided for under Section 1015 of the ZDO.
8. A reduction in required pavement widths or a change in major access locations shall not result, except as required by the County. Explain any proposed reductions in pavement widths or a change in major access locations.

Make Checklist

PLANNING STAFF CONTACT INFORMATION

CONDITIONAL USE	Clay Glasgow @ 503-742-4520 ClayG@clackamas.us	DESIGN REVIEW	Anthony Riederer @503-742-4528 ARiederer@clackamas.us
PARTITIONS/ SUBDIVISIONS	Rick McIntire @ 503-742-4516 rickmci@clackamas.us	OTHER	Various Planning Staff @ 503-742-4500







Benthin, Kim

From: Dale Burkholder <daleburkholder@rocketmail.com>
Sent: Friday, December 13, 2019 9:55 AM
To: Benthin, Kim
Subject: 22575 SE BORNSTEDT RD SANDY

HI KIM

I HAD A CALL FROM GUY WEEDMAN I INFORMED HIM I HAD MET WITH FIRWOOD DESIGN GROUP YESTERDAY TO GET ESTIMATE FOR A GRADING PLAN FOR THE PROPERTY LISTED ABOVE. SHE IS ALSO WORKING UP THE SAME FOR 29450 LARIAT LN FOR AARON. I WILL LET YOU KNOW WHEN WE WILL HAVE THE GRADING PLAN COMPLETED TO SUBMIT FOR PERMITS ON BORNSTEDT RD AFTER WE HER BACK FROM THE ENGINEER AND THEIR SCHEDULE.
LET ME KNOW .

ALSO TO CLEAR UP THE ISSUE OF OWNERSHIP ON BORNSTEDT THE WEEDMANS ARE IN FEE TITLE AFTER FORECLOSING ON BUTCH RICHARDS BACK IN 2013. THEY THEN SOLD IT ON A LAND SALE CONTRACT TO THE BORNSTEDT RD LLC THE INSTRUMENT ONLY CONVEYS EQUITABLE INTEREST TO THE BUYERS AND LEAVES THE WEEDMANS IN FEE TITLE TILL THE CONTRACT IS FULFILLED

BORNSTEDT RD LLC ADDRESS IS LISTED ABOVE AND THAT SHOULD BE WHERE CONTACT SHOULD BE MADE.

I LOOK FORWARD TO GETTING THIS OFF THE BOOKS TOO. LTE ME KNOW IF YOU NEED ANY ADDITIONAL INFORMATION

THANKS
DALE BURKHOLDER
503-830-8614

[Spam Email](#)
[Phishing Email](#)

Benthin, Kim

From: Blessing, Ben
Sent: Friday, January 10, 2020 2:35 PM
To: Aaron Shelley
Cc: Dean Najdawi; Dale Burkholder; Glasgow, Clay; Benthin, Kim; Nesbitt, Lindsey
Subject: RE: Modification of a previously approved Land use application.
Attachments: RE: Modification of a previously approved Land use application.; RE: B0482219- Tenant Improvement for 5,000 sq. ft. accessory structure

Please review the email I sent on 12/10/2019 and 12/24/2019 where the Modification criteria and reasoning for the need to submit a Modification application was discussed. If there is still confusion, you may consider contacting a land use consultant or land use attorney if you are needing assistance with a Modification pursuant to ZDO Sec. 1309. Previously, I explained why a Modification is likely a better path than a new Conditional Use application. For one, a Modification is a Type II land use process. This means the permit will have objective criteria, staff level decision, not require a hearing, etc.

A Modification is required because you have proposed to utilize the 5,000 square foot accessory structure for Equine Uses as an Equine Facility. To "stage" equines in the accessory structure is an expansion of the existing equine facility which was approved conditionally, back in the 80s. You will note, Equine Facilities are still only allowed as "Conditional Uses" per [ZDO sec. 316, Table 316-1](#). "Equine Facilities" are also defined in [ZDO Sec. 202](#).

For example: If you were going to harvest hay on site, use the accessory structure for hay storage and preparation, you would not need to go through this process because it would be considered a "farm use" per ZDO Sec. 316, which are primary uses. If you wanted to use the entire structure for personal use (Storing your person equipment, vehicles, etc.) You would not need a land use permit because Single Family Residences are primary uses on the property and shops/barns/sheds etc. are listed as accessory, thus allowed out right. But, as described above, the equine staging area you proposed is not listed as a primary use. It is listed as a Conditional Use.

I believe this covers Dean's and your questions. Thus, I will not replay to dean. Instead, he is copied on this email. Let me know if I can help with anything else.

I hope this answer the questions your questions.

Ben Blessing
Planner 2, Certified Floodplain Manager (CFM)
503-742-4521



From: Aaron Shelley <Aaron@MtHoodCenter.com>
Sent: Sunday, January 5, 2020 4:50 PM
To: Blessing, Ben <BBlessing@clackamas.us>
Cc: Dean Najdawi <mdn2inc@yahoo.com>; Dale Burkholder <daleburkholder@rocketmail.com>; Glasgow, Clay <ClayGla@clackamas.us>; Benthin, Kim <KimBen@clackamas.us>; Nesbitt, Lindsey <LNesbitt@clackamas.us>
Subject: Re: Modification of a previously approved Land use application.

Benthin, Kim

From: Dean <mdn2inc@yahoo.com>
Sent: Wednesday, January 8, 2020 10:55 AM
To: Nesbitt, Lindsey
Cc: Dale Burkholder; Glasgow, Clay; Benthin, Kim; Aaron Shelley; Blessing, Ben
Subject: Re: Modification of a previously approved Land use application.

Hi Lindsey,

I don't believe that we have been in direct correspondence with one another to this point. My name is Dean and I am a member of the team that is working to improve the property located at 29450 SE Lariat Lane in Boring. I'm not sure if you have been reviewing the string of communication below but we really need your assistance in obtaining answers to our questions. Ben Blessing is our point of contact but it seems that his schedule is not permitting him to get us the information we need in a time frame that will allow us to continue with our project in a timely fashion. Time is of the essence regarding this project and so we are in desperate need of your assistance and direction on the matters delineated below so that we may move forward on the project. We invite you and anyone else you would like to join you to visit the facility if you think that this would be productive. We are also available to visit you in your office if you would like. And if you think that a phone conversation would be productive we are also available at your convenience to have that conversation. We are in urgent need of resolution of the questions and concerns that we have conveyed below as we cannot move forward on many items that are critical to the success of the project until we receive the information we have requested. Accordingly could you please help us move forward in any way that you can. We would greatly appreciate it.

Thank you,

Dean

On Sunday, January 5, 2020, 04:49:52 PM PST, Aaron Shelley <aaron@mthoodcenter.com> wrote:

Hi Ben. Just checking in with you on the email Dean sent us back before Christmas. I really need your help with answering his questions. Time is truly of the essence to keep things moving forward. I know you've got a lot on your plate that's keep you busy but, if you could just carve out a few minutes to address his question it would really help me out. I'm not sure if you have had a chance to look at them yet, but we were not able to find the answer clearly indicated in the code. For example, when I asked you what is the definition of a modification to an approved CU and what triggers the necessity of a modification versus just the ongoing or continuation of the same use (and pulling subsequent permits for necessary items), you sent me to ZDO 1309 which is the approval criteria. But I would only be reading the approval criteria if it were deemed necessary to apply for a modification in the first place. In other words, where does it say something like "these are the things that cause you to request a modification of your existing CU." Modification versus simply pulling the appropriate building permits as necessary for the scope of work. Dean went on to give a more specific example in his follow up email.

So the confusion is surrounding the questions, "what is a modification by definition" and "where does it define when you need a modification?" Not "IF I apply for a modification, what criteria must I meet to be approved?" It seems from our previous emails, it is being assumed we need to apply for a modification to our existing CU. But we can't find in the code anything that says the minor tenant improvements we are making require a modification in the first place. It seems from reading the code, we should just be apply for building permits, plumbing permits, electrical permits and HVAC permits. which we are more than happy to do.

So could you show us where it says the minor TI's we are wanting to perform require a modification? Our existing CU does not limit or prohibit the minor TI's we seek so I can only assume it must be in the code somewhere. However, despite my best effort, and the effort of our architects, engineers, land use experts, none of us have been able to find this code.

Benthin, Kim

From: Aaron Shelley <Aaron@MtHoodCenter.com>
Sent: Sunday, January 5, 2020 4:50 PM
To: Blessing, Ben
Cc: Dean Najdawi; Dale Burkholder; Glasgow, Clay; Benthin, Kim; Nesbitt, Lindsey
Subject: Re: Modification of a previously approved Land use application.

Hi Ben. Just checking in with you on the email Dean sent us back before Christmas. I really need your help with answering his questions. Time is truly of the essence to keep things moving forward. I know you've got a lot on your plate that's keep you busy but, if you could just carve out a few minutes to address his question it would really help me out. I'm not sure if you have had a chance to look at them yet, but we were not able to find the answer clearly indicated in the code. For example, when I asked you what is the definition of a modification to an approved CU and what triggers the necessity of a modification versus just the ongoing or continuation of the same use (and pulling subsequent permits for necessary items), you sent me to ZDO 1309 which is the approval criteria. But I would only be reading the approval criteria if it were deemed necessary to apply for a modification in the first place. In other words, where does it say something like "these are the things that cause you to request a modification of your existing CU." Modification versus simply pulling the appropriate building permits as necessary for the scope of work. Dean went on to give a more specific example in his follow up email.

So the confusion is surrounding the questions, "what is a modification by definition" and "where does it define when you need a modification?" Not "IF I apply for a modification, what criteria must I meet to be approved?" It seems from our previous emails, it is being assumed we need to apply for a modification to our existing CU. But we can't find in the code anything that says the minor tenant improvements we are making require a modification in the first place. It seems from reading the code, we should just be apply for building permits, plumbing permits, electrical permits and HVAC permits. which we are more than happy to do.

So could you show us where it says the minor TI's we are wanting to perform require a modification? Our existing CU does not limit or prohibit the minor TI's we seek so I can only assume it must be in the code somewhere. However, despite my best effort, and the effort of our architects, engineers, land use experts, none of us have been able to find this code.

So I hope you see where I'm trying to go with this line of questions. I really need your help Ben. If it would be easier for Dean and I and the team to come your office so you could show us, we'd be happy to do so. But I assume you could just send us the link to the code instead.

Thank you again for your time, your help and continued support of renovating the MT Hood Center into a community center piece for all to enjoy!

Aaron Shelley, Ph.D, MSS, SCCC, SPN, SSC, CFT
Director
503-841-8869
<https://mthoodcenter.com>
<https://www.facebook.com/coachaaronshelley>

On Dec 24, 2019, at 1:05 PM, Blessing, Ben <BBlessing@clackamas.us> wrote:

Benthin, Kim

From: Blessing, Ben
Sent: Tuesday, December 24, 2019 1:05 PM
To: Dean costa
Cc: Aaron Shelley; Dale Burkholder; Glasgow, Clay; Benthin, Kim; Nesbitt, Lindsey
Subject: RE: Modification of a previously approved Land use application.

Dean,

I have received both of your emails. I will answer these emails when time permits.

Signed,

Ben Blessing
Planner 2, Certified Floodplain Manager (CFM)
503-742-4521



From: Dean costa <mdn2inc@yahoo.com>
Sent: Tuesday, December 24, 2019 10:55 AM
To: Blessing, Ben <BBlessing@clackamas.us>
Cc: Aaron Shelley <Aaron@mthoodcenter.com>; Dale Burkholder <daleburkholder@rocketmail.com>; Glasgow, Clay <ClayGla@clackamas.us>; Benthin, Kim <KimBen@clackamas.us>; Nesbitt, Lindsey <LNesbitt@clackamas.us>
Subject: Re: Modification of a previously approved Land use application.

Hi Ben,

We understand that ZDO Sec 1309 requires that a 'modification' of a Type II or Type III land use permit be reviewed under the Modification process. Our question is what determines if a proposed scope of work on a permit application is in fact a 'modification' of an existing Land Use permit?

An example in our case: what is it about our building permit application to add two ADA restrooms and two additional points of egress (one of which is specifically for fire egress) to our building constitutes it as being a 'modification'.

Your assistance in our understanding these parameters would be immensely helpful. Please include all relevant Clackamas County Code sections so that we can all be on the same page.

Thank you,

Dean

Sent from my iPhone

On Dec 24, 2019, at 10:08 AM, Blessing, Ben <BBlessing@clackamas.us> wrote:

Hi Aaron,
See [ZDO Sec. 1309](#) :

Benthin, Kim

From: Blessing, Ben
Sent: Tuesday, December 24, 2019 10:08 AM
To: Aaron Shelley
Cc: Dale Burkholder; Glasgow, Clay; Dean Najdawi; Benthin, Kim
Subject: RE: Modification of a previously approved Land use application.

Hi Aaron,
See [ZDO Sec. 1309](#) :

A modification to an approved Type II or III land use permit, or conditions thereto, requires review as a Type II application pursuant to Section 1307 and shall be subject to the following standards and criteria

See additional responses below.

Ben Blessing
Planner 2, Certified Floodplain Manager (CFM)
503-742-4521



From: Glasgow, Clay <ClayGla@clackamas.us>
Sent: Monday, December 23, 2019 1:19 PM
To: Blessing, Ben <BBlessing@clackamas.us>
Subject: FW: Modification of a previously approved Land use application.

Forwarding. Equestrian Center

From: Aaron Shelley [<mailto:aaronshelley67@gmail.com>]
Sent: Sunday, December 22, 2019 11:35 AM
To: Glasgow, Clay <ClayGla@clackamas.us>; Glasgow, Clay <ClayGla@clackamas.us>
Subject: Modification of a previously approved Land use application.

Hi Clay. I saw your name on the supplemental application for modification as it applies to conditional uses and had a couple questions specific to the process in general.

1. I wasn't able to find the definition of a modification anywhere in the code.

Only this from the supplemental application:

"What is a modification of a previously approved land use permit?

The County Zoning and & Development Ordinance (ZDO) allows modification of a previously approved land use applications under specified conditions. "

Although the question implies the answer will follow, this only says that a modification is allowed under special conditions but doesn't explain specifically what a modification is exactly. Would you be able to provide the

definition or, ideally, send me a link to the section of code where the definition(s) of a Modification of previously approved land use application is located?

See ZDO Sec. 1309.

the language may seem vague, but it is quite clear that ZDO Sec. 1309 allows a modification of an approved “ land use permit, or conditions thereto.”

2. I couldn’t find the criteria that would trigger the necessity of a modification, minor modification or the requirement to submit a new land use application when an existing previously approved land use application is in place. Could you please send me either the criteria or, ideally, the link(s) to the code that explains what would trigger the necessity submit a request for a modification, minor modification or new land use approval?

See ZDO Sec. 1309.

I’ve spent quite a few hours doing various searches and reviews and am now at my wits end. It’s probably right under my nose and I’m sure i’ll have a good laugh (at my own expense) when you send me the links.

Warm Regards!

Aaron Shelley, Ph.D, MSS, SCCC, SPN, SSC, CFT
503-841-8869
<https://www.facebook.com/coachaaronshelley>

[Spam Email](#)
[Phishing Email](#)



Mt Hood Center

December 16 at 9:07 AM · 🌐

Playday this weekend! \$50 all day! Register online @ mthoodcenter.com
#mthodocenter #horses #gymkhana #playday #ridehard

Playday This Sunday @ Mt Hood Center



December 22nd,
2019

DAILY HIGH POINT & RESERVE HIGH POINT
AWARDED TO EACH AGE DIVISION.

SERIES HIGH POINT AWARD-HORSE BLANKET
SERIES RESERVE HIGH POINT-HORSE SHEET

**MUST PAY A 1 TIME SERIES AWARD FEE AND
BE @ 3 OF THE 4 SHOWS TO QUALIFY FOR SERIES
AWARDS** SAME HORSE/SAME RIDER
COMBINATION**

OFFICE OPENS @ 8AM
RACES START @ 9AM

\$50 ALL DAY OR \$12 PER EVENT- NO OFFICE FEE!
\$10 ONE TIME AWARDS FEE TO QUALIFY FOR
SERIES AWARDS.

LEADLINE & WALK/TROT: \$20 ALL DAY OR \$5 PER
EVENT
LEADLINE RIDERS WILL EACH RECEIVE A GOODIE
BAG TO TAKE HOME!



30

20 Comments 8 Shares



Mt Hood Center

20 hrs · 🌐



We are looking for stock contractors for Team Penning/Sorting and other cow events! Let us know if you know anyone or can help us!!

-Mt Hood Center Team



👍❤️ 47

25 Comments 13 Shares



Like



Comment



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Most Relevant ▾



Write a comment...



Jimmy Barrett I have Cattle for all roping and penning and sorting events.

Like · Reply · 20h

👍 5



2 Replies



Rose Zehner Would love to have sorting there.

Like · Reply · 20h

👍 3



2 Replies

View 5 more comments

Benthin, Kim

From: Dean costa <mdn2inc@yahoo.com>
Sent: Wednesday, January 8, 2020 10:34 AM
To: Benthin, Kim
Cc: Kauppi, Jennifer
Subject: Re: 29450 SE Lariat Lane #V0035019

Hi Kim,

Thank you for getting back to me. We have no problem requesting the file as you mentioned, however I'm wondering if that will address the questions we have below in a clear fashion so that we know exactly where we stand on those items. In other words will the file have concise delineated lists of outstanding items at the various times that we mentioned below or will we simply be receiving a bulk file that we will need to sort through. In that case receiving the file will not assist us in reaching our common goal of remedying violations in question. We are also concerned that the file may not be updated. As you know we have abated items and gotten finals on items that even months later still remain in your system as outstanding. We're simply attempting to make sure that we're all on the same page as far as where we stand in the process.

Do you think that if you came by the facility and we reviewed the current status of everything together that it would be productive? I think that our last meeting on site was successful and I think that if we did that again it would be extremely beneficial for us all. Perhaps even a brief phone chat at your convenience would help. Please let me know your thoughts on what course of action we should follow given the concerned we've shared with you above.

Alternatively we can simply wait for your specific responses to our questions below and we can go from there. In any case we are looking forward to hearing from you.

One last thing Kim. We know that you are busy, however time is truly of the essence for us regarding these items and we really need your assistance and direction on them.

If you are able to carve out some time in your schedule in the very near future in order to provide us with the answers to our questions below we would really be indebted to you as we are unable to move forward on critical items regarding the property without them.

Thanks again Kim. Take care.

Dean

Sent from my iPhone

On Jan 8, 2020, at 9:01 AM, Benthin, Kim <KimBen@clackamas.us> wrote:

Hello Dean,

I hope your Holidays were splendid.

I just re-read your email below.

It seems you wish to have a copy of the file. It's not a problem at all!

Please fill out the attached request and send it to Jennifer Kauppi, I have copied her on this email.

She will get back to you with a cost estimate, and the documents.

I am working on the rest of your request.
More soon!

Kimberly Benthin
Code Enforcement Specialist
Clackamas County Code Enforcement Section

From: Dean costa [<mailto:mdn2inc@yahoo.com>]
Sent: Tuesday, December 24, 2019 12:34 AM
To: Benthin, Kim <KimBen@clackamas.us>
Subject: Fwd: 29450 SE Lariat Lane #V0035019

Hi Kim,

Hope all is well. We request that you assist us by sending us the list of remaining violations in your file that you were going to send us after your visit over the summer as we still have not received it.

Secondly could you please send us an updated list of outstanding violations as of December 15, 2019 because as you are aware there have been violations that have been abated and signed off for this property in the past that have remained in the County's system as violations causing undue hardship both for us and for the county personnel involved.

Additionally, if possible please forward us the log and documentation of all alleged complaints AND allegations of the unauthorized uses you have mentioned in your email to Dale below; if you are unable to forward that documentation then please let us know how we can retrieve it as we would like to review it. I believe that all of those items are a matter of public record so hopefully that is not a problem.

Last but not least please provide us with a detailed explanation, including all relevant code sections, as to why you believe building a garage and/or shop anywhere on the property (with possibly lot 1400 as a current exception) would require any Land Use authorization (modification of existing and/or new CUP).

We understand that the holidays are upon us and due to such this may impede your ability to provide us with expeditious responses to our inquiries and requests above consequently we will consider your responses timely if received by January 10, 2020.

We look forward to hearing from you on all the above-mentioned matters so that we can make continued progress on this project.

In the meantime we wish you a Happy Holiday and a Blessed New Year.

Dean

From: Dale Burkholder <daleburkholder@rocketmail.com>
Subject: Fwd: 29450 SE Lariat Lane #V0035019
Date: December 23, 2019 at 9:04:47 AM PST
To: Aaron Shelley <aaronshelley67@gmail.com>

go phones old5038308614@
New phone (503)?<> help

Begin forwarded message:

From: "Benthin, Kim" <KimBen@clackamas.us>
Date: December 23, 2019 at 8:28:02 AM PST
To: Dale Burkholder <daleburkholder@rocketmail.com>
Subject: 29450 SE Lariat Lane #V0035019

Good morning Dale!

I was just checking on your progress to turn in a new or modified Conditional Use Permit? Do you have an estimated date of arrival? The County continues to get complaints and the unauthorized uses on site continue to grow.

When last we spoke here in the lobby – you mentioned something about Aaron moving his garage shop/ over to the other building to avoid the requirement for land use authorization.

I told you then that I did not think that moving it to that tax lot would remove it from the planning purview. I was correct. The original CU includes all lots.

And – please see the attached- all Tax Lots 1300, 1301, 1303 and 1401 are one legal lot of record.

Tax lot 1400 is also one legal lot of record. I believe that is the reason that the CU specifically stated that Tax Lot 1400 would only be used for any overflow parking.

Thanks Dale!

I hope your holidays are warm and lovely!

Kimberly Benthin

Code Enforcement Specialist

Code Enforcement Section

Clackamas County Department of Transportation and Development

office: 503.742.4457 • Development Services Building • 150

Beavercreek Road • Oregon City, OR 97045

Lobby hours are from 8:00 a.m. to 4:00 p.m. Monday through Thursday,
and 8:00 a.m. to 3:00 p.m. on Friday

Kimben@clackamas.us

<Public Records Request Form.docx>



Planning and Zoning Division
Development Services Building
Mike McCallister, Planning Director
150 Beavercreek Road Oregon City, OR 97045
Phone: (503) 742-4500 fax: (503) 742-4550
e-mail: zoninginfo@co.clackamas.or.us
Web: <http://www.clackamas.us/transportation/planning/>

RESEARCH REQUEST FORM

DATE: 12-16-13 STAFF: K Pollack
LEGAL/MAP NO.: T 1 S, R 4E, SEC. 31A, TAX LOT(S) 1300, 1302, + 1303
ZONING: RUE 5 PRIOR ZONING: + 1400, 1401
REQUEST BY: John Davia
ADDRESS: _____ CITY: _____
STATE: _____ ZIP: _____
PHONE: 503-603-2513 FAX: _____
EMAIL: JDAVIES@CASCADEINVEST.COM

REQUESTED INFORMATION: Please clarify zoning rules based on separate ownership of TL 1302 separated from 1300 + 1303. We also asked about some condition that property must be equestrian center?

RESPONSE:

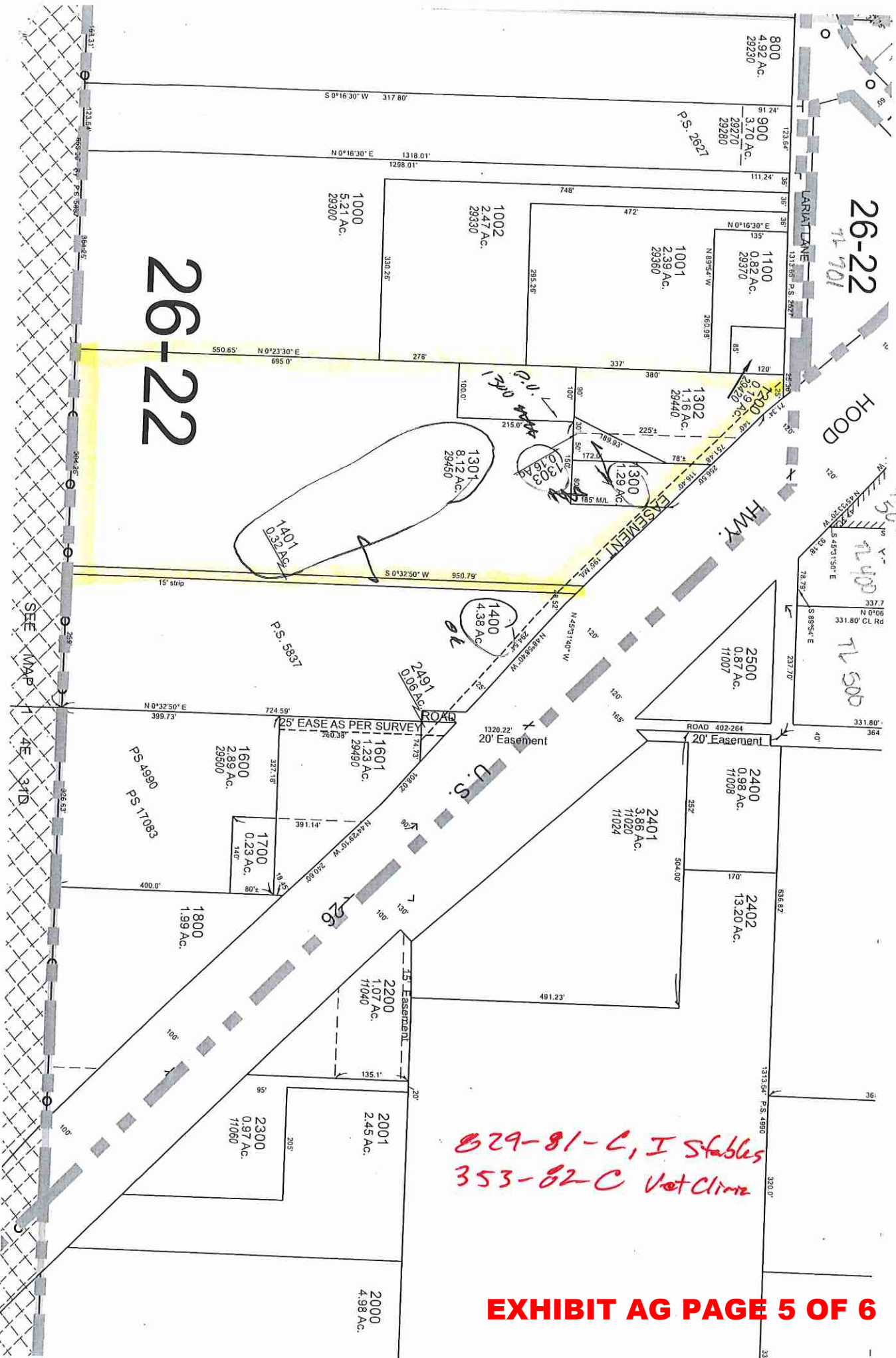
- ① Tax lots 1300, 1301, 1303, + 1401 combined comprise one legal lot of record.
- ② Tax lot 1302 is a legal lot of record.
- ③ Tax lot 1400 is a legal lot of record.
- ④ Tax 1302 contains a legal single family dwelling.
- ⑤ Tax lots 1300, 1301, 1303, 1400 + 1401 contain an approved ~~commercial~~ equestrian center use / boarding stables use converted to MJ production in 2015-16.

STAFF: Stark McArthur
Sr. Planner

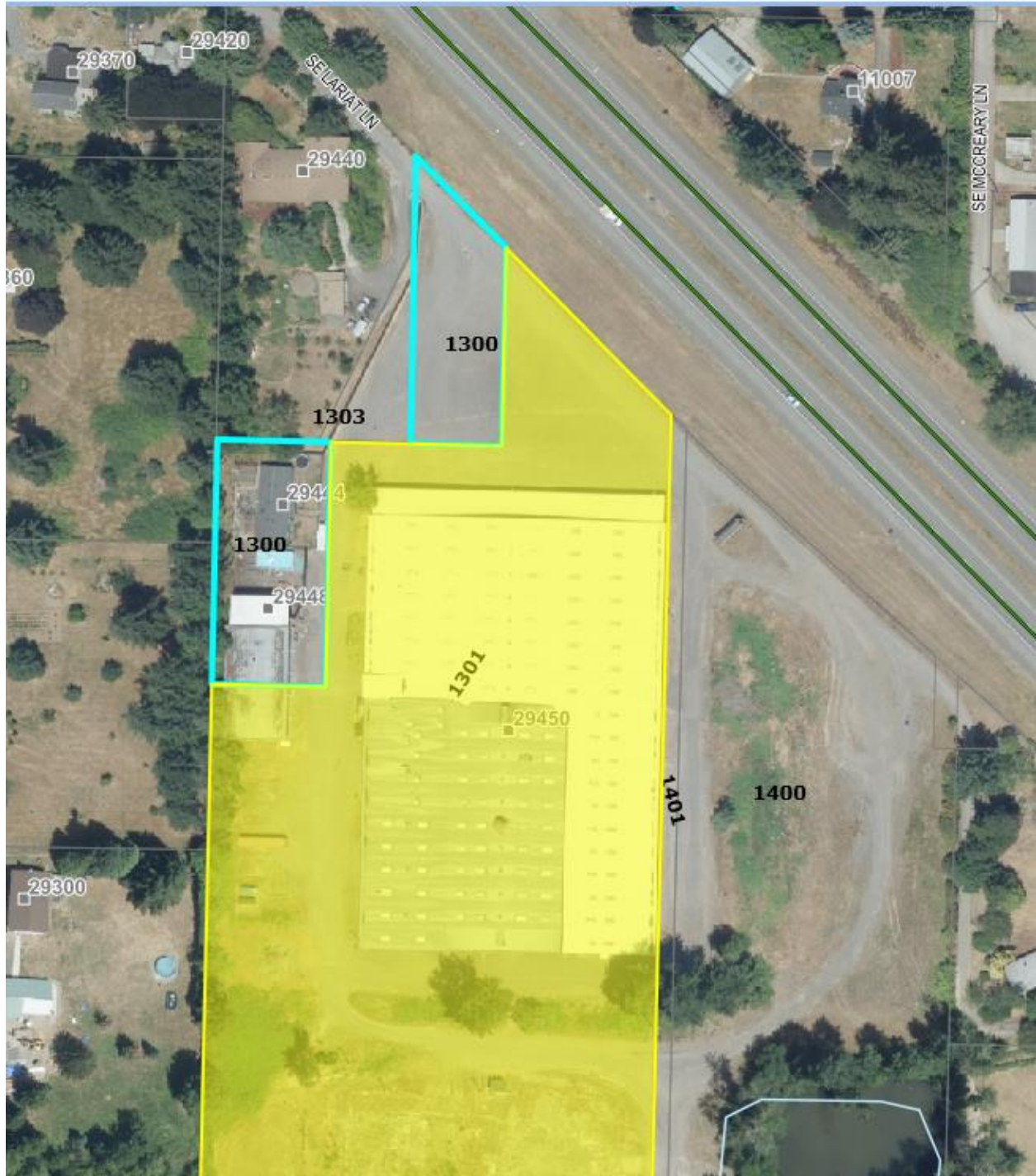
DATE: 12/17/13

NOTE: These comments pertain to land use designations and regulation in effect on the date of this response, to the specific parcel(s) of property and to the specific question asked. Regulations are subject to periodic change. A LEGAL LOT OF RECORD IS/MAY BE BUILDABLE SUBJECT TO THE REQUIREMENTS OF THE ZONE IN WHICH IT IS LOCATED. DWELLINGS ARE NOT ALLOWED OUTRIGHT IN SOME ZONING DISTRICTS. PLEASE CONSULT WITH THE PLANNING DIVISION, THE SOILS SECTION AND/OR OTHER APPROPRIATE DEPARTMENTS PRIOR TO CONSTRUCTION.

Phone 503.742.4500 Fax 503.742.4550 www.clackamas.us



829-81-C, I Stables
353-82-C Vot Clinic



Benthin, Kim

From: Dean <mdn2inc@yahoo.com>
Sent: Monday, January 27, 2020 10:24 AM
To: Benthin, Kim; Amend, Michelle
Cc: Kauppi, Jennifer; Aaron Shelley; Dale Burkholder; Blessing, Ben
Subject: Re: 29450 SE Lariat Lane #V0035019
Attachments: Public Records Request Form.docx

Hello Kim,

While we have been awaiting your responses to our inquiries listed in my December 24, 2019 email to you I have been doing some research during which I have found a complaint (#V0035019) in the Code Enforcement section of the Citizen Access portion of the Clackamas County website that is of grave concern to me. I'm not sure if these are merely allegations that have yet to be determined or if they are noted as actual violations as we have not received a notice for all of these. I know that some items have been corrected while others have been discussed with you and it was mutually agreed upon that they should not be listed as violations. We need to confirm that we are all on the same page as far as the true status of any violations and the public record needs to be reflected accordingly as having such inaccurate information about the property on the public record is unduly detrimental to the reputation of the facility and additionally creates a conflict with our known and agreed upon assessment of the true code enforcement violations that may remain to be addressed.

In the interest of continuing to work properly and effectively towards proper resolution of outstanding code enforcement violations please update the public record of (#V0035019) both in your files and on the Clackamas County website. Also, towards that aim, we would appreciate it if you would please provide details on the allegations and status of the following items listed in (#V0035019):

MT HOOD CENTER - EVENT CENTER & WEDDING VENUE W/OUT LAND USE AND VIOLATION OF COND OF APPROVAL.

ROOF REPAIR

FIRE WALL

PARTITION WALL IN STABLE W/OUT PERMITS

OCCUPIED RV'S

TREES REMOVED AROUND WQRD

STORAGE OF VEHICLES IN BUILDING. RELATED TO V00106-15

Your guidance and clarification on the above as well as our inquiries listed in my December 24, 2019 email to you is greatly appreciated. If you feel that having an onsite meeting would be the best way to move things forward then we would love to have you visit us at your convenience and/or if you would like us to visit you in your office we would be more than happy to do so. All that we ask is that whatever course you deem appropriate to take together that we take it in the very near future as time is of the essence regarding the resolution of these matters. We look forward to hearing from you soon.

Thank you,

Dean

On Wednesday, January 8, 2020, 09:01:28 AM PST, Benthin, Kim <kimben@clackamas.us> wrote:

Hello Dean,

I hope your Holidays were splendid.

I just re-read your email below.

It seems you wish to have a copy of the file. It's not a problem at all!

Please fill out the attached request and send it to Jennifer Kauppi, I have copied her on this email.

She will get back to you with a cost estimate, and the documents.

I am working on the rest of your request.

More soon!

Kimberly Benthin

Code Enforcement Specialist

Clackamas County Code Enforcement Section

From: Dean costa [mailto:mdn2inc@yahoo.com]
Sent: Tuesday, December 24, 2019 12:34 AM
To: Benthin, Kim <KimBen@clackamas.us>
Subject: Fwd: 29450 SE Lariat Lane #V0035019

Hi Kim,

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Dean

From: Dale Burkholder <daleburkholder@rocketmail.com>

Subject: Fwd: 29450 SE Lariat Lane #V0035019

Date: December 23, 2019 at 9:04:47 AM PST

To: Aaron Shelley <aaronshelley67@gmail.com>

go phones old5038308614@

New phone (503)?<> help

Begin forwarded message:

From: "Benthin, Kim" <KimBen@clackamas.us>
Date: December 23, 2019 at 8:28:02 AM PST
To: Dale Burkholder <daleburkholder@rocketmail.com>
Subject: 29450 SE Lariat Lane #V0035019

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I told you then that I did not think that moving it to that tax lot would remove it from the planning purview. I was correct. The original CU includes all lots.

And – please see the attached- all Tax Lots 1300, 1301, 1303 and 1401 are one legal lot of record.

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Thanks Dale!

I hope your holidays are warm and lovely!

Kimberly Benthin

Code Enforcement Specialist

Code Enforcement Section

Clackamas County Department of Transportation and Development

office: 503.742.4457 • Development Services Building • 150 Beavercreek Road • Oregon City, OR 97045

Lobby hours are from 8:00 a.m. to 4:00 p.m. Monday through Thursday, and 8:00 a.m. to 3:00 p.m. on Friday

Kimben@clackamas.us



Mt Hood Center

December 30, 2019 at 12:34 PM · 🌐

Reminder we are closed on New Years Day! Don't forget to join us for our New Years Bash!!! More details online @ mthoodcenter.com #firstnight2020 #mthoodcenter #rideintothewyear #newyears2020 🎉 #party



FACILITY & OFFICE IS CLOSED NEW YEARS DAY

Join us for our New Years Bash tomorrow night starting @8pm!!

Arena will be open to ride into the new year! FREE with a food donation! Be sure to RSVP if you are brining your horse! Overnight stalls will be available to rent. See you all soon!



4 Shares



Like



Comment



Share



Mt Hood Center

December 31, 2019 at 10:00 AM · 🌐

Cant wait to bring in the New Year with all of you!! Come out and support the Sandy Food Bank. We have partnered with Boring Brewery to bring you a fun event for the whole community:

DJ

🎉 Dance Floor

Games

Balloon Drop at Midnight ... See More

YOUR INVITED TO
MT HOOD CENTER'S

2020 First Night

We want to invite you to join us at Mt Hood Center to bring in the first night of 2020!

DJ ✨ Music ✨ Dance Floor ✨ Ballon Drop ✨ Games ✨ Food Trucks
Bar ✨ Coffee ✨ Photo Booth & More

Glow Stick Ride in the Main Arena!

Who doesn't want to be riding their horse into the new year?? Lets' see those horses glow! Over night stalls available

12/31/19
8PM

FREE Admission with a food donation to the Sandy Food Bank

MTHOODCENTER.COM
FOR MORE INFORMATION AND TO RSVP



Mt Hood Center is at Mt Hood Center.

...

Yesterday at 7:21 AM · Boring, OR · 🌐

Exciting things are happening this weekend! East parking lot is being finished!! These guys are working hard to get this finished for all of you! ❄️
🐾 @ Mt Hood Center



👍❤️ 131

2 Comments

👍 Like

💬 Comment

➦ Share

Most Relevant ▾



Mt Hood Center

January 9 at 6:06 PM · 🌐



Who would be interested in a Sorting Practice on January 26th????



👍❤️ 71

66 Comments 2 Shares

👍 Like

💬 Comment

➦ Share

Most Relevant ▾

Like

Comment

Share

Most Relevant ▾

Write a comment...

Author

Mt Hood Center

 Here is the online entry for our sorting practice please enter each team. We have a limited amount of space!

Like · Reply · 1d

Author

Mt Hood Center

<https://mthoodcenter.com/formSystem/view.php?id=34241>

MTHOODCENTER.COM

Sorting Practice

Like · Reply · 1d

↪ View 1 more reply

Author

Mt Hood Center

 Jimmy Barrett is bringing the stock 😊

Like · Reply · 1d

1

↪ View 3 more replies

View 23 more comments

EXHIBIT AI PAGE 5 OF 11

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Mt Hood Center added an event.

January 9 at 11:28 PM · 🌐

...



**VALENTINE'S DAY
PARENTS NIGHT OUT**

February 14th, 2020
6PM-11PM

\$15
Free to unlimited pass holders

FRI, FEB 14 AT 6 PM

Valentine's Day Parents Night Out

Mt Hood Center · Boring, OR

 Angie likes this place

★ Interested

 6

 Like

 Comment

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[See All](#)

Posts



Mt Hood Center added an event.



January 11 at 10:59 AM · 🌐



SUN, JAN 26 AT 10 AM

2 Man Sorting

Mt Hood Center · Boring, OR

★ Interested

Angie likes this place

6

8 Comments

Like

Comment

Share



Mt Hood Center added an event.



January 14 at 12:26 AM · 🌐



VALENTINE'S DINNER /GAME NIGHT

ALL HIGH SCHOOL STUDENTS ARE WELCOME

2.15.20



BORING, OR

SAT, FEB 15 AT 6 PM

High School Valentine's Dinner / Game Night

Mt Hood Center · Boring, OR

★ Interested

👤 Angie likes this place

👍 2

👍 Like

💬 Comment

➦ Share



Write a comment...





Mt Hood Center

January 25 at 10:34 AM · 🌐



Have you taken advantage of our AMAZING Unlimited Passes?!?!?

Sign up online @ mthoodcenter.com

#mthoodcenter #unlimitedpasses #horses #winter



3 Comments 3 Shares

Like

Comment

Share

Most Relevant ▾

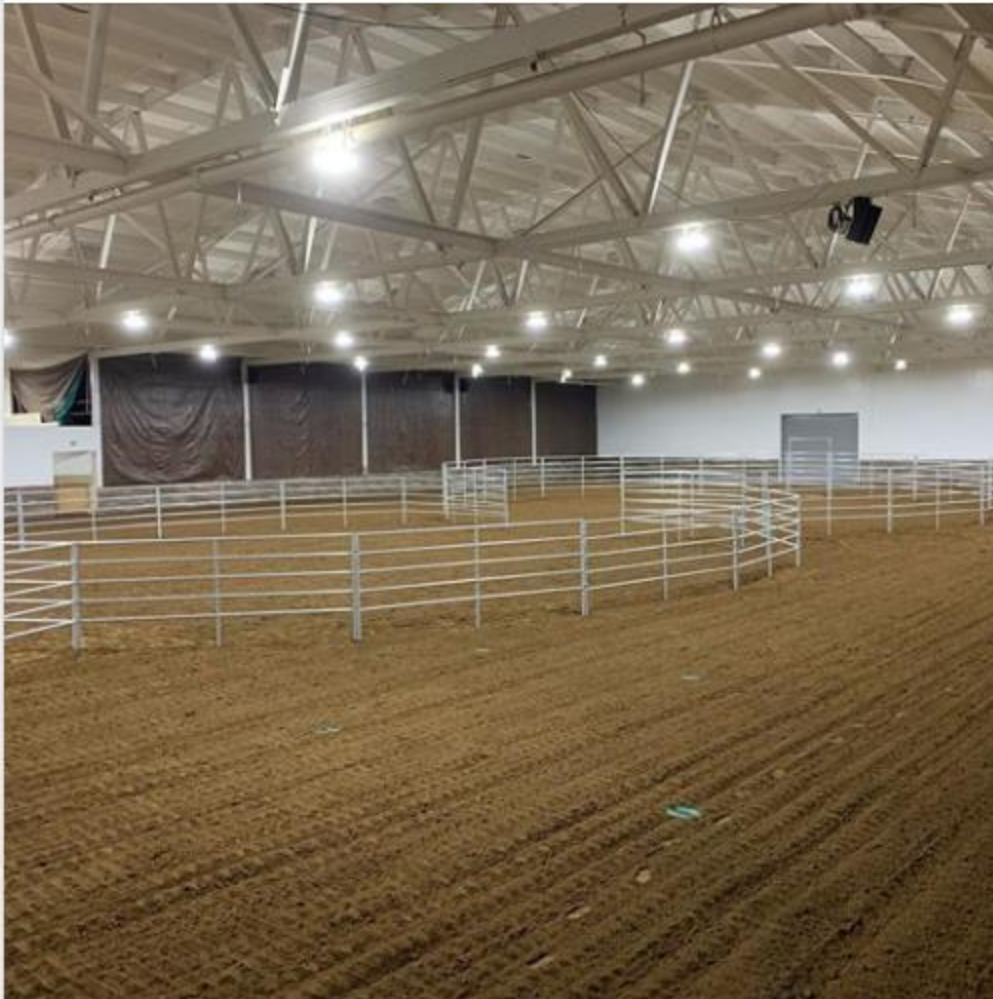


Mt Hood Center

January 25 at 9:35 PM · 🌐



Who is ready for some sorting? 🤠



128

8 Comments 5 Shares



Like



Comment

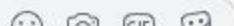


Share

Most Relevant ▾



Write a comment





Mt Hood Center

January 28 at 1:54 PM · 🌐

Join us this Saturday for our Open House where we will be highlighting all our new programs! For more information visit us @ mthoodcenter.com
[#mthodocenter](#) [#openhouse](#) [#learning](#) [#horsebackridinglessons](#)



👍 16

👍 Like

💬 Comment

➦ Share



Write a comment...



Benthin, Kim

From: Dean <mdn2inc@yahoo.com>
Sent: Monday, February 10, 2020 4:19 PM
To: Benthin, Kim; Amend, Michelle
Cc: Dale Burkholder; Aaron Shelley
Subject: Re: 29450 SE Lariat Lane #V0035019

Michelle,

For the record we are not requesting any special treatment. In fact, all we are asking for is to be treated fairly, in a timely manner with consistency and according to the laws and policies of the State of Oregon and Clackamas County. Anything less shall be considered a breach of our rights. Items requested have either been agreed upon and/or are our right to have by law and policy. I certainly hope that you can understand appreciate the seriousness of the matters at hand and I pray that going forward you and your staff will perform in the spirit of cooperation with diligence, integrity and adherence to relevant law and policy.

Thank you once again for your anticipated cooperation.

Dean

On Monday, February 10, 2020, 03:54:25 PM PST, Amend, Michelle <mamend@clackamas.us> wrote:

Dean,

Kimberly will continue to work with you on this case and will answer your questions. Kim will work this case like we work all of our code enforcement cases. We must treat everyone the same and she will provide the same level of service we provide everyone. She will not be able to provide more than that. She will respond to your questions tomorrow as I stated and will get the letter to you as she stated in the previous email.

Thank you,

Michelle Amend

Code Enforcement Supervisor | Clackamas Building Codes Division

150 Beaver Creek Rd | Oregon City OR 97045

503-742-4785 (Office) | mamend@clackamas.us

My regular work schedule is M-F from 7:30 am until 4:00 pm.

The Clackamas County Building Codes Division operates Monday through Friday, 7:30 a.m. to 4:30 p.m.

Lobby hours are from 8:00 a.m. to 4:00 p.m. Monday through Thursday and 8:00 a.m. to 3:00 p.m. on Friday.

From: Dean <mdn2inc@yahoo.com>
Sent: Monday, February 10, 2020 3:49 PM
To: Benthin, Kim <KimBen@clackamas.us>; Amend, Michelle <MAmend@clackamas.us>
Cc: Dale Burkholder <daleburkholder@rocketmail.com>; Aaron Shelley <aaron@mthoodcenter.com>
Subject: Re: 29450 SE Lariat Lane #V0035019

Michelle,

Please see my answers below...

On Monday, February 10, 2020, 02:48:53 PM PST, Amend, Michelle <mamend@clackamas.us> wrote:

Dean,

Please continue to work with Kimberly. **We will do so.**

She will respond to your email tomorrow when she is available. I have been with her when she described in detail what violations need to be abated to Aaron. **When, where and by what means (phone, in person, etc) did this event take place as this has been a dynamic process and so these questions are extremely relevant. Aaron and I have been working on this together for approximately a year and a half and he has made no mention of this to me. Was this post our July 24, 2019 on site meeting with Kim? As I mentioned previously we are still waiting for the list that we discussed with her that she said she would formalize in a letter so that we would all be on the same page as there were some items in question that she was going to research at the time.**

I understand there are new violations that have been added and Kim did agree to write a letter with all that information in it. **Isn't it incumbent upon and a matter of procedure for your department to notify any person and/or entity regarding any alleged violations in writing? Why wouldn't she have done so already? Please have Kim be specific as to whether those violations are 'Alleged' or have been supposedly substantiated and are actual violations as we need to know this. Please have her also include all supporting documents, photos, sworn statements, etc regarding these items.**

We don't usually continue to put into writing what violations you still have open, but because there are additional violations she will complete the letter. Michelle, Kim needs to do this because we are still waiting on the letter that she stated she was going to send us delineating what remained after the July 24, 2019 meeting so that we were all on the same page. Not to mention, as I previously mentioned in other emails, there have been several permits and violations that have been corrected that remained showing as violations well after they were corrected. We have had to follow up in order to get those corrected and we simply cannot, nor should we be responsible to continue to do this records reconciliation.

She will get that letter to you as she discussed. Please make sure that all of the questions and concerns that I have posed are addressed specifically, comprehensively and in detail; and that all violations and alleged violations are accompanied by citations of the relevant code. If Kim is unclear on anything we are requesting please let her know that she is free to contact me at any time with questions. If she thinks it best I am willing to come to her office and review everything with her in detail.

Thank you Michelle.

Thank you,

Michelle Amend

Code Enforcement Supervisor | Clackamas Building Codes Division

150 Beaver Creek Rd | Oregon City OR 97045

503-742-4785 (Office) | mamend@clackamas.us

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From: Dean <mdn2inc@yahoo.com>

Sent: Monday, February 10, 2020 2:41 PM

To: Benthin, Kim <KimBen@clackamas.us>; Amend, Michelle <MAmend@clackamas.us>

Cc: Dale Burkholder <daleburkholder@rocketmail.com>; Aaron Shelley <aaron@mthoodcenter.com>

Subject: Re: 29450 SE Lariat Lane #V0035019

Benthin, Kim

From: Amend, Michelle
Sent: Monday, February 10, 2020 2:49 PM
To: 'Dean'; Benthin, Kim
Cc: Dale Burkholder; Aaron Shelley
Subject: RE: 29450 SE Lariat Lane #V0035019

Dean,

Please continue to work with Kimberly. She will respond to your email tomorrow when she is available. I have been with her when she described in detail what violations need to be abated to Aaron. I understand there are new violations that have been added and Kim did agree to write a letter with all that information in it. We don't usually continue to put into writing what violations you still have open, but because there are additional violations she will complete the letter. She will get that letter to you as she discussed.

Thank you,

Michelle Amend
Code Enforcement Supervisor | Clackamas Building Codes Division
150 Beavercreek Rd | Oregon City OR 97045
503-742-4785 (Office) | mamend@clackamas.us

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Lobby hours are from 8:00 a.m. to 4:00 p.m. Monday through Thursday and 8:00 a.m. to 3:00 p.m. on Friday.

From: Dean <mdn2inc@yahoo.com>
Sent: Monday, February 10, 2020 2:41 PM
To: Benthin, Kim <KimBen@clackamas.us>; Amend, Michelle <MAmend@clackamas.us>
Cc: Dale Burkholder <daleburkholder@rocketmail.com>; Aaron Shelley <aaron@mthoodcenter.com>
Subject: Re: 29450 SE Lariat Lane #V0035019

Michelle,

The response from Kim did not address any of our questions. We need and are entitled to concrete and concise answers to those questions in a timely manner.

In the interest of clearer communication shall we meet all together?

Your assistance in these matters would be greatly appreciated.

Thank you,

Dean

On Monday, February 10, 2020, 01:25:52 PM PST, Amend, Michelle <mamend@clackamas.us> wrote:

Kim,

Thank you for responding to Dean.

Michelle Amend

Code Enforcement Supervisor | Clackamas Building Codes Division

150 Beavercreek Rd | Oregon City OR 97045

503-742-4785 (Office) | mamend@clackamas.us

My regular work schedule is M-F from 7:30 am until 4:00 pm.

The Clackamas County Building Codes Division operates Monday through Friday, 7:30 a.m. to 4:30 p.m.

Lobby hours are from 8:00 a.m. to 4:00 p.m. Monday through Thursday and 8:00 a.m. to 3:00 p.m. on Friday.

From: Benthin, Kim <KimBen@clackamas.us>
Sent: Monday, February 10, 2020 1:25 PM
To: Dean <mdn2inc@yahoo.com>; Amend, Michelle <MAmend@clackamas.us>
Cc: Dale Burkholder <daleburkholder@rocketmail.com>; Aaron Shelley <aaron@mthoodcenter.com>
Subject: RE: 29450 SE Lariat Lane #V0035019

Dean,

It is unclear to me why or what you are waiting on?

There remain violations that you are aware of and have not taken steps towards resolution. You need not wait for a letter from me to take the necessary steps to remedy the violations. The Mt Hood Center Business Plan provided to Clackamas County Planning on August 5, 2019, stated that you had hired numerous professionals in order to submit a pre-application whereby you would explore your future vision. The business plan stated

“we will submit any and all required land use applications and pull any required building permits when the time comes before proceeding with any new endeavors beyond the scope of currently approved activities. “ This has not occurred.

That being said, I will get a letter to you this week.

Sincerely,

Kimberly Benthin

Code Enforcement Specialist

Clackamas County Code Enforcement Section

From: Dean [<mailto:mdn2inc@yahoo.com>]
Sent: Sunday, February 9, 2020 5:18 AM
To: Amend, Michelle <MAMend@clackamas.us>; Benthin, Kim <KimBen@clackamas.us>
Cc: Dale Burkholder <daleburkholder@rocketmail.com>; Aaron Shelley <aaron@mthoodcenter.com>
Subject: Fw: 29450 SE Lariat Lane #V0035019

Michelle,

Please see my email to Kim below from January 27, 2020. It is critical that we get thorough responses to the items mentioned in that email as well as to my email from December 24, 2019.

Thank you once again.

Dean

----- Forwarded Message -----

From: Dean <mdn2inc@yahoo.com>

Benthin, Kim

From: Dean costa <mdn2inc@yahoo.com>
Sent: Friday, February 14, 2020 7:56 AM
To: Benthin, Kim
Cc: Amend, Michelle; Dale Burkholder; Aaron Shelley
Subject: Re: 29450 SE Lariat Lane #V0035019

Thank you so much Kim. That would be very helpful. We look forward to working together with on this. Once we receive the information from you if we have any questions or concerns we will certainly consult with you.

Thank you once again!

Dean

Sent from my iPhone

On Feb 11, 2020, at 5:29 PM, Benthin, Kim <KimBen@clackamas.us> wrote:

Dean,

As I stated yesterday, I should have a letter out by the end of this week. This correspondence will include:
violations; paths to compliance; and will cite the relevant code and ordinances.

You requested that I “*please update the public record of (#V0035019) both in your files and on the Clackamas County website*”. This record is up to date and correct. The list of allegations that you have highlighted in yellow, in all-caps in your email below are a result of initial complaints when this file was opened. I cannot alter the public record. When the violations are resolved (i.e. ‘cleared’) the record will show a Final status.

Land Use Authorization may be required to remedy some of the violations. For instance, the shop built within the Northwest corner of the arena building. The remedy may be to obtain land use authorization and obtain a building permit and complete the required inspections. Or the remedy may be to remove all of the walls and return it to code compliant land use authorized horse stalls. This is related to your question: “Last but not least please provide us with a detailed explanation, including all relevant code sections, as to why you believe building a garage and/or shop anywhere on the property (with possibly lot 1400 as a current exception) would require any Land Use authorization (modification of existing and/or new CUP).”

In an effort to further assist you, we could arrange a meeting here to have representatives from planning, building and code enforcement attend with your team in order that we can all be on the same page. It might provide a shorter path to close the violation file, and provide some answers on your future plans and endeavors.

Kimberly Benthin
Code Enforcement Specialist
Code Enforcement Section
Clackamas County Department of Transportation and Development

office: 503.742.4457 • Development Services Building • 150 Beavercreek Road • Oregon City, OR 97045
Lobby hours are from 8:00 a.m. to 4:00 p.m. Monday through Thursday, and 8:00 a.m. to 3:00 p.m. on Friday
Kimben@clackamas.us

From: Dean [<mailto:mdn2inc@yahoo.com>]
Sent: Monday, February 10, 2020 2:35 PM
To: Amend, Michelle <MAmend@clackamas.us>; Benthin, Kim <KimBen@clackamas.us>
Cc: Dale Burkholder <daleburkholder@rocketmail.com>; Aaron Shelley <aaron@mthoodcenter.com>
Subject: Re: 29450 SE Lariat Lane #V0035019

Kim,

I'm not sure why you are not responding to my requests. They are very simple:

Provide what violations you and your department believe remain outstanding. Previously we have cleared violations and they have not been cleared in your system so we need to confirm where you stand. Not to mention that you stated that you were going to provide us with a concise list of all remaining violations within two weeks of our July 24, 2019 on site meeting. To date we have not received this list. Please provide this list.

Once again I am asking you for the following:

In the interest of continuing to work properly and effectively towards proper resolution of outstanding code enforcement violations please update the public record of (#V0035019) both in your files and on the Clackamas County website. Also, towards that aim, we would appreciate it if you would please provide details on the allegations and status of the following items listed in (#V0035019):

MT HOOD CENTER - EVENT CENTER & WEDDING VENUE W/OUT LAND USE AND VIOLATION OF COND OF APPROVAL.

ROOF REPAIR

FIRE WALL

PARTITION WALL IN STABLE W/OUT PERMITS

OCCUPIED RV'S

TREES REMOVED AROUND WQRD

Benthin, Kim

From: Dean costa <mdn2inc@yahoo.com>
Sent: Monday, February 17, 2020 9:11 AM
To: Blessing, Ben
Cc: Aaron Shelley; Dale Burkholder; Glasgow, Clay; Nesbitt, Lindsey; Benthin, Kim
Subject: Re: Modification of a previously approved Land use application. Request for meeting regarding 29450 SE Lariat Lane in Boring

Hi Ben,

To date you have not provided a response to my request below covering the fact that the accessory building in question is covered under the current Use Permit. That being said Dale has told us that he spoke with you last week and during that conversation you mentioned to him that you were still awaiting our submission of the Modification request. Apparently you have augmented your reason for the necessity of a Modification now that your original reason has been proven not to apply. We are gravely concerned about how this process has been going and it is placing undue temporal and fiscal burden on us and on our project.

We believe that a meeting to review everyone's understanding of applicable State and Local codes would be beneficial to all. In the meantime please either move our permit forward or provide ALL the specific Code sections that you believe mandate a CU Modification for the improvements we are attempting to permit.

Ben, Lindsey, Kim, Michele, et al,

We kindly request a meeting with all individuals in Clackamas County's building, planning and code enforcement divisions that have auspices over the property at 29450 SE Lariat Lane in Boring.

It would be preferable if representatives from all those departments (as well as others that may be concerned) would attend so that we get a unified, simultaneous and comprehensive understanding of process, code interpretation and the vision that we would all like to see materialize at the property.

We will be happy to make ourselves available anytime on any day next week to meet in your county offices or on site if you prefer. We are completely open to either or both. Please let us know as soon as possible so that we can allow for that time in our schedules.

We look forward to seeing you soon.

Thank you.

Sent from my iPhone

On Feb 9, 2020, at 6:06 AM, Dean <mdn2inc@yahoo.com> wrote:

Hi Ben,

Please see attached pages taken from the Use Permit for the property. Please review and provide us your position on how this information impacts our need for a Modification to the existing Use Permit for use of the accessory structure for Equine Related Uses.

Thank you,

Dean

Benthin, Kim

From: Aaron Shelley <Aaron@MtHoodCenter.com>
Sent: Friday, February 21, 2020 8:27 AM
To: Benthin, Kim
Cc: Dale Burkholder; Dean Najdawi; Amend, Michelle
Subject: Re: 29450 SE Lariat Lane Boring V0035019

Thank you Kim!

Aaron Shelley, Ph.D, MSS, SCCC, SPN, SSC, CFT
Director
503-841-8869
<https://mthoodcenter.com>
<https://www.facebook.com/coachaaronshelley>

On Feb 21, 2020, at 8:21 AM, Benthin, Kim <KimBen@clackamas.us> wrote:

Good morning!

I have arranged for us all to meet at 3:00pm, Monday, February 24th.
Please check in at the second floor lobby at the Development Services Building.

The more information that you bring to the meeting regarding your plans for this project the better equipped County staff will be to provide concise answers.

Looking forward to seeing you!

Kimberly Benthin
Code Enforcement Specialist
Code Enforcement Section
Clackamas County Department of Transportation and Development
office: 503.742.4457 • Development Services Building • 150 Beaver Creek Road • Oregon City, OR 97045
Lobby hours are from 8:00 a.m. to 4:00 p.m. Monday through Thursday, and 8:00 a.m. to 3:00 p.m. on Friday
Kimben@clackamas.us

From: Aaron Shelley [<mailto:Aaron@MtHoodCenter.com>]
Sent: Thursday, February 20, 2020 6:19 PM
To: Benthin, Kim <KimBen@clackamas.us>
Cc: Dean Najdawi <mdn2inc@yahoo.com>; Dale Burkholder <daleburkholder@rocketmail.com>; Amend, Michelle <MAmend@clackamas.us>
Subject: Re: 29450 SE Lariat Lane Boring V0035019

Thanks Kim! Can we have your latest time slot on Monday February 24th, 2020? Can we budget for approximately 2 hours?

Aaron Shelley, Ph.D, MSS, SCCC, SPN, SSC, CFT
Director
503-841-8869

<https://mthoodcenter.com>
<https://www.facebook.com/coachaaronshelley>

On Feb 20, 2020, at 7:16 AM, Benthin, Kim <KimBen@clackamas.us> wrote:

Good morning Dean,

Of course!

I agree! Which is why I checked with Ben and Lindsey prior to suggesting the Monday date and time.

I think having everyone at the table will provide the best results for you.

Ben and Lindsey is not available Tuesday. Wednesday – is iffy at best for the entire group.

Is your team available later in the day on Monday?

Kimberly Benthin

Code Enforcement Specialist

Clackamas County Code Enforcement Section

From: Dean costa [<mailto:mdn2inc@yahoo.com>]

Sent: Wednesday, February 19, 2020 8:12 PM

To: Benthin, Kim <KimBen@clackamas.us>

Cc: Aaron Shelley <Aaron@mthoodcenter.com>; Dale Burkholder <daleburkholder@rocketmail.com>; Amend, Michelle <MAMend@clackamas.us>

Subject: Re: 29450 SE Lariat Lane Boring V0035019

Hi Kim,

Thank you for getting back to us regarding the scheduling of a meeting. Could we possibly do it Tuesday or Wednesday instead? Also would it be possible for you to include Ben Blessing and Lindsey in our meeting. Planning is a part of the process and we believe that getting everyone on the same page would yield great results for us all. What are your thoughts?

Thank you,

Dean

Sent from my iPhone

On Feb 19, 2020, at 2:50 PM, Benthin, Kim <KimBen@clackamas.us> wrote:

Good afternoon Dean!

Would you and your team like to meet on Monday, February 24, 2020, some time between 8:00am and 10:30am?

We can meet here in a conference room.

Let me know what works for you!

Thanks!

Kimberly Benthin



Mt Hood Center added an event.

January 28 at 11:20 PM · 🌐



THIS SUNDAY AT 10 AM

2 Man Sorting Practice

Mt Hood Center · Boring, OR

★ Interested

Angie likes this place

17

5 Comments

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Vanessa Ford Brittney Huntington I'll fly in around 10 so I'll just meet you there with the horses 🤪

Like · Reply · 4d



Vanessa Ford replied · 4 Replies



Write a comment...





BORING ACADEMY PRESENTS:
"JUST LIKE RUBE GOLDBERG"
ENGINEERING CAMP
FOR KIDS



MAR
23

Engineering Camp for Kids

Public · Hosted by Mt Hood Center

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🕒 Mar 23 at 8 AM – Mar 27 at 4 PM

📍 Mt Hood Center
29450 SE Lariat LN, Boring, Oregon 97009

Show Map

🎫 Tickets
mthoodcenter.com

Find Tickets

About

Discussion

Details

Boring Academy Presents :

"Just Like Rube Goldberg"
Engineering Camp for Kids

Students will be introduced to the wonderfully imaginative world of Rube Goldberg, a cartoonist, inventor and engineer. Students will be provided with the opportunities to explore the engineering process by devising a plan , gathering materials and building a prototype. An assortment of recycled materials will be utilized to bring their creation to life.

Camp Dates: March 23rd – 27th & June 22nd – 26th

Time: 8am – 4 pm

Cost : \$375 per student

[See More ▼](#)

Other

Kid Friendly



Mt Hood Center

14 hrs · 🌐



We are thrilled to have launched our new Mt Hood Center Equine Academy yesterday! This Academy will offer Horseback Riding Lessons, Horse Share Program, Working Students, Equine Based Camps, Clinics, Parents Night Out and more!! I will be sharing with you all today information about these programs and introducing these wonderful instructors that will be teaching!

If you would like more information or have questions feel free to message us we would be happy to help!

If you ar... [See More](#)



👍❤️ 20

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✍️ Author

Mt Hood Center We do have schooling horses! We will introducing them later to you all!!

Like · Reply · 14h





DEPARTMENT OF TRANSPORTATION AND DEVELOPMENT

DEVELOPMENT SERVICES BUILDING

150 BEAVERCREEK ROAD | OREGON CITY, OR 97045

February 14, 2020

Violation File No.: V0035019

Kaluga LLC.
5 Kingswood Cir.
Hillsboro, OR 97009

Kelvin Vuong, Registered Agent
29450 SE Lariat Lane
Boring, OR 97009

Subject: Violations of the Clackamas County Zoning and Development Ordinance Title 12.316.030, 12.1307.14, 12.1203.03 and 12.709.02; the Clackamas County Building Code Title 9.02.04 (A, B, C, D, & J) and the Clackamas County Solid Waste and Waste Management Code Chapter 10.03.060

Site Address: 29450 & 29444 SE Lariat Ln., Boring, OR 97009

Legal Description: T1S, R4E, Section 31A, Tax Lots 01300, 01301, 01303, 01401
T1S, R4E, Section 31A, Tax Lot 01400

THIS LETTER SERVES AS NOTICE OF VIOLATIONS OF THE CLACKAMAS COUNTY CODE and ORDINANCES. THE VIOLATIONS INCLUDE:

- Land Use Violations
 - Unauthorized shop within the arena building at the northwest corner, this shop was noted in the August 24, 2018 violation notice, and as of the date of this letter, remains without land use approval.
 - The large playground equipment installation is located within the designated parking area of the current approved conditional use, observed during the July 24, 2019 site inspection.
 - A trail course, with an associated gazebo type structure and two bridges have been created without land use approval. It is important to note that the installation of this course is in direct violation of # 5 of the original Design Review Conditions: *"The applicant shall avoid the most southerly area that is lower in elevation than the immediate facility. This area shall be used as an overflow area only."*
 - A cargo container, and a small tan building were found on site during the July 24, 2019 inspection. Depending on the use and location may require land use authorization.
 - The snack counter in the arena building during the July 24, 2019 inspection was found to have a stove, a not yet installed dishwasher, and KitchenAid mixer. This area does not have land use authorization to be anything other than a snack stand.
 - Use of the West Barn including but not limited to: classes, meetings, paint workshops. The July 24, 2019 inspection revealed youth sized chairs, and shelving such as would be used for storage of backpacks. It appears that the use is being changed for an educational use. During this inspection it was discussed that Dean's child, Kelly's child and Aaron's child are all 'home-schooled' on site. Please be advised that schooling children that do not reside on site is no longer 'home schooling', and requires land use authorization.

- Numerous events being advertised and occurring on site that are not consistent with the Conditions of Approval, such as but not limited to: barrel racing, team penning, sorting practice, and other commercial activities.
- Rodeos of any kind or genre is specifically mentioned in Ben Blessings September 5, 2019 memo as a use not allowed. No such events, or similar events, shall occur on this site, until such time as land use authorization is obtained.
- Advertising, use and storage of a food cart(s) on site without Land Use Approval,
- Occupied recreational vehicles on site were noted during the July 24, 2019 site inspection.
- More than the allowed ten horse shows have occurred, the structure is being utilized as an event center and no longer the original use of a riding stable and arena.
- The County has recently received a complaint that the barn manager and her child reside within the Arena building. This may abate the occupied recreational vehicle violation but adds a violation of multiple dwellings to the property.
- Removal of vegetation and disturbance in the Water Quality Resource protected area of the pond.
- The remodel/gutting of the arena's second story for 'future education areas' without land use approval.
- It is noted that the plumbing permit to retrofit the existing bathrooms to ADA requirements had an inspection in August 2019 for groundwork for future showers and a dog wash room. Please note that in addition to building permits land use authorization must be first acquired.
- Events such as the Mexican Rodeo/Concerts, and the *"Mt Hood Center's 2020 First Night with DJ, Music, Dance Floor, Balloon Drop at Midnight, Food Trucks, Bar, Coffee, Photo Booth"* are examples of events not allowed outright. Additionally, these events are a violation of the condition of approval # 3 of Z0829-81-C.I.D. which states: *"Operation of the subject property as a riding stable and arena shall be conducted between the hours of 8:00 o'clock A.M. and 11:00 o'clock P.M."*

Please note that the activities on site are numerous and evolving and this is by no means a comprehensive list of the activities occurring on site that may require a land use authorization.

- Building Code Violations

- The roof construction/repair work on the large arena building without a permit, was originally noted in the August 24, 2018 notice. Permit # B0608019 was submitted on November 19, 2019. It received a final approved inspection on December 11, 2019. The building code violation for the roof is abated.
- The holes in the firewalls made by the prior marijuana grow activities in the arena building have not received building permits for repair, this was originally noted in the August 24, 2018 notice.
- The walled off shop area in the north west corner of the arena noted in the August 24, 2018 violation notice, remains in violation of the Building Code.
- A cargo container, and a small tan building were found on site during the July 24, 2019 inspection. Depending on the use the structures may require building permits.
- Gutting and ongoing remodel of the arena announcer area upstairs and the area between the snack bar and the arena for 'future education areas' without building permits was last noted during the site visit on July 24, 2019. The reconfiguration of the space in this area may also require review of the fire sprinkler permitting needs.
- The alleged occupation of the arena building; the structure is not permitted for habitation and may be a building code violation.

- During a site inspection on December 11, 2019 a building inspector walked the site with Aaron Shelley. It was noted that a large amount of dirt removal occurred and trenching and drain pipe installation was occurring. The inspector informed Aaron Shelly that the drain pipe installation may require a plumbing permit.
- During the December 11th inspection it was also noted that the 24 foot by 13 foot high trestle bridge and the gazebo-type structure in and near the trail course require building permits.
- It is noted that permits have been attempted to be submitted for the West Barn (Hay grain barn) however land use authorization must be obtained first, for the change of use.
- Complainants have shared concerns to the County regarding septic system concerns. The conditional use permit included a conditions for this system.
- Solid Waste Code Violations
 - During the July 24, 2019 site inspection it was noted that there were inoperable and or not currently licensed vehicles (i.e. Volkswagen vans and boats, etc.) on site.
 - It was also noted a large debris pile at the back of the property, that included wood and miscellaneous debris including what appeared to be old skylights.

Brief History

Due to the complexity of this file I feel it is helpful to provide a brief overview of the September 5, 2019 memo completed by Ben Blessing, a Clackamas County Planner.

This memo addresses the Conditional Use and Design Review for this property. Specifically file Z0829-81-C.I.D. The memo states the following uses are allowed:

- Use the existing improved properties as a riding stable-horse arena,
- Up to 190 horses will be boarded
- There would be approximately 10 horse shows allowed per year.
- Shows will range from 30 to 300 horses with portable stalls accommodating the overflow from the stable,
- Tax Lot 01400 would only be used for any overflow parking.

This same memo also contains uses that are specifically identified as not being allowed:

- Rodeos (of any kind or genre).
- Flea markets and other large sales
- Storage of mechanical equipment, automobiles, RV's, or any other pieces of equipment that are not incidental to the riding stable use or other on-site farm uses.
- Businesses of any kind, except for the riding arena/equestrian center, unless the business has received prior approval from the Planning and Zoning Division.
- Any other uses that are otherwise prohibited in the Zoning and Development Ordinance (ZDO).

It is important to note that failure to comply with these requirements may result in a revocation of Z0829-81-C.I.D.

A review of your file and research of the property and complaints received by the County illustrate numerous events being proposed or having already occurred. Many of these events are outright not allowed as spelled out in Planner Ben Blessing's memo. Some events and commercial activities may be allowed however were not specified in the Mt Hood Center Business Plan that was submitted.

The following are examples of uses that were not included in the August 5, 2019 Mt Hood Center Business Plan and may or may not be allowed as part of the existing conditional use. Please provide Planning the details of these activities including but not limited to number of participants expected, how they will be operated, the more details provided the better information that will be supplied to you. This information could be included in a land use application such as a conditional use or modified conditional use or a modification of the previously submitted business plan **no later than March 27, 2020.**

- More than 10 horse shows, Play Days, Monday Night Gaming Practice, \$2 Bill Night, Jumping Night, Winter Open Snow Series, \$5 Black Friday Haul In, Working Equitation Schooling Show, Wednesday Evening Trail Practice, Work Equitation Clinic, Mt Hood Center Equine Academy, Clinics, Unlimited Haul-In Passes, Friends and Family Passes

The violations mentioned in this letter are by no means complete, due to the ongoing business activities and numerous events occurring on site. This is by no means a comprehensive list of the activities occurring on site that may require a land use authorization.

Zoning

The zoning district applied to the subject property is Section 316, Rural Residential Farm Forest 5-Acre (RRFF-5). It is important to note that the current equine facility on site is authorized singularly due to the land use decision Z0829-81-C.I.D. Title 12.316.03 lays out the uses permitted within this zoning area. Uses permitted are identified by a primary use, an accessory use, or a conditional use. Currently events identified and/or advertised for this site are in violation of the code. This constitutes a violation of Clackamas County Ordinance Title 12.316.03 as it pertains to operating events and other uses not currently approved by Planning for the site(s). You must complete the following **no later than March 27, 2020.**

To remedy Violations of the Clackamas County Zoning and Development Ordinance:

The current land use authorization applied to this site Z0829-81-C.I.D. (a Conditional Use and Design Review) contains conditions of approval. You are required to comply with those conditions of approval in order to maintain a valid land use approval. Violations of the conditions of approval constitutes a violation of Clackamas County Code Title 12.1307.14 in order to abate the violations you must complete one or a combination of the following **no later than March 27, 2020:**

1. Submit a modified business plan to Clackamas County Planning to demonstrate the activity(s) occurring on site are compliant with the existing conditions of approval. and/or:
2. Submit a land use application in an effort to gain authorization. For instance, if the yoga classes are being offered by Aaron Shelley on site – a possible option may be that he obtain a home occupation permit for this activity, and/or:
3. Modify the site plan in the “Design Review” portion of Z0829-81-C.I.D. For instance, this may be used to accommodate parking area changes, the playground equipment installation and trail course, and/or:
4. Submit a new Conditional Use Application to encompass the current and future vision the owners have for the site, and/or:
5. Submit a modification of the current approval Z0829-81-C.I.D. to accommodate these unauthorized uses, and/or:
6. Cease all unauthorized commercial use on the subject property until such time as land use authorization is acquired.

To Abate the Development and Disturbance in the Water Quality Resource Area District:

There has been removal of vegetation and disturbance around the pond, in the protected habitat area. This constitutes a violation of Clackamas County Code Title 12.709.02. In order to abate the violation please complete the following **no later than March 27, 2020:**

1. All disturbed land within 50 feet of the high waterline of pond must be restored with native plans and shrubs.
2. No grading, trenching, or development of any kind is allowed within 50 feet of the high waterline of the pond.
3. In light of all of the construction occurring in the parking area and trail course please insure the pond has silt fencing around the 50 foot buffer of the pond.
4. Water directed into the pond area without authorization will require review from Clackamas County Planning and Zoning Division and the State of Oregon Division of Lands.
5. Contact the Clackamas County Code Enforcement Specialist assigned to this file and schedule a site visit to confirm the violation has been abated.

To Abate the Occupied Recreational Vehicles

The occupied recreational vehicles on site constitute a violation of Clackamas County Code Title 12.316.03. In order to abate the violations, you must complete one of the following for each of the occupied vehicles **no later than March 27, 2020:**

1. You must remove the recreational vehicle(s) from your property until such time you obtain proper land use approval and permits, this use will not be allowed, and/or:
2. Submit a land use application in an effort to gain land use approval and;
 - a. If land use approval is granted you must obtain proper permits for septic, water, and electrical connections,
3. If the recreational vehicle(s) is operable, currently licensed and registered to the person residing in the primary structure on the subject property, it may remain on site in a stored condition, and/or:
4. Contact the Clackamas County Code Enforcement Specialist assigned to this file and schedule a site visit to confirm the violation has been abated.

To resolve the Solid Waste Violation:

An accumulation of solid waste causes a condition of unsightliness and is a safety and health hazard and, therefore, violates the Clackamas County Code, Chapter 10.03, Solid Waste and Waste Management. Your cooperation is solicited to store out of sight all articles of solid waste that you wish to keep and to remove the remainder to an authorized disposal facility. Covering solid waste with a tarp does not remove the items from violation. To bring all inoperable and/or not currently licensed vehicles which includes motorcycles, boats and/or boat trailers, and/or motor-homes, travel trailers, etc., into compliance utilize the options listed below. Please bring the property into compliance of the Solid Waste and Waste Management Code, **no later than March 27, 2020:**

1. Remove the inoperable and/or not currently licensed vehicles from the subject property, and/or,
2. Render the inoperable and/or not currently licensed vehicles, operable and licensed to persons currently residing on the subject property, and/or,
3. Place the inoperable and/or not currently licensed vehicles that are owned by persons currently residing on the subject property inside a permitted structure, and/or,
4. Screen no more than two vehicles from view of the road and surrounding properties, in accordance with the minimum screening requirements of the code (see Chapter 10.03.060 (C) excerpt enclosed). And:
5. Remove all putrescible waste, solid waste and trash, such as but not limited to, the skylights.

How to remedy violations of the Building Code

There have been several issues where work has been completed without permits being issued and/or inspections occurring. Please note that some of these building code violations first require obtaining land use authorization. It may be necessary to remove construction if Land Use Authorization is not obtained.

The unpermitted work constitutes violations of Clackamas County Code Title 9.02.04 (A, B, C, D, & J). To abate these violations you must complete the following **no later than March 27, 2020:**

1. The second story area of the arena building and area near the snack shack.
 - a. The arena announcer area upstairs was gutted and walls demolished without permits. Submit all appropriate building, plumbing, mechanical, fire sprinkler and electrical permit applications, and technically complete plans and pay the appropriate fee(s), and;
 - b. The permit must be picked up within ten (10) days of being notified that the permit is ready, and;
 - c. Please schedule all inspections so that final inspections may be obtained no later than forty-five (45) days form the date of the permit being issued.
2. Large bridge and gazebo structure built on site.
 - a. Submit the appropriate building permit, and technically complete plans and pay the appropriate fee(s)
 - b. The permit must be picked up within ten (10) days of being notified that the permit is ready.
 - c. Please schedule all inspections so that final inspections may be obtained no later than forty-five (45) days form the date of the permit being issued. Or:
 - d. Remove the structure(s).
3. The walled off shop area in the northwest corner of the Arena:
 - a. Submit the appropriate building permit, and technically complete plans and pay the appropriate fee(s)
 - b. The permit must be picked up within ten (10) days of being notified that the permit is ready.
 - c. Please schedule all inspections so that final inspections may be obtained no later than forty-five (45) days form the date of the permit being issued. Or:
 - d. Remove the structure(s).
4. Submit a building permit application to code compliantly repair the holes made in the firewall of the arena building.
 - a. Submit the appropriate building permit, and technically complete plans and pay the appropriate fee(s)
 - b. The permit must be picked up within ten (10) days of being notified that the permit is ready.
 - c. Please schedule all inspections so that final inspections may be obtained no later than forty-five (45) days form the date of the permit being issued.
5. For the trenching installed in the new parking area, please submit a plumbing permit or call the Clackamas County Code Enforcement Specialist assigned to this file in order to schedule a site visit with a plumbing inspector to confirm compliance.
6. If the Arena building is not being lived in please call the Clackamas County Code Enforcement Specialist assigned to this file to schedule a site visit to confirm compliance. If it is occupied different steps will be required; including land use authorization in addition to building permits.
7. For the Septic System Concerns: It is important to note that as the September 5, 2019 memo states: "... *there are Conditions of Approval set forth in the old CU that must still be met. First and foremost, you must contact the Septic Division and obtain an*

Authorization Notice to allow Septic Staff to verify that the existing tanks, sand filter, and drain field can adequately support the amount of sewage that will be produced by the proposed operating parameters ... Therefore it is requested that you contact Development Supervisor Erik Englebert at the Septic Division **no later than March 27, 2020**. Mr. Englebert may be reached at 503-742-4625, EEnglebert@clackamas.us. Your consultant Dale Burkholder told me that he has some 1980's paperwork that will resolve this concern. As of the date of this letter that alleged paperwork has not been submitted. The paperwork that Mr. Burkholder mentioned may assist Erik Englebert's review, of note is the use on site and also the future plans for the site that will aid the review.

Contact Information

If you have any questions concerning land use permit requirements, please contact the Planning and Zoning Division at 503-742-4500. If you have any questions concerning the building permit requirements, please contact the Building Codes Division at 503-742-4240. Or, you may stop by our offices at 150 Beavercreek Road, Development Services Building, Oregon City. The lobby hours are open between the hours of 8:00 a.m. to 4:00 p.m. Monday through Thursday, and 8:00 a.m. to 3:00 p.m. on Friday.

If you have any other questions please feel free to contact me at 503-742-4457 or email at kimben@clackamas.us.

Additionally, as I mentioned before, we could arrange a meeting at the County offices and have representatives from planning, building and code enforcement attend with your team in order that we can all be on the same page. It might provide the shortest path to close the violation file, and provide some answers on your future plans and endeavors.

A handwritten signature in black ink, appearing to read 'Kimberly Benthin', is shown on a light gray background.

Kimberly Benthin
Code Enforcement Specialist
Clackamas County Code Enforcement

REQUIRED NOTICE OF FINES AND PENALTIES

It is important that you contact the Code Enforcement Section to resolve the violations described in the enclosed letter. Failure to resolve those violations may result in one or more of the following: (1) a citation and fine, (2) assessment of a \$75 per month administrative compliance fee, and (3) referral of this matter to the County Code Enforcement Hearings Officer.

Clackamas County Code provides for fine amounts of up to \$500 and additional civil penalties of up to \$3,500 for each day the County verifies the noncompliance. Fine amounts and civil penalties may be assessed for each cited violation and may be assessed separately against each named party. In addition, the Code Enforcement Hearings Officer may order the violation to be abated by the County at the expense of the property owner(s) and responsible parties.

Clackamas County encourages voluntary compliance with code violations to support a safe and healthy community for all. Please note that when a property owner works cooperatively with the County to resolve a confirmed code enforcement violation, the County may in its discretion waive all or part of the \$75 per month administrative fee.

Fines and costs are payable upon the effective date of the final order declaring the fine and costs. Fines and costs under this Chapter are a debt owing to the County, pursuant to ORS 30.460, and may be collected in the same manner as any other debt allowed by law. If fines or costs are not paid within 60 days after payment is ordered the County may file and record the order for payment in the County Clerk Lien Road.

Also, be advised that non-compliance with a Hearing Officer's Order may result in the matter being referred to County Counsel; for legal action in Circuit Court which may result in additional penalties or other sanctions.

Finally, recurrence of abated violations may result in the issuance of a citation without prior notice.

Clackamas County Code Chapter 10.03 Solid Waste and Wastes Management

(The code in its entirety can be found on the Clackamas County website)

Excerpts:

10.03.060 Solid Waste or Wastes Accumulation Prohibited

- “A. Except as provided in subsection D of this Section, no person shall store, collect, maintain, or display on private property, solid waste or wastes or recyclable material that is offensive or hazardous to the health and safety of the public, or which creates offensive odors, or a condition of unsightliness. Storage, collection, maintenance, or display of solid waste or wastes in violation of this Section shall be considered to be a public nuisance which may be abated as provided in 10.03.070 of this chapter.
- B. In addition to the provisions of subsection A, the following conditions or actions are also specifically identified as creating a public nuisance under this chapter:
1. Placing a tarp, plastic, cloth, or similar screening apparatus over or around solid waste or wastes for purposes of keeping it out of sight from the road or surrounding properties.
 2. Placing a tarp, plastic, cloth, or similar screening apparatus over or around solid waste or wastes that is stored in a utility trailer, pickup truck, semi-trailer or similar device for purposes of keeping it out of sight from the road or surrounding properties.
 3. Constructing a tire fence for any purpose.
 4. Storing waste tires except as permitted pursuant to OAR Chapter 340.
 5. Storing putrescible waste, whether it is visible or not visible from the road or adjacent properties, that is not kept in a rodent proof container with a tight fitting lid, and not removed from the property to an authorized disposal facility within seven (7) days.
 6. Composting which causes offensive odors, or creates a health hazard, or which is capable of attracting or providing food for potential disease carriers such as birds, rodents, flies and other vectors.
 7. Storing, collecting, maintaining, or displaying any licensed or unlicensed special vehicle or equipment that is immobile, inoperable, partially dismantled or dismantled, dilapidated, or fire damaged and is visible from the road or surrounding properties.
 8. Storing, collecting, maintaining, or displaying a mobile home or trailer house, which is dilapidated or partially dismantled, or fire damaged, and is visible from the road or surrounding properties.
 9. Storing, collecting, maintaining or displaying: residential, commercial and industrial appliances, equipment and furniture; vehicle parts; tires; scrap metal, or any other useless, unwanted or discarded material, or other similar non-putrescible solid waste or wastes, that is visible from the road or surrounding properties.
 10. Storing, collecting, maintaining or displaying any antique, classic, race car or collectible vehicle that is inoperable and is visible from the road or surrounding properties.
 11. Storing any inoperable vehicle or vehicles unless said vehicle or vehicles are housed within a permitted structure or development, except up to two vehicles per premise may be stored behind a sight-obscuring screen, in accordance with 10.03.060 C, and shall not be visible from the road or surrounding properties. For purposes of this Subsection 11, two or more contiguous tax lots that are under common ownership shall be considered one premises.
 12. When commercial, industrial, multi-family or residential developments that use a compactor or compactors for on-site waste management, do not keep the areas around the compactor free of solid waste and debris, and washed down on a regular basis.
- C. Any sight obscuring screen used to abate a solid waste nuisance shall consist of one of the following options:
1. Construct a wood fence unpainted or painted with neutral or earth tone colors of which the upright posts shall consist of a decay resistive material a minimum of four (4) inches in diameter and anchored a minimum of two (2) feet below ground level. There shall be a maximum post separation of eight (8) feet. The railings shall be a minimum of 2-inch by 4-

inch lumber with the 4-inch side attached vertically to the posts. The attached vertical or horizontal fence boards shall be set with a maximum separation of 1/4 inch.

2. Construct a metal fence consisting of chain link or woven fabric with metal upright posts anchored a minimum of two (2) feet below ground level with metal railings and connectors. Water and insect resistive wood or plastic slats shall be inserted in the chain link or woven fabric, with a maximum separation of 3/8 inch between slats.
3. Construct a combination fence consisting of metal sheeting attached to wood framing as defined in Section C 1 above, or durable metal framing, which is painted a neutral or earth tone color.
4. Construct a wall consisting of solid material, built of concrete, masonry, brick, stone or other similar materials or combinations thereof.
5. Construct an earthen berm consisting of dirt, soil, sand, clay or any combination thereof and shall be planted with grass and/or ornamental plantings and shall be maintained at all times.
6. Plant a hedge consisting of evergreen plantings or other ornamental plantings a minimum of six (6) feet in height, planted not more than two (2) feet on center and which is maintained at all times.

In addition to the minimum fencing requirements, wood, metal, masonry fences or combination thereof greater than six (6) feet in height are subject to County review pursuant to the Oregon State Uniform Building Code, and all earthen berms are subject to County review pursuant to the County's Grading and Excavation Chapter.

For purposes of this chapter, no sight obscuring screen shall be located, placed, constructed or installed contrary to the Clackamas County Zoning and Development Ordinance."

10.03.030 Definitions

"(32). INOPERABLE VEHICLE for the purpose of the Nuisance Abatement provisions of this chapter, shall mean a vehicle designed for use on a public highway which has been left on public or private property thirty (30) days or more and is not currently licensed, or not in operating condition, or which has been extensively damaged, vandalized or stripped, including, but not limited to, missing wheels, tires, motor or transmission. An inoperable vehicle shall not mean an unlicensed operable vehicle or vehicles, which are used on private property for the production, propagation or harvesting of agricultural products grown or raised on such lands. "

...

"47. PUTRESCIBLE MATERIAL means solid waste or wastes, including: bones; meat and meat scraps; fat; grease; fish and fish scraps; food containers or products contaminated with food wastes, particles or residues; prepared vegetable and fruit food wastes or scraps; manure; feces; sewer sludge; dead animals or similar wastes which cause offensive odor or create a health hazard, or which are capable of attracting or providing food for potential "

...

"(58). SOLID WASTE OR WASTES shall include all putrescible and non-putrescible waste, including but not limited to, garbage; compost; organic waste; yard debris; brush and branches; land-clearing debris; sewer sludge; residential, commercial and industrial building demolition or construction waste; discarded residential, commercial and industrial appliances, equipment and furniture; discarded, inoperable or abandoned vehicles or vehicle parts and vehicle tires; special vehicles and equipment that are immobile and/or inoperable, mobile homes or trailer houses which are dilapidated, partially dismantled or fire damaged; manure; feces; vegetable or animal solid and semi-solid waste and dead animals; and infectious waste. Waste shall mean useless, unwanted or discarded materials. The fact that materials which would otherwise come within the definition of solid waste may, from time to time, have value and thus be utilized shall not remove them from the definition. "...

Benthin, Kim

From: Nesbitt, Lindsey
Sent: Tuesday, February 25, 2020 11:14 AM
To: Amend, Michelle; Benthin, Kim
Cc: Blessing, Ben
Subject: FW: Thank you

FYI-
Here is an email I sent to Dean regarding 29450 Lariat Lane.

Lindsey

From: Nesbitt, Lindsey
Sent: Tuesday, February 25, 2020 11:12 AM
To: 'Dean' <mdn2inc@yahoo.com>
Subject: RE: Thank you

Hi Dean,

It was nice meeting you as well.

After our meeting yesterday I thought more about the discussion and also talked with my supervisor about the meeting. I think it would be better for Ben and I to review your plan and future plans prior to meeting with you. That way I will have time to develop any questions I may have and I will have had a chance to review your plans ahead of time. This would allow for a more informed discussion.

As we discussed yesterday, please submit a site plan showing all existing uses and proposed future uses, as well as a written description of the existing and proposed uses (including which uses you believe to be allowed outright). Ben and I will review these documents and then contact you to discuss.

Thank you so much. We look forward to reviewing your plans.

Lindsey Nesbitt

Lindsey Nesbitt
Planning Manager
Clackamas County Planning and Zoning Division

150 Beavercreek Road
Oregon City, OR 97045
Direct Ph: 503-742-4505 | Fax: 503-742-4550

The Planning and Zoning Division public service/permits lobby is open Monday through Thursday from 8:00 a.m. to 4:00 p.m. and Friday from 8:00 a.m. to 3:00 p.m. The public service telephone line at 503-742-4500 and email account at zoninginfo@clackamas.us are staffed Monday through Friday from 8:00 a.m. to 5:00 p.m.

The Clackamas County Department of Transportation and Development is dedicated to providing excellent customer service. Please help us to serve you better by giving us your [feedback](#). We appreciate your comments and will use them to evaluate and improve the quality of our public service.

From: Dean [<mailto:mdn2inc@yahoo.com>]
Sent: Tuesday, February 25, 2020 10:58 AM
To: Nesbitt, Lindsey <LNesbitt@clackamas.us>
Cc: Aaron Shelley <aaron@mthoodcenter.com>
Subject: Thank you

Hi Lindsey,

Thank you for taking the time to meet with us and understand what we are attempting to accomplish on the property. We look forward to meeting with you soon in order to further review together. In the meantime could you please give me a brief call today in order to discuss a possible request. My number is 415.515.6874. I look forward to speaking with you.

Thank you,

Dean

NOTE: This message was trained as non-spam. If this is wrong, please correct the training as soon as possible.

[Spam Email](#)
[Phishing Email](#)

Benthin, Kim

From: Nesbitt, Lindsey
Sent: Friday, March 13, 2020 3:38 PM
To: Amend, Michelle; Benthin, Kim; Rozzell, Matthew
Subject: FW: Uses documented for equestrian facilities in RRFF-5 Zoning in Clackamas County

FYI- Here is the email I sent to Dean.

Lindsey

From: Nesbitt, Lindsey
Sent: Friday, March 13, 2020 3:37 PM
To: 'Dean' <mdn2inc@yahoo.com>
Subject: RE: Uses documented for equestrian facilities in RRFF-5 Zoning in Clackamas County

Dean,

You requested that I look into the reason why your building permits have been placed on hold and have sought guidance of how to have the hold removed.

It is my understanding that the following occurred with your building permits. A building permit was originally submitted to upgrade existing bathrooms to be in compliance with ADA requirements. The set of plans for this permit were only for the bathroom. The permit was issued and then expired.

Revisions were later brought in for this permit and the permit was taken out of the expired status. The revisions included the original scope of work, ADA bathrooms, and included the installation of 4 showers, a laundry facility and a wash room (which we later learned is intended to be a dog washing station). A second set of revisions were submitted showing a tack room. However, the page showing the building elevations for this portion of the building is labeled office and sales.

In order for planning to sign off on your permits we will need to make sure the proposed changes (discussed above) are consistent with the allowed uses and activities of the 1981 Conditional Use permit CU-829-81. Please provide a statement of use, describing the proposed modifications and the reasons for the changes. In the statement of use please describe what the showers, laundry room, wash room, office and sales area will be used for and how the use correlates with the uses authorized by the 1981 conditional use permit. Please explain the need for these features in order to conduct business authorized through the 1981 Conditional Use permit. Please also describe the types of merchandise that will be sold on site.

If you only wish to move forward with the work only for the bathroom and laundry room upgrades at this time, revise your permit plans to only show the work for the ADA bathrooms and laundry facility.

The following is a response to your March 2, 2020 email.

1. Other types of shows and activities.

The March 2 email indicates that you believe that other types of activities and shows are allowed to take place at this location because the applicant did not request these types of activities and because the 1981 Conditional Use permit did not impose limitations on other types of shows or use of the site for other activities.

At our February 24 meeting you indicated you either currently use or plan to use the site for the following activities:

- Outdoor arena
- Outdoor trail riding

- Plan to create an equestrian facility/equestrian center for community based recreation with the intent the facility will be used by horse groups such as 4H clubs, haul-ins/day use, and to provide other services such as creating a veterans horse therapy program.
- The dog wash station was discussed, but the intent of the dog wash station was not clearly defined (for example is the dog wash station intended to be used as a commercial facility for dog washing and grooming for paying customers not affiliated with the horse arena).

The website for the facility currently advertises the following activities:

- Equine Academy/Skill Clinics
- Polo Practices
- Barlow OHSET WyEast
- Birthday Part Packages
- Kids Camps
- Unlimited Haul-in Passes
- Competition grade outdoors course intended to be used as a training tool for clinics, lessons, and open haul-ins.

The 1981 Conditional Use approval authorized horse boarding, indoor riding activities (riding stable horse arena), and approximately 10 horse shows per year. Therefore, these are the only activities allowed to take place on site under the 1982 Conditional Use permit.

I have reviewed the 1970 Conditional Use permit (CU-11-70) which is the original permit authorizing the stable and riding arena. The applicant's narrative stated: "The horse population has doubled in the last 10 years and more and more people are turning to riding recreation. This area has no stables. Riding arenas are most necessary during the rainy season. There will be considerable 4H work going on in this proposed unit."

The 1970 staff recommendation stated: "The staff feels that this use should be very compatible with the area because it is a livestock raising area and there are a great number of horses in the area, plus much 4-H activity."

Based on the documentation found in the 1970 and 1982 permits, the Conditional Use approval authorized use of the indoor riding arena for both horses boarded at the stable and for use by community members (not boarding horses at the facility) and other equestrian groups. We believe the following activities are allowed within the indoor riding arena under the 1982 Conditional Use permit and do not require additional land use review:

- Equine Academy/ skill clinics
- Polo practices
- Use by 4-H clubs and OHSET
- Birthday party packages (that involve horse riding/related activities)
- Haul-ins

If I have not captured all activities taking place on site, please submit more information including a site plan and building floor plans that demonstrate existing and proposed activities for the site. I will review those activities against the previously approved conditional use and provide feedback and direction if needed.

I have read documentation that the site is used to host rodeos, barrel racing and other types of events. Please be advised that the 1981 Conditional Use permit only authorized approximately 10 horse shows per year. The permit did not authorize other types of events such as rodeos. If you would like to host events other than horse show described in the 1982 conditional use permit, submission and approval of a Modification Application or Conditional Use permit is required.

Please see below regarding outdoor use of the property.

2. Outdoor Use of the property and trail riding

The email also indicates that you believe outdoor use of the property is allowed.

The 1981 Conditional Use permit limits outdoor activity to use of tax lot 1400 for overflow parking only during the large horse shows. A portion of the site was authorized to be used for temporary portable horse stalls during the 10 horse shows.

A condition of the 1981 Conditional Use approval states: Approval is for the basic revised site plan submitted by the applicant.

The site plan did not show any areas outside of the indoor arena to be used for horse riding such as trail or skill areas. The site plan demonstrates all horse riding will take place inside the riding arena building.

After reviewing the website site for this property, it is my understanding that a skills course and riding trails have been installed on site, which are not uses authorized by the 1981 Conditional Use Permit. As stated above, the site plan for the 1981 CU permit did not show and the application materials did not request outdoor use of the site for trail riding, skill work or for an outdoor arena. The only outdoor use authorized was for the temporary overflow parking of vehicles and trailers and for the temporary use of portable horse stalls.

In order to accommodate outdoor use for trail riding and other activities the current Conditional Use permit will need to be modified or a new Conditional Use permit will need to be obtained. Zoning and Development Ordinance (ZDO) Table 316-1 Lists Equine Facilities and Horse Trails as Conditional Uses in the RRF=5 Zone. Outdoor trails are not listed as accessory uses. Modification Land Use applications allow smaller changes to previously approved land use applications. If the scope of the requested changes do not meet the modification criteria, then submission of a new Conditional Use application would be required.

3. Snack Area and Food Carts

Your March 2 email indicates that the occasional use of a food cart is allowed because a snack area was approved with the 1981 Conditional Use.

An indoor snack area was approved with the 1981 Conditional Use. However, use of a food cart or multiple food carts was not approved with the 1981 Conditional Use permit. In order to operate food carts, even on a temporary basis the 1981 Conditional Use permit will need to be modified, or submission and approval of a new conditional use permit is required.

4. Use of the West Barn and Home Schooling

Please provide and describe your plans for the west barn including proposed uses and any future changes. A written narrative and site plan/floor plans will be helpful for us to review the proposal for consistency with the 1981 Conditional Use Approval and with the ZDO Table 316-1- Permitted Uses in the Rural Residential and Future Urban Residential Zoning Districts.

There was mention of home schooling, or education of children taking place on site. Please be advised that providing care of or education for children who do not reside on site is considered to be a Child Care Facility or a school, which are listed as a Conditional Use in ZDO Table 316-1. In order to provide child care or education for children that do not live on site, submission and approval of a conditional use application is required.

5. Removal of vegetation and disturbance in the water quality resource area (near the pond).

I still need to follow up with Ben Blessing regarding this concern. He is out of the office today, but I will talk with him next week and send a separate email if he still has concerns regarding this item.

On Site Waste Water

I checked with Erik Englebert, Senior Soil Scientist/Supervisor regarding your onsite waste water system in order to provide you preliminary septic information. Erik offered the following comments:

The current onsite wastewater (septic) system consists of a 1500 gallon septic tank, 1000 gallon grease separator tank, and 1000 gallon dosing tank, followed by a 1000 square foot sand filter and 420 lineal feet of drainfield installed in 1986. The tanks are located on the northwest side of the building, the filter is located near the western property line approximately 50' from the main building, and the drainfield is located at the southwest corner of the property. Based on the original permit record, the size of the sand filter, and the amount of installed drainfield, the system is sufficient for up to 1250 gallons per day of design flow. It should be noted here that design flows tend to be greater than actual usage; this is to ensure a margin of error and safety so the system continues to function properly. Thus, when evaluating whether a given system is sufficient for a proposed use, we rely on design flows from several sources (e.g. DEQ, EPA, other public health resources) to make the determination.

Per the 1988 Existing Disposal System Review, both the main building (on TL# 01301) and the manufactured home (on TL# 01300) are connected to the system. We would need to know the number of bedrooms in the manufactured home to assess its impact on the systems' daily design flow budget of 1250 gallons. We will also need detailed information on current and proposed usage to be able to advise what, if any, changes may be necessary to the system to accommodate the desired plans. As discussed at the February 24 meeting, we currently do not have sufficient information to make a determination as to whether the current usage is in line with conditions and approvals of the septic permit and subsequent system review.

Given that we are at the early planning/compliance stages of this project, I would like to make a suggestion regarding the existing onsite wastewater system. With the soil conditions noted from original site evaluation, and the subsequent usage on the property, I would strongly encourage the owners to protect the location of the existing sand filter and especially drainfield. Replacement areas on the property are very limited, and may have been eliminated outright based on historical uses the property has been subject to (e.g. parking/graveled areas, cut/filled areas, heavy livestock/vehicle traffic, etc.). Should the existing system fail, and a suitable replacement area not be available, holding tanks may have to be used for the wastewater. Long-term use of holding tanks generally represents a substantial financial cost over time and should be avoided if possible.

If you disagree that a land use application (Modification or Conditional Use Permit) is required as describe above, you may contact Kim or Michelle to schedule a hearing before the Code Enforcement Hearings Officer.

I will be out of the office Monday through Wednesday, returning Thursday, March 19.

Thank you,

Lindsey

Lindsey Nesbitt
Planning Manager
Clackamas County Planning and Zoning Division

150 Beavercreek Road
Oregon City, OR 97045
Direct Ph: 503-742-4505 | Fax: 503-742-4550

The Planning and Zoning Division public service/permits lobby is open Monday through Thursday from 8:00 a.m. to 4:00 p.m. and Friday from 8:00 a.m. to 3:00 p.m. The public service telephone line at 503-742-4500 and email account at zoninginfo@clackamas.us are staffed Monday through Friday from 8:00 a.m. to 5:00 p.m.

The Clackamas County Department of Transportation and Development is dedicated to providing excellent customer service. Please help us to serve you better by giving us your [feedback](#). We appreciate your comments and will use them to evaluate and improve the quality of our public service.

From: Dean [<mailto:mdn2inc@yahoo.com>]

Sent: Friday, March 13, 2020 12:08 PM

To: Nesbitt, Lindsey <LNesbitt@clackamas.us>

Cc: Rozzell, Matthew <MRozzell@clackamas.us>; Aaron Shelley <aaron@mthoodcenter.com>; Dale Burkholder <daleburkholder@rocketmail.com>

Subject: Re: Uses documented for equestrian facilities in RRFF-5 Zoning in Clackamas County

Hi Lindsey,

Thank you for your prompt response. Of course we appreciate the fact that you are needing to attend to the circumstances regarding the Corona Virus as we here at the Center, as well as most organizations in the State of Oregon, have been doing so as well. It is certainly top priority for us all.

Unfortunately Clackamas County has chosen to ignore our repeated pleas for attention and proper resolution to critical issues regarding the property for well over a year. Even more unfortunate is the fact that the County, without due cause and proper process, has taken punitive and illicit actions against the property that have required IMMEDIATE RESOLUTION on your part for quite some time.

If not from their inception months ago when they were first brought to your attention the matters in question should have been a priority for you, but yet you chose to ignore them; so much so that you didn't find it relevant to even read our CUP prior to our meeting on February 24, 2020. During that past several weeks since that meeting you have chosen to cancel a meeting with us **that you proposed**, have sent me several emails stating that you were **'working on sorting out my permits'** and that you would **'have answers for me regarding my permits'**. In spite of these statements you have still have not provided any of the information or remedies requested. This is typical of the evasive behavior displayed by County personnel when asked for relevant information that we have been experiencing throughout this process and that has landed us in this situation and we cannot afford to tolerate it any further.

The matters at hand regarding those permits (and other repeatedly delineated matters) are very straightforward and should be easy for you to **reach a conclusion on at least as swiftly as you decided to take illicit action against us by locking our permits and inspections**. The County's 'shoot first, ask questions later' approach to the matters at our property has placed us all in an unfortunate situation that has left us with limited options. Although we completely understand that you are tending to the current public health crisis at hand, that does not change the fact that you have had more than ample time and repeated opportunities to rectify this situation and have chosen not to do so. Please be advised that should we not receive appropriate resolutions to the matters at hand as delineated in my repeated emails to you by **5 pm today we will be forced to take immediate action to remedy these matters by other means**.

We sincerely hope that you will choose to take the proper actions in the prescribed timeframe.

Thank you,

Dean

On Thursday, March 12, 2020, 05:10:31 PM PDT, Nesbitt, Lindsey <lnesbitt@clackamas.us> wrote:

Thanks Dean! So my day today was taken over with the Corona Virus, and how to accommodate business and employees. I imagine that tomorrow will significantly be allocated to the same topic. I am committed to

responding to you both over the phone and in writing. In between all of the corona virus talk and planning, you questions and concerns are currently my top priority.

Thank you and I will be in touch soon,

Lindsey

From: Dean [<mailto:mdn2inc@yahoo.com>]
Sent: Thursday, March 12, 2020 3:59 PM
To: Nesbitt, Lindsey <L.Nesbitt@clackamas.us>
Cc: Aaron Shelley <aaron@mthoodcenter.com>; Dale Burkholder <daleburkholder@rocketmail.com>
Subject: Uses documented for equestrian facilities in RRFF-5 Zoning in Clackamas County

Lindsey,

In order to assist you in your attempt to understand the Planning Code as it has been seemingly applied to equine facilities in the RRFF-5 zoning district in Clackamas County we have prepared the attached for your review. We compiled this information directly from the corresponding websites and other information readily available online. Your comments would be greatly appreciated.

Thank you,

Dean

[Spam Email](#)
[Phishing Email](#)

BORING OREGON

MARZO
15
DOMINGO
2020

29450 SE LARIAT IN BORING OR 97009

Totalmente Techado

"PROMOCIONES LOERA" ESTRENANDO PLAZA

"EL TORO PINTO"

Con un jaripeo de exhibicion!!!

SELECCIONANDO TOROS
PREVIO A LA GIRA 2020
DE LOS TOROS AZTECAS.



CONTACTOS
541506-0370

DE HUACHES ORTIZ
PUEBLO, OREGON



DE GILBERTO TAPIA

ANIMADOR
DEL
EVENTO:
MARKOS
RAMIREZ



DE RODRIGO LOERA
Lagunillas Jalisco

**Y VARIOS
JINETES MAS!!!**

AMIGOS DE A
CABALLO BIENVENIDOS !!!
CUPO LIMITADO

"NENE
CONTRERAS"

"VAQUERITO DE
SAN RAFAEL"

"VENGANZA DE
GUANAJUATO"

"FORASTERO DE
SAN RAFAEL"

"NIÑO DE ORO
DE OAXACA"

"DUENDECILLO
DE COLIMA"



DE AGUILILLA

PREVENTA \$18 DLLS.

MENORES DE 10 AÑOS GRATIS
PUERTAS ABREN A LAS 2:00 P.M.

INFORMES: (541) 610.9912 Y (503) 875.8703

EL JINETE MAS PEQUEÑO DE OREGON:

"CHAVITA MANZILLA" VS
UN TORO SORPRESA

COBERTURA
ESPECIAL



Benthin, Kim

From: King, Seth J. (Perkins Coie) <sking@perkinscoie.com>
Sent: Wednesday, March 25, 2020 1:21 PM
To: Benthin, Kim; Boderman, Nathan
Cc: Munns, Jeffrey; Amend, Michelle
Subject: RE: Kaluga LLC/29450 SE Lariat Lane, Boring - Violation File No. V0035019

Kimberly:

Thanks so much for your reply and the extension. I will follow up with you and the Planning Division in the near future regarding next steps. Take care.

Seth King | Perkins Coie LLP

PARTNER

1120 N.W. Couch Street Tenth Floor
Portland, OR 97209-4128
D. +1.503.727.2024
M. +1.503.944.9380
E. sking@perkinscoie.com

From: Benthin, Kim <KimBen@clackamas.us>
Sent: Wednesday, March 25, 2020 12:38 PM
To: King, Seth J. (POR) <sking@perkinscoie.com>; Boderman, Nathan <NBoderman@clackamas.us>
Cc: Munns, Jeffrey <JMunns@clackamas.us>; Amend, Michelle <MAmend@clackamas.us>
Subject: RE: Kaluga LLC/29450 SE Lariat Lane, Boring - Violation File No. V0035019

Hello Seth,

My apologies for the late email reply. I attempted to return your call earlier ; but your voice mail box was full. Of course, we will allow the courtesy of an extension to newly retained consultants/attorneys. Welcome! Additionally the current events are causing a set of challenges. The 30-day extension is granted.

I am sure your clients have shared with you that Planners Lindsey Nesbitt and Ben Blessing have been points of contact in the Planning Division. Working with the County may be a bit awkward at this time. But staff is working and I believe all of what you need to be accomplish is likely available to you via internet, emails, phone, and video type meetings.

I am willing to assist as much as possible this process. However, please be patient with my response time. Besides working from home I am also serving at the County's Emergency Operations Center during this time.

I am looking forward to a resolution!
Be well!

Kimberly Benthin
Code Enforcement Specialist
Clackamas County

From: King, Seth J. (Perkins Coie) <sking@perkinscoie.com>
Sent: Thursday, March 19, 2020 5:52 PM

To: Benthin, Kim <KimBen@clackamas.us>; Boderman, Nathan <NBoderman@clackamas.us>

Subject: Kaluga LLC/29450 SE Lariat Lane, Boring - Violation File No. V0035019

Warning: External email. Be cautious opening attachments and links.

Kimberly, Nate:

This office represents Kaluga LLC ("Kaluga"), the owner of 29444 and 29450 SE Lariat Lane in Boring. This site is subject to a Notice of Violation letter from Clackamas County dated 2/14/2020 (Violation File No. V0035019). That letter sets a deadline for Kaluga to take certain actions by 3/27/2020. I am writing to ask for at least a 30-day extension to this deadline for a few reasons. First, there are a significant number of issues identified in the Notice, and it's taking time to work through those. Second, the client just engaged me, so I am still getting up to speed on the issues and formulating a response. Third, and most importantly, the current community restrictions on in-person meetings and work are hamstringing our, and likely the County's, ability to focus on and address this issue.

I know there is some history on this site. My client wants to do the right thing, and for everyone's sake, we'd like to resolve this matter. We appreciate the County's cooperation.

After I get up to speed and the meeting restrictions are limited, hopefully we can arrange a meeting or call as you suggested in your letter.

Please confirm that the deadline is extended. If you'd like to discuss, please call my mobile number below. Thank you.

Seth King | Perkins Coie LLP

PARTNER

1120 N.W. Couch Street Tenth Floor

Portland, OR 97209-4128

D. +1.503.727.2024

M. +1.503.944.9380

E. sking@perkinscoie.com

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NOTE: This message was trained as non-spam. If this is wrong, please correct the training as soon as possible.

NOTICE: This communication may contain privileged or other confidential information. If you have received it in error, please advise the sender by reply email and immediately delete the message and any attachments without copying or disclosing the contents. Thank you.

[Spam Email](#)
[Phishing Email](#)



Hi Friends! Thank you for your continued support during this difficult time. We would like to announce adjusted hours after Governor Brown's executive order March 23, 2020. We have modified our Wy'East Arena & Trail Course hours (Must complete a safety walk-through before entering trail course)

Sunday: CLOSED

Monday-Friday : 9 am to 5 pm

Saturday: 10 am to 3 pm

Please bring one horse into the arena at a time, refraining from tying at the back part of the arena. Also, please take note that we no longer have public restrooms on site for the time being. We appreciate your continued support. Any questions or concerns please contact: Brandi@mthoodcenter.com



Welcome to MT Hood Center

Bringing it back to the Community!

Our Equine Academy page is now live!
Visit it under our Information Page

Scroll



April Unlimited Haul In Pass

Published Date: April 1, 2020

STARTS

April 1, 2020, 12:00 am

ENDS

April 30, 2019, 11:59 pm

Mt Hood Center's Unlimited Haul-In Passes includes: WyEast Arena & Mt Hood Center's Cascadia Trail Course (Must complete a safety walk through...

View Event

Equine Academy

Trail Course

Our Arenas

Documents

Refund Policy



HOMESCHOOL FAMILY PLAYDATE: PICNIC WITH THE PONIES



APRIL 24TH, 2020
@ MT HOOD CENTER

To be rescheduled! -Picnic with the Ponies: Homeschool Family Date



Published Date: March 12, 2020

STARTS

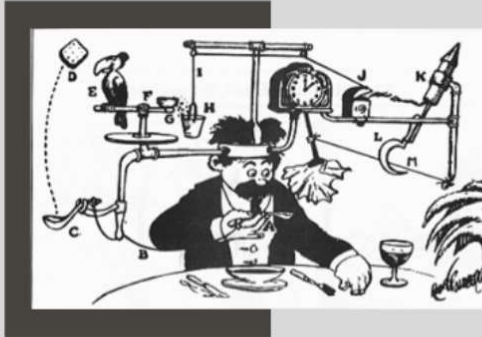
April 24, 2020, 12:00 pm

ENDS

April 24, 2020, 4:00 pm

Join us for free play on the playground and visit with the resident Ponies! Pack your own lunch and enjoy time together with Homeschool friends and...

[View Event](#)



BORING ACADEMY PRESENTS:
"JUST LIKE RUBE GOLDBERG"
ENGINEERING CAMP
FOR KIDS



Just Like Rube Goldberg Engineering Camp for Kids

Published Date: January 31, 2020

STARTS

June 22, 2020, 8:00 am

ENDS


June 26, 2020, 4:00 pm

Birthday Party Packages!

Horse Package

\$250.00


Pick your Color!
45 Min Horse Time
Tables & Chairs
Plates - Napkins - Utensils - Cups
Included for up to 25 Guest.

 Book Now

Superhero

\$475.00


Everything in the Basic Package
Decorations
Hulk Punch
Super Hero Cape
Super Hero in Training Games
Cupcakes (up to 25)

 Book Now

Once Upon a Time

\$475.00


Everything in the Basic Package
Decorations
Story Time
Crafts
Dragon's Breath Punch
Cupcakes (up to 25)


 Book Now

More Themes Available Upon Request!


- Art Theme
- Construction Theme
- Slime Theme
- Cowboy/Cowgirl Theme
- Movie Night Theme
- Pajama Party Theme

Have a request?

 Message Us

MY HORSE CENTER

[Home](#)[Information](#)[Events](#)[Contact](#)



Equine Academy

"HORSES AND LIFE;
ITS ALL THE SAME
TO ME."



Wy'East Arena (Main Arena)

(\$20 Haul in)

Mt Hood Center was initially built for horses by horse lovers and our team has worked diligently to respect the efforts and intentions of those who came before us. The facilities will include approximately 200 newly renovated stalls along with two completely renovated indoor arenas outfitted with multipurpose footing designed and installed by Arena Technologies. The garden and the entirety of the grounds will be restored and brought to life using permaculture principles of sustainability and self-sufficiency.

[Schedule Haul-in Here](#)



[Home](#) [Information](#) [Events](#) [Contact](#)

Cascadia Trail Course

(\$40 Haul in 2 hour block)

Mark Bolender, the founder of IMTCA, designed our unique trail course here at Mt Hood Center. The true centerpiece of our competition grade course is the stunning 24 feet long 13 feet high trestle bridge. Our viewing areas overlook our rolling hills, bridges, a multi leveled pyramid, balance beams, a teeter totter, maze and more. In addition to public activities and challenges this course will also be utilized as a training tool for clinics, lessons and open haul ins.

[Schedule Haul-in Here](#)





Mt Hood Center is at Mt Hood Center.



February 18 · Boring, OR · 🌐

What a beautiful day on the Cascadia Trail Course ❤️ @ Mt Hood Center



👍❤️ 199

41 Comments 17 Shares

👍 Like

💬 Comment

➦ Share

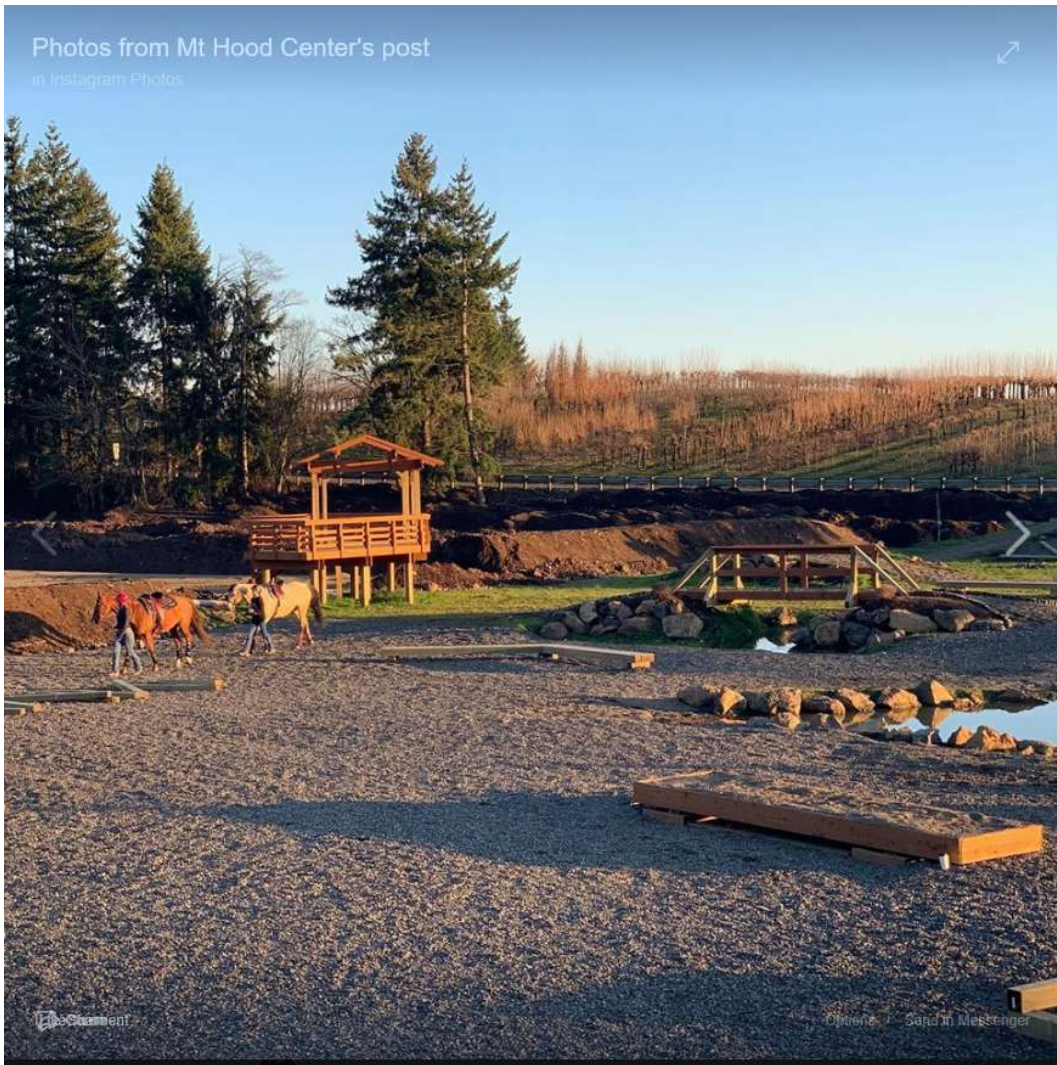
All Comments ▾



Write a comment...



Colleen Nichols-Gonterman Amazing obstacles! Dang nice



Mt Hood Center
· February 18 · Edited ·

At Mt Hood Center.

7

Like Comment Share

Write a comment...

Comment Open Send in Messenger



Mt Hood Center

March 7 · 🌐

...

What a great day of jumping! A huge thank you to our judge Bill Miller and everyone else on our team for working so hard to be able to have such a smooth fun event! We will be posting our series soon!

Looking forward to seeing you all tomorrow for Sorting Practice!

👍❤️ 23

1 Comment



Like



Comment



Share

Newest ▾



Write a comment...



Bethy Lynn I miss jumping so much! Hope it was a great day.

Like · Reply · 6w



Mt Hood Center

March 8 · 🌐

...

All set for Sorting Practice this morning 🐄🐄



👍 38

1 Comment



Mt Hood Center is at Mt Hood Center.



March 19 · 🌐

Beautiful day on our Cascadia Trail Course! [#bestwaytosocialdistance](#)



👍❤️ 121

7 Comments 5 Shares

👍 Like

💬 Comment

➦ Share

Most Relevant ▾



Write a comment...



Carl Smith Mt. Hood Center, you did a fantastic job on the Cascadia Trail Course. Well done.

Like · Reply · 4w



Brenda Quick Smith Hey I know those people!!!! Carl Smith!

Benthin, Kim

From: King, Seth J. (Perkins Coie) <sking@perkinscoie.com>
Sent: Sunday, April 26, 2020 9:08 PM
To: Benthin, Kim
Subject: RE: Kaluga LLC/29450 SE Lariat Lane, Boring - Violation File No. V0035019

Thanks, Kim.

Seth King | Perkins Coie LLP

PARTNER
1120 N.W. Couch Street Tenth Floor
Portland, OR 97209-4128
D. +1.503.727.2024
M. +1.503.944.9380
E. sking@perkinscoie.com

From: Benthin, Kim <KimBen@clackamas.us>
Sent: Friday, April 24, 2020 9:30 AM
To: King, Seth J. (POR) <sking@perkinscoie.com>
Subject: RE: Kaluga LLC/29450 SE Lariat Lane, Boring - Violation File No. V0035019

Good morning Seth!

I understand that Aaron and Dean are concerned with history. The County's concern is simply compliance with the building code and zoning ordinance.

I understand that current events are causing some juggling to occur. But I want to reiterate that the Planning and Zoning Division and the Building Code Division continue to serve its citizens.

Anyone in the County can arrange to meet virtually (i.e. Zoom), by phone conference or by email to assist you.

If you have any questions or need some assistance in contacting the County, I am willing to provide support. I also noted that the Mt Hood Center continues to be open with modified hours.

I can extend the deadline once more to May 27, 2020.

Kimberly Benthin

Code Enforcement Specialist
Clackamas County Code Enforcement Section

From: King, Seth J. (Perkins Coie) [<mailto:sking@perkinscoie.com>]
Sent: Tuesday, April 21, 2020 9:03 PM
To: Benthin, Kim <KimBen@clackamas.us>
Subject: RE: Kaluga LLC/29450 SE Lariat Lane, Boring - Violation File No. V0035019

Kim:

Thanks for checking in. I was just on the phone with Dean and Aaron today. As you know, there is quite a history here, so it's taken me some time to get up to speed. This has been complicated by the fact that I can't currently meet in person with my client, visit the site, or come to the County offices for a meeting (not your fault obviously). Under the circumstances, we would like to request a 90-day extension to the compliance deadline. This should give us enough time for the stay-home orders to be lifted, obtain our report on the septic system, engage a planner, file required permit

applications, and continue to take other steps to come into compliance. I can commit to providing you a preliminary written response to your 2/14 letter within the first 30 days of the extension period.

Please confirm that this is acceptable. I'm happy to discuss. Thank you.

Seth King | Perkins Coie LLP

PARTNER

1120 N.W. Couch Street Tenth Floor

Portland, OR 97209-4128

D. +1.503.727.2024

M. +1.503.944.9380

E. sking@perkinscoie.com

From: Benthin, Kim <KimBen@clackamas.us>

Sent: Tuesday, April 21, 2020 1:43 PM

To: King, Seth J. (POR) <sking@perkinscoie.com>

Subject: RE: Kaluga LLC/29450 SE Lariat Lane, Boring - Violation File No. V0035019

Good afternoon Seth,

I hope this email finds you well.

We are nearing the second deadline, and I haven't seen a land use application or response.

I wanted to check in.

Best,

Kimberly Benthin

Code Enforcement Specialist

Clackamas County Code Enforcement Section

From: King, Seth J. (Perkins Coie) [<mailto:sking@perkinscoie.com>]

Sent: Wednesday, March 25, 2020 1:21 PM

To: Benthin, Kim <KimBen@clackamas.us>; Boderman, Nathan <NBoderman@clackamas.us>

Cc: Munns, Jeffrey <JMunns@clackamas.us>; Amend, Michelle <MAMend@clackamas.us>

Subject: RE: Kaluga LLC/29450 SE Lariat Lane, Boring - Violation File No. V0035019

Kimberly:

Thanks so much for your reply and the extension. I will follow up with you and the Planning Division in the near future regarding next steps. Take care.

Seth King | Perkins Coie LLP

PARTNER

1120 N.W. Couch Street Tenth Floor

Portland, OR 97209-4128

D. +1.503.727.2024

M. +1.503.944.9380

E. sking@perkinscoie.com

From: Benthin, Kim <KimBen@clackamas.us>

Sent: Wednesday, March 25, 2020 12:38 PM

To: King, Seth J. (POR) <sking@perkinscoie.com>; Boderman, Nathan <NBoderman@clackamas.us>

Cc: Munns, Jeffrey <JMunns@clackamas.us>; Amend, Michelle <MAMend@clackamas.us>

Subject: RE: Kaluga LLC/29450 SE Lariat Lane, Boring - Violation File No. V0035019

Benthin, Kim

From: Munns, Jeffrey
Sent: Tuesday, June 2, 2020 5:13 PM
To: King, Seth J. (Perkins Coie)
Subject: RE: Kaluga LLC/29450 SE Lariat Lane, Boring - Violation File No. V0035019

Seth,

The plans on file with the County currently are known to be inaccurate for the state of the project. But, you are correct “the relevant issue for the County to decide right now whether the plans on file and the statements of use provided with the permits are consistent with the CCZDO and CUP”. However, if your client would like us to decide these issues based upon plans that they deviated from after approval it will likely impact our decisions concerning permits. We know that their plans have changed and we would like to review these permits in light of what they actually intend to do with the property to provide a complete review.

Also, it is better to seek a change in the CUP/new land use application for any new intended uses, than to confront violations after they have completed renovations for any uses that are not permitted by the current CUP. Many of the uses outlined in the February 14, 2020 letter outlining violations on the property were not addressed by your client.

I look forward to reviewing the current plans.

Thanks you,

Jeffrey D. Munns
Assistant County Counsel
Clackamas County
2051 Kaen Rd.
Oregon City, OR 97045
(503) 742-5984 ph.
(503) 742-5397 fax

Private and privileged communication. Do not read, copy or disseminate this communication if you are not the person or organization for whom it is intended. Please notify me of the mistake by email or phone (503) 742-5984 immediately.

The Office of the County Counsel is interested in receiving feedback on its performance. Please take a minute to fill out a brief survey by clicking <http://bit.ly/ClackCoCounselSurvey>.

From: King, Seth J. (Perkins Coie) <sking@perkinscoie.com>
Sent: Tuesday, June 2, 2020 4:37 PM
To: Munns, Jeffrey <JMunns@clackamas.us>
Subject: RE: Kaluga LLC/29450 SE Lariat Lane, Boring - Violation File No. V0035019

Jeff:

Thanks for your response. I will pass this request along to my client, but just so I understand enough to be able to explain, are the plans on file with the pending permits not sufficient to answer the questions? If not, why not? Isn't the relevant issue for the County to decide right now whether the plans on file and the statements of use provided with the permits are consistent with the CCZDO and CUP?

Seth King | Perkins Coie LLP

PARTNER

1120 N.W. Couch Street Tenth Floor

Portland, OR 97209-4128

D. +1.503.727.2024

M. +1.503.944.9380

E. sking@perkinscoie.com

From: Munns, Jeffrey <JMunns@clackamas.us>

Sent: Tuesday, June 02, 2020 4:25 PM

To: King, Seth J. (POR) <sking@perkinscoie.com>

Subject: RE: Kaluga LLC/29450 SE Lariat Lane, Boring - Violation File No. V0035019

Seth,

I had a meeting this afternoon with people from the departments involved in this matter. There are a few issues that our staff are reviewing. Meanwhile I am working on a response to you on the merits.

But, one issue that is central to this ongoing process is a current set of plans for the property. Without this my response will include a number of additional questions. Our staff had approved plans in the past, but when they visited the property there were numerous instances where the plans were not followed. Staff was informed of changes to the plans and projects were added.

We will need to have a clear picture of the overall project so that we can consider permits in context of the approved uses on the property. A current set of plans is necessary to a complete determination. Let me know when you will be able to provide the current plans.

Thank you,

Jeffrey D. Munns
Assistant County Counsel
Clackamas County
2051 Kaen Rd.
Oregon City, OR 97045
(503) 742-5984 ph.
(503) 742-5397 fax

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The Office of the County Counsel is interested in receiving feedback on its performance. Please take a minute to fill out a brief survey by clicking <http://bit.ly/ClackCoCounselSurvey>.

From: King, Seth J. (Perkins Coie) <sking@perkinscoie.com>

Sent: Tuesday, June 2, 2020 1:26 PM

To: Munns, Jeffrey <JMunns@clackamas.us>

Subject: RE: Kaluga LLC/29450 SE Lariat Lane, Boring - Violation File No. V0035019

Jeff:

Sorry to nag, but it's been several days without any update from the County. Do you anticipate that you will be able to respond to our request to release the permit hold by tomorrow? If not, please let me know the date when the County will have a response to us on the merits. Thanks much.

Seth King | Perkins Coie LLP

PARTNER

1120 N.W. Couch Street Tenth Floor

Portland, OR 97209-4128

D. +1.503.727.2024

M. +1.503.944.9380

E. sking@perkinscoie.com

From: King, Seth J. (POR)

Sent: Friday, May 29, 2020 2:08 PM

To: 'Munns, Jeffrey' <JMunns@clackamas.us>

Subject: RE: Kaluga LLC/29450 SE Lariat Lane, Boring - Violation File No. V0035019

Jeff:

We believe we have provided the information the County requested. Can you please confirm when the permit hold will be released? If you have any questions, please let me know. Thank you.

Seth King | Perkins Coie LLP

PARTNER

1120 N.W. Couch Street Tenth Floor

Portland, OR 97209-4128

D. +1.503.727.2024

M. +1.503.944.9380

E. sking@perkinscoie.com

From: King, Seth J. (POR)

Sent: Friday, May 22, 2020 2:00 PM

To: 'Munns, Jeffrey' <JMunns@clackamas.us>

Subject: RE: Kaluga LLC/29450 SE Lariat Lane, Boring - Violation File No. V0035019

Jeff:

Thank you again for your time several days ago to discuss the status of the building and utility permit holds affecting the Mount Hood Center property on SE Lariat Lane. During our call, you indicated that the County had placed the permit holds due to uncertainty about the nature of the uses associated with the permits. You suggested that my client provide a brief summary of their use of the areas associated with these permits in order to address the County's uncertainty. I've included my client's summaries below together with additional commentary addressing the 1982 conditional use permit (County File No. 829-81-C, I). Please review and confirm that these summaries address the County's questions and will facilitate the County's release of the permit holds. I'm happy to discuss anything. Thank you.

The permits concern improvements to the West Building and the Main Arena Building on the property as described below.

A. MAIN ARENA BUILDING (PERMIT NOS. B0185819, P0132219 and E0147620 - REMODEL OF BATHROOM AND LAUNDRY AREAS, DRYWALL REPAIR, AND ELECTRICAL UPGRADE)

The 1982 conditional use permit authorizes use of an approximately 2.2-acre (97,000-square foot) stable and indoor horse arena ("Main Arena Building"). Section 3 of the Board's order approving the conditional use permit authorizes development of an on-site tack shop because it is "incidental to the

operation of the riding stable.” The County files indicate that, after approval of the conditional use permit, the County approved a tack shop at the stable for the purpose of serving the clientele of the stable.

Given that the facility is over 46 years old, my client sought to upgrade the facility, including existing bathrooms, showers, and laundry in the Main Arena Building, which are essential components of preparation for/clean up from horseback riding at the facility. These upgrades led to some related drywall repairs and electrical upgrades. My client also sought to upgrade the existing tack shop and office area. All of the improvements associated with these permits are upgrades of existing elements of the stable and are supportive of existing uses authorized by the 1982 conditional use permit. No change in use is planned or will result from issuance of the permits and completion of the improvements. My client’s summary of the proposed improvements and pending permits is as follows:

“Large Building Bathroom Remodel and Tack Room relocation

The original application was to remodel the existing bathroom, shower, wash basin, laundry areas. So far, we pulled the following permits: B0185819, P0132219 and E0147620. This was our only restroom and shower facility in the entire 97,000 sq ft building. The permits were approved and demo completed. This obviously now created a situation where we have no restrooms, sinks, or showers any longer in the facility. The below grade plumbing drain pipes and above grade water supply pipes were inspected and approved. A concrete slab was poured and framing completed. The rough in was completed and when an inspection was called for by the plumber, he was told the facility was on hold for all permits and inspections. At the same time the plumbing project was going on, a major repair and upgrade to our electrical system was also underway. PGE had completed stage 1 of a major service upgrade and then passed the torch to our electrician for stage 2. When the electrician went to pull permits for stage 2 of the service upgrade and the wiring of the bathroom TI in the main building, he was also told our permits were on lockdown. We were given NO NOTICE prior to learning our fate from the contractors. The showers, laundry, wash basins and restrooms will be used for the same purpose associated with the approved CUP just as before. No changes in use will take place. Horseback riding in all forms is a filthy, dusty endeavor. Restrooms and showers were previously available for people to go to the bathroom and to clean up after riding so as to not wear their dirty clothing home or in their vehicles. Some horse owners ride before work and naturally need to shower after riding. But more to the point, this is a remodel of existing space and features. Showers, restrooms, wash basins and laundry were available before in the same area we are remodeling. A Tack Shop, Snack Shop and Veterinarian Clinic were all previously approved under the existing CUP. Again, these are not newly sought after uses. These uses were already approved in the existing CUP and previously existed. This is simply a remodel. The Tack Shop is simply being relocated near the main entrance where it will have greater visibility and supervision.

“Drywall repairs.

The dry wall repairs were noted in B0185819. These are the repairs that Kim Benthin witnessed during her July 2019 visit but was uncertain about the necessity of permits. We would like to conclude this matter as stated under B0185819.

“Electrical repair.

To be more specific on the electrical repair, Clackamas County required it to take place. The existing system is an old “Y” Delta with 2 transformers creating a 3 phase signal. One of the transformers has been blown prior to when the new owner purchased the facility. Clackamas County requested that the facility electrical panel room be updated before any new circuits were added or updated. PGE mandated that a service upgrade would be necessary before they would sign off on any meter room upgrades. Therefore, we began the process and have spent over \$50,000 on equipment alone, PGE has set both the vaults, and ran several hundred feet of conduit and we are ready to set up the switch gear. Our electrician, Steve Frost of North River Electric, needs to pull the electrical permits (E0147620 and others) to complete his scope of the work on this service repair and West Building and the Large Building, including but not limited to the existing restroom/shower/laundry/wash basin area remodel. Please keep in mind, this is basic utility repair. One of our transformers is broken and the repair needs to be completed to restore service to the buildings.”

Additional information.

To answer a question previously raised by the County, the wash basin shown on my client’s plans is not a dog wash and is not intended to be used as a dog wash. Please note that the facility has always had livestock washing bays for use.

On the plans submitted with the permit application to the County, my client labeled the elevations for a portion of the building as “sales and office.” This area will be used for the tack store and office. The merchandise in the tack store will vary based upon the seasons, events, and activities associated with the facility. The store will sell items commonly found in a tack store including, but not limited to, tack, horse care products, and any products relating to the stalling, riding and care of horses. The purpose of the store is to support the facility and not to be a separate primary use; accordingly, it will be for the clientele of the stable and other visitors to the facility. Consistent with the Board’s 1982 order, the tack store will be “incidental to the operation of the riding stable.”

The “office” will be used as office space to support the stable use and its activities. It will be separated from the tack shop by a partition, non-permanent divider. Given its support purpose and small size, the office will be also be incidental to the operation of the facility.

B. WEST BUILDING (PERMIT #B0482219 - TWO ADA BATHROOMS AND SLIDING EXTERIOR DOOR)

The 1982 conditional use permit approved a 5,000 square foot building (“West Building”) that was intended to be incidental to and supportive of the larger Main Arena Building. Historically, the West Building was utilized for storage and as a hay barn for the stable. Beginning in 2015, the County issued building/utility permits (permit numbers listed in summary below) and approved inspections for the West Building to authorize its conversion to a more intensive assembly use. The County did not require a new or modified conditional use permit or any other land use authorizations in conjunction with these improvements. My client recently pulled B0482219 for two new ADA toilets and a sliding exterior door to meet national standards and improve life safety conditions of the building. This is an extremely minor scope of work that will facilitate the continued use of the

approved assembly activities in the building, which, as explained below, occur in conjunction with the stable use and in a more appropriate meeting space than can occur within the Main Arena Building. There is no plan for a change of use in this space in conjunction with the pending building permit. As a result, the use of the West Building will continue to be incidental to and supportive of the Main Arena Building and stable use as required by the 1982 conditional use permit.

My client provided the following use summary to the Planning Division for B0482219 in December 2019. I think this summary actually exceeds the scope of B0482219 and addresses the use of all of the interior improvements previously authorized by the County in conjunction with the 2015 permits; however, I am not editing it both in an effort to be complete in our description and to be consistent with our December 2019 submittal to the County. The summary reads as follows:

“This application is consistent with prior approval of the existing CU. We are simply extending the location of the training and educational component of equestrian program from the bleacher seating in the large arena into the smaller building. This became possible because the previous owner and tenant made improvements to the building under permit B0101315 (Permits B0101315, P0128415, E0646615 were pulled in March-June 2015) which we completed and had the final inspection performed. Since the previous work was done by the previous owner without modification or new CUP, the building was no longer usable as a hay barn. This notion became desirable after reviewing that the bleacher seating area in the large building for training, education and rules meetings were too loud (tractor in operation grooming arena, PA sound system checks), too cold (no heating and not practical to heat such a large space), and too far away from the restrooms. By moving the educational meetings to the small building, we address all three concerns and make use of an otherwise unused space. This use does not violate any ordinances in effect. This does not result in any of the following:

1. Type of Use: The current use of the buildings is consistent with CUP and RRFF-5 zoning. The entire property was approved as part of the CUP.
2. Floor Area: The floor area is not being increased.
3. Lot Coverage: No changes to lot coverage will be made.
4. Increase in Density or Intensity: No increase in intensity or density shall take place. The same equestrian participants currently allowed to use the facility under the existing CU will be the participants using this space instead of the arena bleacher seating in the large building. The only amendments will be ADA restrooms and egress doors as required by Clackamas County building code and the Clackamas County Fire Marshal. This will not result in an increase number of toilet flushes, only a decreased waiting time to flush.
5. Traffic Congestion: No increase in traffic congestion will take place. The number of horse trucks and trailers will not increase and is already limited by the existing CUP. We have no problem or worry about surpassing the limitations set forth to prevent traffic congestion in the original CUP. It will continue to be adhered to.
6. Reduction in Open Space: No reduction in open space will take place.
7. Reduction in Off-street parking: No reduction in parking will take place.
8. Reduction in Pavement Widths: No reduction in pavement widths or changes in location will take place.”

Additional information.

My client does not operate a school or a day care facility in the West Building. If my client intends to do so in the future, they will first obtain approval of any required land use permits from the County.

Please review and confirm that these summaries address the County's questions and will facilitate the County's release of the permit holds. I'm happy to discuss anything. Thank you.

Seth King | Perkins Coie LLP

PARTNER

1120 N.W. Couch Street Tenth Floor
Portland, OR 97209-4128
D. +1.503.727.2024
M. +1.503.944.9380
E. sking@perkinscoie.com

From: Munns, Jeffrey <JMunns@clackamas.us>
Sent: Wednesday, May 06, 2020 7:26 AM
To: King, Seth J. (POR) <sking@perkinscoie.com>
Subject: Re: Kaluga LLC/29450 SE Lariat Lane, Boring - Violation File No. V0035019

Yes, will do. Thanks,

Jeffrey D. Munns
Assistant County Counsel
Clackamas County
2051 Kaen Rd.
Oregon City, OR 97045
(503) 742-5984 ph.
(503) 701-7484 cell
(503) 742-5397 fax

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On May 5, 2020, at 11:32 PM, King, Seth J. (Perkins Coie) <sking@perkinscoie.com> wrote:

Jeff:

Thanks for your voice message this afternoon. It sounds like you are free tomorrow afternoon. Can I give you a call at 2pm Wednesday to discuss?

Seth King | Perkins Coie LLP

PARTNER

1120 N.W. Couch Street Tenth Floor
Portland, OR 97209-4128
D. +1.503.727.2024
M. +1.503.944.9380
E. sking@perkinscoie.com

From: King, Seth J. (POR)
Sent: Tuesday, May 05, 2020 2:33 PM
To: Munns, Jeffrey <JMunns@clackamas.us>

Cc: 'Boderman, Nathan' <NBoderman@clackamas.us>

Subject: FW: Kaluga LLC/29450 SE Lariat Lane, Boring - Violation File No. V0035019

Jeff:

Please see the email chain below. I understand this issue has been referred to you. I hate to nag, but I am looking for some direction here after a couple of weeks. Can we set up a time certain to discuss? Thank you.

Seth King | Perkins Coie LLP

PARTNER

1120 N.W. Couch Street Tenth Floor

Portland, OR 97209-4128

D. +1.503.727.2024

M. +1.503.944.9380

E. sking@perkinscoie.com

From: Boderman, Nathan <NBoderman@clackamas.us>

Sent: Monday, April 27, 2020 8:50 AM

To: King, Seth J. (POR) <sking@perkinscoie.com>

Subject: RE: Kaluga LLC/29450 SE Lariat Lane, Boring - Violation File No. V0035019

Seth- I have forwarded your message to Jeff Munns in my office. He works primarily with our code enforcement folks and would be a better resource to help explain how the locks work, policies behind how those decisions are made, etc.

I will try and connect with him first part of next week to see if we can get you some answers to your questions below.

~Nate

Nathan Boderman

Assistant County Counsel

2051 Kaen Road, 2nd Floor

Oregon City, Oregon 97045

(503) 655-8364

nboderman@co.clackamas.or.us

Office hours: 7:00 AM - 6:00 PM, Monday – Thursday

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office, keep the contents confidential, and immediately delete the message and any attachments from your system.

From: King, Seth J. (Perkins Coie) <sking@perkinscoie.com>
Sent: Thursday, April 23, 2020 3:59 PM
To: Boderman, Nathan <NBoderman@clackamas.us>
Subject: RE: Kaluga LLC/29450 SE Lariat Lane, Boring - Violation File No. V0035019

Nate:

Hope you are well. I am writing to follow up on a voice message I just left you. For this site, Shirley in the Building Department has advised my client that the client's pending building, electrical, plumbing, etc. permits at the County are "locked," and that everything is going through County Counsel. I wanted to reach out to you to obtain a better understanding of the lock, the County's policy on locks, and the legal basis for it applying here. As I understand it, the County's action has locked some permits that are not related to the alleged violations on the property (e.g., upgrades to make restrooms ADA-compliant), so my client has no restrooms on the property, and in another case, a building that has an open space for an exterior door but cannot install the door. The client should be able to complete these improvements without the need for resolution of the land use issues on the property. As a result, I'm not seeing the legal basis for a complete lock on permits on the property. Can you please let me know your thoughts?

Please give me a call at my mobile number (503.944.9380) to discuss. If you'd prefer to set up a time certain or a video call, we can do that instead. Thanks much.

Seth King | Perkins Coie LLP
PARTNER
1120 N.W. Couch Street Tenth Floor
Portland, OR 97209-4128
D. +1.503.727.2024
M. +1.503.944.9380
E. sking@perkinscoie.com

From: Boderman, Nathan <NBoderman@clackamas.us>
Sent: Wednesday, March 25, 2020 1:11 PM
To: King, Seth J. (POR) <sking@perkinscoie.com>
Subject: FW: Kaluga LLC/29450 SE Lariat Lane, Boring - Violation File No. V0035019

Seth- Hopefully planning and code enforcement can take it from here. If I can help coordinate any efforts on our side moving forward, don't hesitate to reach out.

~Nate

Nathan Boderman
Assistant County Counsel
2051 Kaen Road, 2nd Floor
Oregon City, Oregon 97045
(503) 655-8364
nboderman@co.clackamas.or.us

Office hours: 7:00 AM - 6:00 PM, Monday – Thursday

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Benthin, Kim

From: Frymark, Heidi
Sent: Friday, June 19, 2020 10:42 AM
To: sking@perkinscoie.com
Cc: Benthin, Kim
Subject: RE: Questions re: Online Building Plan Submittal

Hello Seth

Please see my answers below in red. Sorry for the delay, I just found this.

Heidi Frymark

Plans Examiner

Clackamas County Dept. of Transportation Building Codes Division
150 Beavercreek RD, Oregon City, OR 97045
Tel: (503) 742-4778 (not available by phone during COVID-19 closure)
hfrymark@clackamas.us
My Hours: Mon thru Friday 7:30am – 4:00pm

From: King, Seth J. (Perkins Coie) <sking@perkinscoie.com>
Sent: Tuesday, June 16, 2020 3:19 PM
To: Carlson, Richard <richardcar@clackamas.us>
Cc: Rozzell, Matthew <MRozzell@clackamas.us>
Subject: Questions re: Online Building Plan Submittal

Warning: External email. Be cautious opening attachments and links.

Richard:

Matt Rozzell referred me to you if I needed assistance with the online plan submittal process for building permits. My client has existing permits for the Mount Hood Center (29450 SE Lariat Lane, Boring) and needs to submit updated information.

Can you please confirm a couple of things about the online submittal process:

- (1) Does whoever is submitting the information need to be either a licensed contractor or the landowner? **Anyone can submit for permit however for commercial work we must have a licensed contractor to release the plans for permit issuance.**
- (2) One permit (B0482219, I believe) requires a change of use/occupancy. Does that require us to complete the standard building permit form, or a different form? **The change of occupancy procedure is part of the building permit. A standard building permit application is all that is required. A change of occupancy triggers a Certificate of Occupancy. Several weeks prior to final your inspector can help you with this, it requires its own application form. The cost is part of the building permit fees.**
- (3) The other permit (B0185819, I believe) only involves a submittal of stamped plans. Is a cover form required for those? **A cover sheet should be provided which shows the building site, code summary and list of deferred submittals.**

Best Regards,
Heidi

Thank you.

Seth King | Perkins Coie LLP

PARTNER

1120 N.W. Couch Street Tenth Floor

Portland, OR 97209-4128

D. +1.503.727.2024

M. +1.503.944.9380

E. sking@perkinscoie.com

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Mt Hood Center is at Mt Hood Center.



November 20 at 10:17 AM · Boring, OR · 🌐

Sorry friends...Due to construction Main arena & Warm up arena are closed until November 30th!!



6

1 Comment 1 Share



Like



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Write a comment...



Holly Stark

So can we get a refund on our haul in fee this month?
We got one ride before you closed.



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Sandy Holiday Craft Bazaar

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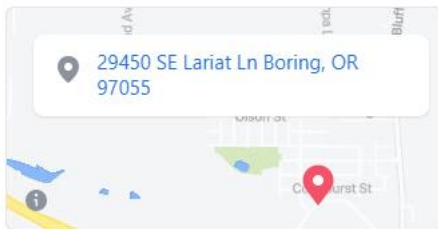
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About

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The Sandy Holiday Craft Bazaar is an annual event. This year it is being held at the Mt. Hood Center 29450 SE Lariat Ln Boring, OR 97009.

This annual event is the weekend after Thanksgiving.

481 people like this

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<https://www.jotform.com/mmhaislip/2020-event-registration-amended>

Typically replies within a day
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sandyholidaycraftbazaar@gmail.com



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Sandy Holiday Craft Bazaar

November 20 at 8:02 PM · 🌐



Yes! This event is on!

<https://www.facebook.com/events/1336602443200348>



SAT, NOV 28 - NOV 29

2020 Sandy Holiday Craft Bazaar- 11/28 & 11/29

Mt Hood Center

Shopping · 1,689 people

Interested



Mt Hood Center is at **Mt Hood Center**.



November 11 at 2:19 PM · Boring, OR · 🌐

Building is looking Fabulous!!! Thank you for being patient with all the construction inside and out!!



👍❤️😮 75

7 Comments 2 Shares



Mt Hood Center is at Mt Hood Center.

November 3 at 9:36 AM · Boring, OR · 🌐



Great vendors, yummy food, fabulous couple of days!! See you there friends! Get your Christmas shopping done early!!



Christmas Bazaar & Tack Sale



Mt Hood Center is at Mt Hood Center.

...

October 24 · Boring, OR · 🌐

Come see all the exciting vendors!!! Grab a bit to eat and the enjoy the afternoon @ Mt Hood Center Tack Sale going on NOW!!!



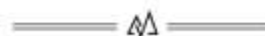
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MHC Learning Collective



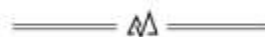


Our Mission



Our unique combination of academics and enrichments provides students with a distinctive learning advantage. Beginning in preschool and continuing through 5th grade, students will be engaged in an integrated program that includes STEAM (Science, Technology, Engineering, Equine, Agriculture, Art and Math) as our foundation and enrichments that enhance learning and provide diverse opportunities for students to learn through hands-on opportunities. Our mission is to inspire our students to be positive stewards of their community by taking an active role in their own learning. We share a goal to provide an inclusive learning environment for all students.

Cohorts



The cohorts will be broken up into the Pee-Wee wranglers, our pre-k students (aged 3-5), and primary grade students will form three more cohorts of students grades K-2, 3-5 and 6-8.

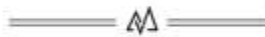
Dragonfly Cohort

Salmon Cohort

Bears Cohort

WHAT TO EXPECT FOR YOUR CHILD

Schedule



WEEK 1					-- Sample Schedule --				
MONDAY	TUESDAY	WEDNESDAY	THURSDAY	FRIDAY					
Arrival : Soft Start Stations / Activities vary by cohort	Arrival : Soft Start Stations / Activities vary by cohort	Arrival : Soft Start Stations / Activities vary by cohort	Arrival : Soft Start Stations / Activities vary by cohort	Arrival : Soft Start Stations / Activities vary by cohort					
Literacy Block	Literacy Block	Literacy Block	Literacy Block	Literacy Block					
Math Exploration	Math Exploration	Math Exploration	Math Exploration	Math Exploration					
Lunch	Culinary Class & Lunch	Lunch	Lunch	Lunch					
Science / Labs	Science / Labs	Science / Labs	Science / Labs	Science / Labs					
Art	Gardening	Health & Wellness	Woodworking	Art					
Equine Studies group A		Equine Studies group B		Equine Studies group C					
Dismissal	Dismissal	Dismissal	Dismissal	Dismissal					

MHC Learning Collective provides programming five days a week from 8am to 3pm with options for extended care. Enrichment classes are held on different days so please

MHC Learning Collective provides programming five days a week from 8am to 3pm with options for extended care. Enrichment classes are held on different days so please make sure to check your students specific schedule when preparing for your week.

We are working on expanding our learning collective for the the 2020-21 program year and we would love to hear your feedback and suggestions. If you feel inclined, please fill out the survey below. Thank You.

 2020 Learning Collective Survey

If you would like to learn more, please email our education director, Sarah Anderson, at sarah@mthoodcenter.com

Learning Collective Calendar

MHC Learning Collective

Today:   December 2020    

Sun	Mon	Tue	Wed	Thu	Fri	Sat
29	30	Dec 1	2	3	4	5
6	7	8	9	10	11	12
13	14	15	16	17	18	19
		2pm Santa @ MHC	12:30pm Showmanor	2pm The Bears		
20	21	22	23	24	25	26
	Learning Collective Closed - Winter Break					





MT HOOD CENTER
29450 SE Lariat Ln
Boring, OR 97009

FACILITY HOURS

Monday: 10 am to 8 pm
Tuesday: 10 am to 8 pm
Wednesday: 10 am to 8 pm
Thursday: 10 am to 8 pm
Friday: 10 am to 8 pm
Saturday: 10 am to 5 pm
Sunday: Closed

OFFICE HOURS

Monday: 9 am to 5 pm
Tuesday: 9 am to 5 pm
Wednesday: 9 am to 5 pm
Thursday: 9 am to 5 pm
Friday: 9 am to 5 pm
Saturday: Closed
Sunday: Closed

HELP & FAQ

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Below is snips of the MHC Learning Collective SURVEY:

MHC Learning Collective

This is a program for families looking for either an alternative to what their neighborhood schools are offering or as supplemental programming for their student. We are asking families to fill out the following survey with the goal of getting an idea of what the needs are of our community. Thank you for your participation.

Have you heard of Mt Hood Center? MHC Learning collective is a new component of the center located at : 29450 SE Lariat Ln Boring, Oregon.

☐ Yes

☐ No

If you have been to Mt Hood Center, please share a quick note about your experience.

Your answer

MHC Learning Collective is offering a full time or part time option. This is an integrated program of enrichments and academics held in the classroom and throughout the center. Please select the number of days you might be interested in.

☐ 2-3 days

☐ 4-5 days

☐ Not sure yet , still need to hear from my neighborhood school

We are offering 3 cohorts of 10 students each. The cohorts are designed for Pre-

We are offering 3 cohorts of 10 students each. The cohorts are designed for Pre-K students [aged 3-5], Kinder-2nd, and 3rd - 5th. Which cohort would you be interested in? Please select all that apply.

- ☐ Pre-K
- ☐ Kinder - 2nd grade
- ☐ 3rd - 5th grade
- ☐ None, My students are older

As a learning collective we will be using the entire center for different learning opportunities. Many lessons will be held in the classroom, but some will require the use of outdoor classroom spaces. On a scale from 1 to 5 how much does your student enjoy being outdoors?

- ☐ 1 - Not at all!
- ☐ 2
- ☐ 3
- ☐ 4
- ☐ 5 Loves it, they prefer the outdoors to being inside!

What types of enrichment classes would your students be interested in? Check all that apply.

- ☐ Riding Lessons
- ☐ Wood Working
- ☐ Gardening
- ☐ Cooking
- ☐ Art
- ☐ Spanish

- ☐ Spanish
- ☐ Music
- ☐ Health and Wellness

Along with horses, students will also have the opportunity to learn about other animals. What animals would your child be interested in learning more about? Select all that apply.

- ☐ Farm Animals : Goats, Chickens , Cows , Pigs, and more
- ☐ Forest Habitats - Deer, Black Bear , Eagles, Salmon, and more
- ☐ Pond Habitats - Frogs, Salamanders, fish, and more
- ☐ Endangered Species, and preservation
- ☐ Pets - Dogs , Cats, Birds, and others getting student input.
- ☐ Other: _____

What is your students favorite animal?

Your answer _____

Would you be able to provide transportation for your student? Our schedule is 8 am to 3 pm Monday to Friday. Families have the option to choose the instruction days that fit best with their schedule.

- ☐ Yes
- ☐ No
- ☐ Maybe

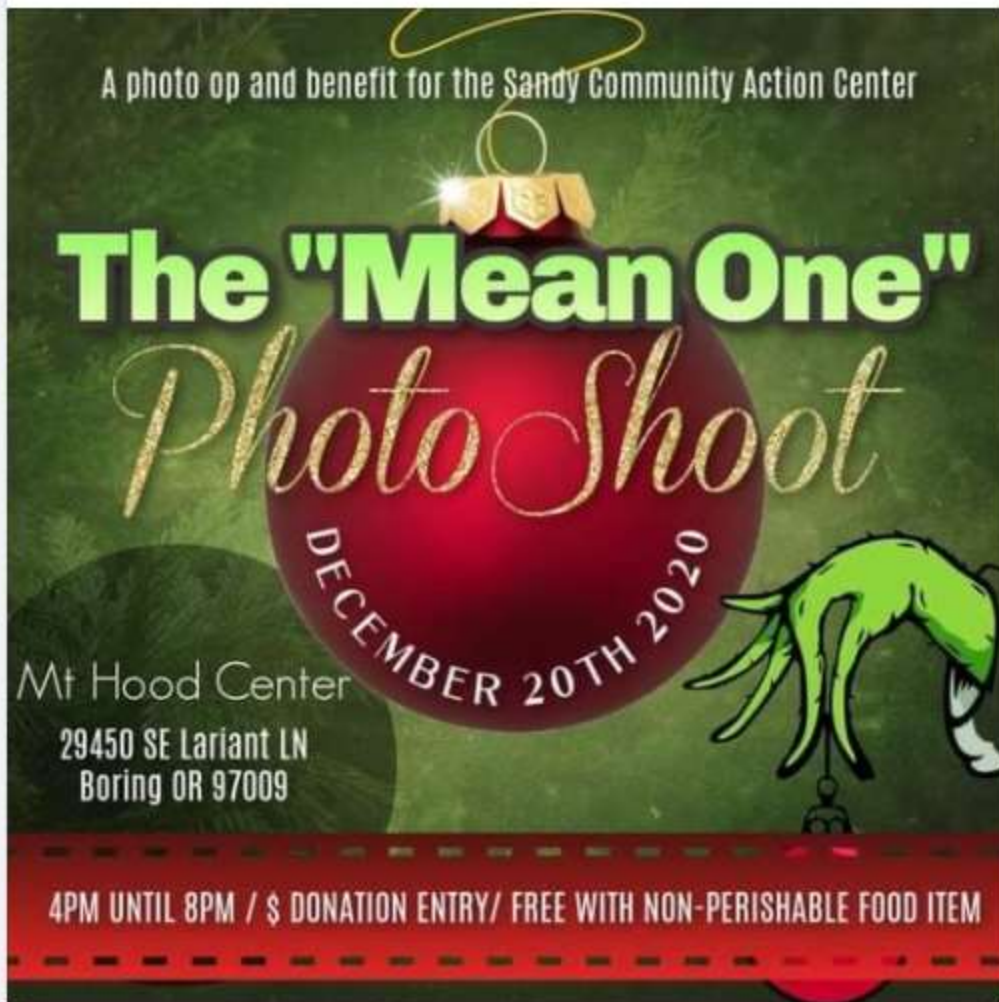


Mt Hood Center

December 16 at 11:48 AM · 🌐



FOOD & MONEY DONATIONS for Sandy Community Action Center!!!



Taelor Cansler

December 16 at 11:37 AM · 🌐

We are having a fundraiser THIS SUNDAY 12-20-20 from 4-8 P.M! Come bring either money donations or non-perishable food items to the [Mt Hood Center](#) in exchanged for a selfie with the Grinch! Money and donations will go back into our Community Action Center here is Sandy Oregon, which which is a hunger relief agency that serves the residents of the Oregon Trail School District!

Please bring your masks, as it will be a requirement for all! 😊

Special thanks to [Celese Williams](#) for making the flyer last minute!



Mt Hood Center is at Mt Hood Center.

December 6 at 11:56 AM · Boring, OR · 🌐



Day 2 in full swing!! Open til 2:00 pm!! Yummy BBQ, great stocking stuffers, awesome VENDORS!! #holidaybazaar tacksale 2020



👍🥰 4

👍 Like

💬 Comment

➦ Share



Mt Hood Center is at Mt Hood Center.

December 5 at 11:22 AM · Boring, OR · 🌐



So much fun!! Come see us Today!! Get your Christmas shopping done early!!! #holidaybazaar #tacksale



18

4 Comments 8 Shares

👍 Like

💬 Comment

➦ Share

Most Relevant ▼



Mt Hood Center is at **Mt Hood Center**.

December 1 at 8:41 PM · Boring, OR · 🌐



Hi Friends!! Please consider sponsoring students enrolled in the MHC Learning collective.

This learning collective provides students K-8 with equestrian opportunities and more.

Follow the PayPal Link to support with any donation amount of your choice.

Many thanks and Happy Holidays!



  23

2 Comments 4 Shares

 Like

 Comment

 Share



Mt Hood Center

November 28 at 8:39 PM · 🌐



Kelsey Gile is with Whitney Bard at Mt Hood Center.

November 27 at 5:36 PM · Boring, OR · 🌐

@mama_to_grayson and I worked SOOOO hard on our setups today [Oh Dear Children's Resale Boutique](#) & [Blossoming Baby](#) (kudos to our amazing husbands for helping too) We're all ready for the the holiday bazaar...Come see me this weekend!!! Saturday and Sunday from 10:00-4:00 ❤️ 🎄

2020 Sandy Holiday Craft Bazaar- 11/28 & 11/29

[#shoplocal](#) [#shopsmall](#) [#smallbusiness](#) [#smallbusinesssaturday](#)
[#oregon](#) [#savesmallbusinesses](#)



Mt Hood Center

November 28 at 8:37 PM · 🌐

...



The Coop - Food Truck is at Mt Hood Center.

November 28 at 4:19 PM · Boring, OR · 🌐

What a great Saturday serving all your smiling faces! Don't miss out on great holiday gifts from tons of local vendors this Sunday at [#sandyholidaycraftbazaar](#) 10am-4pm. [#coopfoodtruck](#)



1 Share



Mt Hood Center

November 13 · 🌐

...

We are excited to congratulate our Chase Buckle Series Winners!! Well done ladies !!

Here's the winners!

14 & Under-

*Rowen Yandell

15-21-

*Mahrissa Paluck.

22-45

*Teresa Yandell

46 & Over

*Toni Palmateer

NEVER WON A BUCKLE:

*Addie Offerdahl.

Please contact us to schedule a time to pick up your buckle or provide us with your contact information so we may mail it to you.

Thanks to all who participated and a special thanks to our Sponsors.

Due to unforeseen changes we will not be holding any further chase series events at this time.





Mt Hood Center

July 30 · 🌐



We have some exciting news! MHC is forming a Learning Collective and would love to gather some feedback from our community about what families are looking for in academic programming.

We would appreciate it if you could take a few moments to fill out our survey. We would love to hear from everyone, even if your students are grown. We know experienced parents can provide great insight

If you would like to learn more about our Learning Collective

visit <https://mthoodcenter.com/learning-collective>

or email our Education Director Sarah Anderson-Kuhn

sarah@mthoodcenter.com

Thank You!

<https://bit.ly/39lcaqJ>

MHC Learning Collective

A program for families looking for either an alternative to what their neighborhood schools are offering or supplemental programming for their students. We are asking them to fill out the following survey with the goal of gathering about what they need in community. Thank you for your participation!

As you heard in Mt Hood Center's MHC Learning Collective is a new program of the center located at 2000 36 Canyon Road, Oregon

Yes

No

As you heard in Mt Hood Center, please share a quick note about your thinking

Comments

DOCS.GOOGLE.COM

MHC Learning Collective

This is a program for families looking for either an alternative to what their neighborhood schools are offering or as supplemental programming for their student. We are asking families to fill out the following survey with th...



👍❤️ 10

1 Comment · 10 Shares



Like



Comment



Share

Most Relevant ▼



Write a comment...



Patty Finnie Ingram
Kristen Hawkins Merriss



Like · Reply · 20w



Mt Hood Center is at Mt Hood Center.

July 25 · Boring, OR · 🌐



Great Day 2 with Chris Cox. All class! All heart! What great Horsemanship! @chriscox @chriscoxhorsemanship @ Mt Hood Center



👍❤️😮 71

10 Comments 3 Shares

👍 Like

💬 Comment

➦ Share



TUE, JUL 21

Time Only- Barrel Race Practice Night at MHC

Boring, OR

23 people interested

☆ Interested



Like



Comment



Share



Write a comment...



Mt Hood Center added an event.

July 15 · 🌐



TUE, JUL 21

Time Only- Barrel Race Practice Night at MHC

Boring, OR

23 people interested

☆ Interested



Mt Hood Center

July 6 · 🌐



Barrel Race Time Only Night's at Mt Hood Center

Scheduled blocks of time:

4:00 PM- 5:00 PM

5:00 PM- 6:00 PM

6:00 PM- 7:00 PM

7:00 PM- 8:00 PM

each run **TIMED**

REGISTER @
MTHOODCENTER.COM



MTHOODCENTER.COM

Barrel Race Time Only Night's @ Mt Hood Center
07/07/2020



1

1 Share



Like



Comment



Share



Write a comment...



Mt Hood Center

July 6 · 🌐



About the Event

The Mt Hood Roughstock Challenge will feature the best cowboys in the west as they face off against the toughest bulls and broncs anywhere and the fastest cowgirls to ride a horse.



Tags

Mt-Hood Roughstock Challenge

Mt.-Hood Center


Plus-1 Productions






Location



[Mt. Hood Center](#) 29450 SE Lariat Lane Boring Oregon 97009

MT HOOD ROUGHSTOCK CHALLENGE

 [Mt. Hood Center](#)
29450 SE Lariat Lane Boring
Oregon 97009
[View map](#)

 Sat May 8, 2021 | 7:00 pm (Doors : 5:30 pm).
[Add to calendar](#)
   

Age restriction: All Ages

 [Select Tickets](#)



 15687

814
Shares





El Dorado Ranch

October 11, 2021 · 🌐

🔥 Nos vemos este Domingo 17 en Boring 🔥

See Translation

PROMOCIONES LOERA
EL GIGANTE DEL JARIPEO PRESENTA:

PLAZA: "EL TORO PINTO"
29450 SE LARIAT LN BORING OR 97009

OCTUBRE 17 DOMINGO 2021
PUERTAS ABREN 2:00 PM.
MENORES DE 12 AÑOS GRATIS

LOS TOROS
AVEN UREROS
DE PATA DURA

RANCHO LOS INQUIETOS
LA PASADITA DE LOS INQUIETOS

LOS TOROS
AZTECAS

EL ROBLE
LA PASADITA DE LOS INQUIETOS

LOS IMPARABLES
LA PASADITA DE LOS INQUIETOS

ARTEZON

EL DORADO RANCHO

RANCHO AGUA ESCONDIDA

RANCHO LOS NAYARITAS
LA PASADITA DE LOS INQUIETOS

TORNEO GIGANTES

PREVENTA \$30 DLS. DIEZ GANADERIAS

LA NOBLEZA
DE AGUILILLA

LA VANDIA

INFORMES: (541) 610.9912 (503) 875.8706

EXHIBIT AY PAGE 1 OF 1

DISENO GRAFICO TERRITORIO VAQUERO



Mt Hood Center

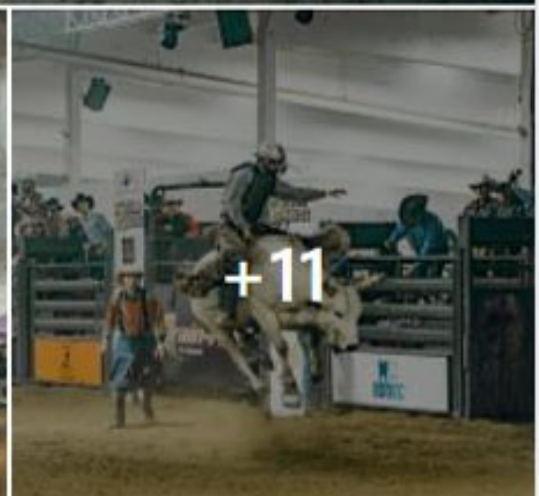
19h · 🌐



A couple shots from Saturday night at the Mt Hood Roughstock Challenge.

What a great rodeo thanks to Plus 1 Productions!

What was your favorite part of the rodeo?





MT HOOD ROUGHSTOCK CHALLENGE

Boring, OR

Mt Hood Roughstock Challenge Rodeo

Published Date: November 18, 2021

STARTS
November 20, 2021, 7:00 pm

ENDS
November 20, 2021, 9:00 pm

Mt Hood Roughstock Challenge Rodeo
BRONCS, BULLS & BARRELS!

Saturday, November 20th at 7pm - doors at 5:30pm

The Mt Hood Roughstock Challenge will feature the best cowboys in the west as they face off against the toughest bulls and broncs anywhere and the fastest cowgirls to ride a horse.

TICKETS:
\$20 in advance
\$25 at the door
12 and under: \$15

Food & Drinks will be available on site.

[More Events](#)

[Buy Tickets Here](#)





Mt Hood Center

December 15 at 12:48 PM · 🌐

...

Run, don't walk! Today is the last day to postmark your entry form for the Boring Barrel Bash BRN4D Prime Race before tacking on the late fee. Late fees will be added to all entries postmarked past December 15th!

Get more info & find the entry form here:

<https://mthoodcenter.com/.../196/boring-barrel-bash...>

The poster is for the Boring Barrel Bash BRN4D Prime Race. It features a dark green background with white text and a line drawing of a rider on a horse jumping a barrel. The title 'Boring Barrel Bash' is in a large, cursive font, with 'BRN4D PRIME RACE' in a smaller, sans-serif font below it. The event details are listed: 'JANUARY 1ST 1:00PM & 2ND 1:00AM', 'MT HOOD CENTER', and '29450 SE LARIAT LANE, BORING, OR'. Below this is a section titled 'THANK YOU TO OUR SPONSORS' which contains a grid of 16 logos. The logos include: EQUERRY'S, 100X EQUINE, COUNTRY FINANCIAL, THERM-A-SEAL SCHWAB, elite, Italian Diving, Gump's, Boring Barrel Races (a circular logo with a horse and rider), a circular logo with a horse head, ROCK TAPE, AKINS TRAILER SALES, EAGLE FEED, a circular logo with a horse, FARRIER'S WIFE, and a circular logo with a horse head.

Boring Barrel Bash
BRN4D PRIME RACE

JANUARY 1ST 1:00PM & 2ND 1:00AM
MT HOOD CENTER
29450 SE LARIAT LANE, BORING, OR

THANK YOU TO OUR SPONSORS

SPONSORS:

- EQUERRY'S
- 100X EQUINE
- COUNTRY FINANCIAL
- THERM-A-SEAL SCHWAB
- elite
- Italian Diving
- Gump's
- Boring Barrel Races
- Rock Tape
- AKINS TRAILER SALES
- EAGLE FEED
- FARRIER'S WIFE
- CLACKAMAS

Album Holiday Craft & Tack Sale 12.4-12.5



Mt Hood Center added 34 new photos.

December 8 at 1:05 PM · 🌐

...











Mt Hood Center is at Mt Hood Center.

December 7 at 2:29 PM · Boring, OR · 🌐

...

We know the last couple years have been tough for everyone, but especially school aged children who have been struggling to keep up with distance learning or are having trouble adjusting back to in-person learning. Does your child need an academic change? Mt Hood Center Academy has open enrollment for students Kindergarten - 8th grade.

MHCA is an independent day school providing top tier education based on Oregon state standards with smaller class sizes and one-on-one teaching instruction. Not only do we offer a much more hands on approach with our students, but we also have a dual language program, equine studies, farm-to-table, debate, constitution studies and many more programs public schools do not offer!

If this sounds like something your child would benefit from - visit our website to schedule a tour today! Additionally, if you know a child that could use a change, please share this post - you may just be a life saver to a child that's struggling!





Mt Hood Center

December 5 at 9:00 PM · 🌐

...

Only a few spots left for this barrel racing & horsemanship clinic this upcoming weekend! Contact [Terrie White Performance Horses](#) for more info or to register!



TERRIE WHITE PERFORMANCE HORSES
BUILDING HORSEMANSHIP RESPECT AND A WINNER'S ATTITUDE FOR BOTH HORSE AND RIDER
- TERRIE WHITE

TERRIE WHITE BARREL RACING & HORSEMANSHIP CLINIC

December 12, 2021
Mt. Hood Center - Boring, OR
29430 SE Lariat Ln. Boring, OR 97009

WHAT YOU WILL LEARN

Terrie will share her knowledge and techniques to strengthen your horsemanship skills. You will learn exercises designed to get your horse's body position and movement efficient. Each rider will leave with a personal plan for faster times and enhanced barrel racing performance.

CLINIC INFO




ABOUT TERRIE

Terrie White is a Columbia River Circuit Finals Qualifier, and a multiple NPRA Finals Qualifier in barrel racing. Terrie also has a background in Horsemanship, Reining, and Working Cow Horse Events.



Limited To Just 12 Students!
Full Day Clinic Only \$200
\$100 Non-Refundable Deposit Due by Dec 5
Check In: 9:30 a.m. Start: 9:00 a.m. Lunch Included
Stalls Available For \$10/Night
For More Information Call Terrie: 360-994-6105

Mail This Form & Deposit To: Terrie White PO BOX 415 Canby, OR 97013

Checks Can Be Made Out To: Terrie White. Can Alan Take Venmo, Zelle, Facebook Payments (Contact Terrie 360-994-6105)

Student Name: _____ Age: _____

Address: _____

City/State/Zip: _____

Cell: _____ Deposit + Stall \$: _____

E-mail: _____



Like Terrie White Performance Horses on Facebook!!!

Terrie White Performance Horses

November 21 · 🌐



Mt Hood Center

December 2 at 2:45 PM · 🌐

...

These local businesses + individual tack vendors will be at this weekend's [Holiday Craft & Tack Sale at Mt Hood Center!](#)

Come out and support local!

MT HOOD CENTER *Holiday Craft & Tack Sale* VENDOR LIST

PIONEER PACIFIC FLAGS • LOVE & LIBERTY CO. • RED ASPEN
SAVANNAH'S DOLL CLOSET • VINTAGE RODEO CO. • SCENTSY
RUSTED RATCHET CREATIONS • PAPARAZZI JEWELRY
PINK OWL BOUTIQUE • DUNE DIVA DESIGNS • BRANNY'S FUDGE
MOUNTAIN MOMMA'S BATH & BODY • CHRISTINA'S CREATIONS
JEWELRY DESIGNS • SUNNYSIDE MERCANTILE ANTIQUES
CORTLYN'S CRAFTY CUSTOMS • BAYOU BROS CAJUN BOUL
OREGON SPUN TREASURES • RIDE THE WEST • PET BED PLUS
CC COWGIRL • HEADED ARROW CLOTHING CO. • BOECKE KREATIONS
FORTIS GRACE • COUNTRY CHICK LEATHER • BUDDHA HAT WINERY
THE FLAG GUY • DITZY DESIGNS • KERRI'S COTTAGE
LEMON & PAISLEY BOUTIQUE • MOUNTAIN GIRL MOHAIR
UNIQUE COUNTRY DESIGNS • MY FAMILY VINTAGE • NORWEX
THINK GOODNESS ORIGAMI OWL • BERNIE BROS • FOX & FERN
PINKERTON DESIGN • COLOR STREET NAILS • MASHED BURGER
THE CONFECTION CONNECTION • CRYSTAL'S RARE FINDS
HOOD-FIRE FITS • ELIZABETH'S FUDGE • CORNER CREATIONS
COUNTRY BLOOMS & CO. • ELL'S BOTANICALS • USBORNE BOOKS
BURNS FAMILY FARM • COUNTRY ROSE CREATIONS • MARY KAY
HONEY BEAR INFUSIONS • HILLTOP WREATH AND TREE
JER WELDING • THE ANTIQUE PIE • PNW WILD RAGS & HERCH
BORING HAS LADY • RESTING WARRIOR FACE APPAREL
ARABIAN HORSE RESCUE • MOMMA BEAR N BABES • BEAD BUGS
BRIGHT WHITE BY ANY • LETUM GUCK WOOL COWLS • CHARMED
CBO BELLA BOUTIQUE • DANI LOVELACE BOUDOIR • FERRARI ART
HUNNY POT GIFTS • INCURABLE HOBBYIST • COUNTRY COFFEE
FROSTED SUGAR BAKE SHOP • DANSEL IN DEFENSE
BRONZE BEAUTY & BLISS • STEPHANIE'S CRAFTS • STASH WALLETS
SKYE DESIGNS • HEAVEN & LIGHT • VINYL-LY DONE DESIGNS
BLACK BIRD CREATIVE • SISTER PRODUCTS • WSH CREATIONS
PAWS CREATIONS • SANDI STANWOOD ARTISTIC IMPRESSIONS
SOFIA FABRICS & CRAFTS • KAREN'S CRAFTY CLOSET
WILDCAT MOUNTAIN CREATIONS • LOTS OF TACK!



DECEMBER 4TH 9 - 5 & DECEMBER 5TH 10 - 2

👍❤️ 28

6 Comments 17 Shares



Hitched Up Bridal Show

STARTS
March 6, 2022, 11:00 am

ENDS
March 6, 2022, 5:00 pm

Sunday, March 6th 11:00am - 5:00pm

Located in the ballroom at Mt Hood Center 29450 SE Lariat Lane, Boring, Oregon.

Let's have a party!

With over 40 of the best local vendors chosen for their creativity and reputation, comes HITCHED UP! A one-stop shop bridal show. Bring your friends, grab a drink and stay for lunch. Throughout our 8k sq ft ballroom you'll meet talented vendors for every detail of your wedding. Plan to see a diverse group of vendors including photographers, caterers, wedding planners, entertainment, florists and more! All of them bringing new ideas and unique designs. We will also have prizes and giveaways, including a chance to spin our wheel to win \$3,000 off a wedding package price at Mt Hood Center.

A fresh new space, a fresh new event, a fresh new start!





This show will span our ballroom and carry you out to our greenhouse where we'll have wine tastings and warm fires to end a successful night.



Attendance is free, but you must register for the event & show proof of registration at the door. Please register as an attendee below!

[Register for Event](#)

Interested in being a Vendor? We are currently taking applications! Please submit your vendor application below.

[Become a Vendor](#)

[More Events](#)

the knot

Find a Couple

Planning Tools Vendors Wedding Website Invitations Registry Attire & Rings Ideas & Advice Gifts & Favors

Log In

Sign Up



The Knot Spotlight
Marci's Bar & Bistro



Photo: Bob

< Oregon Wedding Venues

80 Wedding Venues in Mulino, OR

Category

Reception Venues



Location

Mulino, OR



Search by Wedding Venue Name

Outdoor Space

Price

Guest Capacity

Support Diversity

Award Winners

+ More Filters



Featured

Ainsworth House & Gardens

★★★★★ 4.9 (84) Oregon City, OR

Up to 150 Guests \$ - Affordable

Request Quote



Featured

Abernethy Center

★★★★★ 4.7 (113) Oregon City, OR

Up to 300 Guests \$ - Affordable

Request Quote



Featured

Mt Hood Center

★★★★★ 5.0 (30) Boring, OR

300+ Guests \$ - Affordable

Request Quote

Other Reception Venues You Might Like



Springwater Lakes Estate

★★★★★ 5.0 (23)

Oregon City, OR
\$ - Affordable Up to 150 Guests



Ainsworth House & Gardens

★★★★★ 4.9 (84)

Oregon City, OR
\$ - Affordable Up to 150 Guests



The Old Schoolhouse

★★★★★ 4.9 (20)

Newberg, OR
\$ - Affordable 300+ Guests



The Nines, a Luxury Collection

★★★★★ 4.6 (1)

Portland, OR
\$ - Affordable 300+ Guests



Featured



Featured



Featured

< My Wedding Venue



[Photos](#)
[About](#)
[Amenities](#)
[Pricing](#)
[Reviews](#)
[Contact](#)
[Team](#)

Mt Hood Center

☆☆☆☆☆ (0)

29450 SE Lariat Ln, Boring, OR

[Facebook](#) | [Instagram](#)

\$\$\$ - Moderate

Starting Cost

[Request Quote](#)

[Message Vendor](#)

[Website](#)



About This Vendor

The country-modern setting you've been looking for

Mt Hood Center is an elegant barn-style wedding venue located in Boring, OR. Nestled in full view of Mt. Hood and 30 minutes away from downtown Portland, this destination is convenient for both urban and countryside excursions. With beauty that is accentuated by luscious greenery, waterfalls, and meadows, this property is an ideal backdrop for any special celebration.

Upon arrival at Mt Hood Center, couples and their entourage will be escorted to the private dressing rooms. Here, an array of amenities is at their fingertips to help them feel prepared for the aisle in no time at all. Couples can exchange vows in the stunning outdoor expanse set to a backdrop of verdant green lawns before transitioning into the beautiful 8,000 square-foot indoor event area. This spacious room provides a welcoming environment for all, with romantic lighting and drapery setting the tone for the celebrations to come. With an outdoor capacity of up to 2,500 guests, couples can invite all of their friends and family and even more to enjoy the day with them. With its rustic sophistication, couples and their loved ones will be wowed by the space and the incredible photographs snapped within its walls.

Mt Hood Center offers a number of services to couples that wish to celebrate with them. These include event rentals such as tables, chairs, linens, flatware, glassware, and china. The staff will be on hand to help guests with the basic set-up of each event, as well as cleanup. The administration here is also more than happy for outside vendors to come to the property and help realize any wedding vision. Couples can look forward to creating a truly beautiful celebration at this one-of-a-kind location.

Amenities + Details

- | | |
|--------------------------|-----------------------|
| ✓ Ceremony Area | ✓ Dressing Room |
| ✓ Handicap Accessible | ✓ Indoor Event Space |
| ✓ On-Site Accommodations | ✓ Outdoor Event Space |
| ✓ Reception Area | ✓ Wireless Internet |
| ✗ Liability Insurance | ✗ Outdoor - Covered |

MT HOOD CENTER
Wedding & Event
PRICING GUIDE



Wedding Pricing

package 1

- 10 HOURS OF USE BETWEEN 8AM - 11PM
- 2 HOUR REHEARSAL WEEK OF WEDDING
 - TABLES & CHAIRS
 - USE OF BRIDAL SUITE
 - INDOOR RESTROOMS
 - AMPLE PARKING
- ACCESS TO THE FACILITY FOR A 2 HOUR ENGAGEMENT PHOTO SESSION

BALLROOM + MEADOW
+ LOOKOUT DECK

2021 + 2022 PRICING

SAT & SUN \$5,800
FRI \$5,200
MON - THUR \$4,500

2023 PRICING

SAT & SUN \$6,800
FRI \$6,200
MON - THUR \$5,500

* BOOK BEFORE 12.31.21 AND RECIEVE \$1,000 OFF PACKAGE 1 PRICE *

all pricing subject to change **EXHIBIT BA PAGE 14 OF 19**

package 2

TRAIL COURSE + GREENHOUSE + ACADEMY PATIO

- 10 HOURS OF USE BETWEEN 8AM - 11PM
- 2 HOUR REHEARSAL WEEK OF WEDDING
 - TABLES & CHAIRS
- USE OF BRIDAL SUITE UPON AVAILABILITY
 - INDOOR RESTROOMS
 - AMPLE PARKING
- TENT RENTAL AVAILABLE UPON REQUEST
 - ACCESS TO THE FACILITY FOR A 2 HOUR ENGAGEMENT PHOTO SESSION

2021 + 2022 PRICING

\$3,500

2023 PRICING

\$4,200

package 3

GREENHOUSE ELOPEMENT

- 10 HOURS OF USE BETWEEN 8AM - 11PM
- 2 HOUR REHEARSAL WEEK OF ELOPEMENT
- USE OF BRIDAL SUITE UPON AVAILABILITY
 - INDOOR RESTROOMS
 - AMPLE PARKING
- ACCESS TO THE FACILITY FOR A 2 HOUR ENGAGEMENT PHOTO SESSION

2021 + 2022 PRICING

\$900

2023 PRICING

\$1,100



Event Pricing

BOOKING MONDAY - THURSDAY
INQUIRE ABOUT FRIDAY - SUNDAY BOOKINGS

Ballroom Event

APPROXIMATELY 8,500 SQUARE FEET
MONDAY - THURSDAY \$300 PER HOUR WITH A 4 HOUR MINIMUM

Amenities:

INDOOR RESTROOMS
ADJUSTABLE LIGHTING
TABLE & CHAIR RENTAL AVAILABLE
PHOTOGRAPHY COVERAGE OF YOUR EVENT AT \$125 PER HOUR

Meadow Event

OVER HALF AN ACRE OF LAWN SPACE
MONDAY - THURSDAY \$300 PER HOUR WITH A 4 HOUR MINIMUM

Amenities:

ACCESS TO THE FACILITY FOR PHOTOS
INDOOR RESTROOMS
50AMP POWER OUTLET
PHOTOGRAPHY COVERAGE FOR YOUR EVENT AT \$125 PER HOUR

Greenhouse Event

MAX CAPACITY 40 PEOPLE
MONDAY - THURSDAY \$100 PER HOUR WITH A 4 HOUR MINIMUM

Amenities:

ACCESS TO THE FACILITY FOR PHOTOS
INDOOR RESTROOMS
PHOTOGRAPHY COVERAGE FOR YOUR EVENT AT \$125 PER HOUR

Academy Patio Event

40' X 50' PATIO

MONDAY - THURSDAY AFTER 3:30PM \$100 PER HOUR WITH A 3 HOUR MINIMUM

Amenities:

ACCESS TO THE FACILITY FOR PHOTOS
INDOOR RESTROOMS
PHOTOGRAPHY COVERAGE FOR YOUR EVENT AT \$125 PER HOUR

Private Conference Room Event

MAX CAPACITY 15 PEOPLE
\$100 PER HOUR WITH A 3 HOUR MINIMUM

Amenities:

10-PERSON TABLE (ADDITIONAL CHAIRS AVAILABLE)
LARGE PROJECTOR & SCREEN
ADJUSTABLE LIGHTING
INDOOR RESTROOMS

Studio Rentals

\$100 PER HOUR WITH A 3 HOUR MINIMUM
\$600 DAY FEE (UP TO 8 HOURS)

CHOOSE FROM THE GREENHOUSE, BALLROOM, MEADOW OR TRAIL COURSE
CHANGING ROOM (UPON AVAILABILITY)

INDOOR RESTROOMS

CEREMONY ARCHES AND ON-SITE PROPS (PRICE UPON REQUEST)

DESIGN CONCEPTS AND INSTALLATION AT \$150 PER HOUR

HORSE + HANDLER FOR PHOTOS \$250 FOR 1 HOUR

(ADDITIONAL HOURS \$75 PER HOUR)

Events



[Toggle Calendar](#)

"The greatest mistake you can make in life is to be continually fearing you will make one." -Elbert Hubbard

ARENA CLOSED for an event!



Arena Closed 12/24-12/25

Our arena is closed to celebrate the holidays. Thank you for understanding.

[View Event](#)

ARENA CLOSED for an event!



Arena Closed 12/31 - 1/2

Our arena is closed to host an event this weekend. Thank you for your understanding.

[View Event](#)



JANUARY 1ST 100PM & JANUARY 2ND 100AM

Boring Barrel Bash

Come ring in the new year with our two day BRN4D Prime race in the Mt Hood Center main arena! There will be \$500 added both days to open 4D, futurity and novice classes available....

[View Event](#)



Petty Fever (Tom Petty & the He...

About the Event DATE: Saturday, January 29th 2022 at Mt Hood Center TIME: 8:00 PM (Doors at 7:00 PM) - 10:00PM
Tickets: Adults (ages 18+) | \$25 Advance / \$30 Day of show Youth (ages 7-17) |...

[View Event](#)



Eagle Eyes (Eagles tribute band)

About the Event DATE: Saturday, February 26th 2022 at Mt Hood Center TIME: 8:00 PM (Doors at 7:00 PM) - 10:00PM Tickets: Adults (ages 18+) | \$25 Advance / \$30 Day of show Youth (ag...

[View Event](#)



Hitched Up Bridal Show

Sunday, March 6th 11:00am - 5:00pm
Located in the ballroom at Mt Hood Center 29450 SE Lariat Lane, Boring, Oregon. Let's have a party! With over 40 of the best local vendors chosen for...

[View Event](#)

[Prev](#) [Next](#)



Grand Royale (Beastie Boys trib...

About the Event DATE: Saturday, April 23rd 2022 at Mt Hood Center TIME: 8:00 PM (Doors at 7:00 PM) - 10:00PM
 Tickets: Adults (ages 18+) | \$25 Advance / \$30 Day of show Youth (ages 7-17) |...

[View Event](#)



Barracuda (Heart/Led Zeppelin ...

About the Event DATE: Saturday, May 21st 2022 at Mt Hood Center TIME: 8:00 PM (Doors at 7:00 PM) - 10:00PM
 Tickets: Adults (ages 18+) | \$25 Advance / \$30 Day of show Youth (ages 7-17) |...

[View Event](#)



5150 (Van Halen tribute band) + Crazy Train (Ozzy Os...

About the Event DATE: Saturday, June 4th 2022 at Mt Hood Center TIME: 8:00 PM (Doors at 7:00 PM) - 10:00PM
 Tickets: Adults (ages 18+) | \$25 Advance / \$30 Day of show Youth (ages 7-17) |...

[View Event](#)



Stone in Love (Journey Tribute Band)

About the Event DATE: Friday, May 27 2022 at Mt Hood Center TIME: 8:00 PM (Doors at 7:00 PM) - 10:00PM
 Tickets: Adults (ages 18+) | \$25 Advance / \$30 Day of show Youth (ages 7-17) |...

[View Event](#)

Hitched Up Bridal Show

Sunday, March 6th 11:00am - 5:00pm
Located in the ballroom at Mt Hood
Center 29450 SE Lariat Lane, Boring,
Oregon. Let's have a party! With over 40
of the best local vendors chosen for...

[View Event](#)

ARENA CLOSED for an event!



Arena Closed 1/21

Our arena is closed for arena
maintenance. Thank you for your
understanding.

[View Event](#)

Ballet Folklorico

monday & wednesday
9:00-10:00am 3:15-4:00pm
4th-8th grade, 4:00-4:45pm
High School & Adult...



free classes!
Class is free for all
students. No need to pay for anything.
Thank you for your understanding.

TRADITIONAL MEXICAN FOLK DANCE CLASSES
AT MT HOOD CENTER

Ballet Folklorico Class: January ...

Ballet Folklorico - traditional Mexican
folk dance - free classes at Mt Hood
Center! Mondays & Wednesdays: Kinder
- 4th grade: 3:15 - 4:00 5th grade - 8th
grade: 4:00 - 4:45 High School & Adult...

[View Event](#)

Ballet Folklorico

monday & wednesday
9:00-10:00am 3:15-4:00pm
4th-8th grade, 4:00-4:45pm
High School & Adult...



free classes!
Class is free for all
students. No need to pay for anything.
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Center! Mondays & Wednesdays: Kinder
- 4th grade: 3:15 - 4:00 5th grade - 8th
grade: 4:00 - 4:45 High School & Adult...

[View Event](#)

ARENA CLOSED for an event!



Arena Closed 1/29 - 1/30

Our arena is closed to host an event this
weekend. Thank you for your
understanding.

[View Event](#)



Petty Fever (Tom Petty & the He...

About the Event DATE: Saturday, January
29th 2022 at Mt Hood Center TIME: 8:00
PM (Doors at 7:00 PM) - 10:00PM
Tickets: Adults (ages 18+) | \$25 Advance
/ \$30 Day of show Youth (ages 7-17) |...

[View Event](#)

Ballet Folklorico

monday & wednesday
9:00-10:00am 3:15-4:00pm
4th-8th grade, 4:00-4:45pm
High School & Adult...



free classes!
Class is free for all
students. No need to pay for anything.
Thank you for your understanding.

TRADITIONAL MEXICAN FOLK DANCE CLASSES
AT MT HOOD CENTER

Ballet Folklorico Class: January ...

Ballet Folklorico - traditional Mexican
folk dance - free classes at Mt Hood
Center! Mondays & Wednesdays: Kinder
- 4th grade: 3:15 - 4:00 5th grade - 8th
grade: 4:00 - 4:45 High School & Adult...

[View Event](#)

Ballet Folklorico Class: January 31st

STARTS
January 31, 2022, 3:15 pm

ENDS
January 31, 2022, 6:00 pm

Ballet Folklorico - traditional Mexican folk dance - free classes at Mt Hood Center!

Mondays & Wednesdays:

Kinder - 4th grade: 3:15 - 4:00

5th grade - 8th grade: 4:00 - 4:45

High School & Adults: 4:45 - 6:00

- no sign up required -

Ballet Folklorico gives students and their families a fresh take on Mexican culture and tradition. In class, students will learn basic dance steps, sequences, choreography, and how to conduct themselves on stage. They will also learn about the different geographic regions of Mexico that the dances originate from, and why the regions have specific traditional costumes and musical styles.

There is no charge for classes, and we welcome community members and their families to be a part of the program. There will be opportunities to dance in performances at community events in the greater Portland metro area.

Music, practice skirts, props and performance costumes are provided at no charge for program participants.

About Maestra Anna

Anna is a certified public school teacher and holds a current Oregon teaching license. She began at the St. John's Ballet Folklorico program in 2008. Anna studied Mexican dance at the institute of fine arts, Bellas Artes, in Mexico, and was also a performance dancer for the David Douglas Xochitl dance group in the early 1990's.

Maestra Anna's contact (text preferred)
503-858-0959

Appropriate Practice Clothes

Leotards, close-fitting T-shirts (not baggy), leggings, sweatpants, or shorts. No jeans. Practice skirts are provided to use at no charge. Longer than shoulder length hair should be arranged into a ponytail, braid, or bun.
Please bring a water bottle full of water to stay hydrated.

Students are **encouraged** to wear character shoes with a 1 1/2" heel or purchase folklorico dance shoes online (no tap shoes please).

Girls: Josefina or TMC Dance shoes
- explore options here -

Boys: TMC Dance botine
- explore options here -

INSTAGRAM: @stjohnsballetfolklorico
FACEBOOK: @St.Johns.Ballet.Folklorico



Notorious (Duran Duran tribute...

About the Event DATE: Saturday, March 19th 2022 at Mt Hood Center TIME: 8:00 PM (Doors at 7:00 PM) - 10:00PM
Tickets: Adults (ages 18) \$25 Advance / \$30 Day of show Youth (ages 7-17) \$15..



Spring Craft & Tack Sale

Saturday, March 26th 9am - 5pm Vendor Set Up: 6am Sunday, March 27th 10am - 5pm Vendor set up: 8am Vendor load out complete by: 7:00pm Don't miss our awesome Spring Craft & Tack Sale at ...



Grand Royale (Beastie Boys trib...

About the Event DATE: Saturday, April 23rd 2022 at Mt Hood Center TIME: 8:00 PM (Doors at 7:00 PM) - 10:00PM
Tickets: Adults (ages 18+) | \$25 Advance / \$30 Day of show Youth (ages 7-17) |...

Up Coming Events



Fall Craft & Tack Sale

save the date for our Fall Craft & Tack Sale at Mt Hood Center!



Holiday Craft & Tack Sale

save the date for our Holiday Craft & Tack Sale at Mt Hood Center!



Holiday Craft & Tack Sale

save the date for our Holiday Craft & Tack Sale at Mt Hood Center!

Package 3

Greenhouse Elopement Package

*Max Capacity 40 People

Under Construction

ESTIMATED COMPLETION DATE: 2/28




AMENITIES

- Greenhouse & Trail Course
- 1 pre-event hour
- 3 event hours
- Indoor restrooms
- Bridal suite (Upon availability. Please call 7 days prior to reserve)

ADDITIONS

- Additional hours available at \$200/hr
- Fire tables at \$25/ea
- Smores fire-pit (coming soon!)
- Ceremony arches and installations (price upon request)
- Design concepts and installation at \$150/hr

 [Click to download our Price Guide](#)



MT HOOD CENTER

29450 SE Lariat Ln
Boring, OR 97009

ARENA & TRAIL COURSE HOURS

Monday: 10 am to 5 pm
Tuesday: 10 am to 5 pm
Wednesday: 10 am to 5 pm
Thursday: 10 am to 5 pm
Friday: 10 am to 5 pm
Saturday: 10 am to 5 pm
Sunday: 10 am to 5 pm

MHC ACADEMY HOURS

Monday: 8 am to 3 pm
Tuesday: 8 am to 3 pm
Wednesday: 8 am to 3 pm
Thursday: 8 am to 3 pm
Friday: 8 am to 1 pm
Saturday: Closed
Sunday: Closed

OFFICE HOURS

Monday: 9 am to 5 pm
Tuesday: 9 am to 5 pm
Wednesday: 9 am to 5 pm
Thursday: 9 am to 5 pm
Friday: 9 am to 5 pm
Saturday: Closed
Sunday: Closed

HELP & FAQ

[Contact Us](#)

[Stall Rentals](#)

[Dry Camping](#)

[RV Hook-Ups](#)

[Event Request](#)

[Haul-ins](#)

[Liability Waiver](#)

[Return Policy](#)

RV Parking and Dry Camping

Check in During Business Hours 9am-5pm | Check out is Noon on Checkout date

\$0.00

TOTAL

Name *

First
Last

Phone *

###
###
####

Email *

Address *

Street Address

City

Select a State
▼

State / Province / Region

Postal / Zip Code

United States
▼

Country

Check In Date: *

MM
DD
YYYY

Check Out Date: *

MM
DD
YYYY

RV Parking: \$60 per night

- ☐ One (\$60)
- ☐ Two (\$120)
- ☐ Three (\$180)
- ☐ Four (\$240)
- ☐ Five (\$300)

Dry Camping: \$25 per night

- ☐ One (\$25)
- ☐ Two (\$50)
- ☐ Three (\$75)
- ☐ Four (\$100)
- ☐ Five (\$125)

Will you be using a Stall?? (please fill out the Stall Rental form on mthoodcenter.com) *

- ☐ Yes
- ☐ No

If you coming from another state besides Oregon~ Please submit a copy of your Health Certificate and Coggins Test to Brandi@mthoodcenter.com or bring a copy when you arrive. (you must submit documents for each horse)



As we settle into the new year here at Mt Hood Center we are filled with gratitude for the patronage and continued support from our local community over the last year.

Over 2021 we:

- Expanded our staff by 12 team members.
- Enrolled 20 additional students to Mt Hood Center Academy.
- Renovated the ballroom to be an event space for community events and weddings.
- Broke ground on a fully functional greenhouse that will double as an event venue and space for our farm-to-table program at MHCA.
- Added additional teaching aids to fulfill our one-on-one teaching goals for MHCA.
- Hosted 9 weeks of Cars & Coffee during the summer.
- Painted the exterior of the entire facility for a much needed upgrade.
- Built a large chicken coop for our farm-to-table program.
- Hosted 50 children during the summer for enriching horsemanship day camps.
- Continually had the ground in our arenas worked and maintained for optimal and safe riding by our staff and Arena Technologies.
- Built a large outdoor stage for concerts and events.
- Hosted 13 horsemanship clinics.
- Organized and executed 4 individual Tack & Craft sales with over 125 local small business vending.
- Repaired a significant amount of asphalt around the facility.
- Held 4 large concerts produced by J-Fell Productions to bring the community together in a safe and socially distanced outdoor venue.
- Hosted a month long haunted house and pumpkin patch throughout October.
- Taught over 250 private horses lessons with the help of our talented and well known trainers.
- Enhanced the landscape design through the help of Sean Hogan of Cistus Nursery.
- Upgraded our Dry Camping to be 18 fully functional 30/50amp RV Hook-up sites.
- Added a conference room inside the main building that will double as a bridal suite and changing room.
- Hired a full time graphic social media manager, graphic designer, and photographer plus a part time visual designer to assist in rebranding and updating MHC.
- Completed renovations on our indoor restrooms and showers.

We are blown away with the accomplishments of our small team and have goals to continue renovations, organizing and hosting community events, and growing our school.

The goal of Mt Hood Center and our K-8 school is to enrich our community by creating a safe space for people of all backgrounds and interests to gather, celebrate, and recreate. Mt Hood Center Academy is an undertaking we have invested in tremendously, not with profit as our goal, but for children to have greater opportunities given to them that public schools do not offer.

Mt Hood Center has limitless potential to continue to be a fantastic hub of growth and development within the town of Boring and the greater Portland metro area, but we are faced with a lack of resources to achieve these goals all on our own.

Some business leaders and community members are already supporting Mt Hood Center reach its full potential, and you can be a part of that team by making a donation to our program. We are happy to acknowledge all donations on our virtual donor wall on mthoodcenter.com.

Any donations greater than \$100 will be acknowledged by name or business logo on a MHC 2022 T-Shirt. Any donations greater than \$250 will be given a dedicated and engraved brick in our walking trail. Any donations greater than \$5,000 will be given a dedicated bench on our facility grounds.

Mt Hood Center's Post



trail. Any donations greater than \$5,000 dollars will be given a dedicated bench on our facility grounds.

If you are not financially able to support Mt Hood Center we would love to have your support in any way you are able to give. We value our community's time, resources, skills, and trades and appreciate any and all contributions to help continuing development on Mt Hood Center. If you are interested in donating money or resources, please send us a message! Additionally, if you have any feedback, comments, or suggestions to offer we would love to hear from you.

Thank you for your time & support. We look forward to working alongside you all in 2022!



158

41 comments 12 shares

Like

Comment

Share



Write a comment...







Mt Hood Center

August 19 at 12:10 PM · 🌐

...

Today is the last day to purchase a ticket for [Wine & Trail at Mt Hood Center](#) tomorrow morning. Registration closes at 5pm so click below to sign up for your spot:
<https://mthoodcenter.com/.../events/344/wine-trail-ride...>



👍❤️ 9

4 Comments · 5 Shares

👍 Like

💬 Comment

➦ Share

Most relevant ▾



Write a comment...



👑 Top fan

Cassie Pierce

It looked like a blast today! ...

Like Reply 3d



Mt Hood Center

August 19 at 12:04 PM · 🌐

...

ONLY TWO WEEKS LEFT OF [The Boring Market](#) - THIS SUNDAY & NEXT SUNDAY (8/28)!

Here's a peek at what's in store at the market + cars & coffee, which takes place at the same time as the market: 9am - 3pm

Don't miss these last two chances to shop over 40 local small businesses and farmers, grab lunch, listen to live music, and see some amazingly cool cars!

<https://www.youtube.com/watch?v=VJ3wZpAkmug>



YOUTUBE.COM

The Boring Market + Cars & Coffee @ Mt Hood Center

Don't miss The Boring Market + Cars & Coffee every Sunday in July and August at Mt Hood C...

👍❤️ 6

6 Shares

👍 Like

💬 Comment

↗ Share



Mt Hood Center

August 18 at 10:54 AM · 🌐

...

FRIDAY NIGHT: The Stables Bar is back at Mt Hood Center in the ballroom from 6pm - 11pm with dinner, drinks, a DJ, and line dancing instruction!

\$10 cover at the door!

Line dance instruction begins @ 7pm

<https://mthoodcenter.com/.../342/the-stables-line-dancing...>

DRINK — DINE — DANCE



WITH LAUREN'S LINE DANCING



MTHOODCENTER.COM

The Stables Line Dancing

A night of dancing, drinks, & dinner from 6pm - 11pm on August 19th! Here's what you can ex...



7

8 Comments 1 Share

👍 Like

💬 Comment

🔗 Share



Red Light Romeos' Super Soun...

About the Event DATE: Sunday, August 21, 2022 TIME: 6:00 PM (Doors at 5:00 PM) - 8:00PM PLACE: in the meadow at Mt Hood Center Tickets: Adults (ages 18+) | \$10 Advance / \$15 Day of show ..

[View Event](#)


Barrels & Poles Boot Camp

DATE: Monday, August 22, 2022 10:00am - 7:00pm & Tuesday, August 23, 2022 9:00am - 7:00pm PLACE: Mt Hood Center Main Arena - 29450 SE Lariat Lane, Boring, OR Two days, one...

[View Event](#)


Boring Barrel 4D Jackpot Race

DATE: Tuesday, August 23, 2022 TIME: 5:00pm - 7:00PM PLACE: Mt Hood Center Main Arena - 29450 SE Lariat Lane, Boring, OR Time onlines are from 3:30pm - 4:30pm \$5 only cash at the...

[View Event](#)


The Boring Market: August 28th

THE BORING MARKET The Boring Market is one of the newest and best Sunday morning experiences in the Portland metro area. At The Boring Market our vendors and farmers are...

[View Event](#)


Cars & Coffee: August 28th

Date: August 28th, 2022 Time: 9:00AM - 3:00PM Location: Mt Hood Center - 29450 SE Lariat Lane, Boring, OR 97009 Cars and Coffee Boring is a social gathering for fellow automotive...

[View Event](#)


Shoot to Thrill (AC/DC Tribute B...

About the Event DATE: Sunday, August 28, 2022 TIME: 6:00 PM (Doors at 5:00 PM) - 8:00PM PLACE: in the meadow at Mt Hood Center Tickets: Adults (ages 18+) | \$10 Advance / \$15 Day of show ..

[View Event](#)



Mt Hood Center is at Mt Hood Center.

August 17 at 6:22 PM · Boring · 🌐

...

Have you heard? The Boring Barrel Racers are starting up monthly Tuesday night races and this upcoming Tuesday is the first big race! This is a cash only - cash payout with barrels and poles 4d jackpot 🍀

Time onlies: 3:30pm - 4:30pm

Race: 5:00pm - 7:00pm... See more



👍❤️ 29

9 Shares



Mt Hood Center added 30 new photos — with JUST RUM and 8 others.

August 17 at 11:00 AM · 🌐

...





Mt Hood Center

August 16 at 9:48 AM · 🌐

...

Check out these photos from our last Wine & Trail event in June!

We always have a blast getting tipsy with you all and can't wait for our very first SATURDAY MORNING Wine & Trail this upcoming Saturday - August 20th from 10am - 12pm. We will have mimosas and breakfast treats served on the saddle!

Tickets are \$40 which includes your haul-in fee + mimosas + breakfast treats.

Click the link below to sign up for your spot!

<https://mthoodcenter.com/.../events/344/wine-trail-ride...>



👍❤️ 86

21 Comments 6 Shares



Mt Hood Center

August 15 at 12:16 PM · 🌐

...

Last night's show was a roller coaster of hits and nostalgia! Thanks so much to [Jennifer Batten](#) and [Full Steam](#) for such an incredible concert at MHC 🙌🌟



Jennifer Batten and Full Steam

August 15 at 11:35 AM · 🌐

Thank you so much to all the folks joining us Sunday at Hood Center meadow! So much fun! Ben Jones Fans, Patrick E Yadon, Norm Whitehurst, Kevin Burkhart, Lisa Kent
PHOTOS: Chris Mathews



Mt Hood Center

August 14 at 6:25 PM · 🌐

...

LET THERE BE ROCK! 🎸 The high-voltage sounds of [Shoot to Thrill - An ACDC Tribute](#) comes to the [Mt Hood Center's](#) Grassy Meadow Stage on Sunday, August 28th at 6pm.

All summer long, Sunday early evening ALL AGES shows for Boring, Oregon and the surrounding community in a gorgeous outdoor setting. Chairs & blankets welcome, food & beverage available! Tickets on sale now. www.mthoodcenter.com/concerts

The poster features a large, stylized yellow electric guitar on the left side. The background is a dark, atmospheric photo of a band performing on stage with green lighting. In the foreground, the silhouettes of an audience are visible, with one person holding up a smartphone to record the performance. Text elements include: 'J-FELL.COM PRESENTS' in the top left; a stylized mountain logo above 'MT HOOD CENTER CONCERT SERIES' in the top center; 'AUG 28' in a yellow box in the top right; 'live music • 6pm sundays • outdoors • all ages' in a black banner; 'SHOOT TO THRILL AC/DC TRIBUTE' in a red and white font with a lightning bolt graphic; and the address '29450 SE LARIAT LN BORING, OR 97009' and ticket information 'TICKETS AT MTHOODCENTER.COM/CONCERTS' at the bottom.

Shoot To Thrill [AC/DC tribute] - August 28 at Mt. Hood Center

Call now



Shoot to Thrill - An ACDC Tribute and 6 others

1 Comment 2 Shares



Mt Hood Center

August 13 at 11:06 PM · 🌐

...

Get your entries in before August 18 to avoid a late fee!

\$350 for clinic
(2Days included)
\$25 a night for stalls
(2 nights optional)



BARRELS AND POLES BOOTCAMP

Two days, One Race!

If you're looking to step up your game not only as a barrel racer, but physically as a rider this is the campout clinic for you. Put on by Cassie Pierce a 20 plus year veteran of rodeos, barrels, and pole bending. Cassie is a WPRA cardholder, ID barrel champion with over 25 trophy saddles, interstate record holder in poles with a 19.272 and LTE of over \$100,000. She will be sharing her insight, experiences, and methods of success. So that in the time frame you will be attending this will be applied through drills, body posture correction, tack fitting, teaching of professional tack cleaning, pattern work and Western workouts to strengthen not just your horse but you as well! We'll finish out the clinic with a jackpot barrel and poles on Tuesday night with a few bonus awards for riders from the clinic!!

**MT
HOOD
CENTER**

Boring, oregon
8/22-8/23



503-572-9343



29450 SE Lariat Ln, Boring, OR
97009



boringbarrelbash@gmail.com

Boring Barrel Bash

August 13 at 5:22 PM · 🌐

Still time to enter into barrels and poles boot camp before the race!!!



Mt Hood Center

August 13 at 7:51 PM · 🌐

...

THE BORING MARKET + CARS & COFFEE

Join us tomorrow (SUNDAY!) from 9am - 3pm in our East parking lot for a day of shopping and eating local, cool cars, and a few hours hanging out with the community!

Bring your babies, your bestie, and your furry friends because we have 40+ local small businesses vending tomorrow and some great food and drinks. Mary Sonnichsen will be our musical guest performing between 10am - 1pm!

Click the link below for more info on the market and the car show 🌟

<https://mthoodcenter.com/.../the-boring-market-august...>



Hawk Leather Goods and 20 others

6 Comments 8 Shares



Like



Comment



Share



Mt Hood Center is at Mt Hood Center.

August 10 at 5:37 PM · Boring · 🌐

...

A happy, little roundup of images from The Boring Market inside the ballroom this past Sunday! We're on track to be back outside this weekend with the weather report reading in at 84 degrees for Sunday! 🌞🌞

A few things to note:

- 🥕 market hours are 9am - 3pm
- 🥕 this is a family friendly and pet friendly event
- 🥕 this week's musical performance is from 10am - 1pm by Marty Sonnichsen
- 🥕 we will be watering the gravel to minimize dust for the car show 🚗🚗
- 🥕 we have a few new vendors joining us this week so be sure to stop in their booths and say hello if you see a new face!
- 🥕 parking beside the market tents is for Cars & Coffee showcars only - general and ADA parking is in the front and back parking lots (ADA is a shorter walk from the back lot)!
- 🥕 get your boring market t shirt, tote bag, or keychain at the Mt Hood Center booth!
- 🥕 @jennifer_batten_and_full_steam is playing a concert in the meadow Sunday evening after the market. Get your tickets online or at the door.

We can't wait to see you this Sunday!





Mt Hood Center is at Mt Hood Center.

August 8 at 5:53 PM · Boring · 🌐

...

chicken coop • greenhouse • garden shed

Have you had a chance to visit our new spaces on the west side of the property?

The greenhouse is a perfect party, micro wedding, or corporate event space holding up to 40 guests. The greenhouse has AC and heat so it's perfect year-round & looks gorgeous lit up at night too!

Visit our website to learn more about rentals and amenities for all of our spaces at

@mhceventspace 🌟



👍❤️ 25

1 Share



Mt Hood Center

August 5 at 12:36 PM · 🌐

...

The market map looks a bit different this week because we are MOVING INSIDE to beat the heat! Vendors will all be in the air conditioned ballroom, Country Coffee will be in the main hall, and Cars & Coffee will be happening outside with the show cars wrapped around the building.

Who's coming to shop small with us this weekend!?



Mt Hood Center

Performance & Event Venue

[Send message](#)



Mt Hood Center

August 4 at 7:29 PM · 🌐

...

Jarriepo this Friday in the main arena! Tickets at the door 🐾

RIO RILLO Entertainment

JARIPEO BAILE DE MEDIA NOCHE

PLAZA EL TORO PINTO

29450 SE LARIAT LN BORING OR 97009

LABERINTO

ABEJA REINA

CHIQUIS

LOS TOROS AZTECAS

de Rodrigo Loera

5 VIERNES AGOSTO 2022

Teléfono: 503 930 1344
TXT: 971 716 6323

VANDU

Niños menores de 10 años entran gratis

EVENTO PARA TODAS LAS EDADES
PUERTAS ABREN A LAS 5:00 PM



Mt Hood Center

August 3 at 8:00 PM · 🌐

...

We are so excited to host the [Dutch Bros Coffee](#) company party tonight in the meadow!

Did you know we offer corporate event rentals? Send us a message today to get your next big event on the books 📅 ✨



Nash Brothers and 83 others

13 Comments 3 Shares



Like



Comment



Share

Most relevant ▼



Mt Hood Center

July 30 at 11:03 PM · 🌐

...

We had so much fun with the IAM Local 63 Union Picnic today!



Omar Solorio is with Marlit Hernandez at Mt Hood Center.

July 30 at 9:52 PM · Boring · 🌐

A few pics from the IAM Local 63 Union Picnic today.



7



Mt Hood Center

July 22 · 🌐

...

Who's ready to get on their feet and dance again this Sunday night to [Nash Brothers](#) in the meadow!?

Show starts at 6pm and doors open at 5pm. Food and beverage is available on site for purchase. Don't forget your lawn chair or blanket!



J-Fell Presents

July 10 · 🌐

The 2022 [Mt Hood Center](#) Summer Concert Series is underway with [Eagle Eyes - Eagles tribute band](#).

More shows & ticket info at www.mthoodcenter.com/concerts.



Mt Hood Center is at Mt Hood Center.

July 15 - Boring · 🌐

...

THIS SUNDAY NIGHT: @tylorandthetrainrobbers in the meadow 🎶 The show starts at 6 and doors open at 5. Bring a lawn chair or a picnic blanket and come hungry because @cece.gyro will be selling gyros, falafel, and baklava + @oregonbeverage will have a full bar!

Tickets are \$10 in advance and \$15 day of and can be purchased online at mthoodcenter.com/concerts or at the door!

Don't miss this Boise, Idaho based band comprised of Tylor Ketchum, his brothers Jason and Tommy Bushman and his father-in-law Johnny "Shoes" Pisano deliver a perfect, lyric-driven blend of Roots Country and modern Americana music. Paired with their unrelenting dedication to the road, they have earned the reputation of hardworking professionals whose live shows highlight the connectedness that they've acquired not only from years of playing together but also from the family bond that they all share.

Their latest album, Non-Typical Find, is the band's third independently released studio album and marks their first project with producer Cody Braun of Reckless Kelly. The eleven song compilation showcases Ketchum's songwriting genius with subject material ranging from current events to harrowing tales of dead bodies discovered. The band delivers with the tight, dynamic sound they are known for and, on this album, raises the bar by including a few talented friends whose musical contributions add nuance and texture to the band's already solid sound. The outcome is an album that is an honest and intriguing blend of Ketchum's lyrical talent and the musical chemistry of the band.





Mt Hood Center

July 15 · 🌐

...

TONIGHT in the ballroom! The Stables is back with dinner, drinks and dancing the night away. \$10 cover at the door!

Verizon

2:31 AM



The ST...



WWW.THESTABLESBAR.ROCKS

@ MT HOOD CENTER

FRIDAY JULY 15th

6-11PM

FOOD & BAR SERVICE

DJ MUSIC, MULTIPLE GENRES

LINE DANCE INSTRUCTION
STARTS @ 7PM



Scan for event
dates and info



Jennifer Vinton-Vanarsdall » The STABLES Bar

July 12 · 🌐



Mt Hood Center

July 11 · 🌐

...

Calling all food trucks and food vendors 🍷🍷🍷🍷

We are on the lookout for food trucks and food vendors for a 4,000 person event on July 30th.

If you are interested please email monikakrieger@mthoodcenter.com



👍❤️ 17

12 Comments 11 Shares

👍 Like

💬 Comment

➦ Share

Most relevant ▾



Write a comment...



Meryl Gasser

😅 I'm out of town! Sounds like an amazing opportunity though!!

...

Like Reply 6w



Author

Mt Hood Center

Meryl Gasser please spread the word if you know anyone else who might be

...



Mt Hood Center is at Mt Hood Center.

June 24 · Boring · 🌐

...

There's something about concerts in the meadow...they just kind of 🎸 hit different 🎸 & that's why we are bringing them back this summer with a stellar 8 week lineup that coincides with our new farmers market + cars and coffee on Sundays for an entire SUNDAY FUNDAY the MHC way! These shows start at 6pm, doors open at 5pm, and food/bev will be available for purchase on site! Don't forget your lawn chair or blanket (even though you probably won't be sitting for long!) Tickets ar... See more



👍❤️ 54

9 Shares



Mt Hood Center

June 24 · 🌐

...

SUMMER CONCERT SERIES LINEUP 🌟

You'll be bored if you're not in Boring Sunday nights in July and August for some killer shows in the MHC meadow!

Click here to snag your tickets: www.mthoodcenter.com/concerts

J-FELL.COM PRESENTS

**MT HOOD CENTER
CONCERT SERIES**

live music • 6pm sundays • outdoors • all ages

JULY 10
EAGLE EYES EAGLES TRIBUTE

JULY 17
TYLOR & THE TRAIN ROBBERS

JULY 24
THE NASH BROTHERS

JULY 31
STONE IN LOVE JOURNEY TRIBUTE

AUGUST 7
CLOVERDAYLE

AUGUST 14
JENNIFER BATTEN & FULL STEAM

AUGUST 21
RED LIGHT ROMEOS
SUPER SOUNDS OF THE 70S

AUGUST 28
SHOOT TO THRILL
AC/DC TRIBUTE

29450 SE LARIAT LN BORING, OR 97009
TICKETS AT MTHOODCENTER.COM/CONCERTS

👍❤️ 14

5 Shares



Mt Hood Center is at Mt Hood Center.

June 17 · Boring · 🌐

...

#1 rule for Oregon weddings: always have a ☁️ plan

Moving your wedding inside at MHC looks like this, and that's a true silver lining!



👍❤️ 11

1 Share

👍 Like

💬 Comment

➦ Share



Mt Hood Center

June 15 · 🌐

...

This Friday night starting at 7pm at MHC! All ages welcome. \$40 tickets at the door!

PLAZA "EL TORO PINTO"
29450 SE LARIAT LN BORING OR 97009

JUNIO 17 2022
VIERNES

Mario Marichalar y los BRAVADOS del Norte

MARIO MARICHAL FUE EL CANTANTE PRIMERA VOZ DE RAMON AYALA Y LOS BRAVOS EL NORTE, Y AHORA SE PRESENTA EN LOS ESCENARIOS COMO MARIO MARICHAL Y SUS BRAVADOS DEL NORTE

FESTEJA CON NOSOTROS EL DIA DEL PADRE

JARRIPEO VIP

PUERTAS ABREN 7:00 P.M.
MENORES DE 10 AÑOS ENTRAN GRATIS

LOS PRIMEROS 200 BOLETOS \$40

INFORMES, TEXTO: (503) 875.8703
LLAMADAS: (503) 725.6371 / (541) 478.9912

GANADERIA R Y B
BANCHO LA YERBA BUENA DE LOS HERMANOS LOPEZ

AGUILA

MISOLETAZO.COM

NENE CONTRERAS
CHINFLAS DE JALISCO
MOROCO DE PATZCHARO
GANSITO DE NAVARIT
PEQUENO



Mt Hood Center is at Mt Hood Center.

June 9 · Boring · 🌐

...

The conference room is a new space at MHC that can serve many purposes. Having a corporate meeting, presentation, or important lunch? This space has a 10 person table, large projector screens, and adjustable lighting.

This space is currently \$150 per hour to rent with a 2 hour minimum. If you're interested in renting the conference room send us an email or schedule a tour on our website!



👍❤️ 26

1 Share



Mt Hood Center is at Mt Hood Center.

June 5 · Boring · 🌐

...

We're updating the space beside the greenhouse to be an additional ceremony and event space! Imagine having your event or ceremony span across the greenhouse, garden, and patio! Sound fun? Shoot us an email today and let's get to planning 🌟



👍❤️ 36

2 Shares



Mt Hood Center

June 3 · 🌐

...

Mashed Burger is open tonight at the stables bar in the ballroom. Come out for line dance instruction, burgers & drinks until 11pm!



Kaptain Keels

June 3 · 🌐

We are open at [Mt Hood Center](#) till 11pm or sold out come and get it

👍❤️ 11

3 Comments 1 Share

👍 Like

💬 Comment

↗ Share

Most relevant ▼



Mt Hood Center

May 31 · 🌐

...

Magic Balloons PDX is always making our spaces look MAGICAL ✨



Magic Balloons PDX is at Mt Hood Center.

May 31 · Boring · 🌐

The beauty of nature mixed with the beauty of art 🌿

👍❤️ 22



Mt Hood Center

May 30 · 🌐

...

XXXXXXXXXXXXXXXXXXXX

*Ballet Folklorico Classes are
canceled this week for the
Memorial Day Holiday. See you
back on Monday, June 6th!*

*Las clases de Ballet Folklorico
están canceladas esta semana por
Memorial Day. Nos volveremos
a ver el lunes, 6 de junio!*

XXXXXXXXXXXXXXXXXXXX

Ballet Folklorico Mitotiani is at Mt Hood Center.

May 30 · Boring · 🌐

Hola a Todos! Have a great Memorial Day week! We'll be back in class next Monday. Con cariño, Maestra Anna



Mt Hood Center

May 28 · 🌐

...

Jaripeo tonight - tickets are \$75

Jaripeo esta noche - boletos \$75

See Translation



Promociones Loera is at Mt Hood Center.

May 28 · Boring · 🌐

La gente ya esta llegando

Es temprano

Vengase



Mt Hood Center

May 23 · 🌐

...

This Saturday! Tickets are \$75 at the door 🐾

SE MUEVE EL EVENTO A PLAZA "EL TORO PINTO"

MAYO 28
SABADO 2022

PLAZA "EL TORO PINTO"
29450 SE LARIAT LN BORING OR 97009

LOERA **QUINTA LOERA** **AJMANI** **GORDO**

PUERTAS ABREN 6:00 P.M.

Jarapeo de Media Noche

Traviezo DE LA ZIERRA
AHORA CON BANDA !!!

PERDIDO 2 SINALOA
AHORA CON BANDA !!!

SELECCION MICHOLANCA 100% Huandacareo

MIBOLETAZO.COM

BANDA AGUILA

BANDA LA OLA

"MOTOSIERRA DEL DISTRITO FEDERAL"

"SOÑADOR DE MORELIA"
"BARBY DE LA COSTA"
"POLLITO DE CUTO" Y VARIOS MAS...

PRIMEROS 300 BOLETOS \$40 DLS.
MENORES DE 10 AÑOS ENTRAN GRATIS

INFORMES: TEXTO: (503) 875.8703
LLAMADAS: (503) 935.4331 / (541) 610.9912

Promociones Loera
Performance & Event Venue

WhatsApp



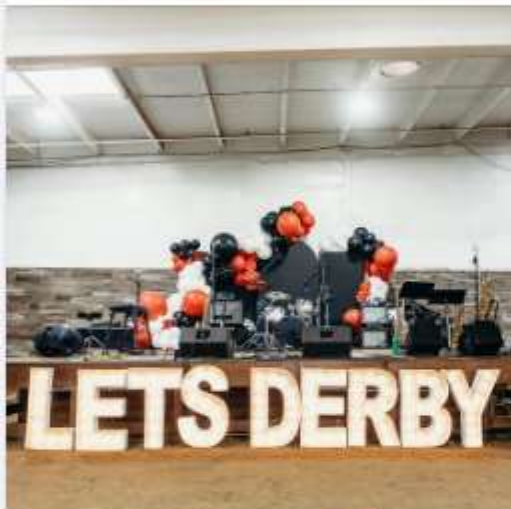
Mt Hood Center is at Mt Hood Center.

May 9 · Boring · 🌐

...

Between the mint juleps, the stroke of luck from Rich Strike, the derby llamas, the dancin' tunes from @boogiecatpdx, and all the way down to Kimber winning our derby race at only age 8 — we had a BLAST celebrating the run for the roses with you all! Here's a few highlights from the day — we'll upload more from the party on our Facebook page tomorrow.

Already looking forward to next year's derby 🌹🐎🌟



👍❤️ 60

9 Comments 4 Shares

American Eskimo Dog Association Of Oregon

DATES

Sat, Apr 30, 2022, Sun, May 1, 2022



HOST CLUB

American Eskimo Dog Association Of Oregon

Secretary

Courtney Aloï

541.248.7438

americaneskimodogao@gmail.com

Chairperson

Jennifer Merrill

503.593.9347

aedao@merrillcrew.com

EVENTS OFFERED

Conformation (Altered Conformation, Junior Showmanship, Brace, Novice Puppy, Veteran)

LOCATION

Mt Hood Center

29450 SE Lariat Ln

Boring, OR 97009

(Indoors)

503.877.8342





Greenhouse Yoga

Come Join Us!



Sunday Morning Yoga

STARTS
March 12, 2023, 4:00 pm

ENDS
March 12, 2023, 6:00 pm

We're hosting YOGA at Mt Hood Center, and we want everyone to join us .

Classes will be held on on most Sundays in March @ 9:15am with potential to be offered every week in the future. This is an all-levels vinyasa class. Come for a well-rounded flow that offers a blend of challenge, focus and relaxation. You can also pay in person via card or cash. No pre-registration required. An email will be sent the evening before class with the exact location of where we'll be. Class will rotate around the grounds depending on what events are on their calendar. The space will always be a comfortable temperature. Please bring your own mat and any props you want to use. It is recommended that, when class is held in the greenhouse, you bring a blanket to lay under your mat.

LOCATION:

Mt Hood Center
29450 SE LARIAT LN Boring OR 97009

UPCOMING DATES AND TIMES:

Sun March 12th, @ 9:15am
Sun March 19th, @ 9:15am
Sun March 26th, @ 9:15am

COST: \$16 per class We have room for about 35 people and those spots are filling quick!

QUESTIONS?

artloveandyoga@gmail.com

[More Events](#)

[Buy your tickets here](#)



Wy'east Arena

The Wy'east Arena was originally built in 1974 for equestrian community offerings including horse shows, rodeos, competitions, and recreational horseback riding. Under the current ownership, the entire indoor arena and stall areas have been upgraded to current standards with reformatted footings by Arena Technologies. The arena is 22,000 square feet measuring 110' wide and 200' deep with grandstands that hold approximately 450 people. Since updating, the Wy'east Arena serves the local horse community by offering haul-ins 7 days a week, clinics and workshops by local and celebrity trainers, and quarterly horse shows and barrel races.

Warm Up Arena

The warmup arena measures 70' Wide, 120' deep, and 8,400 total square feet with reformatted footings by Arena Technologies. It is an ideal addition to the main arena for warm-up runs, bulpens, barrel racing, obstacle training, and more. When hard-packed, the warm-up arena serves as a large useable area adjacent to the main arena. It can house food vendors and spectators or serve your needs for a covered event. Additionally, installed in both arenas is a custom sound system, professionally designed to suit your possible sound needs.



Cascadia Trail Course

Prior to the current ownership the space south of the main structure (stalls and arena) was an outdoor arena and a few obstacles. This entire space has since been revitalized and redesigned by Mark Bolender, the founder and president of the International Mountain Trail Challenge Association or IMTCA.

Our viewing areas overlook our rolling hills, bridges, a waterfall pond, a multi-leveled pyramid, balance beams, a teeter-totter, maze and more. The true centerpiece of our competition grade course is the stunning 24ft long by 13ft high trestle bridge. In addition to public activities and challenges, this course will also be utilized as a training tool for clinics, lessons and open haul-ins. This space is used as a training tool for clinics, lessons, and haul-ins, as well as organized public events and challenges.

[Learn more about Mark Bolender & IMTCA](#)



OUR FACILITY

[About MT Hood Center](#)

[Information](#)

[Liability Waiver](#)

[Event Calendar](#)

CONTACT US

MT HOOD CENTER

29450 SE Lariat LN

Boring, OR 97009

(503) 214-2927

Book your stay with us.

Mt Hood Center is an Equestrian and Event facility offering Dry Camping and RV hook-ups plus an array of modern amenities perfect for short or long term stays. Our facility is located just off Highway 26, on a private and scenic 18 acre property in Boring, Oregon, which is conveniently located between Downtown Portland and Mt. Hood.

All rentals will have access to our beautiful property and high-speed WiFi. RV rentals include water and 30/50amp electric hook-ups, access to our full gym, spa quality showers, pristine restrooms, and modern washer & dryers. Our RV spaces are leveled, easy to access, and large enough to accommodate rigs up to 65 feet. Dry Camping rentals include a campsite, access to our indoor restrooms, and WiFi, but do not include water, electric, gym access, shower, or laundry.

Our facility grounds have been expertly landscaped by designer Sean Hogan of [Cistus Nursery](#), with natural elements curated for comfort and community. Relax by our pond, take a stroll on the walking course, or watch the sun set behind beautiful rolling hills, evergreens, and countryside. We're in the perfect spot for jumping off to wine tasting and dining in Sandy, exploring Portland attractions, shopping and food in Gresham, skiing atop Mt. Hood, or visiting [Timberline Lodge](#).

Whatever you have planned to do here in the Pacific Northwest let us be your home away from home. We look forward to seeing you soon!



Policies & General Information

- RV/Dry Camping check in: 1pm on the day of arrival
- RV/Dry Camping check out: 11:00am on the day of departure.
- Late check out: Additional charge of \$5 per hour after checkout time available with park approval.
- For late arrangements or to make changes to your reservation, please contact our Facilities Director at 503-877-8342
- Prices and site spots are subject to availability
- Rates are for 4 people, one RV, and one other vehicle
- Additional Guests \$5/guest daily (8 years and older)
- Additional Vehicles \$5/vehicle daily
- Showers, laundry facilities, and the gym are open 7am - 10pm, indoor restrooms are open all night
- Pets: All pets must be registered at check-in with the main office. Animals must be kept on a leash (8ft max) at all times if they are outside your RV, and may not be left unattended at the campsite. Animals may not be tethered to utility fixtures, trees, or fences. Portable pet fences are not allowed. Please potty your pets behind the trestle bridge on the trail course in the leach field. Animal waste must be picked up and disposed of by the pet owner.
- Quiet hours are between 10:00pm - 8:00a
- Garbage: Help us stay clean by depositing all garbage in the dumpster and recyclables in the recycling bin
- No glass containers allowed outside your RV or campsite.
- No guests are allowed inside the main arena, warm up arena, or sand pit arena for any reason unless given prior approval from our office.
- Children: Parents are responsible at all times for their child's safety and behavior. Please supervise small children and do not allow children to play on the rock walls or in ways of traffic.
- Month to month rentals: Please contact our office at 503-877-8342 if you're interested in long term stays.
- All guests must sign a Mt Hood Center Liability Waiver. Please click and sign: [Liability Waiver](#)

Cancellation & Refund Policy



The Boring Market: June 11th

STARTS
June 11, 2023, 9:00 am

ENDS
June 11, 2023, 2:00 pm

THE BORING MARKET

The Boring Market is back for another year, join us for the best Sunday morning experiences in the Portland metro area. At The Boring Market our vendors and farmers are local, producer-only and well vetted by our market manager and team. Whether you're looking for fresh produce, breads, seasonal fruits, veggies, eggs, or meats, you'll find it here. Need fresh cut flowers, handmade soaps, or locally crafted artisanal goods? We'll have those too. Additionally, during the market you'll find Cars and Coffee simultaneously taking place at Mt Hood Center every Sunday morning. You'll be able to peruse the market, walk through an array of classic and modern cars, and chat with car enthusiasts. Our location at 29450 SE Lariat Ln. Boring, OR, right in between both Gresham and Sandy, provides an ideal location for the more than 120,000 residents who live within both cities, as well as ample free parking for those that visit from around the expanding Portland area.

WHERE AND WHEN

The Boring Market is physically located at 29450 SE Lariat Ln. and operates as a weekly market on Sundays during the summer on the 2nd Sunday of each month in the summer. There is ample free parking on the 1 acre south parking lot. *The management reserves the right to change or cancel the market due to hazardous weather or other unforeseen circumstances. Vendors will be notified immediately if that occurs.

THE BORING MARKET

JUNE 11th: Boring Market + Cars & Coffee | Time TBD

JULY 9th: Boring Market + Cars & Coffee | Time TBD

SEPTEMBER 10th: Boring Market + Cars & Coffee | Time TBD

AUGUST 13th: Boring Market + Cars & Coffee | Time TBD

VENDORS

The Boring Market is currently accepting applications for all eligible vendors (see Eligible Vendors below.) Vendors are selected by application only and

The Boring Market is a producer-only market, if you grow or make something (or an eligible nonprofit) you are eligible to apply. Acceptance is based on quality of product, degree of professionalism, reference, and needs in different market categories. If you are accepted, the quality and length of your tenure will depend on how well you adapt to the market rules and market culture in general.

ELIGIBLE VENDORS

- Farmers (growers) of produce.
- Farmers (producers) of meats, cheese, other dairy products and eggs.
- Bakers – makers of locally baked goods, cakes and pastries.
- Makers of specialty local, consumable products such as prepared foods, pastas, coffee, jams, chocolate, ice cream, popsicles, spices, international cuisine, etc. Preference is for locally sourced ingredients.
- Makers of soaps and body care products.
- Growers of wild herbs, fruits and mushrooms from your own or leased land.
- Fishermen of fresh caught fish or shellfish caught in PNW waters.
- Food truck or cart operators selling food-to-be-consumed-on-premises must provide menu. Preference is for locally sourced ingredients and these vendors should use every effort to source from Market vendors.
- Makers and sellers of crafts, furniture, or home goods.
- Farmers (growers or resellers) of indoor and outdoor plants.
- Farmers (growers or resellers) of fresh cut flowers.
- We do not approve service businesses (ie: lawn care, roofing, cleaning) , multi-level marketing businesses (ie: Lip Sense, Avon, Scentsy, LuLaRoe, etc), religious or political organizations.

VENDOR RATES

Application fee for all vendors \$10

The application fee is paid only once by brand new vendors; re-applying vendors do not have to pay this.

Standard Vendor \$30

10x10 tent vendors who do not use power/propane at the market

Electrical Access Vendors \$40

Tent vendors and trailers who require access to a power box. Each vendor is allowed a maximum of 2 outlets. Sharing is caring! Trailers will be charged \$5 per ft over the allotted 10' perimeters up to 17'

Food Truck Vendor \$65

[More Events](#)

[The Boring Market](#)



Studio Rentals

Our spaces are perfect for creative styled shoots, editorial photoshoots, senior photos, engagement photos, company headshots, brand photos, lifestyle photos and anything you can imagine!

Conveniently located in Boring, Oregon between Gresham and Sandy off of Interstate 26. We are pleased to open our doors to the creative community for photo shoots! Our Ballroom, Greenhouse, and outdoor spaces are a blank canvas, perfect for any style session of your choice. Whether you choose to leave that canvas clean and minimalist, or style the space yourself, we invite you to bring your dream session to Mt Hood Center!

These rentals are designed for creatives to utilize the space for creative projects, and are separate from our event rentals.

Available Spaces for Studio Rentals	+
Studio Rental Amenities	+
Pricing	+
Studio Rental Inquiry	+

[Click here to book your studio rental](#)



Conveniently located in Boring, Oregon between Gresham and Sandy off of Interstate 26. We are pleased to open our doors to the creative community for photo shoots! Our Ballroom, Greenhouse, and outdoor spaces are a blank canvas, perfect for any style session of your choice. Whether you choose to leave that canvas clean and minimalist, or style the space yourself, we invite you to bring your dream session to Mt Hood Center!

These rentals are designed for creatives to utilize the space for creative projects, and are separate from our event rentals.

Available Spaces for Studio Rentals

+

Studio Rental Amenities

-

- All outdoor spaces, ballroom, and greenhouse
- Available decor, props, furniture, etc. (Please inquire for a list of current offerings)
- On-site restroom
- Ample parking in the front and rear of the building
- The facility is security monitored, 24 hours a day
- Wireless internet access is provided with your studio rental
- No additional power charges for shoots using strobe *if using continuous lighting please contact us to discuss
- Make-up room/green room for client/talent use.

Pricing

+

Studio Rental Inquiry

+

[Click here to book your studio rental](#)



Event Rentals FAQ

Q: DO YOU OFFER A MILITARY DISCOUNTS?

A: YES, WE DO! WITH PROOF OF SERVICE FROM THE BRIDE OR GROOM WE OFFER A 10% DISCOUNT ON YOUR SPACE RENTAL! MT HOOD CENTER THANKS YOU FOR YOUR SERVICE.

Q: WHAT IS THE DEPOSIT AND REFUND POLICY?

A: WE REQUIRE A NONREFUNDABLE DEPOSIT OF HALF THE WEDDING PACKAGE ALONG WITH A SIGNED CONTRACT TO SECURE YOUR EVENT DATE. SECURITY DEPOSITS ARE COLLECTED IN THE FORM OF A CHECK THAT WE DO NOT DEPOSIT IF ALL EXPECTATIONS ARE MET.

Q: WHY IS THERE AN ADDITIONAL PER PERSON RENTAL CHARGE AFTER THE FIRST 250 PEOPLE?

A: SOME VENUES CHARGE A FLAT FEE REGARDLESS OF 250 OR 500 PEOPLE. WE WANT YOU TO BE ABLE TO PAY FOR THE EXACT EVENT YOU WANT. THE BASE RATE FOR THE FIRST 250 PEOPLE IS WHAT WE CHARGE TO OPEN OUR VENUE AND STAFF IT BEFORE AND AFTER THE EVENT.

Q: DO YOU HAVE A REQUIRED IN-HOUSE CATERER?

A: WE DO NOT HAVE IN HOUSE CATERING OR CHARGE A FEE FOR OUTSIDE CATERERS. WE ARE HAPPY TO WELCOME THE CATERER OF YOUR CHOICE SO LONG AS THEY ARE LICENSED AND ALL EMPLOYEES HAVE A FOOD HANDLERS' CARD.

Q: DO YOU ALLOW FOOD/BAR TRUCKS?

A: YES, WE DO!

Q: WHAT'S HAPPENS IF IT RAINS?

A: FOR PACKAGE 1: OUR BALLROOM IS 8K SQFT! THAT GIVES US LOTS OF ROOM TO DO BOTH THE CEREMONY AND RECEPTION IN THE SAME PLACE IF YOUR GUEST COUNT IS UNDER 250 PEOPLE. FOR PACKAGE 2: THE CAFE CAN SEAT UP TO 75 GUESTS AND TRANSITION TO A RECEPTION SPACE AFTER OR YOU MAY OPT TO BRING IN YOUR OWN TENT TO USE ON THE PATIO.

Q: IS THE SITE HANDICAP ACCESSIBLE?

A: YES! PARKING IS AVAILABLE NEAR THE ENTRANCE OF MT HOOD CENTER AND OUR RESTROOMS ARE HANDICAP ACCESSIBLE. PLEASE INFORM OUR STAFF OF ANY ADDITIONAL NEEDS YOU MAY REQUIRE.

Q: IS THERE A PLACE TO GET READY?

A: YES! WE CURRENTLY HAVE A BEAUTIFUL BRIDAL SUITE AND HAVE PLANS TO BUILD AN EVEN LARGER ONE TO ALLOW FOR THE ADDITION OF A GROOM'S SUITE IN 2023.

Q: IS THERE AIR CONDITIONING/ HEAT?

A: THE BALLROOM AND GREENHOUSE BOTH HAVE THEIR OWN HEATING AND COOLING SYSTEMS. THE BRIDAL SUITE IS HEATED. ADDITIONALLY, FIRE TABLES CAN BE RENTED FOR OUTSIDE HEATING. PLEASE CLICK HERE TO VIEW OUR RENTAL LIST.

Q: DO YOU PROVIDE TENTS OR HEATERS?

A: WE HAVE A COUPLE SMALLER TENTS AND FIRE TABLES AVAILABLE FOR RENT.

Q: ARE THERE ADDITIONAL RENTALS AVAILABLE?

A: WE ARE CONSTANTLY LOOKING FOR UNIQUE PIECES TO ADD TO OUR COLLECTION AND MAKE AVAILABLE TO YOU ON YOUR SPECIAL DAY.

Q: WHAT IS THE PARKING SITUATION?

A: ALL PARKING IS ON SITE, WE WILL WORK TO ENSURE THAT YOUR GUESTS USE THE PARKING AREA CLOSEST TO YOUR EVENT. PLEASE ASK OUR STAFF WHICH PARKING LOT YOU SHOULD DIRECT YOUR GUESTS TO.

Q: DO YOU HAVE A DAY-OF-WEDDING COORDINATOR?

A: MT HOOD CENTER DOES NOT HAVE A DAY-OF WEDDING COORDINATOR ON STAFF. FOR THAT REASON WE ASK THAT YOU HIRE ONE OF YOUR CHOOSING AND HAVE TALENTED REFERRALS SHOULD YOU LIKE THEM. A REPRESENTATIVE FROM MT HOOD CENTER WILL MEET WITH YOU PRIOR TO YOUR WEDDING TO ENSURE ALL YOUR QUESTIONS ARE ANSWERED AND DISCUSS CEREMONY AND RECEPTION LAYOUT. ON YOUR WEDDING DAY THE VENUE HOST WILL COORDINATING THE VENUE STAFF TO MAKE SURE THE SET UP DISCUSSED IS EXECUTED AS PLANNED. WE DO NOT NEED TO KNOW WHO YOUR DAY-OF COORDINATOR IS AT THE TIME OF BOOKING BUT THEY WILL NEED TO BE PRESENT AT YOUR FINAL WALK THROUGH.

Q: DO I NEED EVENT OR ALCOHOL INSURANCE?

A: YES, YOU WILL NEED TO OBTAIN EVENT INSURANCE. THE INSURANCE MUST BE COMMERCIAL GENERAL LIABILITY FOR NO LESS THAN \$1,000,000 GENERAL LIABILITY AND \$300,000 DAMAGES TO PREMISES RENTED BY LESSEE.

PLEASE ENSURE "HOST LIQUOR" IS CHECKED IN ORDER TO SERVE ALCOHOL DURING YOUR EVENT.

A: YOU MAY HIRE A LICENSED ALCOHOL VENDOR THAT STAFFS THE EVENT FOR YOU OR BRING IN YOUR OWN ALCOHOL SO LONG AS YOU BOOK A SERVER THROUGH US.

A: WITH 18.5 ACRES WE CAN HOST MORE THAN ONE EVENT WITHOUT THEM INTERFERING. THERE MAY BE ANOTHER EVENT ON THE SAME DAY BUT WE DO OUR BEST TO LIMIT OVERLAP IN TIMES.

A: WE ARE SO EXCITED TO SHARE OUR VENUE WITH YOU AND WANT TO BE SURE WE HAVE SOMEONE READY TO SHOW YOU AROUND AND ANSWER ALL OUR QUESTIONS. FOR THAT REASON TOURS ARE BY APPOINTMENT ONLY. PLEASE FILL OUT A FORM ON OUR CONTACT PAGE AND WE WILL REACH OUT TO SCHEDULE A VISIT ASAP!

A: WE SCHEDULE REHEARSALS AROUND OTHER EVENTS. WE CAN SOLIDIFY A DATE AND TIME AT YOUR 30 DAY WALK THROUGH.

A: OUR EVENT PACKAGES VARY IN RENTAL TIME. YOUR VENDORS WILL NEED TO BE COORDINATED WITHIN THE TIMEFRAME LISTED IN YOUR PACKAGE. ADDITIONAL HOURS CAN BE PURCHASED. PRICING IS LISTED UNDER YOUR PACKAGE APPENDIX. IF THERE ARE NO OTHER EVENTS THAT SETUP INTERFERES WITH THE DAY PRIOR YOU MAY SETUP DURING YOUR REHEARSAL TIMEFRAME.

A: PER CITY ORDINANCE, OUTSIDE AMPLIFIED SOUND MUST BE TURNED DOWN OR OFF BY 10PM.

A: WE ARE HAPPY TO ALLOW YOUR FUR BABIES TO BE PART OF YOUR CEREMONY AS LONG AS THEY ARE LEASHED AND SOMEONE IS RESPONSIBLE FOR CARING/CLEANING UP AFTER THEM. ARRANGEMENT SHOULD BE MADE FOR THEM TO BE TAKEN HOME DURING THE RECEPTION.

A: FLAMELESS CANDLES IN DECOR AND SPARKLERS IN THE PARKING LOT ARE A YES. CONFETTI, LOOSE PETALS AND FIREWORKS DON'T WORK WELL FOR OUR SPACES.

A: YES WE DO! WE HAVE SOME GREAT CUSTOM SIGNS WE'LL PUT OUT FOR YOU THAT DAY.

A: WE ARE FORTUNATE TO HAVE SUCH A LARGE VENUE THAT MAKES SOCIAL DISTANCING EASY. WE ENCOURAGE WEARING A MASK WHEN IN CLOSE QUARTERS.



OUR FACILITY

About MT Hood Center

Information

Liability Waiver

Event Calendar

CONTACT US

MT HOOD CENTER

29450 SE Lariat LN
Boring, OR 97009

(503) 214-2927



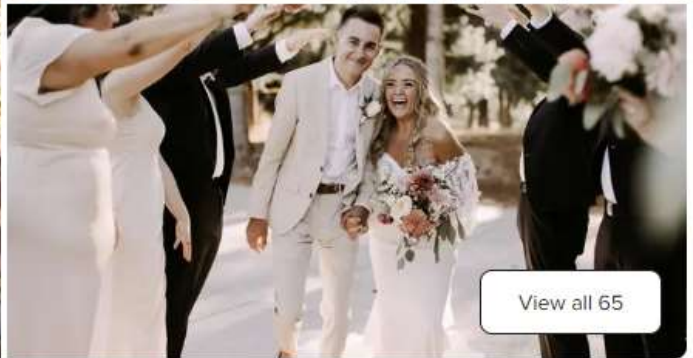
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Barn & Farm Weddings

in Portland

Search



View all 65

Pricing

About

FAQs

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Team 1

Map

Pricing Information

Peak season

Off-peak season



These prices are available for the months of **January** through **December**.

Do you want more pricing details?



Mt Hood Center Pricing

[Open PDF](#)

About

📅 On WeddingWire since 2021

Mt Hood Center is a barn and farm wedding venue in Portland, Oregon, where couples can host their special day. Conveniently located just 30 minutes from downtown Portland, this venue offers couples the ideal blend of privacy, exclusivity, and style. The property sits on 18 acres of beautiful farmland and boasts stunning views of the surrounding countryside that provides the perfect backdrop for wedding celebrations. The dedicated team at Mt Hood Center is passionate about helping couples create bespoke celebrations and prides themselves on their flexible approach.

Facilities and Capacity

Mt Hood Center can cater to weddings with between 4 and 450 guests. There are both indoor and outdoor event spaces available. Couples can tie the knot outdoors in the Meadow, on the Lookout Deck, or on the Trail Course. The Meadow is a gorgeous outdoor space nestled between landscaped grounds and a tranquil pond. It features stunning views of Mt Hood and provides an enchanting setting for large or small weddings. The Lookout Deck features panoramic views of the entire property, modern furnishings, and warm lighting. This space is ideal for cocktail receptions and wedding ceremonies, and the 360-degree views offer the perfect backdrop for wedding photos. The Trail Course features gorgeous trestle bridges and a spectacular waterfall pond. This space can be configured to accommodate ceremonies, receptions, and cocktail hours and is ideal for larger celebrations. Couples who prefer to enjoy an indoor celebration can opt for the Ballroom or the Greenhouse. The Ballroom is an 8000-square-foot modern event space featuring stained concrete floors, white shiplap walls, and high vaulted ceilings. The room is flooded with natural light from the large bay windows during the day, making it perfect for bright and airy wedding ceremonies. At night the room is transformed by the light from the crystal chandeliers, creating a relaxed and romantic atmosphere that encourages guests to unwind. Finally, the Greenhouse is ideal for more intimate gatherings. This unique setting features a floor-to-ceiling tile installation, a gas firepit, and comfortable lounge seating that creates a cozy and inviting ambiance. The tile installation makes a lovely backdrop for ceremonies and photos, and the entire space has a chilled-out boho vibe that couples will love.



Taylor L. Married on 09/17/2022

★★★★★ 5.0 ✓

Best Experience!

Where do I start? I am forever grateful to the entire team at Mt. Hood Center for making my wedding dreams come to life! Each staff member was incredibly kind and accommodating. From the initial tour to setting up chairs day-of, every single staff member wanted to make the day a success and definitely went the extra mile to make all day-of details happen. Special shoutout to Jaclyn, she was a delight to coordinate with and Luke, who worked tirelessly with my family for set up and tear down.



Sent on 10/02/2022



Brittany W. Married on 04/29/2023

★★★★★ 5.0 ✓

Amazing! 10/10

Had a great time working with Mt. Hood Center! The greenhouse is amazingly beautiful, the new cafe space is awesome, and the new bridal suite is huge and adorable. The staff members there the day of my wedding did so much to help set up and make the day go smoothly! I 100% would recommend/would book again.



Sent on 05/07/2023



Gabrielle S. Married on 09/10/2022

★★★★★ 5.0 ✓

Dream Wedding

Working with the Mt.Hood Center Staff has been an absolute dream. They were so accommodating and generous. This venue is a beautiful place to say "I do" it's classy, chic and compliments Oregon very well. 1000x recommend getting married here or hosting any event here.



Bethany G. Married on 09/03/2022

★★★★★ 5.0 ✓

10/10 Recommend

We had our wedding here September 3rd of this year (2022) and we LOVED every minute of working with this team! Everyone is very accommodating and helpful! I could tell they genuinely wanted the best for us and wanted to help us achieve our dream day in anyway possible!! Not only do they have an AMAZING staff of people but they have a GORGEOUS venue which accommodates to big groups and at a rocking price!!! They exceeding our expectations, helped in all the ways possible, made themselves available and they were easy to get a hold of!! I couldn't have asked for anything better!! THANK YOU Mt Hood Center for going above and beyond!!!!!!!!!



Sent on 10/04/2022



Alexander Z. Married on 07/23/2022

★★★★★ 5.0 ✓

So flexible and accommodating with our wants.

We are so happy we went with Mt. Hood Center for our wedding venue! They were so willing to answer all our questions, gave us extra time to set up decor and even help set up the table and chairs exactly as we wanted. Welcomed us in multiple times for family members to tour the venue and made sure to check in on us getting all information in on time in order to help make our wedding dreams come true. 10/10 recommend.

Sent on 07/26/2022



Rayna Married on 05/20/2023

★★★★★ 4.8 ✓

Wedding at MHC May 2023

We absolutely loved having MHC as our wedding venue. It was a perfect location and each area of the venue is beautiful! You truly can't go wrong with any of their packages. The brial room for getting ready is amazing and my photographer said it was the best she has seen. We booked our rehearsal dinner in the Greenhouse which is absolutely stunning and it was so lovely to have dinner on site at the venue after the rehearsal. Their team was wonderful to work with and was always so kind and responsive. You can tell that they put a lot of effort into their venue and creating a great experience for couples that are planning their wedding.

Mt Hood Center's Post



Mt Hood Center

5d · 🌐

...

Who has tickets to our concert on July 30th?

They're going fast!

While you're here reading, click the link below & grab your tickets - it's going to be a night you won't forget! Come make memories with us ❤️

We are hosting **SHOOT TO THRILL**, an AC/DC tribute band!

Date: July 30th, 2023

Time: 6pm, doors open at 5pm

Where: The Meadow @ MHC

Get Tickets: <https://mthoodcenter.com/.../concert-in-the-meadow-shoot...>

Can't wait to see you there!



👍 18

2 comments 3 shares

👍 Like

💬 Comment

➦ Share

Most relevant ▾



👑 Top fan

Heather Kelner

We have ours! We have a big group going! Can't wait! ...

Like Reply 4d

👍❤️ 2



Kathy Kosky-Seals

We have ours! ❤️ ...

Like Reply 4d

Mt Hood Center's Post



Mt Hood Center

July 26 at 11:03 AM · 🌐

THE GREAT BIG BORING MARKET

The event of the summer... and we're gonna be honest - you really don't want to miss it!

Here's what we have planned for the BIG day:

- Car Show
- Beer Festival
- Kids' Zone
- Food Trucks
- ... See more



Mt Hood Center

Send message

281

57 comments 51 shares

Like

Comment

Share

Most relevant ▼



Wendy Salas



Save the Date!

SIXTH ANNUAL
Boring Beer Fest 2023

August 20th | 11am-8pm

@ Mt Hood Center in the Meadow

Mt Hood Center's Post



Mt Hood Center

July 24 at 1:02 PM · 🌐

When the whole crew shows up for the Rodeo at Mt Hood Center!

Email events@mt Hood Center.com for your tour or booking!

See more



40

5 comments · 2 shares

Like

Comment

Share

Most relevant



Top fan

Heather Kelner

Looks amazing! I don't see anything about this event on your page. Past or future.

Like Reply 1w

5



Author

Mt Hood Center

Heather Kelner it was a private event, not one we ran/put on!

Like Reply 1w

4



Top fan

Heather Kelner

Mt Hood Center oh I see! Bring back the rodeos!!!

Mt Hood Center's Post



Mt Hood Center

July 11 at 12:20 PM · 🌐



Can we take a quick minute to admire our Wedding Suite?

The perfect space to be with your favorite people getting ready for your big day. Ample space, feminine design, and vintage touches.... We couldn't love it more than we already do!

This space is included with many of our wedding packages ❤️ and it's a highlight for us, fam!

To book your tour of all our spaces email weddings@mthoodcenter.com, or click the link in our bio and head straight to mthoodcenter.com!

📸 Cody & Bailey photography



[#bridalsuite](#) [#bridalparty](#) [#oregonvenue](#) [#pnwvenue](#) [#weddingsuites](#)

Bridal suite magic, girls day, big day, wedding venue, Oregon wedding venue



👍❤️ 24

1 comment

👍 Like

💬 Comment

➦ Share

Most relevant ▼



Periwinkle Events NW LLC · Follow



Mt Hood Center created an event.

July 6 at 3:33 PM · 🌐

...



Enchanted Unicorn Festival

Hosted by The PNW Unicorns

SUN, AUG 13 AT 12 PM

Enchanted Unicorn Festival

Boring

391 people interested

☆ Interested

👍❤️ 41

30 comments

👍 Like

💬 Comment

🔗 Share



Mt Hood Center created an event.

July 3 · 🌐

...



SUN, AUG 20 AT 5:30 PM

Supper Club w/Finca Collective

Mt Hood Center

1 person going

☆ Interested



Mt Hood Center

June 24 · 🌐

...

Nothing but good vibes and great reviews over here at Mt Hood Center 🥰... check out what the principal of our on campus field day had to say about their experience!

Review from Principal of Le Monde School

5-stars ★★★★★

"This was a beautiful venue, with very kind and responsive staff. We used the ballroom and outdoor meadow. We descended on the space with 380 k-8th graders, and the staff helped ensure we had what we needed to keep them safe and entertained. Was happy that they assisted with all set up needs and were responsive when we expressed new needs. Lovely grounds!"

🔥👏👏 Go team MHC, GO!



👍👍👍



Mt Hood Center created an event.

July 3 · 🌐

...



SUN, JUL 30

Concert In The Meadow!

Boring

275 people interested

☆ Interested



Mt Hood Center

June 24 · 🌐

...

Nothing but good vibes and great reviews over here at Mt Hood Center 🥰... check out what the principal of our on campus field day had to say about their experience!

Review from Principal of Le Monde School

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"This was a beautiful venue, with very kind and responsive staff. We used the ballroom and outdoor meadow. We descended on the space with 380 k-8th graders, and the staff helped ensure we had what we needed to keep them safe and entertained. Was happy that they assisted with all set up needs and were responsive when we expressed new needs. Lovely grounds!"

🔥👏👏 Go team MHC, GO!





Mt Hood Center

June 21 · 🌐

...

We are all about moments ❤️

Moments of love, excitement, joy, community, and of learning something new!

From weddings, corporate events, parties, equine, a Quinceanera, markets, our wedding show, car shows, concerts and everything in between... we delight in being a part of your biggest life moments!

Our spaces are beautiful, but what makes them come to life is YOU!

We have the busiest week of events this week at MHC, and honestly we're all so grateful for the chance to be a small part in making a memorable moment for you and yours!

What is the most special memory you have here at Mt Hood Center?





Mt Hood Center

May 1 · 🌐

...

THE CAFE

One of our newest spaces that we're THRILLED about 🥰.

We have hosted weddings, showers, grad parties, memorials, anniversaries, reunions, and mid-sized corporate events in this space already... and cannot wait for more!

It has a very industrial vibe, with natural light flooding in from our huge glass door. Some of our favorite highlights are the unique tile, and (made in house) live edge tables!

What event can you picture in this space? Tell us in the comments!

For bookings, email events@mthoodcenter and tell them your friend's from MHC social media sent you!

Photos by @redfredpro

mthoodcenter.com

👍
👍
👍
👍
👍
👍

#microwedding #eventspace #corporateeventspace #anniversary #reunion #pnweventvenue #oregoneventspace



👍❤️ 21

3 comments



Mt Hood Center

April 28 · 🌐

...

CORPORATE EVENTS

Did you know that here at MHC, we love booking events for far more than just weddings?

That's right! We love hosting corporate regionals, company parties, vendor events, and truly any type of event your large or small business could need. With our diverse options for venue spaces - we can honestly pull anything off you've got in mind!

Our Ballroom pictured here, is our largest event space so far. With a classic and industrial feel, this is a canvas you can curate ANY event in!

Who's going to use the ballroom for their next company event? We're ready to have you!

For inquiries, email events@mthoodcenter.com and tell them our IG team sent you ❤️.

Thank you to @redfredpro for these incredible photos of our space!





Mt Hood Center

April 25 · 🌐

...

We're bursting at the seams excited to see the sun out, and our trail course open this week 🌞

Here's a quick reminder of how our Trail Course will work!

DETAILS:

- \$20 per horse & rider
- Open 9am - 6pm M-TH. F-Sun to book must email kellie@mthoodcenter.com
- Arena is still under construction, so this is for our outdoor trail course ❤️
- Register Here: <https://mthoodcenter.com/formSystemv2/view.php?id=80259>

Our team cannot wait to see you here on campus!





Mt Hood Center

April 14 · 🌐

...

Although our instructor is an absolute PRO, all levels are welcome this Sunday for Yoga!

Don't miss the chance to enjoy a Sunday morning session to set your week on track. ❤️

Sign up at: www.artloveandyoga.com

We cannot wait to see you there!

@artloveandyoga



9



Mt Hood Center

April 11 · 🌐

...

There has never been a better time to book our Ballroom, Cafe, or Meadow for your 2023 OR 2024 wedding!

We know there are some couples out there still looking for the PERFECT venue, and we have you covered fam!

Until May 6th, remaining dates open for 2023 & 2024 bookings are 25% off and we don't want you to miss it!❤️

Contact weddings@mthoodcenter.com for details on dates we have left to book!

You can also fill out our inquiry form on our website mthoodcenter.com

#photography #microwedding #weddingdress #microweddingvenue #weddingdetails #love
#intimatewedding #microweddings #weddingideas #engaged #weddingparty
#destinationwedding #weddingceremony #weddingvenues #weddingvenuehunting
#outdoorwedding #weddinginspiration #weddingphotographer #bride #weddinginspo
#weddingday #weddingdecor #instawedding #wedding #weddingphotography #weddingplanner
#weddingflowers #outdoorweddingvenue





Mt Hood Center

April 5 · 🌐

...

The wait is OVER 🥳🥳

We have all the details for our vendor's, and we are ready to let you in on how we're accepting vendors this year!

We are looking to host the largest Market yet on our campus, so we are excited to see all the business & talent we get to spotlight! Our team prides ourselves in having unique, and reputable vendors in our events. So, if you know anyone that fits that description send them our way, friends ❤️

HERE ARE THE DETAILS:

WHEN: August 20th, 2023

TIME: 9am - 2pm

WHERE: Mt Hood Center

WHAT: A market for makers, farmers, artists, and local business.

COST: \$10 application fee, \$75 once accepted.

APPLY: Go to mthoodcenter.com and click on our "Great Big BORING MARKET" event to apply!





Mt Hood Center

February 24 · 🌐

...

In case you haven't heard yet...

March 5th, is a day you don't want to miss at Mt Hood Center 🤠.

Hitched Up Wedding Show, is going to be the event of the season... and honestly a straight up PARTY!

• Hand picked, local vendors... See more



👍❤️👍 22

7 comments · 28 shares



mthoodcenter
Adam Griffith • Champagne



mthoodcenter An afternoon stroll through part of our property today, and honestly fam... there is literally nothing more refreshing than our campus when the sun is out ☀️.

The fresh air, the new landscape design by (the famous) Sean Hogan, sounds of horses on our trail, and the pitter patter of new projects in the works... WHAT a place to be!

Our visionary owner sees this campus as a work of art, and he's really on to something! As a team we envision a growing conservatory where our community gathers to see art, inviting spaces, and regenerative agriculture that evokes emotion ❤️.

We hope you and yours get to come visit soon, and enjoy this little slice of heaven we have here 😊.

Edited · 14w



fuller_gail Except the lack of horses being allowed on the property



14w Reply

— Hide replies



mthoodcenter @fuller_gail we have had horses on the property all week ❤️. Our trail course is open, as stated in previous posts! You're welcome to come join the fun anytime!



14w Reply



deimy_d @jaimes_restaurant_taqueria



13w Reply



128 likes

APRIL 26



Add a comment...

Post



mthoodcenter

carneyval • Hypnotize x Jump Around



mthoodcenter Summer is COMING! We know that means mommas are looking for the perfect birthday set up for their kiddo with a summer birthday ❤️.

LOOK NO FURTHER...

We've got you! Our Kids Annex is the cream of the crop spot for your next party to celebrate your mini besties 🍷.

KIDS ANNEX HIGHLIGHTS:

- Accommodates 50 Guests
- 4 Picnic Tables (seat 6 each)
- 15x15 Bounce House
- 3hrs Of Use
- Private Restroom
- Ample Onsite Parking
- ADA Accessible
- Free Wifi
- Access to use our favorite vendors for food, decor, drinks and anything in between!

We are stoked to have you here for your next special bday celebration!

For bookings click the link in our bio!

•
•
•
•
•

#kidsparty #kidspartyspace #birthdayparty #oregonevents #oregoneventspace

9w



70 likes


MAY 31




Add a comment...

Post



mthoodcenter


mthoodcenter Last weekend... let's talk about it ❤️.

A carnival to top them all, because it's at Mt Hood Center and we pull out all the stops!

Whether it's for a company party, a school field day, or anything in-between... our campus transforms into the best place for your carnival celebration 🎪!


For inquiries, email events@mthoodcenter and tell them your MHC IG team sent you 🙌.

2w


xtinaonfire_ceramics You guys are killing it with the fun events! ❤️

2w 1 like Reply

— Hide replies


mthoodcenter @xtinaonfire_ceramics ahhh thanks! We're having a FUN summer for sure! ❤️

1w Reply


daisymayeventslc That's so cool!! ❤️

2w Reply




— Hide replies

mthoodcenter @daisymayeventslc so much funnn! ❤️

1w 1 like Reply


chase.skyjasmine Why doesn't Sandy Mt Days take advantage of your space! Perfect location for the carnival that keeps getting cancelled :(❤️

1w 1 like Reply



172 likes

July 30

Add a comment...

Post

EXHIBIT BE PAGE 23 OF 27

PLAZA DE TOROS
EL TORO PINTO

VIERNES

GRAN JARIPEO BAILE

7
JULIO



DE TUZANTLA, MICH.

LOS
TORAZOS
DE



BANDA
GRANDE
NAVARO



ADEMÁS

JINETES DE ACERO



EN LA MÚSICA MEZCLADA



SELECCION DE OREGON
BALIN DE NAYARIT



BORRACHO DE
OAXACA



VENGANZA DE
GUANAJUATO



NEGRO RAMÍREZ

PARKA DE JALISCO

PEQUEÑO GUERRERO

CHICANITO JR.
DE PEDERNALES

DORADITO
DE PEDERNALES

BORRACHA DE CRUZ OAXACA

TROKERO DE COLIMA

CHICANITO

COMPRA
TU BOLETO
EN LINEA

MIBOLETAZO.COM

HABRA:
-PUERQUITO ENCEBADO
PARA LOS NIÑOS
-LA VACA LOLA
PARA LAS MUJERES
PREMIOS EN
EFECTIVO

INFORMES AL
971 221 5645 503 519 6104

29450 SE LARIAT LN BORING OR 97009



7

FRIDAY, JULY 7, 2023 AT 5 PM – 1 AM

La Dinastía de Tuzantla Michoacan

Mt Hood Center

About Discussion

Details

- 8 people responded
- Event by Alex Alvarez
- Mt Hood Center
- Duration: 8 hr
- Public - Anyone on or off Facebook

Jaripeo Baile

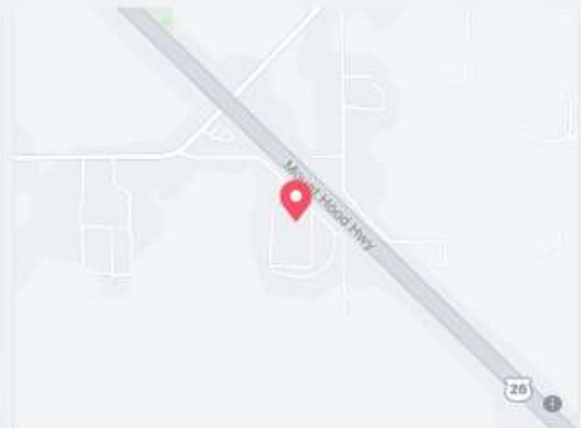
Dance Boring, Oregon

Meet Your Host



Alex Alvarez
3 past events - Profile - Digital creator

Soy un DJ carismático que trabaja duro para traerte lo mejor de la música a tus oídos



Mt Hood Center
29450 SE Lariat LN, Boring

Mt Hood Center is a historic equestrian and event center that provides stunning spaces for public and private use while ... See more

Guests

See all

2
Went

6
INTERESTED

Boring Wedding Venues



See All (54)

[Photos](#)
[About](#)
[Amenities](#)
[Pricing](#)
[Reviews](#)
[Contact](#)
[Team](#)

Mt Hood Center

★★★★★ 5.0 (2)

29450 SE Lariat Ln, Boring, OR

[Facebook](#) |
 [Instagram](#) |
 [Website](#)

Message Vendor

Starting Cost: \$\$\$ - Moderate

First Name

Last Name

Email Address

About This Vendor

The country-modern setting you've been looking for

Mt Hood Center is an elegant barn-style wedding venue located in Boring, OR. Nestled in full view of Mt. Hood and 30 minutes away from downtown Portland, this destination is convenient for both urban and countryside excursions. With beauty that is accentuated by luscious greenery, waterfalls, and meadows, this property is an ideal backdrop for any special celebration.

Upon arrival at Mt Hood Center, couples and their entourage will be escorted to the private dressing rooms. Here, an array of amenities is at their fingertips to help them feel prepared for the aisle in no time at all. Couples can exchange vows in the stunning outdoor expanse set to a backdrop of verdant green lawns before transitioning into the beautiful 8,000-square-foot indoor event area. This spacious room provides a welcoming environment for all, with romantic lighting and drapery setting the tone for the celebrations to come. With an outdoor capacity of up to 500 guests, couples can invite their friends, family, and even more to enjoy the day with them. With its rustic sophistication, couples and their loved ones will be wowed by the space and the incredible photographs snapped within its walls.

Mt Hood Center offers a number of services to couples that wish to celebrate with them. These include event rentals such as tables, chairs, linens, flatware, glassware, and china. The staff will be on hand to help guests with the basic set-up and cleanup of each event. The administration here is also more than happy for outside vendors to come to the property and help realize any wedding vision. Couples can look forward to creating a stunning, bespoke celebration at this one-of-a-kind location.

Amenities + Details

- | | |
|--------------------------|-----------------------|
| ✓ Ceremony Area | ✓ Dressing Room |
| ✓ Handicap Accessible | ✓ Indoor Event Space |
| ✓ On-Site Accommodations | ✓ Outdoor Event Space |
| ✓ Reception Area | ✓ Wireless Internet |
| ✗ Covered Outdoors Space | ✗ Liability Insurance |

Ceremony Types

Guest Capacity

Benthin, Kim

From: Amend, Michelle
Sent: Monday, December 4, 2023 11:25 AM
To: Benthin, Kim
Subject: FW: Inspection Report for your occupancy
Attachments: InspectionReport.pdf

Hi Kim,

Please see the above for your records.

Thank you,
Michelle

Michelle Amend, Code Enforcement Supervisor
Building Codes Program
Department of Transportation and Development
150 Beavercreek Rd.
Primary Phone: 503-742-4785
www.clackamas.us
Hours: M-F from 7:30 a.m. until 4:00 p.m.
Lobby hours: 8:00 a.m. until 4:00 p.m. Monday through Thursday

Were you happy with the service you received today?



Follow Clackamas County: [Facebook](#) | [Twitter](#) | [YouTube](#) | [Nextdoor](#)

From: Olson, Shawn <shawn.olson@ClackamasFire.com>
Sent: Monday, December 4, 2023 11:02 AM
To: Munns, Jeffrey <JMunns@clackamas.us>; Amend, Michelle <MAmend@clackamas.us>
Cc: Wright, Travis <TWright@clackamas.us>
Subject: Fw: Inspection Report for your occupancy

Warning: External email. Be cautious opening attachments and links.

Good Morning Jeff and Michelle,

Here is a copy of the inspection notice I sent to Mt. Hood Equestrian Center this morning.

Thank you,

Shawn Olson
Fire Marshal
503-742-2663



From: notification@esosolutions.com <notification@esosolutions.com>

Sent: Monday, December 4, 2023 10:58 AM

To: aaron@mthoodcenter.com <aaron@mthoodcenter.com>; Olson, Shawn <shawn.olson@ClackamasFire.com>

Subject: Inspection Report for your occupancy

Attached is the inspection report recently completed on your occupancy. Information about contacting your inspector is within the inspection report.

Please do not reply to this email.

CLACKAMAS FIRE DISTRICT #1

INSPECTION REPORT

MT. HOOD CENTER, 29450 SE LARIAT LN, BLDG MT HOOD CENTER, BORING OR 97009



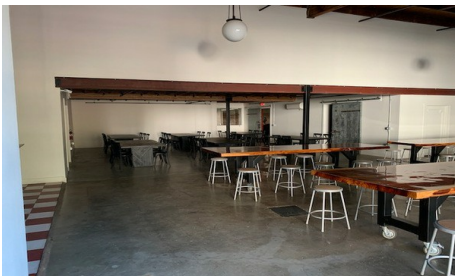
DETAILS

Inspection Date: 11/29/2023 | Inspection Type: INSPECTION - 2023 | Inspection Number: 27587 | Shift: N/A |
Station: Station 14 - Boring | Unit: N/A | Lead Inspector: SHAWN OLSON | Other Inspectors: N/A

STATUS	CODE	DESCRIPTION
--------	------	-------------

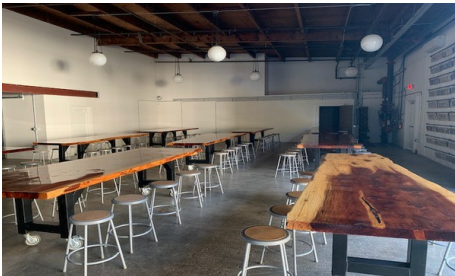
FAIL OFC 1004.9 - POSTING OF
OCCUPANT LOAD

Every room or space that is an assembly occupancy shall have the occupant load of the room or space posted in a conspicuous place, near the main exit or exit access doorway from the room or space, for the intended configurations. Posted signs shall be of an approved legible permanent design and shall be maintained by the owner or the owner's authorized agent.



Inspector: SHAWN OLSON - Comments: No occupants loads posted for assembly rooms. Example of Dining Hall. Assembly occupancies to be approved by Clackamas County Building Codes Division.

Location: Not Provided



FAIL OFC 114.1.1 - UNSAFE
CONDITIONS

Structures or existing equipment that are or hereafter become unsafe, insanitary or deficient because of inadequate means of egress, inadequate light and ventilation, or that constitute a fire hazard, are otherwise dangerous to human life or the public welfare or involve illegal or improper occupancy or inadequate maintenance, shall be deemed an unsafe condition. Unsafe structures shall be taken down and removed or made safe, as the fire code official deems necessary and as provided for in this section. A vacant structure that is not secured against unauthorized entry shall be deemed unsafe. Actions to correct hazards and other deficiencies shall be according to ORS 479.170 and ORS 479.195.



Inspector: SHAWN OLSON - Comments: Greenhouse is a U occupancy. Greenhouse is used as a A-Assembly occupancy. Discontinue use of A-Assembly occupancy until Clackamas County Building Department has approved. Unsafe building due to improper occupancy and inadequate means of egress. Submit drawings to County for approval and permitting.

Location: Not Provided

STATUS	CODE	DESCRIPTION
--------	------	-------------

FAIL

OFC 507.5.5 - CLEAR SPACE AROUND HYDRANTS



A 3-foot clear space shall be maintained around the circumference of fire hydrants, except as otherwise required or approved.

Inspector: SHAWN OLSON - Comments: Fire hydrant located near the NE corner is obstructed by a concrete vault and backflow. 36" clearance is required around fire hydrant. Recommend moving fire hydrant away from obstructions verses removing backflow or vault.

Location: Not Provided

FAIL


OFC 603.2.2 - OPEN ELECTRICAL TERMINATIONS



Open junction boxes and open-wiring splices shall be prohibited. Approved covers shall be provided for all switch and electrical outlet boxes.

Inspector: SHAWN OLSON - Comments: Close junction box within storage room.

Location: Not Provided

STATUS	CODE	DESCRIPTION
FAIL	OFC 901.6 - INSPECTION, TESTING AND MAINTENANCE	<p>Fire protection and life safety systems shall be maintained in an operative condition at all times and shall be replaced or repaired where defective. Nonrequired fire protection and life safety systems and equipment shall be inspected, tested and maintained or removed in accordance with Section 901.8. Single- and multiple-station smoke alarms and carbon monoxide alarms installed in Group R-1 and R-2 occupancies shall also be in accordance with NFPA 72, ORS 90.325 and ORS 479.295</p> <p>Inspector: SHAWN OLSON - Comments: Provide copies of fire alarm and fire sprinkler system annual service reports. Fire alarm in trouble mode, fire riser. Repair or replace to mitigate deficiency.</p> <p>Location: Not Provided</p>
FAIL	OFC 903.3.3 - OBSTRUCTED LOCATIONS	 <p>Automatic sprinklers shall be installed with regard to obstructions that will delay activation or obstruct the water distribution pattern and shall be in accordance with the applicable automatic sprinkler system standard that is being used. Automatic sprinklers shall be installed in or under covered kiosks, displays, booths, concession stands or equipment that exceeds 4 feet in width. Not less than a 3-foot clearance shall be maintained between automatic sprinklers and the top of piles of combustible fibers. Exception: Kitchen equipment under exhaust hoods protected with a fire-extinguishing system in accordance with Section 904.</p> <p>Inspector: SHAWN OLSON - Comments: Hard Lids placed over horse stalls. Fire protection needed. Submit plans to Clackamas County Building Codes Division for permitting and approvals to add additional sprinkler heads.</p> <p>Location: Not Provided</p>
FAIL	OFC 903.4 - SPRINKLER SYSTEM SUPERVISION AND ALARMS	<p>Valves controlling the water supply for automatic sprinkler systems, pumps, tanks, water levels and temperatures, critical air pressures and waterflow switches on all sprinkler systems shall be electrically supervised by a listed fire alarm control unit. Exceptions: 1. Automatic sprinkler systems installed in accordance with Section 903.3.1.3. 2. Limited area sprinkler systems in accordance with Section 903.3.8. 3. Automatic sprinkler systems installed in accordance with NFPA 13R where a common supply main is used to supply both domestic water and the automatic sprinkler system, and a separate shutoff valve for the automatic sprinkler system is not provided. 4. Jockey pump control valves that are sealed or locked in the open position. 5. Control valves to commercial kitchen hoods, paint spray booths or dip tanks that are sealed or locked in the open position. 6. Valves controlling the fuel supply to fire pump engines that are sealed or locked in the open position. 7. Trim valves to pressure switches in dry, preaction and deluge sprinkler systems that are sealed or locked in the open position. 8. Underground key or hub gate valves in roadway boxes.</p> <p>Inspector: SHAWN OLSON - Comments: Outside backflow device within concrete vault needs supervision. Provide a chain and lock connecting both OS and Y valves.</p> <p>Location: Not Provided</p>

STATUS	CODE	DESCRIPTION
--------	------	-------------

FAIL
OFC 903.4.1 - MONITORING



Alarm, supervisory and trouble signals shall be distinctly different and shall be automatically transmitted to an approved supervising station or, where approved by the building official, shall sound an audible signal at a constantly attended location. Exception: Backflow prevention device test valves located in limited area sprinkler system supply piping shall be locked in the open position. In occupancies required to be equipped with a fire alarm system, the backflow preventer valves shall be electrically supervised by a tamper switch installed in accordance with NFPA 72 and separately annunciated.

Inspector: SHAWN OLSON - Comments: Fire sprinkler contractor noted on dry riser No Monitoring. See image and riser. Repair or replace. Or verify on Inspection, Testing, and Maintenance report correction has been made.

Location: Not Provided

FAIL
OFC 907.2.1 - GROUP A

A manual fire alarm system that activates the occupant notification system in accordance with Section 907.5 shall be installed in Group A occupancies where the occupant load due to the assembly occupancy is 300 or more, or where the Group A occupant load is more than 100 persons above or below the lowest level of exit discharge. Group A occupancies not separated from one another in accordance with Section 707.3.10 of the International Building Code shall be considered as a single occupancy for the purposes of applying this section. Portions of Group E occupancies occupied for assembly purposes shall be provided with a fire alarm system as required for the Group E occupancy. Exception: Manual fire alarm boxes are not required where the building is equipped throughout with an automatic sprinkler system installed in accordance with Section 903.3.1.1 and the occupant notification appliances will activate throughout the notification zones upon sprinkler water flow.

Inspector: SHAWN OLSON - Comments: Non approved Fire and Life Safety Plan submitted in 2022 reflects occupant loads greater than 300 for each proposed A-Assembly uses. Manual fire alarm system is required. Occupant load limited to 299 throughout entire building until notification appliances are installed, approved and permitted by Clackamas County Building Department. Building has fire protection, but there are no occupant notification appliances throughout as stated in OFC.

Location: Not Provided

GENERAL NOTES

SHAWN OLSON - 12/04/2023 @ 10:56
 All fire code violations pertaining to building occupancy use, modification, additions or alterations to a fire protection system are to be designed or corrected by a licensed architect or fire protection contractor working under the benefits of a permit issued by Clackamas County Building Codes Division. Copy of this inspection notice has also been provided to Clackamas County.

SHAWN OLSON - 11/29/2023 @ 15:49
 Electrical panels don't have electrical inspector tags. Indicating no inspection has been completed on these installations by Clackamas County. See images.

GENERAL NOTES

SHAWN OLSON - 11/29/2023 @ 15:50

SHAWN OLSON - 11/29/2023 @ 15:50

REINSPECTION DATE

01/03/2024

CONTACT SIGNATURE

Aaron Shelley
Signed on: 12/04/2023 @ 10:58

EMailed 12/4/23

INSPECTOR SIGNATURE

SHAWN OLSON
Signed on: 12/04/2023 @ 10:55

Shawn Olson

QUESTIONS ABOUT YOUR INSPECTION?

SHAWN OLSON
Shawn.Olson@clackamasfire.com
(503) 742-2663



mthoodcenterlatino

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Mt Hood Center Latino

29450 SE Lariat Lane Boring, Oregon

mthoodcenter.com/new/home

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My hood cen...



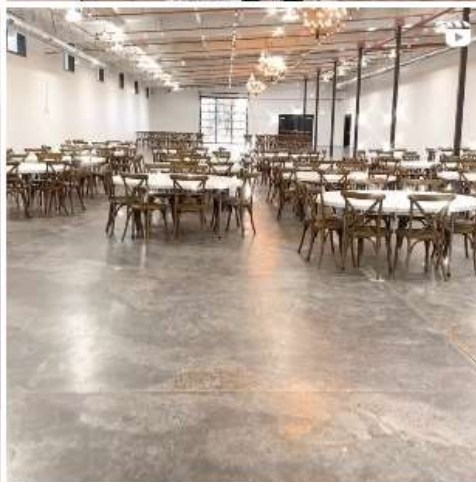
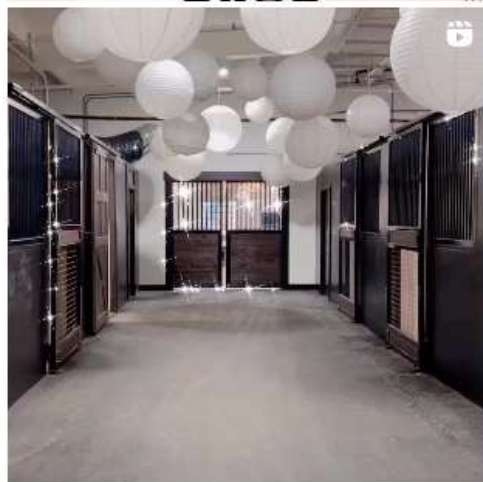
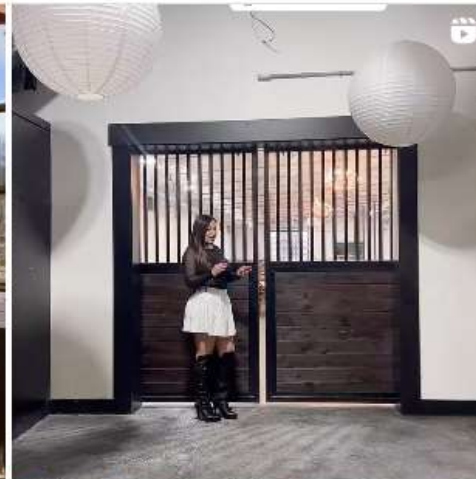
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Salón Renovado

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Ventana Mirador

Usted y sus invitados podrán disfrutar la hermosa vista de las colinas ondulantes del campo de Oregón.

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8000 square feet
 Natural light and white walls
 Beautiful Chandeliers
 You and your guests will enjoy the beautiful view of the rolling hills of the Oregon countryside.

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mthoodcenterlatino Book with us today ❤️
 Why your quinceañera should be an unforgettable date, we've got everything you need.
 450 people capacity hall
 Chairs, tables, decoration, cake, food and drink, dj, security.
 Para que no te preocupes por nada 😊
 503-300-6005
 40w See original

gs.sweet.party 🥳🥳🥳
 40w 1 like Reply

9 likes
 March 18

Add a comment... Post

MT HOOD *Center*

CONTÁCTANOS

(503)300-6005

WWW.MTHOODCENTER.COM

29450 SE Lariat LN
Boring, OR 97009

Comuníquese con nosotros para obtener más información sobre nuestras instalaciones, para reservar un recorrido o para hablar con uno de nuestros coordinadores de instalaciones sobre el alquiler de un espacio en Mt Hood Center.



mthoodcenterlatino • [Follow](#)

Mt Hood Center



coachaaronshelley 😊



37w Reply



3 likes

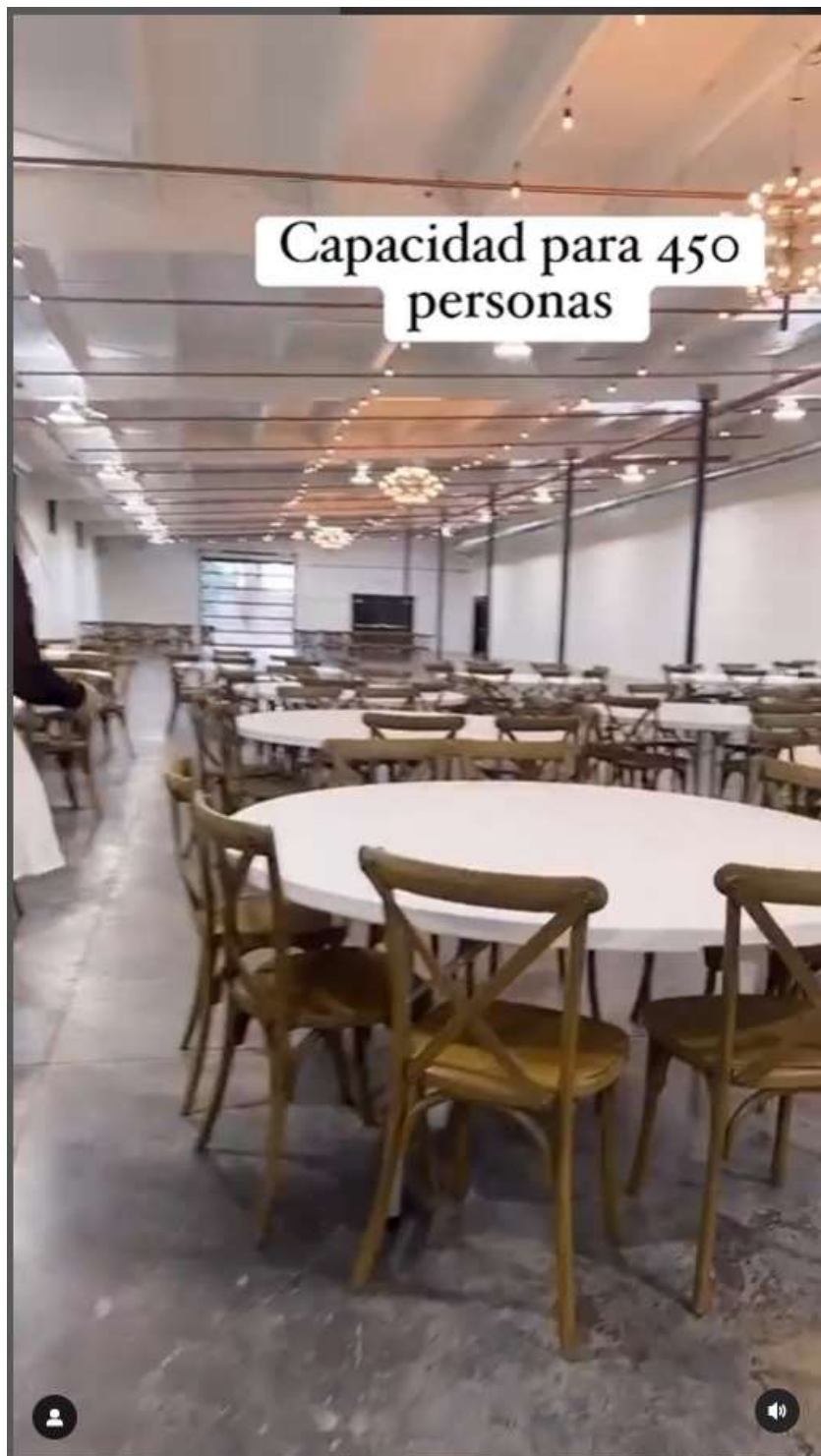
April 1



Add a comment...

Post

Contact us to learn more about our facilities, to book a tour, or to speak with one of our facility coordinators about renting space at Mt Hood Center.



mthoodcenterlatino • [Follow](#)

Original audio



mthoodcenterlatino 29450 SE Lariat Lane Boring, Or 97009

37w



coachaaronshelley This looks incredible!

37w Reply See original



coachaaronshelley Great place for a party!

37w Reply See original



coachaaronshelley Those chairs are gorgeous! What a beautiful ballroom!

37w Reply See original



coachaaronshelley 🍷🍷🍷

37w Reply



8 likes

April 5



Add a comment...

[Post](#)



Eventos



PLAZA EL
CORO PINTO
Jarriepo-Baile
PARA DESPEDIR EL 2023
Información 503.960.4734 / 971.221.5645

BANDA LA GRANDE DE NAYARIT

BANDA ESTRELLA DE ORO

Banda Imperator
LA QUE COMINA Y MANDA

La Batalla

BeccoZ

LA BRILLANTE DE MICHIGÁN

EN EL RUEDO 2 IMPONENTES GANADERIAS

RANCHO HME AGUA ESCONDIDA

CANADERIA RYB

31 DE DICIEMBRE
D O M I N G O

PUERTAS ABREN A LAS 5PM / NIÑOS MENORES DE 14 ENTRAN GRATIS
29450 SE LARIAT LN BORING, OR 97009





Cenas de la granja a la mesa

Sesiones fotográficas

Reuniones familiares

Conciertos

Duchas nupciales

Subastas / Recaudaciones de fondos

Fiestas navideñas

Cenas de ensayo

Reuniones Corporativas

Mercados de agricultores

Quinceañeras

Cenas Privadas con Chef

Fiestas de ponis

Fiesta de bebe

Talleres de trabajo

aniversarios

...¡y las posibilidades son infinitas!

Ubicado en el campo de Boring, Oregón, Mt Hood Center es un lugar único que combina el encanto de un centro ecuestre histórico con lo último en comodidades modernas. El sitio alberga un salón de baile de 8,000 pies cuadrados, un invernadero íntimo, un patio para eventos, una gran terraza mirador, una sala de conferencias y un prado bien cuidado en

Ubicado en el campo de Boring, Oregón, Mt Hood Center es un lugar único que combina el encanto de un centro ecuestre histórico con lo último en comodidades modernas. El sitio alberga un salón de baile de 8,000 pies cuadrados, un invernadero íntimo, un patio para eventos, una gran terraza mirador, una sala de conferencias y un prado bien cuidado en 18 acres de campo de Oregón. Conocido por su entorno sereno y similar a un retiro en la ubicación altamente accesible del área metropolitana de Portland, Mt Hood Center alberga retiros corporativos, reuniones, capacitaciones, seminarios y conferencias, así como eventos sociales, bodas, recepciones y cenas de ensayo. Nuestros amplios espacios y la guardería vecina brindan paz y presencia como ningún otro lugar de Portland. Nuestro equipo está comprometido con una experiencia relajante, de alto nivel y sin distracciones para todos y cada uno de los huéspedes.



Alquile el prado

Comodidades	+
Precios	+



Alquile el salón de baile

Comodidades	+
Precios	+



Alquile el Invernadero

Comodidades	+
Precios	+



Rental Space for

Farm-to-table Dinners

Photoshoots

Family Reunions

Concerts

Bridal Showers

Auctions / Fundraisers

Holiday Parties

Rehearsal Dinners

Corporate Meetings

Farmers Markets

Quinceañeras

Private Chef Dinners

Pony Parties

Baby Showers

Workshops

Anniversaries

...and the possibilities are endless!

Located in the countryside of Boring, Oregon, Mt Hood Center is a unique venue that blends the charm of a historic equestrian center with the latest in modern amenities. The site hosts a 8,000 square foot ballroom, intimate Greenhouse, event patio, grand lookout deck, conference room, and a manicured meadow on 18 acres of Oregon countryside. Known for its serene, retreat-like setting in the highly accessible location of the Portland metro area, Mt Hood Center hosts Corporate Retreats, Meetings, Trainings, Seminars, and Conferences as well as Social Events, Weddings, Receptions, and Rehearsal Dinners. Our expansive spaces and neighboring nursery provide a peace and presence unlike any other Portland venue. Our team is committed to a relaxing, high service, low-distraction experience for each and every guest. We look forward to providing you with the space suited for your event.



← BACK TO MAIN MENU

RESERVATION TYPE

STANDARD

Pay for entire stay

ONGOING

Pay monthly

ARRIVING

Tue Dec 26, 2023

DEPARTING

Wed Dec 27, 2023

ADULTS

-

2

+

CHILDREN

-

0

+

PETS

-

0

+

UNIT TYPE

RV Site

RV LENGTH (FT) *

-

25

+

RV SLIDES *

No Slides

[View availability calendar](#)

SEARCH AVAILABILITY

Filter

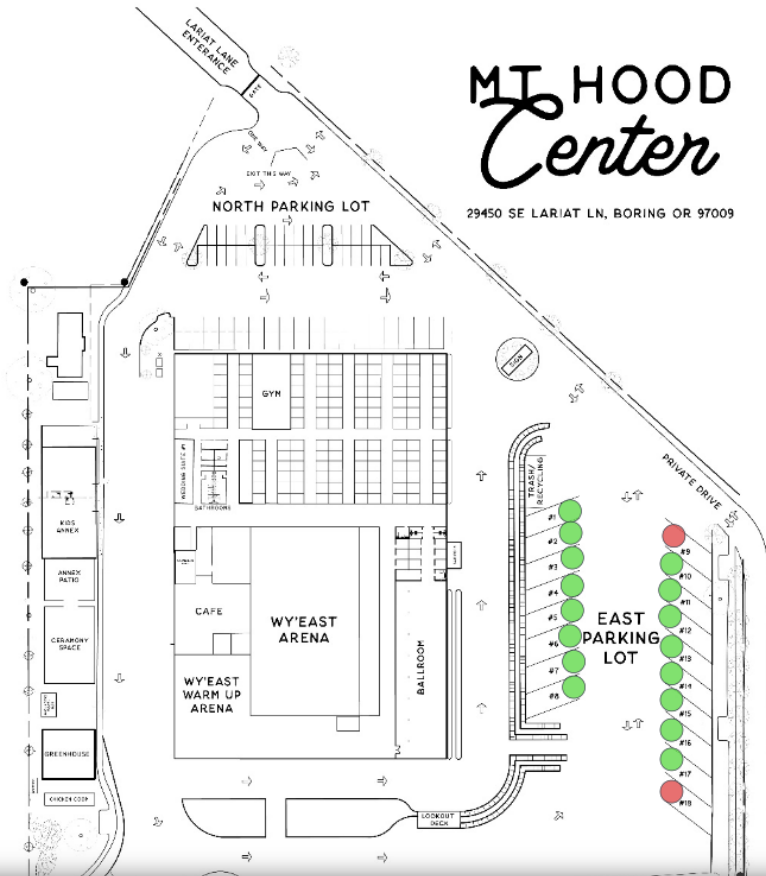
Amenity

- ☐ Gym
- ☐ Pristine Indoor Restrooms
- ☐ Spa Quality Showers
- ☐ Washer & Dryer Unit
- ☐ WiFi - Inside the main facility

APPLY

Available units for Dec 26, 2023 to Dec 27, 2023
2 adults , 0 children , 0 pets

List Map



Kids Annex

Birthday Party Rental

Perfect for group parties up to 50 guests, the space is primed for fun with a deluxe white bounce castle and picnic tables for kiddos. This spacious indoor facility is easily accessible with ample onsite parking and a private restroom. Guests will be happy to find custom cubbies for storing coats and shoes while kids enjoy the sensory paths and bounce house before sitting down at picnic tables for tasty treats, brought in by vendors of your choice. Cloud lights overhead and faux grass flooring give the illusion of an outdoor setting that lends itself perfectly to kids parties of all ages and genders. Rain or shine this bright and inviting space is ready for you to add your decor details or partner with some of our incredible vendor friends to execute your theme dreams. We look forward to seeing the magic you create in this children's rental space soon!

Amenities

—

- 3hrs of use (2-3 time-slots available each day. See calendar for details)
- 15' x 15' oversized white bounce house
- 4 picnic tables (seat 6 per table)
- Large wood table for food/cake (additional tables + chairs available upon request)
- Private restroom in party space (additional restrooms in main building)
- Ample onsite parking
- ADA accessible
- Free WiFi
- Air conditioning

Additions

+

Local Area

+

Pricing

-

- \$350 for 3hrs (this includes the time for you to setup and cleanup)

Kid's Birthday Party Inquiry





mthoodcenter

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517 posts

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1,935 following

Mt Hood Center | Oregon Event & Equine Venue

Performance & Event Venue

We bring our local community together by creating beautiful event spaces, renewable outdoor features, and welcoming the equine community!

links.mthoodcenter.com

Followed by thomas_briana96



tbn



concerts



trail course



barrel races



events



greenhouse



derby party

POSTS

REELS

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mthoodcenter

Tyrone Wells • And the Birds Sing

...



mthoodcenter

We have a lot of new faces around here, and wanted to take the opportunity to say... WELCOME, to Mt Hood Center ☐

Mt Hood Center is an ever-evolving property with its roots first planted in 1975 as an equine facility. Over the years the scope of what our venue offers has grown into so much more.

We pride ourselves in curating unique experiences for our customers, and community. From masterfully designed wedding & event spaces, hosting markets & live music, to equine events - we literally do it all!

You'll enjoy seeing our current projects, events we're hosting, and footage of weddings & gatherings on this page. Thanks so much for stopping by ☐.

Now, tell us in the comments... have you ever been to MHC? If you have what did you visit for?

P.S. Don't be shy, make sure you're also following us on TikTok @mthoodcenter and feel free to check out our website at mthoodcenter.com



@iamfeytser

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. .
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. .
. .

Event venue | wedding venue | event space | local equine community | equestrian | holiday party | 2024 wedding | farmers market | art festival | live music | music festival

Edited · 2w



mthoodcenter
valerie.lungu • Original audio



mthoodcenter ARE YOU READY?!

Because, we are 🎄

MADE FOR CHRISTMAS, is only three days away and we couldn't be more excited!

We have so many incredible features for our Christmas Market on Sunday, and you HAVE to be there! Pictures with Santa, Cookie decorating workshop, live music, food trucks, and 80 local vendors to shop with!

It is going to be an unforgettable day 🥰 Let's go over all the info one more time ❤️

DETAILS

Date: December 17th, 2023

Time: 10am - 4pm

Where: Mt Hood Center
29450 SE Lariat Ln
Boring, OR 97009

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#christmasmarket #market #christmascrafts #christmastreats
#localvendors #localmarket #christmasgifts #christmaslist
#pictureswithsanta #Christmastree

1w



sambonesss Do you have a list of vendors that were there??
I'm looking for a specific vendor cause I wanted to purchase something and forgot her name 🙄



37 likes
December 14



Add a comment...

Post



mthoodcenter
AC/DC • Back In Black



mthoodcenter HELLO, 2024!

MHC is excited to be hosting the NYE party of the century 🍷 This multi cultural event is sure to be the BEST way to ring in the new year!

DATE: December 31st, 2023

TIME: 7pm - 1am

WHERE: 29450 SE Lariat Ln
Boring, OR 97009

FEATURES: Our entire campus will come alive featuring a Latin Rodeo, live music, DJ's & bars throughout campus, mechanical bull ride, magicians, casino night, NYE ball drop, & a champagne toast!

TICKETS: \$65 per ticket.

Comment "NYE" for a direct link to purchase your tickets, or visit our website at mthoodcenter.com

We can't wait to see you there!

Video by: @iamfeytser

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•

#newyarseveparty #latinrodeo #casinoparty #newyearsdecor
#newyearsglam #newyearsparty #localnewyearsparty
#eventcenter #rodeo #livemusic

Edited · 5w



103 likes

November 17



Add a comment...

Post



mthoodcenter

**mthoodcenter Tonight's Wine & Ride Details**

We've had a few inquiries about the Wine & Ride we're hosting tonight, and wanted to make sure all the details were clear!

First up, we're opening up the trail course & arena at 4pm. This will ensure that riders who'd like to use our outdoor trail course have some daylight to do so. The hours of 6pm-8:30pm will still be available as originally advertised for both the arena and trail course.

We've worked hard to make sure that the potential weather won't be an issue tonight. Because of this we will have the arena open. As well as live country music, food, drinks and community for you to enjoy!

An email was sent yesterday, with further details for the evening to all registered for the Wine & Ride. If you for some reason didn't receive that, please privately message us and we will get that info to you asap.

We are officially full for our Wine & Ride tonight, and cannot wait to see you all!

For all coming for our featured band Robert Henry & The Repeaters - WE CANNOT WAIT! See you tonight!

Be



29 likes

November 9

Add a comment...



mthoodcenter
Original audio



mthoodcenter ***MUSIC @ MHC***

Featuring Robert Henry & The Repeaters!

It's only a day away and we don't want anyone to miss it 🍷

Going back to our roots here at MHC for this concert with good ol' Country music! This is a family friendly event where you can enjoy food, drink, live music and observe our Wine & Ride too.

THE DETAILS:

When: November 9th, 2023

Time: 6:00pm - 8:30pm

Where: 29450 SE Lariat Ln, Boring OR

Cost: \$5 cover for ages 12+

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-
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#livemusic #localconcert #countrymusiclive #livecountrymusic
#oregonconcerts #familynight #equine #thursdaynightconcert
#mthoodcenter

6w



monikacae so excited 🥳



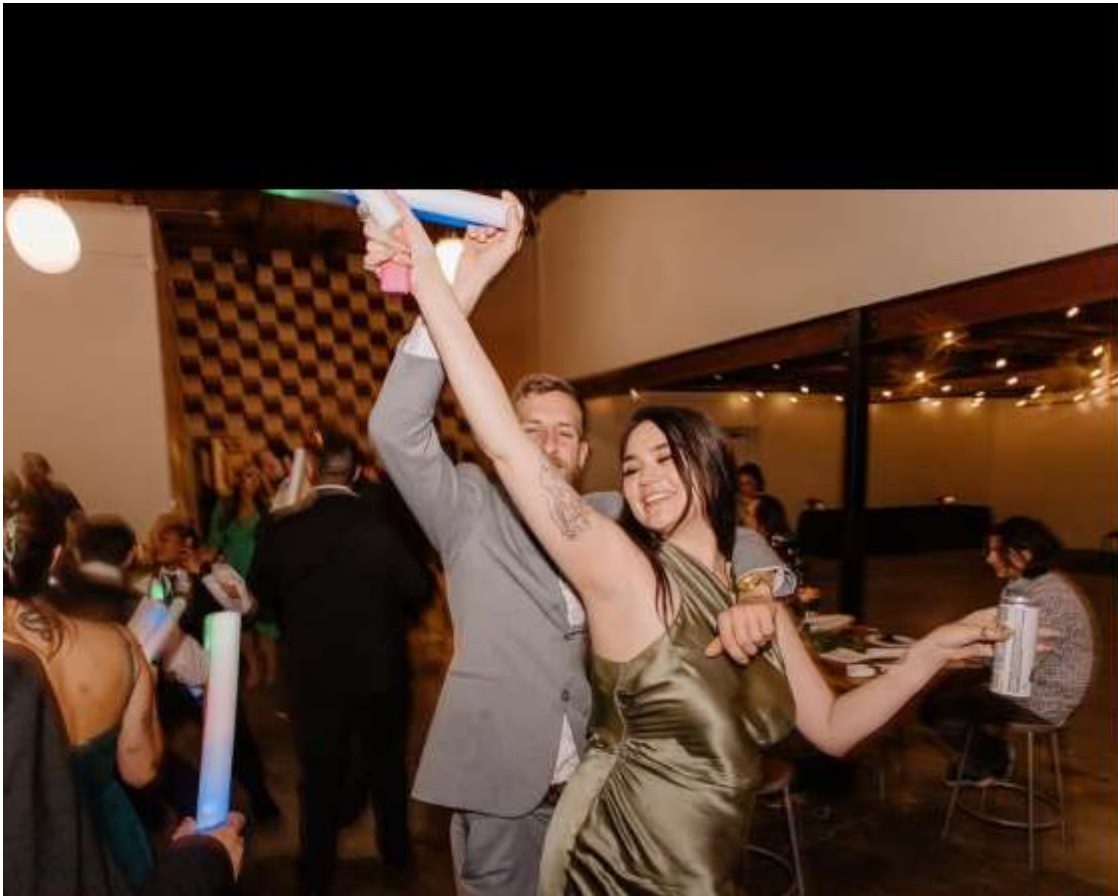
6w 2 likes Reply

— View replies (1)



34 likes

November 8



mthoodcenter

mthoodcenter There is no party, like

The Cafe is an ideal space to host any people. Birthday parties, weddings, or corporate meetings are some of our in this beauty!

The design, atmosphere & amenities event that we guarantee will be the t come!

To tour or book The Cafe, email events@mthoodcenter.com and tell IG sent you ❤️

•

•

•

•

Birthday party | reunion | wedding | n meeting | Workshops | Event space |

7w



mthoodcenter

mthoodcenter Everyone might be getting ready for Halloween, but here at MHC we're gearing up for Music @ MHC. Made For Christmas & Hello, 2024!

Three huge events we're extremely pumped about, and we don't want you to miss!

So let's get to the details 🤗

MUSIC @ MHC
A night of music, food, drinks, and equine!
Date: November 9th, 2023
Time: 6:00pm - 8:30pm
*Our Wine & Ride will also be happening during this event, and is full!

MADE FOR CHRISTMAS
A Christmas Market!
Date: December 17th, 2023
Time: 10am - 4pm
Features: Local vendors: food trucks, entertainment & community!

HELLO, 2024!
The biggest, baddest New Years Eve Party EVER!!
Date: December 31st, 2023
Time: 7pm - 1am
Tickets: Tickets to come!

Comment below with which you're most excited for!

If you'd like to be a vendor for Made For Christmas, comment "vendor" and we'll send you the link to apply!

•

88 likes
October 23

• Add a comment...



mthoodcenter

*NSYNC • Better Place (From TROLLS Band Together)



A Christmas Market
(Application for vendors to come)

HELLO, 2024!
December 31st, 2023
7pm - 1am
New Years Party
Tickets available Oct 15th!

HITCHED UP
April 14th, 2024
A Wedding Show
Tickets available starting Oct 30th!
(Application for vendors to come)

LIFTED
April 20th, 2024
A 4/20 Festival
Tickets available starting November 15th!
(Application for vendors to come)

DERBY PARTY
May 4th, 2024
2pm - 6pm
A Kentucky Derby Party
Tickets available starting Nov 30th!

So what are we saying?
MARK YOUR CALENDARS!

Then, tell us in the comments which event you're most excited for!



60 likes
September 20



Add a comment...

Post



mthoodcenter
Cee-Lo • I'll Be Around (Radio Mix) (feat. Timbaland)



WHAT: Live Music (Rational Delusions), Good Food, Drinks, and a Wine & Ride!

WHEN: September 7th, 2023 @5pm-8pm

WHERE: 29450 SE Lariat Ln, Boring OR

BRING: \$5 cover fee for 12 and up!

If you have a horse and want to enjoy our Wine & Ride DM for registration!

SOME COMMON QUESTIONS:

Q) Do I have to ride horses to come to this event?
A) No! This event is a family friendly night, the availability of our trail course for a wine and ride is just the cherry on top IF you want to enjoy that!

Q) Will there be more than just wine available?
A) YES! We will have a bar open for your enjoyment!

Q) What kind of food will be available?
A) We will have Kristy's Down Home Cookin! She makes the BEST smash burgers, chicken sandwiches, fries & tots!

Double tap if you'd like to make it out! DM us for registration for Wine & Ride!

Edited · 15w



laura_butterfield824 @elizabethbuttke



15w 1 like Reply



56 likes
September 6

😊 Add a comment... Post



mthoodcenter

Kool & The Gang • Get Down On It (Original 12" Extended Version)



mthoodcenter The Great Big Boring Market... was an absolute HIT!

We had an incredible day, and before we share all our favorite parts in our stories over the next couple days... it's necessary for us to shout out our incredible sponsors!!!

@caclubs
@brittanymueller
@paulawarner07
@brad_hornback_insurance_agency

Thank you to these sponsors for being such a big part of our Market. We so appreciate you!

If you'd like to become a sponsor for our Market and/or wedding show, feel free to DM us for details. Or email tbm@mthoodcenter.com

18w



coachaaronskelley You did great! 🍌🍌🍌

17w Reply



positivediscourseco What a fun day! Thanks so much for letting me be a part of it!

18w 1 like Reply

— View replies (1)



tc33_ 🟢 Music festival next?

17w 1 like Reply

— View replies (2)




104 likes


August 21



Add a comment



mthoodcenter

mthoodcenter Unicorns, and princesses, and mermaids... OH MY!


One more day to get your ticket to our **Enchanted Unicorn Festival** tomorrow! It will surely be an absolute DREAM, and we hope you get to come visit.

In addition to the Unicorn Festival there will also be a **Wine & Ride** event going on in our trail course. If you love watching horses, it's the perfect day to come enjoy our campus, and visit the **pop up shops & bar in the Greenhouse!**




Who do we get to see tomorrow?!

- For tickets to Enchanted Unicorn Festival visit thepmaunicorns.com
- To register for Wine & Ride, see stories for link!

#unicorffestival #enchantedfestival #winesandride #equineevents #eventcenter #weekendplans


charcuterie.me 🍷🍷🍷

19w · 1 like · Reply



40 likes

August 12

Add a comment...

Post



HELLO, 2024 NYE Party of the Century

Date: Dec 31, 2023 at 7:00 PM

Location: 29450 SE Lariat LN Boring OR 97009

Experience the Ultimate New Year's Eve Celebration at Mt Hood Center

Date: December 31, 2023

Time: 7 PM - 2 AM

Location: 29450 SE Lariat Ln, Boring, OR 97009

"Party of the Century"

In the heart of Boring, Oregon join us for the most talked-about NYE party in the Pacific Northwest! As the clock winds down on 2023, be a part of this and historic event that will leave an impression for years to come.



MT HOOD CENTER PRESENTS

Hello, 2024

THE NYE PARTY OF THE CENTURY

▶ 0:00 / 0:24



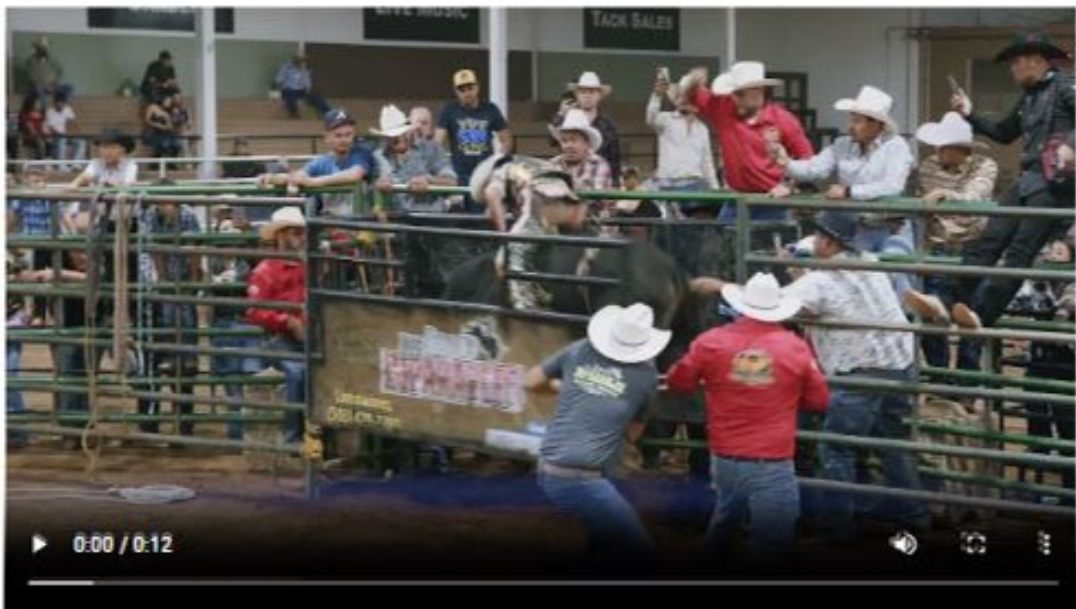
EXHIBIT BH PAGE 2 OF 6

- **Epic Ballroom Bash:** A festive mechanical bull ride, and a dance floor with the

- **Epic Ballroom Bash:** A festive mechanical bull ride, and a dance floor with the hottest DJ mixes to keep you grooving into the new year.



- **Vibrant Café Nightclub:** A transformed café space featuring an electric nightclub ambiance with top-tier sound systems, thrilling casino games, and mesmerizing lighting--Be entertained into 2024!



- **Authentic Jaripeo Experience:** Embrace the spirit of Latin America with a spectacular Jaripeo in our arenas, complete with amazing bull riding, traditional live music and a DJ.





Gourmet Fiesta: Feast on a spread of culinary delights with a focus on exquisite Mexican food. Our food and beverage vendors are ready to tantalize your taste buds and keep the party energized.

Crafted for Memories: From intimate gatherings in our chic café to grand spectacles in our ballroom and arenas, every space at Mt Hood Center is meticulously set for an unmatched NYE celebration.

Tickets: Secure your all-access pass for \$65 and be at the center of the ultimate New Year's Eve party destination. This is where memories are made and new beginnings are celebrated with pomp and splendor.

[Purchase Tickets - \\$65.00](#)

[Back to Events](#)



Angel E Guzman

1d · 🌐

...

The city is today El Toro Plaza Pinto Fugaaaaaaa

🔗 · See original · Rate this translation

PLAZA DE TOROS
EL TORO PINTO
GRAN JARIPEO BAILE
PARA DESPEDIR EL 2023

EN EL ROTO 2 IMPONENTES CANTINERAS

ANIMAN EL JARPEO
EL TITA Y
CHISPAS DE MARAVILLI

DOMINGO 31 DE DICIEMBRE

BOLETOS DE PREVENA **\$35**

PLAZA DE TOROS EL TORO PINTO
29450 SE LARIAT LN. BORING, OR 97009

INFORMES (503) 960-4734 Y AL (971) 221-5545



EXHIBIT BH PAGE 5 OF 6

Angela's Post



Angela Krueger

January 3 · 🌐

...

Here it is. Share share share, let's make some more noise. Mt Hood Center and the stock contractors need to be held accountable.



KATU News

January 3 · 🌐

WARNING: GRAPHIC VIDEO | The footage appears to show a fallen bull lying on the ground and thrashing as it's jabbed with a cattle prod - before a man comes and ... See more



KATU.COM

Woman says video shows Oregon rodeo bull being repeatedly shocked at New Year's Eve event | KATU

👍👎 35

6 comments 20 shares



Like



Share

All comments ▼



Melynda Sprague

Good for you Angela!

...

13w Like



Danielle Goodrich

Good for you for getting it into the media! Shared

...

13w Like



Morgan Roe

GOOD FOR YOU! Fuck those guys. Thats disgusting

...

13w Like



Lynette Proctor

...

EXHIBIT BH PAGE 6 OF 6

March 6, 2024

Mr. Aaron Shelley
Registered Agent for
Kaluga, LLC
29450 SE Lariat Ln.
Boring, OR 97009

Subject: Violations of the Clackamas County Zoning and Development Ordinance Title 12.316.030, 12.1304.14, 12.1203.03 and 12.709.02; and the Clackamas County Building Code Chapter 9.02.040(A, B, C, D)

Site Address: 29450 SE Lariat Ln., Boring, OR 97009
29444 SE Lariat Ln., Boring, OR 97009

Legal Description: T1S, R4E, Section 31A, Tax Lots 01300, 01301, 01303, 01400, 01401

Violation File No.: V0035019

Mr. Shelley,

As you are aware, there remain open code violations on the above referenced property. Recently, it has come to the attention of Clackamas County Code Enforcement that additional violations may be occurring on the subject property. The following is a partial list of events, activities and businesses that have taken place, and/or are scheduled to take place that do not currently have land use authorization:

- Wedding and Event Venue
- Kid birthday parties in the Kids Annex
- Rodeos and Roughstock events
- New Years Eve party that includes Ballroom with DJ and mechanical bull, Café nightclub with casino games, Latino rodeo 5pm to 2am.
- Outdoor arena/trail course
- Food carts for events
- Boring Market
- Outdoor and Indoor concerts

- Corporate Events
- Seasonal markets: “Made for Christmas” “Hitched Up wedding show”,
- Festival “Lifted”
- Wine and Trail Event
- Poultry pen, Announcers Building
- Dry camping rentals
- Full hookup RV rentals

The current land use authorization applied to this site Z0829-81 (a Conditional Use and Design Review) contains conditions of approval. You are required to comply with those conditions of approval to maintain a valid land use approval. Violations of the conditions of approval constitutes a violation of Clackamas County Code Title 12.1307.14.

To abate the violations, you must complete one or a combination of the following **no later than April 22, 2024**:

1. Submit a modified business plan, or narrative to Clackamas County Planning to demonstrate the activity(s) occurring on site are compliant with the existing conditions of approval. *and/or*:
2. Submit a land use application to gain authorization.
3. Modify the site plan in the “Design Review” portion of Z0829-81. *and/or*:
4. Submit a new Conditional Use Application to encompass the current and future vision the owners have for the site, *and/or*:
5. Submit a modification of the current approval Z0829-8 to accommodate these unauthorized uses, *and/or*:
6. Cease all unauthorized commercial use on the subject property until such time as land use authorization is acquired.

There are also numerous violations of Chapter 9.02 of the Clackamas County Code as it pertains to the Application and Enforcement of the Clackamas County Building Code.

In order to gain compliance with the building code violations you must first have land use authorization for the use.

It is noted that there are unpermitted buildings and unpermitted construction on site. Permit submittals were made for these permits – However, the submittals were not completed for lack of land use authorization.

Permit # B0490721 “Greenhouse” was submitted to the County on or about September 2, 2021. The plans for this greenhouse include ‘insect habitat’ –clearly insect habitat is not the current use for this structure. The Planning review notes that: “Additional information is needed in order to move forward with planning review. Please provide a statement of use demonstrating the intended use for the green house and how it relates to an allowed agricultural use in the RRF5 zone. Based on additional information submitted, it is possible that a Modification Land Use Application or a Conditional Use Application may be required.” The construction is complete and the County is informed the structure is being rented for events and weddings at this time.

Permit # B0488421 "TI for a meeting room" was submitted to the County on or about September 2, 2021. The documents for this permit includes the 8000 square foot ballroom on the east side of the arena and new stairs on the west side of the arena building. It appears that construction of an 8000sq.ft. Ballroom with shiplap siding and chandeliers is completed and is being rented. The Planning review of the submittal notes that: "Building permit materials demonstrate a portion of the equestrian center will be converted to a meeting room. The floor plan for the TI shows the installation of additional restrooms, vendor areas, kitchen/catering prep-room, and dressing rooms. Additional information is needed in order to move forward with planning review. Please provide a statement of use demonstrating how the proposed improvements shown in these building plans are consistent with the previously approved Conditional Use permit. Based on additional information submitted, it is possible that a Modification Land Use Application or a Conditional Use Application may be required."

Permit # B0492821 "TI for the West Building" submittal for this permit was made on or about September 2, 2021. This structure is now referred to as the Kids annex and is available for rent.

The Planning review of the submittal notes that: "The building permit is labeled as a TI for the replacement and installation of stairs. Building permit materials also demonstrate a proposed change in occupancy for both levels of the building from an occupancy of S1 to A2 (storage to assembly). Submission of a land use application is required prior to changing the occupancy of this building. The original Conditional Use permit authorized this building only for storage. Approval of a land use application for either a Modification Application or a Conditional Use Permit is required in order for Planning to approve this building permit. The scope of work proposed for this building will determine whether a Modification or a new Conditional Use permit will be required."

The County has noted a container type structure placed and constructed on site. It is referred to as a stage or the Lookout Deck. This may be the structure identified in the permit submittal for Permit # B0494521 that occurred on or about September 2, 2021. The Planning review of the submittal notes that: "Container Viewing Platforms is for the construction of a new outdoor structure. The original conditional Use Permit limited outdoor use of the property. Additional land use review is needed in order to construct additional structures associated with the equestrian center. Approval of a land use application for either a Modification Application or a Conditional Use Permit is required in order for Planning to approve this permit. The scope of work proposed for this structure will determine whether a Modification or a new Conditional Use permit will be required."

The unpermitted trestle bridge and viewing platform have already been constructed in the outdoor trail area. On or about September 2, 2021, documents for permit # B0492821 were submitted for a Trestle Bridge and Viewing Platform. The Planning review of the submittal notes that: "Trestle Bridge and Viewing Platform is for the construction of a new outdoor structure. The original conditional Use Permit limited

outdoor use of the property. Additional land use review is needed in order to construct additional structures associated with the equestrian center. Approval of a land use application for either a Modification Application or a Conditional Use Permit is required in order for Planning to approve this permit. The scope of work proposed for this structure will determine whether a Modification or a new Conditional Use permit will be required.”

On or about September 2, 2021, documents for permit # B04930021 were submitted to the County for a commercial building for storage – Pole type building. The Planning review of the submittal notes that: “Storage Building is for the construction of a new outdoor structure. The original conditional Use Permit limited outdoor use of the property. Additional land use review is needed in order to construct additional structures associated with the equestrian center. Approval of a land use application for either a Modification Application or a Conditional Use Permit is required in order for Planning to approve this permit. The scope of work proposed for this structure will determine whether a Modification or a new Conditional Use permit will be required.” The County is unsure of the current status of the construction of this structure. Be advised that the Planning Department must first provide authorization before the permits are issued. Proceeding with construction prior to the issuance of permits may be a building code violation.”

Noted in the February 20, 2020, notice the following building code violations have not been resolved:

- A large amount of dirt removal, trenching and drain-pipe installation has not received permits, review or inspection.
- A building permit # B0185819 “ADA UPGRADES TO LARGE EQUESTRIAN BUILDING/ Toilet Room Changes, Shower, New Storage, Tack Sales, Firewall repairs and minor demo of non-load bearing walls”. This permit would resolve the violation of the firewall holes, new storage area, gutting and remodel of the old upstairs arena announcer area, and downstairs between the snack bar and arena. This permit was issued on October 13, 2020, and has received no inspections. Therefore, this work remains in violation of the Building Code.

To abate the violations, please complete one of the following options **not later than April 22, 2024, or not more than 45 days after land use authorization:**

- Please submit, or have your professional submit, building permit application(s), appropriate fees(s) and all construction documents of sufficient clarity to indicate the location, nature and extent of the work proposed and show in detail that it will conform to the provisions of the Building Code and relevant laws:
 - Respond to requests for clarification or additional information from permitting staff within 15 days of receiving such request.
 - The permit(s) must have the fee(s) paid in full within ten days of your being notified by Building Codes in order to prevent delay of the issuance of permits.

- Please schedule all inspections so that final inspections may be obtained not later than 45 days of the date of receipt of your approved permit(s).

Or:

- Submit an application for a demolition permit. Please be advised that if you choose to remove unpermitted construction/structures – you may still be required to get permits to confirm remaining construction and utilities were removed or remain in compliance with the codes.
 - The permit(s) must have the fee(s) paid in full within ten days of your being notified by Building Codes.
 - Please schedule all inspections so that final inspections may be obtained not later than 45 days of the date of receipt of your approved permit(s).
 - Please schedule an inspection to confirm.

This work may also require a Certificate of Occupancy to be completed.

The submitted permit documents will be subject to the review and approval of the Planning and Zoning Division. The construction and use must meet the requirements and standards of the zoning district applied to the subject property. If you have questions, please contact: Planning and Zoning Division at 503-742-4500 or zoninginfo@clackamas.us.

If you have questions concerning the building permit requirements or the submittal process, please contact the Building Codes Division at 503-742-4240, or via email at bldservice@clackamas.us. You may also find information on the County's website at <https://www.clackamas.us/building>. You may visit the County's offices at 150 Beavercreek Road, Development Services Building, Oregon City. The lobby hours are open between the hours of 8 a.m. to 4 p.m., Monday to Thursday. The building is closed to the public on Fridays, but we are available online and by phone. It is recommended that you check the Clackamas County webpage for hours of operation before visiting.

The violations mentioned in this letter are by no means complete, due to the ongoing business activities and numerous events occurring on site. This is by no means a comprehensive list of the activities occurring on site that may require a land use authorization.

Very truly yours,



Jeffrey Munns
Assistant County Counsel

Benthin, Kim

From: Amend, Michelle
Sent: Monday, March 18, 2024 10:56 AM
To: Benthin, Kim
Subject: FW: Mt. Hood Equestrian
Attachments: IMG_5456.jpg; IMG_5455.jpg; IMG_5446.jpg; IMG_1203.JPG; IMG_1201.JPG; IMG_1221(1).PNG; IMG_1221.PNG; IMG_1220.PNG; IMG_1218.PNG; IMG_1217.PNG

For your file.

From: Olson, Shawn <shawn.olson@ClackamasFire.com>
Sent: Monday, March 18, 2024 10:51 AM
To: Wright, Travis <TWright@clackamas.us>; Munns, Jeffrey <JMunns@clackamas.us>; Amend, Michelle <MAMend@clackamas.us>
Subject: Re: Mt. Hood Equestrian

Warning: External email. Be cautious opening attachments and links.

Good Morning All,

I need to bring this to your attention. Saturday night 3/16, CFD was notified by CCSO of a grossly overcrowding situation at Mt. Hood Equestrian Center. CCSO estimated 5,000 to 6,000 patrons attending an indoor concert. CCSO mentioned they were there at 11:00pm due to an incident and noted enormous amounts of people and overcrowding. CCSO requested the event be stopped. At 12:43 am, I arrived to find a significant amount vehicle traffic leaving Haley Rd. As I approached Lariat Ln., the number of patrons walking down Lariat Ln. was barely passable by vehicle. Vehicles were leaving Mt. Hood Equestrian Center and bottle necked back to the main building. There was an unprecedented number of vehicles and patrons. During my time as Fire Marshal, I have never seen so many. See images.

Inside, I observed blocked egresses due to an indoor vendor cooking, back hallway with racks blocking an exit, security guards, and large amounts of beer cans. Within the bleacher seating and arena, there was a large stage set up at the south end.

Our fire crews responded to two incidents that evening. 1st call was for convulsions, 2nd was a report of a stabbing.

CCSO will be providing me with their report and findings soon. I will send Mt. Hood Equestrian Center an inspection notice, though the hazard is abated. This can't happen again. This was complete negligence on the equestrian center's part and event coordinator.

I am more than able to meet to discuss further if needed.

Thank you,

Shawn Olson
Fire Marshal
503-742-2663



"Here for you"

CLACKAMAS FIRE DISTRICT #1
WWW.CLACKAMASFIRE.COM
503-742-2600





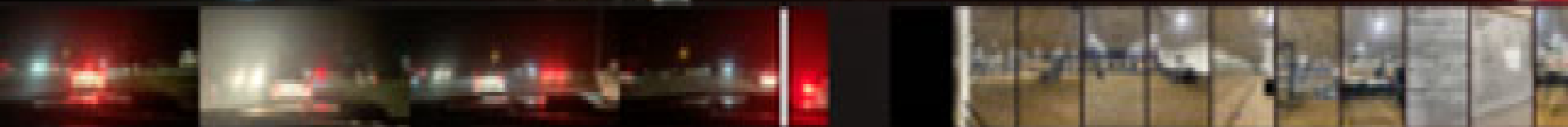








Yesterday 12:33 AM





APPLICATION FOR TEMPORARY SALES LICENSE -FOR-PROFIT (TSL-FP)

APPLICATION: Page 2 of 2

GOVERNMENT RECOMMENDATION. Please read the instructions. You must obtain a recommendation from the local city or county before submitting this application to the OLCC.

17. Name of the CITY if the event address is within city limits: Boring

OR

Name of the COUNTY if the event address is outside city limits: CLACKAMAS COUNTY-OM

I affirm the following:

- The information on this application is true and accurate.
- Minors (people under the age of 21) and visibly intoxicated people will not be allowed to buy, possess, or consume alcohol.
- The only open containers of alcoholic beverages that may be taken off the licensed area are securely covered containers (growlers) of malt beverage, wine, or cider. I will not allow any other open container of alcoholic beverage to leave the licensed area.
- Marijuana (such as use, consumption, ingestion, inhalation, samples, give-away, sale, etc.) is prohibited on the special event licensed premises.
- The event will meet the food service requirements of a TSL-FP. See page 2 of the guide above or the Special Event Guide for TSLs and Event Events for additional information.
- I am authorized to sign this application on behalf of the applicant.

Name of individual signing (please print): Antonio Lopez

SIGNATURE (electronic signature acceptable): Antonio Lopez Date: 2/10/24

CITY OR COUNTY USE ONLY The city/county named in #16 above recommends:

☐ Grant ☒ Acknowledge ☐ Deny (attach written explanation of Deny recommendation)

Staff Name and Title: CPT. BRAD ONEIL

City/County Signature: [Signature] Date: 2/14/24

FORM TO OLCC: This license is valid only when signed by an OLCC representative. Submit your special event application to the OLCC office that regulates the county where your special event will happen. Find the OLCC office here: OLCC offices & the counties they serve

OLCC USE ONLY		Fee Paid:	Date:	Receipt #:
SEE CASHIER STAMP P. 1				
License is:	<input checked="" type="checkbox"/> Approved	<input type="checkbox"/> Denied	<input type="checkbox"/> Not Processed - Reason:	
OLCC Signature: <u>Brant Welch</u>			Date: <u>02/29/2024</u>	





La Radio De Portland

4d · 🌐

! ____SOLD OUT EVENT____ !

👤 today Saturday in plaza el toro pinto 🤠

⚙️ · [See original](#) · [Rate this translation](#)

PLAZA EL
TORO PINTO
de Boring, OR

GRAN
BAILE

EL
FANTASMA
Y SU EQUIPO ARMADO

Los
Farmerz

SABADO 16
DE MARZO

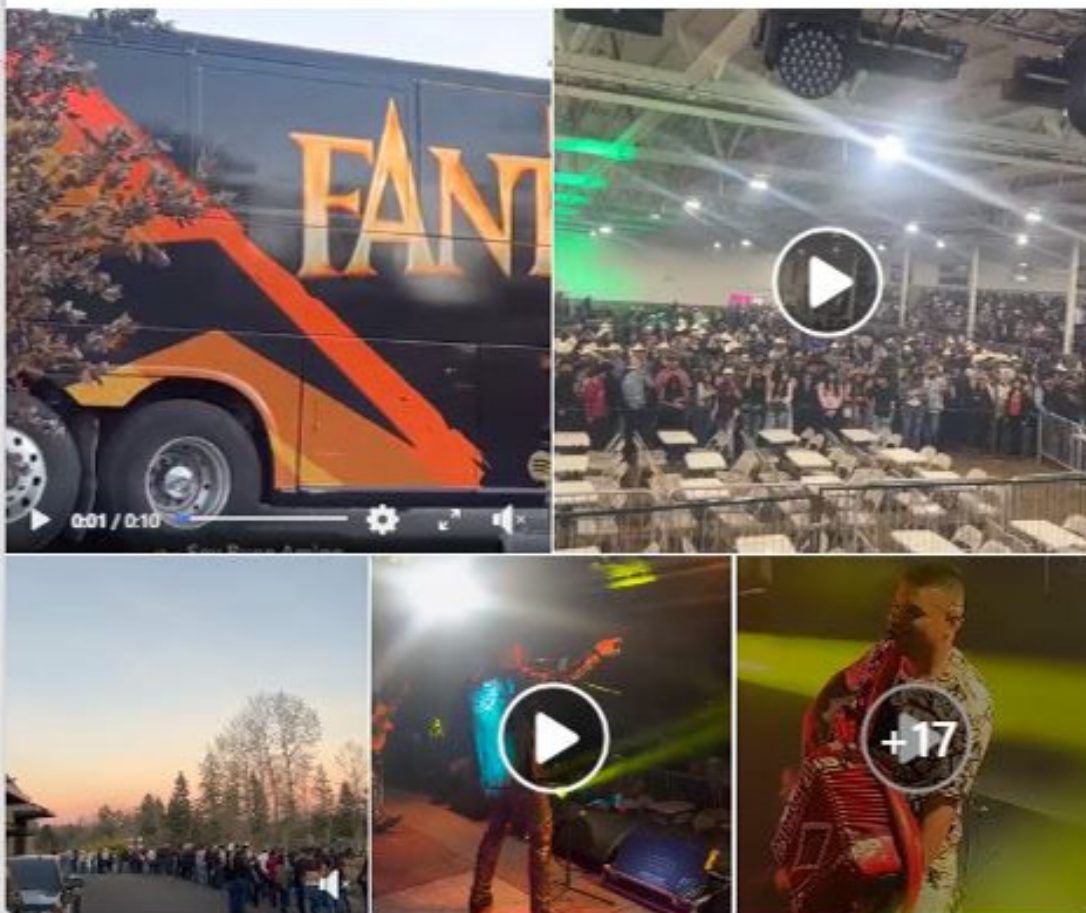
SOLD OUT

7PM
LINE: 503-294-5000
29450 SE LARIAT LN BORING, OR 97009

Angel's Post



See original · [Rate this translation](#)



41

4 comments 3 shares



Like



Comment



Share

Most relevant ▾



Victoria Sandoval Torres

One question and the people who bought ticket and no longer let us in what will happen

...

1d Like Reply See Original (Spanish)

3



Author

Angel E Guzman

Victoria Sandoval Torres Hey In esonestamos working let you save comes out good day not only was you were 100s and it's difficult let you save next step good day

...

1d Like Reply See Original (Spanish)

3



Victoria Sandoval Torres

Angel E Guzman thanks good day

...

23h Like Reply See Original (Spanish)




Oyuki E Valdez


Too bad, didn't those who joined the force pay?


...


22h Like Reply See Original (Spanish)


[Translate All Comments](#)

 Exhibit. BQ Video 1 tiktok Los Farmerz video

 Exhibit. BQ Video 2 24-03-18-24 tik tok video of hallway entry 2024-03-21_09-33-37

 Exhibit. BQ Video 3 24-03-18-24 Mireya Banderas post firework video El Fantasma 2024-03-20_16-21-21 - Copy

 Exhibit. BQ Video 4 24-03-18-24 gilbertoaltamirano tiktok video

 Exhibit. BQ Video 5 24-03-18-24 Jasmine 17 tiktok video

Benthin, Kim

From: Kenville, Kathleen
Sent: Tuesday, March 19, 2024 5:04 PM
To: DTD-CodeEnforcement
Subject: Report
Attachments: Report Packet - 24-005228 Offense_Incident_ Information Only.pdf



Kathleen Kenville, Operational Support
Criminal Records Specialist

Clackamas County Sheriff's Office
9101 SE Sunnybrook Blvd., Clackamas, OR 97045
Mail: 2223 Kaen Road, Oregon City, OR 97045
Main: 503-785-5000
Desk:
kkenville@clackamas.us



Clackamas County Sheriff's Office
2223 KAEN RD | OREGON CITY, OR 97045 | P: 503.785.5000

Case # 24-005228 - Offense/Incident Report

REPORT DATE / TIME	EVENT START DATE / TIME - EVENT END DATE / TIME	PRIMARY REPORTER
Mar 17, 2024 01:33	Mar 16, 2024 23:59 - Mar 17, 2024 01:25	Ryan Rogers #59772
ASSISTING PERSONNEL / TYPE(S)		
Danny Hill #42502 (Supervisor), Janson Bento #60287 (Involved Officer), Riley Pederson #55064 (Involved Officer), Troy Sawtelle #46621 (Involved Officer)		

NARRATIVE

On the evening of March 16th and early morning of March 17th, 2024, several other deputies and I responded to multiple calls at the Mt Hood Equestrian Center, located at 29450 SE Lariat Ln., in the unincorporated Boring area of Clackamas County., stemming from a large party at the equestrian center. These calls included multiple disturbances and a stabbing.

There were several thousand people in attendance of this event. Lariat Ln. was congested with foot and vehicle traffic which made it extremely difficult to get emergency vehicles to the venue. There were hundreds of vehicles parked on property belonging to the Good Shepherd Church, as well as in the green space between SE Haley Rd. and Hwy. 26. The parking lot of the event center was congested and vehicles were parked in the lanes of travel which would vastly restrict the ability of emergency vehicles to maneuver to the building.

During the course of our investigations we observed multiple highly intoxicated people. We walked through the event and the main horse arena was filled from wall to wall with people. There were bracelets, which were used to identify patrons over 21 years of age, scattered on the floor where anyone could pick them up. Event staff told us alcohol was limited to the bar area, but empty alcoholic beverage containers were strewn all throughout the venue and surrounding areas. I could see the bartenders handing beers to patrons over the side fence, away from the serving counter.

The Clackamas County Fire Marshal responded and walked through the venue, observing many different hazards. These hazards included blocked exits and the event obviously exceeding the venue's capacity.

We took photos of the venue and various signage throughout. We also recorded with our body worn camera and in car camera systems. All photos and video were later uploaded to the Axon Server.

Action Recommended:

Forward to Clackamas Fire Marshal, Clackamas Code Enforcement, and OLCC.

INCIDENT

REPORTING OFFICER SIGNATURE / DATE	SUPERVISOR SIGNATURE / DATE
Ryan Rogers #59772 Mar 17, 2024 08:16 (e-signature)	Shane Jensen #50863 Mar 17, 2024 15:46 (e-signature)
PRINT NAME	PRINT NAME
Ryan Rogers #59772	Shane Jensen #50863

INCIDENT TYPE

Information Only

OFFENSE LOCATION

LOCATION NAME / STREET ADDRESS/LOCATION NAME / APT, UNIT, STE / DESCRIPTION

29450 SE LARIAT LN

CITY	STATE	ZIP	COUNTRY CODE
BORING	OR	97009	US

LOCATION CATEGORY

Arena/ Stadium/ Fairgrounds/ Coliseum

INCORP/UNINCORP / DISTRICT/CITY / CITY BEAT / NEIGHBORHOOD / SUBDIVISION 5

OUTLYING / BORING/DAMASCUS

SUBJECT-1

SUBJECT-1 NAME

SB-1 Mt Hood Equestrian

ORGANIZATION TYPE

Business

ORGANIZATION INDUSTRY

Events Services

MAILING ADDRESS

29450 SE LARIAT LN, BORING, OR 97009

VEHICLE / PROPERTY & ITEMS SUMMARY				
DESCRIPTION / MAKE / MODEL / COLOR	STATUS / DATE / REASON FOR CUSTODY	VIN # / SERIAL #	QTY.	TOTAL (\$) VALUE
BWC and ICC Videos / None	Seized/Evidence / Mar 16, 2024 / Evidence			UNKNOWN
Photos / None	Seized/Evidence / Mar 16, 2024 / Evidence			UNKNOWN

PROPERTY & ITEMS ADDENDUM

24-005228-1 OTHER ITEM - BWC AND ICC VIDEOS

ITEM CATEGORY

Axon Video

DESCRIPTION

BWC and ICC Videos

COLOR

None

STATUS	STATUS DATE	TOTAL (\$) VALUE	IN POLICE CUSTODY
Seized/Evidence	Mar 16, 2024	UNKNOWN	Yes

REASON FOR POLICE CUSTODY

Evidence

RECOVERING OFFICER / ID # / PERSON

Ryan Rogers #59772

STORAGE LOCATION / PERSON / DESTINATION / INTAKE PERSON

Axon Digital Server > Axon Digital Server

24-005228-2 OTHER ITEM - PHOTOS

ITEM CATEGORY

Axon Photo

DESCRIPTION

Photos

COLOR

None

STATUS	STATUS DATE	TOTAL (\$) VALUE	IN POLICE CUSTODY
Seized/Evidence	Mar 16, 2024	UNKNOWN	Yes

REASON FOR POLICE CUSTODY

Evidence

RECOVERING OFFICER / ID # / PERSON

Ryan Rogers #59772

REPORTING OFFICER SIGNATURE / DATE	SUPERVISOR SIGNATURE / DATE
Ryan Rogers #59772 Mar 17, 2024 08:16 (e-signature)	Shane Jensen #50863 Mar 17, 2024 15:46 (e-signature)
PRINT NAME	PRINT NAME
Ryan Rogers #59772	Shane Jensen #50863

STORAGE LOCATION / PERSON / DESTINATION / INTAKE PERSON

Axon Digital Server > Axon Digital Server

REPORTING OFFICER SIGNATURE / DATE

Ryan Rogers #59772 Mar 17, 2024 08:16 (e-signature)

PRINT NAME

Ryan Rogers #59772

SUPERVISOR SIGNATURE / DATE

Shane Jensen #50863 Mar 17, 2024 15:46 (e-signature)

PRINT NAME

Shane Jensen #50863

Clackamas County Sheriff's Office

2223 KAEN RD | OREGON CITY, OR 97045 | P: 503.785.5000

Mark43 RMS Form v2.0 generated by K. Kenville #501119 on Mar 19, 2024 16:44.

Benthin, Kim

From: Amend, Michelle
Sent: Tuesday, April 9, 2024 3:18 PM
To: Benthin, Kim
Subject: FW: Inspection Report for your occupancy
Attachments: InspectionReport.pdf

Is this what you were looking for?

From: Olson, Shawn <shawn.olson@ClackamasFire.com>
Sent: Thursday, March 21, 2024 2:29 PM
To: Amend, Michelle <MAMend@clackamas.us>
Subject: Fw: Inspection Report for your occupancy

Warning: External email. Be cautious opening attachments and links.

Good Afternoon Michelle,

Here is a copy of the inspection report for Mt. Hood Center addressing the severe overcrowding circumstance from 3-16-24. The inspection report was sent to Aaron Shelley and Dean NajDawi.

Thank you,

Shawn Olson
Fire Marshal
503-742-2663



From: notification@esosolutions.com <notification@esosolutions.com>
Sent: Thursday, March 21, 2024 2:23 PM
To: aaron@mthoodcenter.com <aaron@mthoodcenter.com>; mdn2inc@yahoo.com <mdn2inc@yahoo.com>; Olson, Shawn <shawn.olson@ClackamasFire.com>
Subject: Inspection Report for your occupancy

Attached is the inspection report recently completed on your occupancy. Information about contacting your inspector is within the inspection report.
Please do not reply to this email.

CLACKAMAS FIRE DISTRICT #1

INSPECTION REPORT

MT. HOOD CENTER, 29450 SE LARIAT LN, BLDG MT HOOD CENTER, BORING OR 97009



DETAILS

Inspection Date: 03/17/2024 | Inspection Type: REFERRAL/COMPLAINT - State | Inspection Number: 28709 | Shift: N/A | Station: Station 14 - Boring | Unit: N/A | Lead Inspector: SHAWN OLSON | Other Inspectors: RYAN KRAGERO

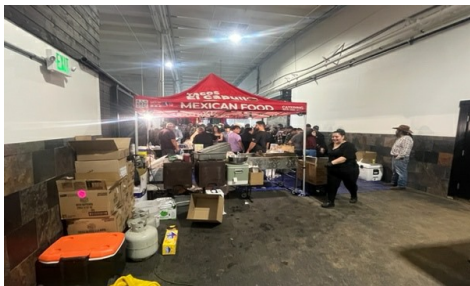
VIOLATIONS AND COMPLIANCES

Showing only violations and images for this inspection. Please reach out to the lead inspector for more details.

Resolved Violations: 0 | Passed Codes: 0 | Violations: 8 | N/A Codes: 1

STATUS	CODE	DESCRIPTION
--------	------	-------------

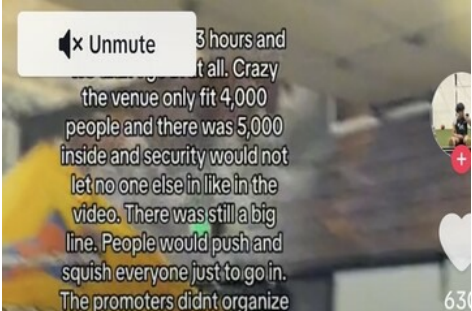
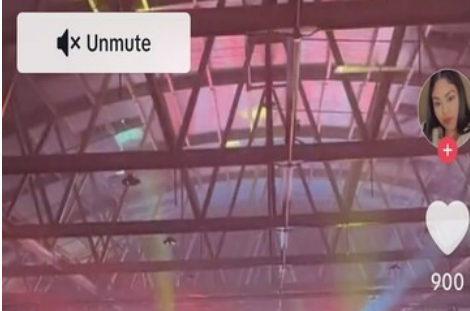
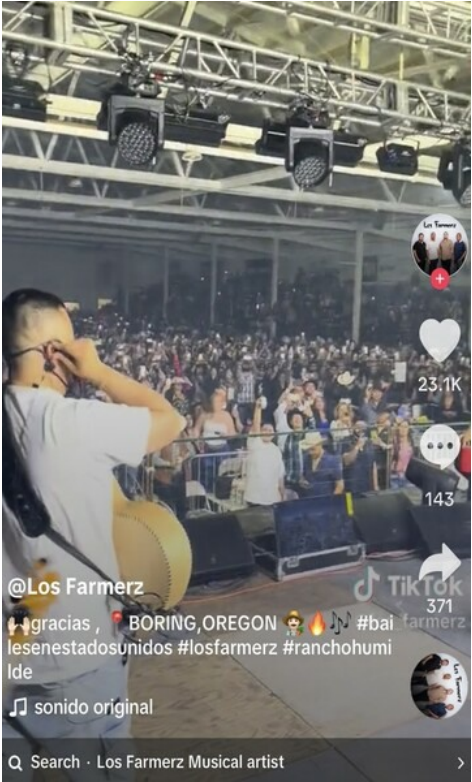
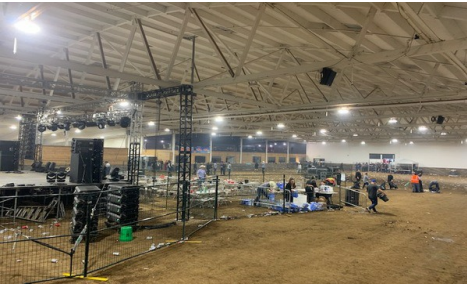
FAIL	OFC 1003.6 - MEANS OF EGRESS CONTINUITY	<p>The path of egress travel along a means of egress shall not be interrupted by a building element other than a means of egress component as specified in this chapter. Obstructions shall not be placed in the minimum width or required capacity of a means of egress component except projections permitted by this chapter. The minimum width or required capacity of a means of egress system shall not be diminished along the path of egress travel.</p> <p>Location: Not Provided</p> <p>Original Comment: During onsite walk-thru with CCSO, I observed a vendor booth obstructing the means of egress. See photo attached.</p>
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FAIL	OFC 1032.1 - MAINTENANCE OF THE MEANS OF EGRESS	<p>The means of egress for buildings or portions thereof shall be maintained in accordance with this section. Overcrowding conditions shall be abated in accordance with Section 109.6.</p> <p>Location: Not Provided</p> <p>Original Comment: Overcrowding conditions obstructed the means of egress as well as, food vendor booth inside structure.</p>
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STATUS	CODE	DESCRIPTION
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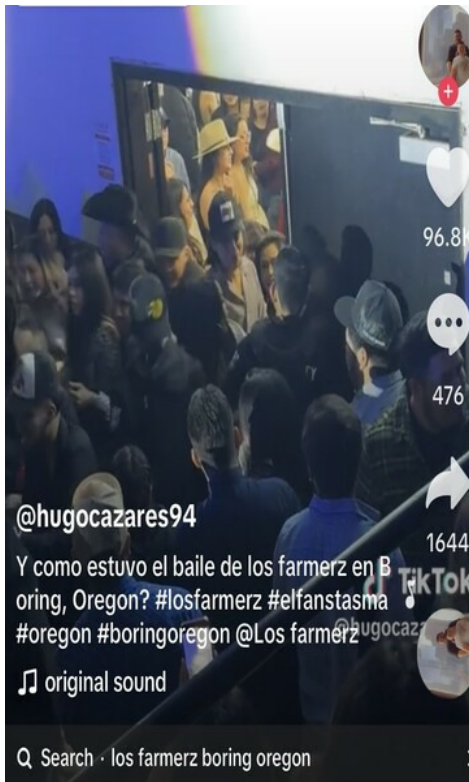
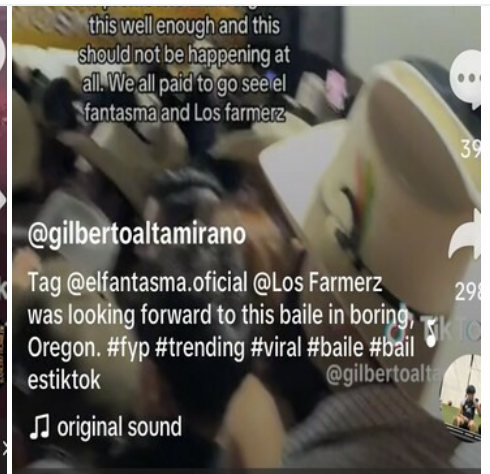
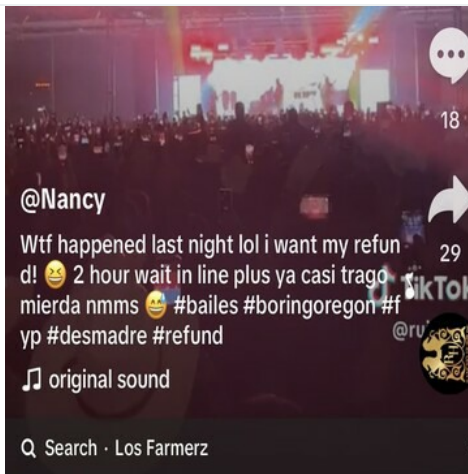
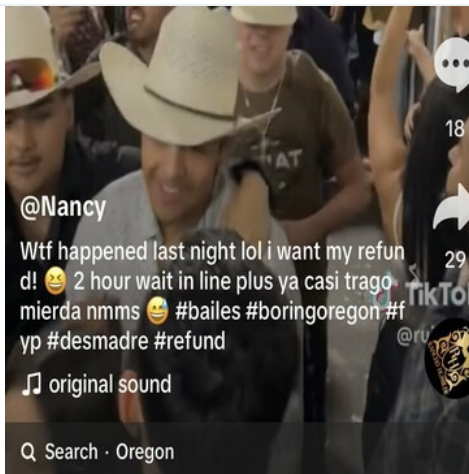
FAIL	OFC 109.6 - OVERCROWDING	<p>Overcrowding or admittance of any person beyond the approved capacity of a building or a portion thereof shall not be allowed. The fire code official, on finding any overcrowding conditions or obstructions in aisles, passageways or other means of egress, or on finding any condition that constitutes a life safety hazard, shall be authorized to cause the event to be stopped until such condition or obstruction is corrected.</p> <p>Location: Not Provided</p> <p>Original Comment: CCSO referral due overcrowding at Latino concert. Significant life safety hazard. See CCSO cameras for internal documentation during the event. Beer cans littered arena floor. Occupant load was set at 300. Due to the lack of a manual fire alarm system. Images attach show overcrowding. Image # 1228-Stage View Looking North. Image #4665-Outside arena, egress corridor. Image #4666-Stage View looking South. Image # 4667-Egress Corridor. Image #4663-Crowd pushing security guards out of way to make entry.</p>
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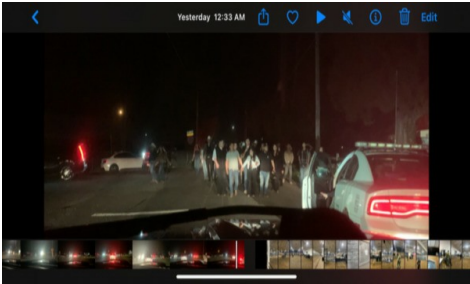
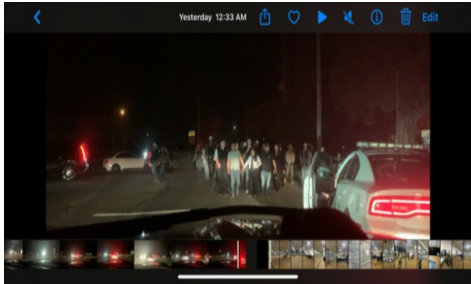
STATUS

CODE

DESCRIPTION



STATUS	CODE	DESCRIPTION
FAIL	OFC 114.1.1 - UNSAFE CONDITIONS	<p>Structures or existing equipment that are or hereafter become unsafe, insanitary or deficient because of inadequate means of egress, inadequate light and ventilation, or that constitute a fire hazard, are otherwise dangerous to human life or the public welfare or involve illegal or improper occupancy or inadequate maintenance, shall be deemed an unsafe condition. Unsafe structures shall be taken down and removed or made safe, as the fire code official deems necessary and as provided for in this section. A vacant structure that is not secured against unauthorized entry shall be deemed unsafe. Actions to correct hazards and other deficiencies shall be according to ORS 479.170 and ORS 479.195.</p> <p>Location: Not Provided</p> <p>Original Comment: CCSO referral regarding gross negligence for an overcrowding situation. Estimated attendees of 5,000+ by CCSO. Unsafe building identified at the time of the event. See photo and CCSO police report. Attached photos show patrons leaving the Mt. Hood Equestrian Center at 12:35 am. Image 1221 shows very large amount of vehicles and patrons outside Mt. Hood Equestrian Center. No fire access to center.</p>



STATUS	CODE	DESCRIPTION
FAIL	OFC 403.11 - SPECIAL REQUIREMENTS FOR PUBLIC SAFETY	<p>Special requirements for public safety shall be in accordance with Sections 403.11.1 through 403.11.3.3.</p> <p>Location: Not Provided</p> <p>Original Comment: Clackamas Fire District #1-Fire Marshal's Office was not notified of this event. There was no established Fire Watch, no public safety plan, no identified or and trained crowd managers. Section 403.11 and it's entirety was not followed.</p>
FAIL	OFC 503.4 - OBSTRUCTION OF FIRE APPARATUS ACCESS ROADS	<p>Fire apparatus access roads shall not be obstructed in any manner, including the parking of vehicles. The minimum widths and clearances established in Sections 503.2.1 and 503.2.2 shall be maintained at all times.</p> <p>Location: Not Provided</p> <p>Original Comment: Fire access roads obstructed. Fire crew had limited access to gain entry for emergency response of a medical. See Incident #F3224-0011024. Patrons standing in the road and cars parked. A 2nd incident occurred on 3/17 around 12:30am with the reports of a stabbing (F3224-0011042). Inadequate means of fire apparatus access.</p>
FAIL	OFC 907.2.1 - GROUP A	<p>A manual fire alarm system that activates the occupant notification system in accordance with Section 907.5 shall be installed in Group A occupancies where the occupant load due to the assembly occupancy is 300 or more, or where the Group A occupant load is more than 100 persons above or below the lowest level of exit discharge. Group A occupancies not separated from one another in accordance with Section 707.3.10 of the International Building Code shall be considered as a single occupancy for the purposes of applying this section. Portions of Group E occupancies occupied for assembly purposes shall be provided with a fire alarm system as required for the Group E occupancy. Exception: Manual fire alarm boxes are not required where the building is equipped throughout with an automatic sprinkler system installed in accordance with Section 903.3.1.1 and the occupant notification appliances will activate throughout the notification zones upon sprinkler water flow.</p> <p>Location: Not Provided</p> <p>Original Comment: As mentioned, again on 11/23/23, the occupancy has no manual fire alarm system. Maximum occupant load was set at 300. This was also discussed with Mt. Hood Center's attorney on 1-27-2022. Occupant load set at 300 for ENTIRE FACILITY.</p>

STATUS	CODE	DESCRIPTION
FAIL	OFC 907.2.1.1 - SYSTEM INITIATION IN GROUP A OCCUPANCIES WITH AN OCCUPANT LOAD OF 1000 OR MORE	<p>Activation of the fire alarm in Group A occupancies with an occupant load of 1,000 or more shall initiate a signal using an emergency voice/alarm communications system in accordance with Section 907.5.2.2. Exception: Where approved, the prerecorded announcement is allowed to be manually deactivated for a period of time, not to exceed 3 minutes, for the sole purpose of allowing a live voice announcement from an approved, constantly attended location.</p> <p>Location: Not Provided</p> <p>Original Comment: The Latino concert event exceeded 1,000 attendees. Mt. Hood Center was not approved for this amount of occupants. Occupant load over 1,000 requires an Emergency Voice/Alarm Communications System.</p>

GENERAL NOTES

SHAWN OLSON - 03/21/2024 @ 12:27

Clackamas County Sheriff's Office notified Clackamas Fire District #1-Fire Marshal's Office of a gross negligence of accountability to maintain safe levels of attendees for the Latino concert event held on March 16th at Mt. Hood Center. The concert event or band was Los Farmerz. The concert was a significant fire and life safety hazard. Upon my arrival, at approximately 12:30 Sunday morning, I noticed heavy traffic leaving Haley Rd. The Good Shepard Church parking lot was full as well as the grass field to the north. As we approached Lariat Ln, we were confronted with a mob of patrons. We could not gain access down Lariat Ln. Slowly, with our emergency lighting on, we moved towards Mt. Hood Center. Patrons were hitting our CFD vehicle and yelling. Once we got onto the property, I noticed vehicle parking throughout property. We met with CCSO. CCSO accompanied Clackamas Fire into the Mt. Hood Center. I observed beer cans littered throughout the arena, a food vendor booth blocking the means of egress, a very large stage inside the arena located on the south end. Alcohol was served in the north west corner. Clackamas Fire District set the occupant load set at 300 in January 2022 due to lack of manual fire alarm system, see attachments and again, it was reminded that the occupant load would not exceed 300 on 11/23 due to the lack of a manual fire alarm system (OFC 907.2.1). This event posed a severe threat to life due to the overcrowding, lack of egress, lack of event control, lack of life safety systems, and blocked egress. The onsite security did not have control of the event (see images). This notice and violation has been referred to Clackamas County Code Enforcement.

NEXT INSPECTION DATE

No Inspection Scheduled

CONTACT SIGNATURE

Aaron Shelley-MANAGER
Signed on: 03/21/2024 @ 14:22

Email 3/21/24 2:22 pm

INSPECTOR SIGNATURE

SHAWN OLSON
Signed on: 03/21/2024 @ 14:23

Shawn Olson

QUESTIONS ABOUT YOUR INSPECTION?

SHAWN OLSON
Shawn.Olson@clackamasfire.com
(503) 742-2663

Mt Hood Center

📍 BORING, OR


RV Sites


Tent Sites


Pets allowed


10 Max


100 ft max

Property Description

Mt Hood Center is an Equestrian and Event facility offering Dry Camping and RV hook-ups plus an array of modern amenities perfect for short or long term stays. Our facility is located just off Highway 26, on a private and scenic 18 acre property in Boring, Oregon, which is conveniently located between Downtown Portland and Mt. Hood.

Available Amenities

- Gym
- Pristine Indoor Restrooms
- Spa Quality Showers
- Washer & Dryer Unit
- WiFi - Inside the main facility

RESERVATION TYPE

STANDARD
Pay for entire stay

ONGOING
Pay monthly

ARRIVING

📅

Tue Apr 9, 2024

DEPARTING

📅

Wed Apr 10, 2024

ADULTS

-

2

+

CHILDREN

-

0

+

PETS

-

0

+

UNIT TYPE

RV Site

▼

RV LENGTH (FT) *

-

+


RV SLIDES *

▼

📅

View availability calendar

SEARCH AVAILABILITY



Odin's Halls BJJ Oregon

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Intro

The Kings of the Northwest!

Page • Martial Arts School • Sports team • Sports & Fitness Instruction

29448 se Lariat Ln, Boring, OR, United States, Oregon

(503) 660-2944

odinshallsbjjoregon@gmail.com

odinshallsor

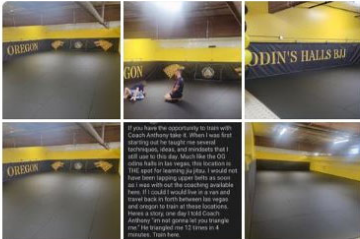
bjj-oregon.com

Price Range - \$

Not yet rated (0 Reviews)

Photos

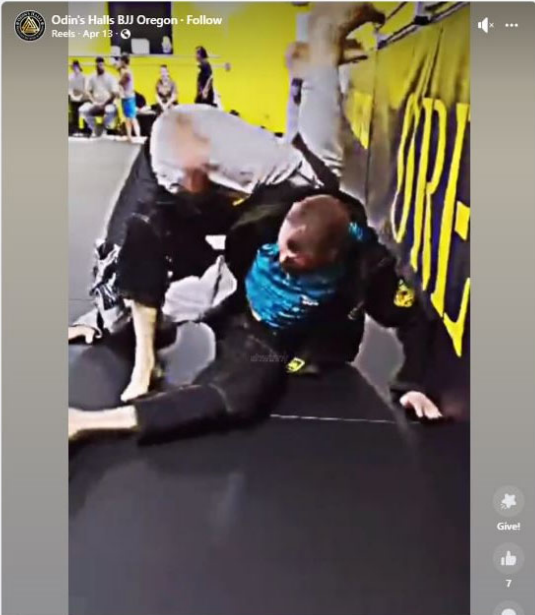
See all photos



Posts

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7



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Odin's Halls Bjj Oregon

Adults and Kids Brazilian Jiu Jitsu and Fitness Gym located right off Hwy 26 in Boring, OR!

503-660-2944

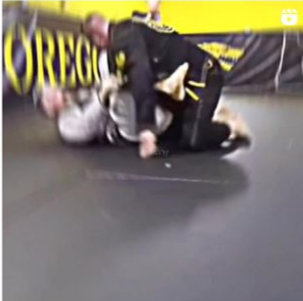

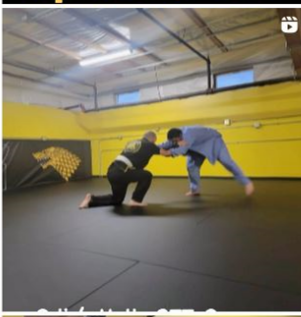
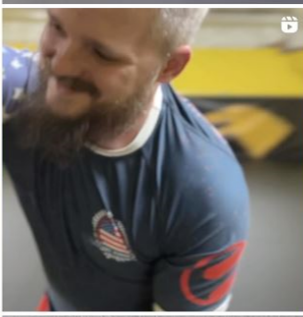

29448 SE Lariat Ln Boring, OR 97009

www.bjj-oregon.com + 1

POSTS REELS TAGGED

Oregon Location

Grand Opening April 8th, 2024

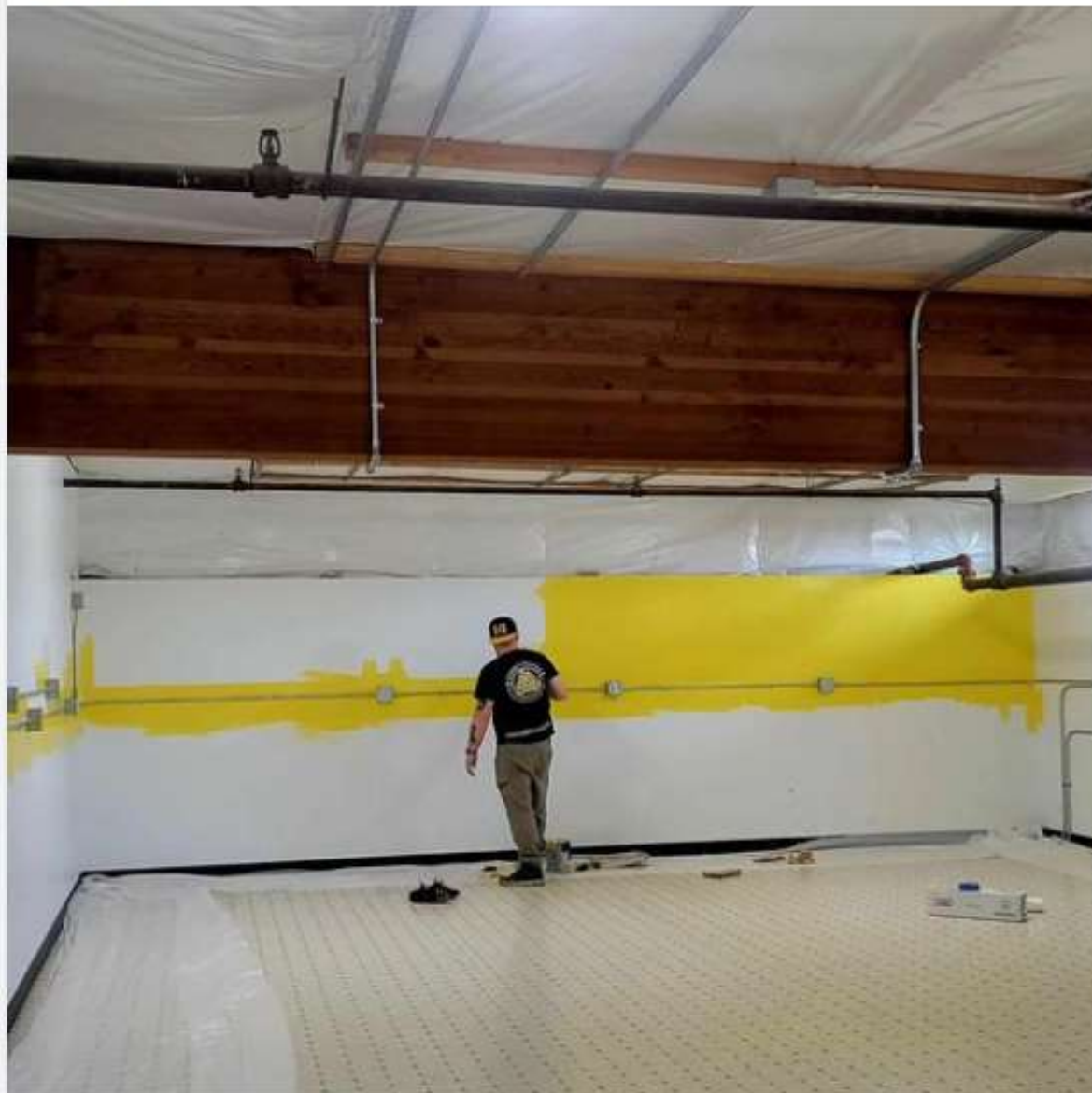


Odin's Halls BJJ Oregon is at Odin's Halls BJJ Oregon.

March 19 at 4:15 PM · Boring, OR · 🌐

...

#progress 🐾



👍❤️ 10

Photo to the left posted to Facebook March 16, 2024

Photo on next page of same space was taken during March 13, 2018 inspection



Business Registry Business Name Search

[New Search](#)

Business Entity Data

04-16-2024
14:36

Registry Nbr	Entity Type	Entity Status	Jurisdiction	Registry Date	Next Renewal Date	Renewal Due?
2022972-97	DLLC	ACT	OREGON	10-03-2022	10-03-2024	
Entity Name	ODIN'S HALLS BRAZILIAN JIU JITSU OREGON LLC					
Foreign Name						

[New Search](#)

Associated Names

Type	PPB	PRINCIPAL PLACE OF BUSINESS		
Addr 1	29448 SE LARIAT LN			
Addr 2				
CSZ	BORING	OR	97009	Country UNITED STATES OF AMERICA

Please click [here](#) for general information about registered agents and service of process.

Type	AGT	REGISTERED AGENT	Start Date	10-03-2022	Resign Date	
Name	ANTHONY		SPECKMAN			
Addr 1	38759 BARLOW PARKWAY					
Addr 2						
CSZ	SANDY	OR	97055	Country	UNITED STATES OF AMERICA	

Type	MAL	MAILING ADDRESS		
Addr 1	38759 BARLOW PARKWAY			
Addr 2				
CSZ	SANDY	OR	97055	Country UNITED STATES OF AMERICA

Type	MEM	MEMBER			Resign Date	
Name	ANTHONY	MICHAEL	LLOYD SPECKMAN			
Addr 1	38759 BARLOW PARKWAY					
Addr 2						
CSZ	SANDY	OR	97055	Country	UNITED STATES OF AMERICA	

Type	MEM	MEMBER			Resign Date	
Name	KATHRYN	GRACE	RANDALL			
Addr 1	38759 BARLOW PARKWAY					
Addr 2						
CSZ	SANDY	OR	97055	Country	UNITED STATES OF AMERICA	

Type	MEM	MEMBER			Resign Date	
Name	STEVEN	GERARD	FICCA			

Addr 1	4901 BUCKSKIN MARE AVE						
Addr 2							
CSZ	LAS VEGAS	NV	89131		Country	UNITED STATES OF AMERICA	

Type	MGR	MANAGER				Resign Date	
Name	ANTHONY	MICHAEL	LLOYD		SPECKMAN		
Addr 1	38759 BARLOW PARKWAY						
Addr 2							
CSZ	SANDY	OR	97055		Country	UNITED STATES OF AMERICA	

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Name History

Business Entity Name	Name Type	Name Status	Start Date	End Date
ODIN'S HALLS BRAZILIAN JIU JITSU OREGON LLC	EN	CUR	10-03-2022	

Please [read](#) before ordering [Copies](#).

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Summary History

Image Available	Action	Transaction Date	Effective Date	Status	Name/Agent Change	Dissolved By
	AMNDMT TO ANNUAL RPT/INFO STATEMENT	03-29-2024		FI		
	AMNDMT TO ANNUAL RPT/INFO STATEMENT	10-14-2023		FI		
	AMENDED ANNUAL REPORT	08-23-2023		FI		
	AMNDMT TO ANNUAL RPT/INFO STATEMENT	12-01-2022		FI		
	ARTICLES OF ORGANIZATION	10-03-2022		FI	Agent	

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BALLROOM

The Ballroom is an inviting venue space that offers a versatile canvas. With an industrial aesthetic, and refined design your company will enjoy memorable gatherings in this space. Its design allows for creativity to flow while staging any event from a corporate regional, team get together, to a holiday party. It is the perfect backdrop to bring your vision to life. With multiple layouts, The Ballroom can host any event your company dreams up as a host!

Amenities

- 8,000 Sq Ft
- 425 banquet seating capacity
- 72" round tables (8-10 person capacity each)
- Wood cross back chairs
- Prep area with fridge/freezer/sink
- Adjacent dressing room
- Glass bay door with access to Look Out Deck
- Private parking area next to space
- ADA accessible
- Wifi

Pricing

- \$1,350 Includes 4 hours of use
- Additional hours at \$300/hr
- Max Capacity: 425 (banquet seating)

FAQ's

Q. Does the Ballroom have a sound system?

A. Our Ballroom does not currently offer a sound system, but we are happy to assist your DJ with any assistance they need to ensure an adequate setup.

Q. Can I rent the space on its own for a wedding ceremony or reception?

A. During peak season (July-Oct) the Ballroom is a key component in our wedding package and cannot be booked hourly, however during week days, some Sundays and off season dates we do make an exception. Please contact us for availability and details.

Q. Is there air conditioning/heat?

A. The Ballroom has three heating/cooling units independent from the rest of the facility to ensure you can customize your experience. Additionally, fire tables can be rented for outside heating.

Q. What is the parking situation?

A. All parking is on site. We will ensure that your guests use the parking area closest to your event. Please ask our staff which parking lot you should direct your guests to.

Q. Do you have signage or other aids to direct guests to my event?

A. Yes, we do! We have some great custom signs we'll put out for you that day.

Q. Can we arrive early or stay late to setup/clean?

A. We do our best to accommodate a small group of decorators to arrive on site prior to your start time, when bookings allow. Cleanup is allowed for one hour beyond your end time. Guests and alcohol may only be on site during your designated rental time.

Q. Can we use candles/confetti/sparklers/fireworks?

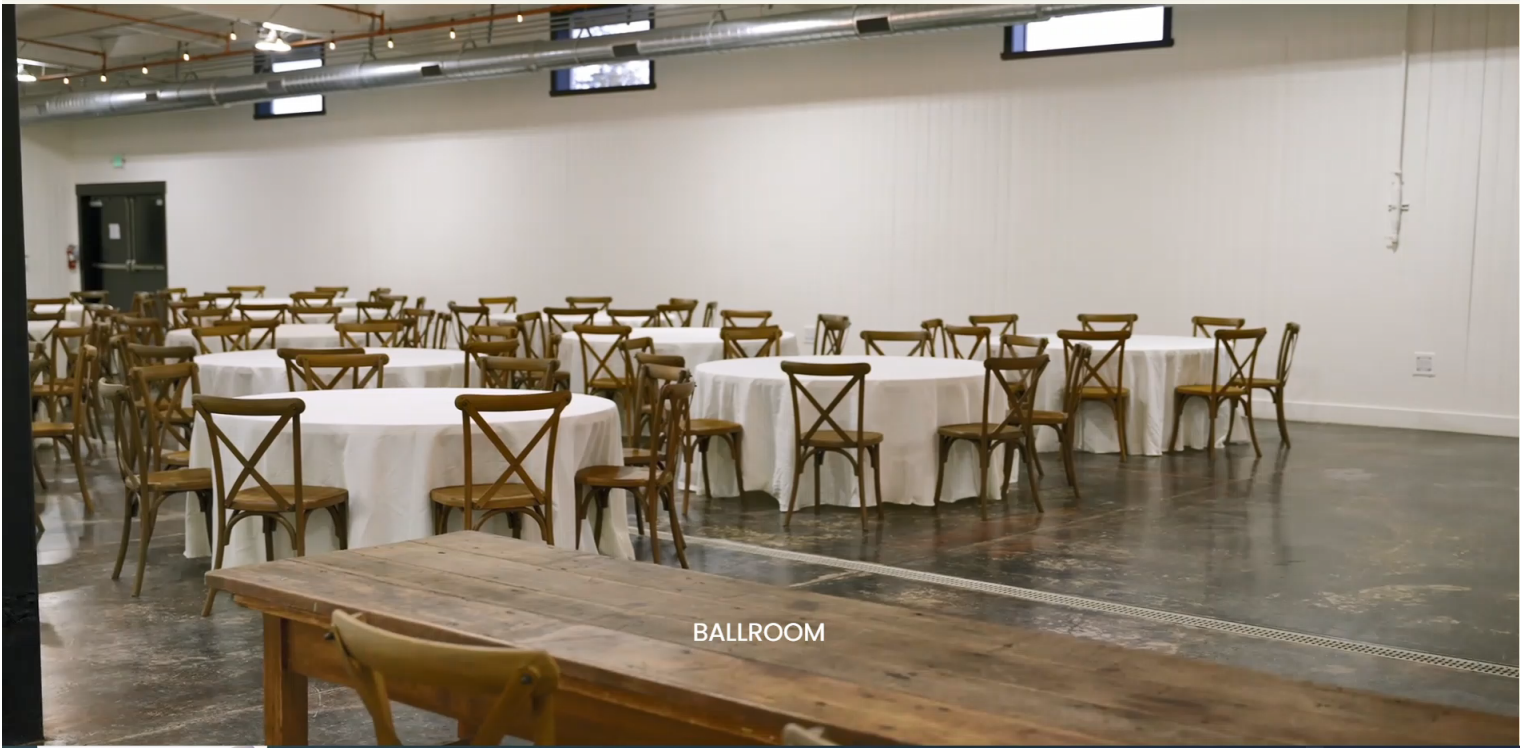
A. Flameless candles in decor and sparklers in the parking lot are okay. Confetti, loose petals and fireworks do not work well in our spaces.

Q. Do you allow outside catering and alcohol?

A. We have an open vendor policy. All alcohol must be served by a licensed server not associated with the event and covered by "host liquor" on your day of liability insurance.





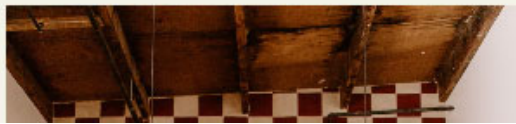


BALLROOM



The Cafe is an atmospheric event venue that is highlighted with industrial finishes, rustic touches and a unique story for design elements throughout. Hosting your company retreat, holiday party, corporate sales event or company leadership convention will become a unique and special stamp in the history of your company in our Cafe!

[BOOK NOW](#)



Amenities

- 1,715 Sq Ft
- 150 person capacity
- Antique wood bar with checkered backdrop
- 11' live edge dining tables with stools (for 100)
- Modern black dining tables with black chairs (for 48)
- Heating/cooling
- Private restroom
- Prep area with fridge/freezer/sink
- Adjacent conference room
- Glass bay door with access to Patio
- ADA accessible
- Wifi

Pricing

- \$875 Includes 4 hours of use
- Max Capacity 50 people
- Available time slots: 11am-3pm or 4pm-8pm
- Additional hours at \$200/hr
- Please inquire about Friday and Saturday booking rates

FAQ's

Q. Does the Cafe have a sound system?

A. Our Cafe does not currently have a sound system, but we are happy to assist your DJ with any assistance they need to ensure an adequate setup.

Q. Is there air conditioning/heat?

A. The Cafe and adjacent rooms have their own heating and cooling systems. Additionally, fire tables can be rented for outside heating.

Q. What is the parking situation?

A. All parking is on site. We will ensure that your guests use the parking area closest to your event. Please ask our staff which parking lot you should direct your guests to.

Q. Can we arrive early or stay late to setup/clean?

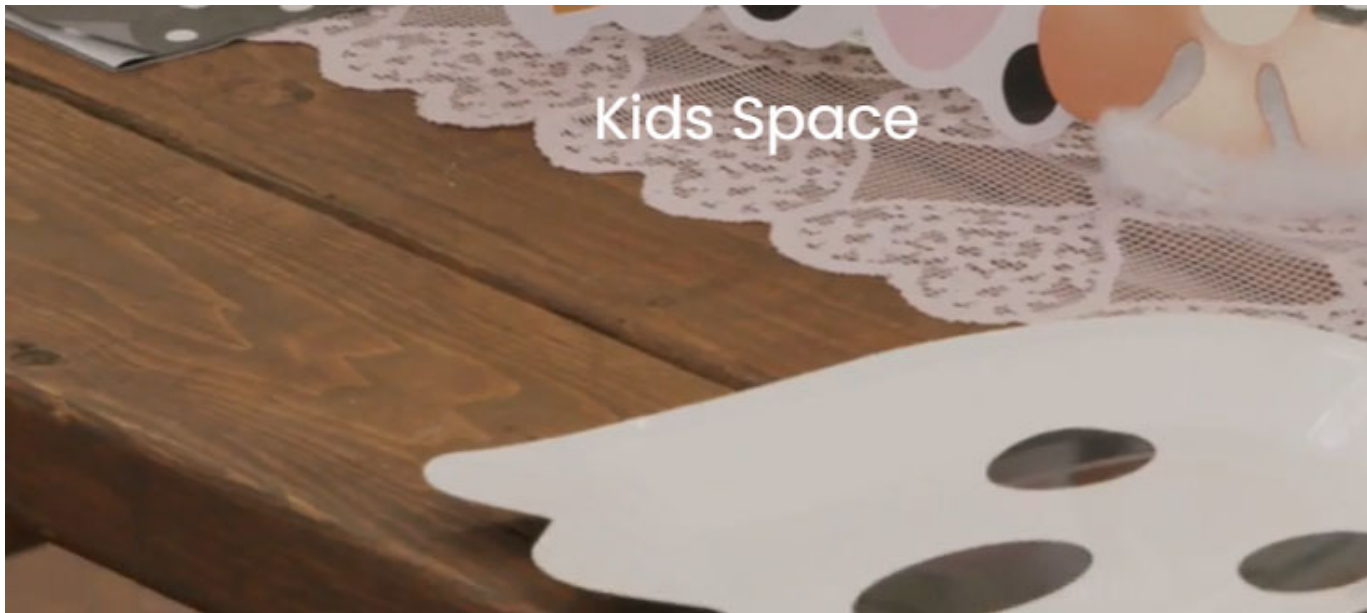
A. We do our best to accommodate a small group of decorators to arrive on site prior to your start time, when bookings allow. Cleanup is allowed for one hour beyond your end time. Guests and alcohol may only be on site during your designated rental time.

Q. Do you allow outside catering and alcohol?

A. We have an open vendor policy and invite you to bring in your own food. All hard alcohol must be served by a licensed server not associated with the event.







Step into the adventure, that is, the Kids Space! Your eyes will immediately be drawn to the hand painted mountains that set the tone for this whimsical space. Our favorite details are the life-like grass flooring, light fixtures that emulate clouds, wood picnic tables and the intentional outdoor feel that is perfectly curated for fun and themes of your dreams. Our 15'x15' white bounce house is a star of the show in this space, that packs a lot of fun! The Kid Annex is an unforgettable party space that will host the most joyful & creative parties for the ones you love most.



Amenities

- 50 person capacity
- 15' x 15' oversized white bounce castle
- Cubbies for coats and shoes
- Private courtyard in back
- 4 picnic tables (seat 6 per table)
- 2 - 6' folding tables with chairs
- Private restroom in party space
- Ample onsite parking
- ADA accessible
- Wifi


FAQ's

Coming Soon.

Layout Options

Pricing

- \$375 for 3 hours
 - Max Capacity: 50
 - Time slots available: (9a-12p), (1p-4p) or (5p-8p)
-



Odin's Halls BJJ Oregon

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Intro

The Kings of the Northwest!

Page • Martial Arts School • Sports team • Sports & Fitness Instruction

29448 se Lariat Ln, Boring, OR, United States, Oregon

(503) 660-2944

odinshallsbjjoregon@gmail.com

odinshallsor

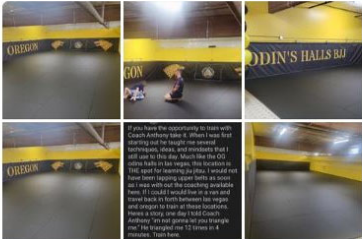
bjj-oregon.com

Price Range - \$

Not yet rated (0 Reviews)

Photos

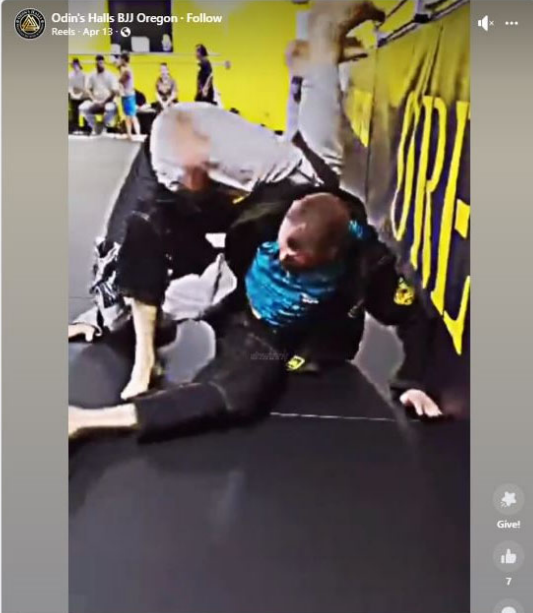
See all photos



Posts

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Adults and Kids Brazilian Jiu Jitsu and Fitness Gym located right off Hwy 26 in Boring, OR!

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POSTS REELS TAGGED

Oregon Location

Grand Opening April 8th, 2024



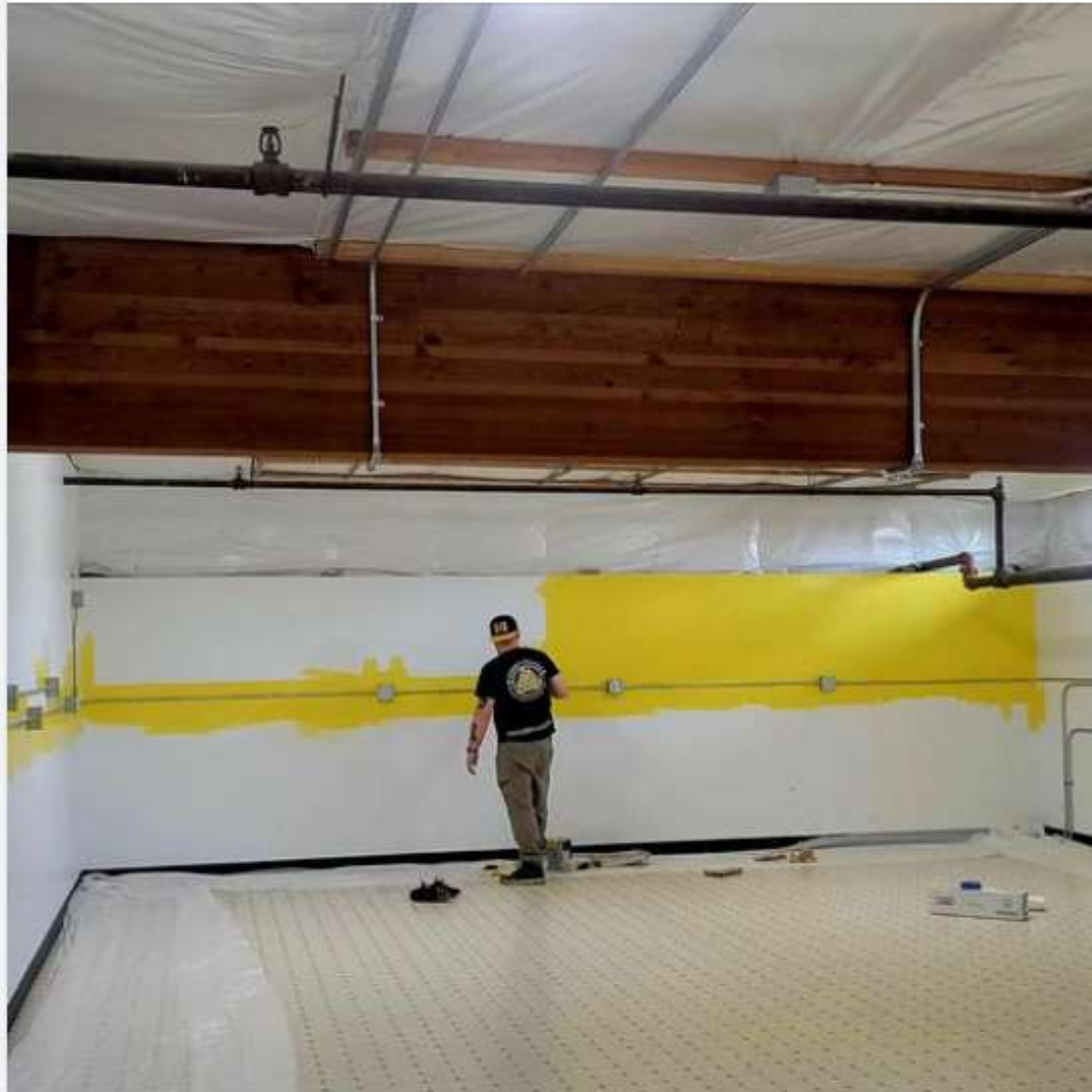


Odin's Halls BJJ Oregon is at Odin's Halls BJJ Oregon.

March 19 at 4:15 PM · Boring, OR · 🌐

...

#progress 🐾



👍❤️ 10



The Greenhouse is one of our most popular event venue spaces for more intimate get-togethers. The antique design compliments the unique botanicals to create a tranquil and inspiring gathering. Hosting up to 88 people The Greenhouse will ensure the most charming company party, team retreat, or team building event. Indulge your team in the beauty of The Greenhouse, and they'll be talking about the experience for years to come!

Pricing

- \$675 Includes 4 hours of use
 - Max Capacity 50 people
 - Available time slots: 10am–2pm or 3pm–7pm
 - Additional hours at \$150/hr
 - Please inquire about Friday and Saturday booking rates
-

Amenities

- 1,420 Sq Ft
 - 50 person capacity
 - 3- Oversized family style tables with stool
 - Wood folding bistro chairs
 - 4-bistro tables
 - Heating/cooling
 - Private courtyard with outdoor bar
 - Oversized trough sink
 - Modern chandeliers
 - Antique bar
 - Retro fridge/freezer
 - Mechanical shade sails
 - Adjacent restrooms
 - ADA accessible
 - Wifi
-

FAQ's

Q. Does the Greenhouse have a sound system?

A. Our Greenhouse does not currently offer a sound system, but we are happy to assist your DJ with anything they need to ensure an adequate setup. Alternatively, bluetooth speakers work great in the space.

Q. Is there power in the outside bar?

A. Yes, we do offer outlets in the bar. Please ask a staff member to show you their locations.

Q. Is there air conditioning/heat?

A. The Greenhouse has its own heating and cooling systems. Additionally, fire tables can be rented for outside heating.

Q. What is the parking situation?

A. All parking is on site. We reserve the few spots next to the Greenhouse for vendors and priority guests. All other guests will park in the front lot.

Q. Do you have signage or other aids to direct guests to my event?

A. Yes, we do! We have some great custom signs we'll put out for you that day.

Q. Can we use candles/confetti/sparklers/fireworks?

A. Flameless candles in decor and sparklers in the parking lot are okay. Confetti, loose petals and fireworks do not work well in our space.

Q. Do you provide tents or heaters?

A. We have a couple 10'x20' tents (\$150 ea) and fire tables (\$75ea) available for rent.

Q. Do you allow outside catering and alcohol?

A. We have an open vendor policy and invite you to bring in your own food. All hard alcohol must be served by a licensed server not associated with the event.

Q. Where can food trucks set up?

A. Our hookup is located directly across the blacktop on the corner of the main building. We suggest they park in the first gravel spot across from the Greenhouse. Hot water is available behind the bar in the Cafe. Please ask our onsite representative for assistance.



Mt Hood Center is at Mt Hood Center.

August 26, 2021 · Boring, OR · 🌐

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Here's a peek at our greenhouse that is currently under construction 🌱 When finished it will be used in tandem with our farm-to-table program at @mhcacademy and as an event venue for @mhceventspace 🌱

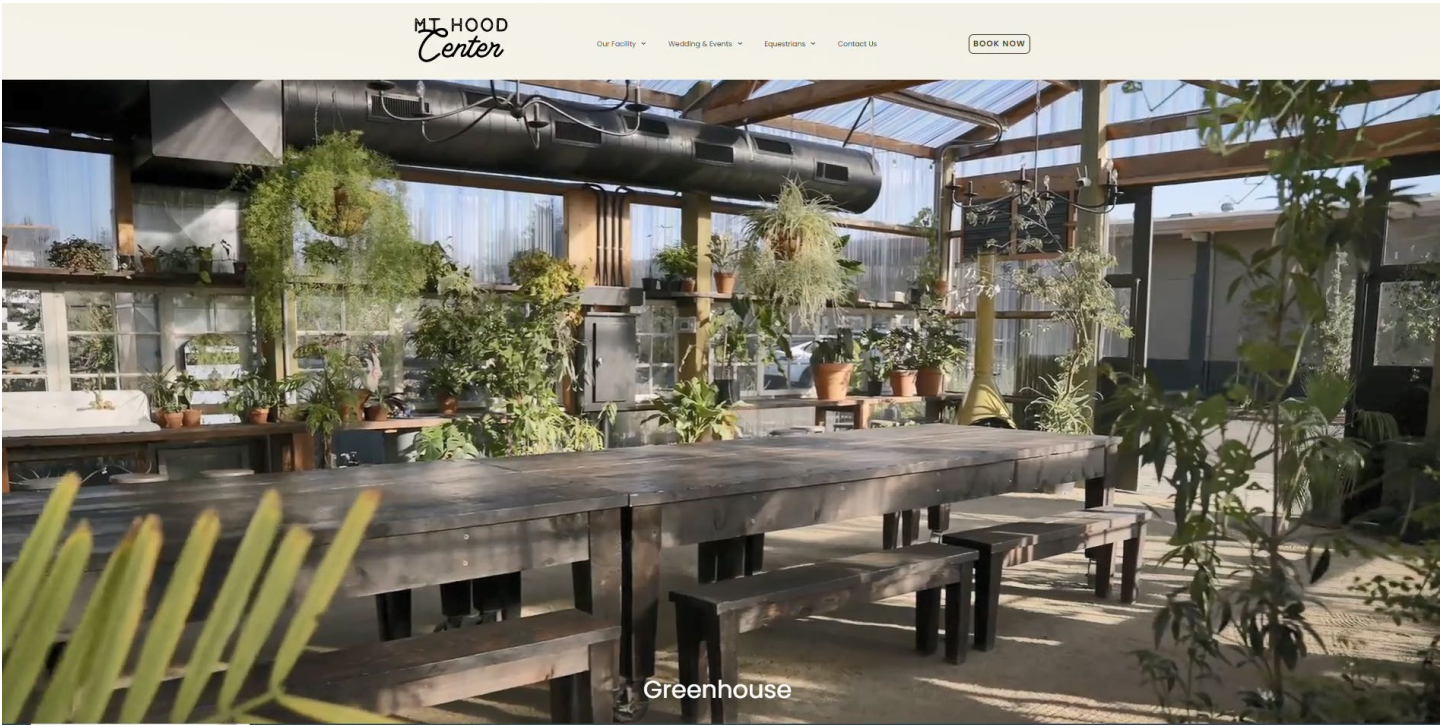
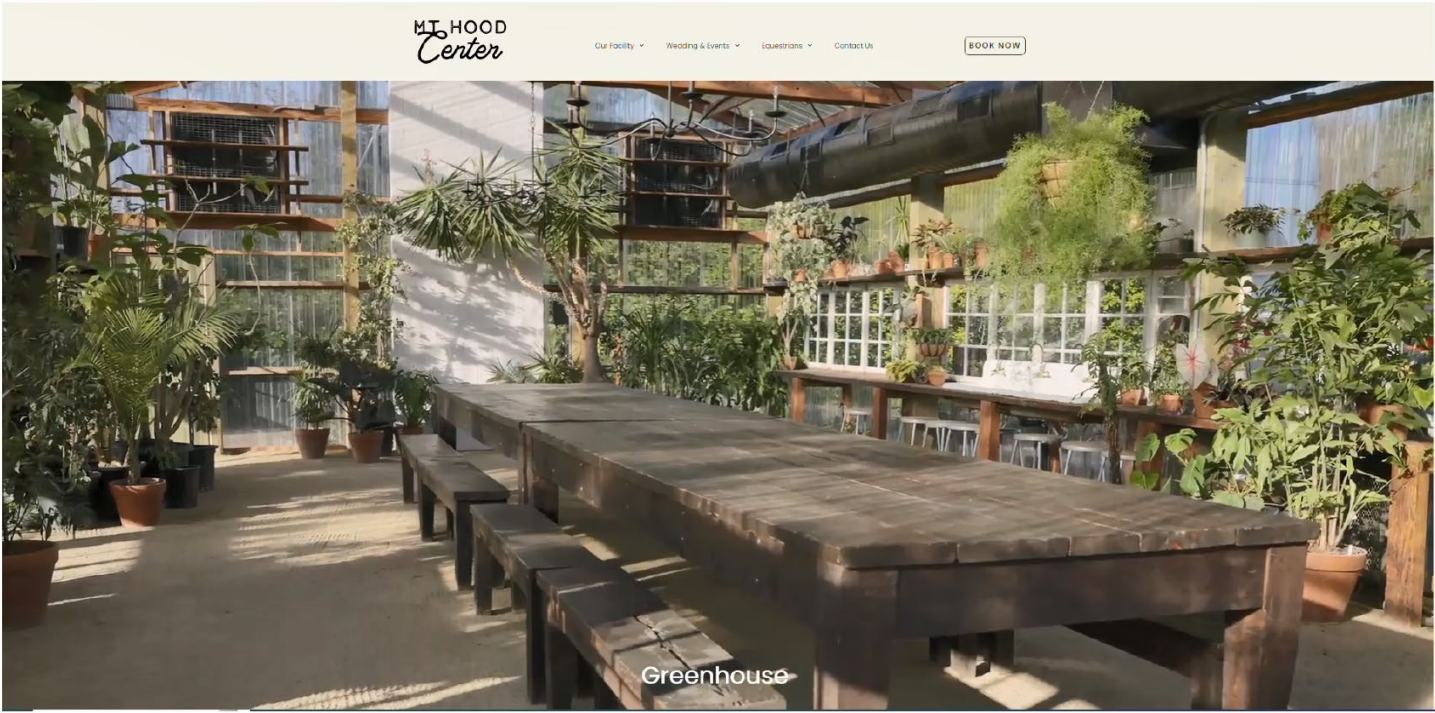


👍❤️ 51

👍 Like

💬 Comment

➦ Share







The Meadow is engulfed in thoughtfully designed landscape, mature trees, a natural pond and a newly designed fire pit seating area. You will love the private and peaceful atmosphere of this outdoor oasis. The Meadow has hosted a variety of events ranging from company carnivals, movies in the park, vendor events, family BBQ's, concerts, music festivals and company parties. Our team can help you execute any event your company desires in this lush outdoor event space!

[BOOK NOW](#)



This photo is from a post. View post

Mt Hood Center
January 28, 2022 · 🌐

Like Comment Share

Write a comment...

📷 📷 📷 📷 📷

Mt Hood Center's Post



Mt Hood Center · [Follow](#)

December 4, 2019 · 🌐



Better late than never!! Late Cyber Monday Deal! 1/2 off Haul ins to the Cascadia Trail Course!!! Sign up online @ mthoodcenter.com

LATE CYBER
MONDAY DEALS

**1/2 OFF
CASCADIA
TRAIL
COURSE
HAUL IN
PASSES**

You can buy up to 10 ~
1/2 off passes online @
mthoodcenter.com



You can use these passes anytime during open haul in. Haul ins on the course are a 2 hour session and you will be able to warm up in the small warm up arena only.

EXHIBIT BO PAGE 24 OF 28

Slide show of the Course!



Mt Hood Center Trail Course Video

The Trail...

Mark Bolender, the founder of IMTCA, designed our unique trail course here at Mt Hood Center. The true centerpiece of our competition grade course is the stunning 24 feet long 13 feet high trestle bridge. Our viewing areas overlook our rolling hills, bridges, a multi leveled pyramid, balance beams, a teeter totter, maze and more. In addition to public activities and challenges this course will also be utilized as a training tool for clinics, lessons and open haul ins.

Book Now

[Click here for Haul-in Options](#)

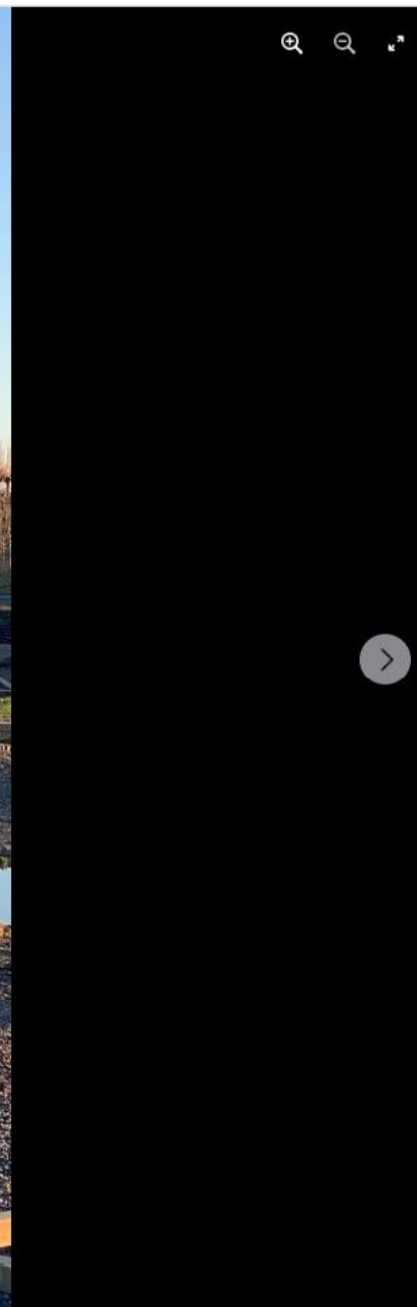
Hi Friends! Thank you for your continued support during this difficult time. We would like to announce adjusted hours after Governor Brown's executive order March 23, 2020. We have modified our Wy'East Arena & Cascadia Trail Course hours (Must complete a safety walk through before entering trail course)

Monday: 9 am to 5 pm

Tuesday: 9 am to 5 pm

Wednesday: 9 am to 5 pm... See more





Slide show of the Course!



The Trail...

Mark Bolender, the founder of IMTCA, designed our unique trail course here at Mt Hood Center. The true centerpiece of our competition grade course is the stunning 24 feet long 13 feet high trestle bridge. Our viewing areas overlook our rolling hills, bridges, a multi leveled pyramid, balance beams, a teeter totter, maze and more. In addition to public activities and challenges this course will also be utilized as a training tool for clinics, lessons and open haul ins.

Book Now

[Click here for Haul-in Options](#)

MT Hood Center Trail Course Video



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[Information](#)

[Events](#)

[Contact](#)

Haul-in Rules

Please fill out one of our forms below for each rider each time you would like to haul into Mt Hood Center. This gives us a chance to work up the arena and also contact you with any conflicts. Please see the Facility/Office hours at the bottom of this page.

Each haul-in is per rider up to two horses, if you have more you would like to bring in please contact the office at the following

link [Contact Us](#)

We do not allow outside trainers, if you wish to become an approved trainer you have to contact Kellie Puckett the Facility Director.

Absolutely NO hay in the parking lots!

You are responsible for cleaning after your horse/s in the parking lots, isle ways, arenas, or anywhere your horse makes a mess. Muck buckets and pitchforks are provided by all arenas.

Which facility would you like to Visit?

NOTICE AND ORDER OF DANGEROUS BUILDING

AND NOTICE TO VACATE

DO NOT ENTER THIS BUILDING

UNSAFE TO OCCUPY

IT IS A MISDEMEANOR CRIME TO OCCUPY, ENTER, OR

REMAIN IN THIS BUILDING

VIOLATORS ARE SUBJECT TO ARREST

DO NOT REMOVE OR DEFACE THIS NOTICE

Pursuant to ORS 162.305

**Issued by Jeffrey Munns Attorney for, and designated representative of, the
Building Official of Clackamas County**

TO: Kaluga LLC and All Occupants

SITE ADDRESS: 29450 SE Lariat Lane, Boring OR 97009
T.1S, R.4E, Section 31A, Tax Lot 01301

AUTHORITY: Chapter 9.01 of the Clackamas County Code

DATE: April 17, 2024

Pursuant to Chapter 9.01 of the Clackamas County Code (CCC) the Building Official for Clackamas County have inspected or caused to be inspected the Arena building (structure) at the above referenced location and have determined that such building is a dangerous building and is an immediate danger to life, limb, and safety of its occupants and the public for the following reasons:

- This structure has been the site of large assembly uses that exceed the occupancy rating. The use and occupation of the structure has been determined to be contrary to the manner in which it was approved creating a life, and fire safety hazard to the building occupants. CCC §9.01.100(C)

- The structure has not received proper review, permits and inspections for the activities and uses occurring within. CCC §9.01.100(E)
- This structure is an unsafe building due to improper occupancy and inadequate means of egress. In particular the March 16, 2024 Latino Concert was found to be gross negligence with unsafe conditions and overcrowding. Violations of Oregon Fire Code (OFC) 1003.6 Means of Egress Continuity; OFC 1032.1 Maintenance of the Means of Egress, OFC 109.6 Overcrowding, OFC 114.1.1 Unsafe Conditions, OFC 907.2.1 Group A and OFC 907.2.2.2 System initiation in Group A Occupancies with an Occupant Load of 1000 or More. CCC §9.01.100(F)
- Electrical, plumbing, heating, ventilation, systems have been installed without issued permits and all required inspections in violation of CCC 9.02.040(A,B,C,D) CCC §9.01.100(G)

As a result of this notice and order you must take the following action(s) as required by the Building Official:

- Submit all required building permit application(s), appropriate fees(s) and all construction documents of sufficient clarity to indicate the location, nature and extent of the work proposed (or constructed without permits) and show in detail that it will conform to the provisions of the Building code and relevant laws within 30 days of the date of this notice.
 - Respond to requests for clarification or additional information from permitting staff within 15 days of receiving such request.
 - The permits must have the fees paid in full within ten days of your being notified by Building Codes in order to prevent delay of the issuance of permits.
 - Schedule all inspections so that final inspections may be obtained not later than 45 days of the date of receipt of your approved permits.

The submitted permit documents will be subject to the review and approval of the Planning and Zoning Division. The construction and use must meet the requirements and standards of the zoning district applied to the subject property.

You must vacate this building by no later than 11:59pm on April 19, 2024 and you must not re-occupy this building until all permits are issued and receive all required inspections for approved uses and occupancies.

If the actions described above are not commenced within the timeframes provided, the Building Official may proceed to cause the work to be done and charge the costs thereof against the property and its owners.

Any person having any record title or legal interest in the building may appeal from this notice and order and any action of the Building Official to the Code Compliance Hearings Officer, **provided the appeal is made in writing as provided in**

this chapter and filed with the Building Official within 30 days of the date of service of this notice and order. See CCC §9.01.150. Failure to appeal will constitute a waiver of all rights to an administrative hearing and determination of the matter.

This notice and order are being served on the owner of record and posted on each known exit of the building. In addition, this notice and order is being served on other potential legal interest holders including but not limited to mortgage, deed of trust, or lien holders, and known tenants or occupants. Mailings shall be accomplished by certified mailing, return receipt requested, to the person or entity entitled to service of the notice and order as required by CCC §9.01.110(C).



Jeffrey Munns, Attorney for, and
designated representative of, the
Clackamas County Building Official
Clackamas County, Oregon

**NOTICE AND ORDER OF DANGEROUS BUILDING
AND NOTICE TO VACATE
DO NOT ENTER THIS BUILDING
UNSAFE TO OCCUPY**

**IT IS A MISDEMEANOR CRIME TO OCCUPY, ENTER, OR
REMAIN IN THIS BUILDING**

VIOLATORS ARE SUBJECT TO ARREST

**DO NOT REMOVE OR DEFACE THIS NOTICE
Pursuant to ORS 162.305**

**Issued by Jeffrey Munns Attorney for, and designated representative of, the
Building Official of Clackamas County**

TO: Kaluga LLC and All Occupants

SITE ADDRESS: 29450 SE Lariat Lane, Boring OR 97009
T.1S, R.4E, Section 31A, Tax Lot 01301

AUTHORITY: Chapter 9.01 of the Clackamas County Code

DATE: April 17, 2024

Pursuant to Chapter 9.01 of the Clackamas County Code (CCC) the Building Official for Clackamas County have inspected or caused to be inspected the Greenhouse (Structure) at the above referenced location and have determined that such building is a dangerous building and is an immediate danger to life, limb, and safety of its occupants and the public for the following reasons:

- The use and occupation of the structure has been determined to be in violation of the Clackamas County Building Code 9.02.040(A-D) by failing to obtain required

- The structure has not received proper review, permits and inspections for the activities and uses occurring within. CCC §9.01.100(E)
- This structure is an unsafe building due to improper occupancy and inadequate means of egress. In particular the March 16, 2024 Latino Concert was found to be gross negligence with unsafe conditions and overcrowding. Violations of Oregon Fire Code (OFC) 1003.6 Means of Egress Continuity; OFC 1032.1 Maintenance of the Means of Egress, OFC 109.6 Overcrowding, OFC 114.1.1 Unsafe Conditions, OFC 907.2.1 Group A and OFC 907.2.2.2 System initiation in Group A Occupancies with an Occupant Load of 1000 or More. CCC §9.01.100(F)
- Electrical, plumbing, heating, ventilation, systems have been installed without issued permits and all required inspections in violation of CCC 9.02.040(A,B,C,D) CCC §9.01.100(G)

As a result of this notice and order you must take the following action(s) as required by the Building Official:

- Submit all required building permit application(s), appropriate fees(s) and all construction documents of sufficient clarity to indicate the location, nature and extent of the work proposed (or constructed without permits) and show in detail that it will conform to the provisions of the Building code and relevant laws within 30 days of the date of this notice.
 - Respond to requests for clarification or additional information from permitting staff within 15 days of receiving such request.
 - The permits must have the fees paid in full within ten days of your being notified by Building Codes in order to prevent delay of the issuance of permits.
 - Schedule all inspections so that final inspections may be obtained not later than 45 days of the date of receipt of your approved permits.

The submitted permit documents will be subject to the review and approval of the Planning and Zoning Division. The construction and use must meet the requirements and standards of the zoning district applied to the subject property.

You must vacate this building by no later than 11:59pm on April 19, 2024 and you must not re-occupy this building until all permits are issued and receive all required inspections for approved uses and occupancies.

If the actions described above are not commenced within the timeframes provided, the Building Official may proceed to cause the work to be done and charge the costs thereof against the property and its owners.

Any person having any record title or legal interest in the building may appeal from this notice and order and any action of the Building Official to the Code Compliance Hearings Officer, **provided the appeal is made in writing as provided in**

This notice and order are being served on the owner of record and posted on each known exit of the building. In addition, this notice and order is being served on other potential legal interest holders including but not limited to mortgage, deed of trust, or lien holders, and known tenants or occupants. Mailings shall be accomplished by certified mailing, return receipt requested, to the person or entity entitled to service of the notice and order as required by CCC §9.01.110(C).



Jeffrey Munns, Attorney for, and
designated representative of, the
Clackamas County Building Official
Clackamas County, Oregon

**NOTICE AND ORDER OF DANGEROUS BUILDING
AND NOTICE TO VACATE
DO NOT ENTER THIS BUILDING
UNSAFE TO OCCUPY**

**IT IS A MISDEMEANOR CRIME TO OCCUPY, ENTER, OR
REMAIN IN THIS BUILDING**

VIOLATORS ARE SUBJECT TO ARREST

**DO NOT REMOVE OR DEFACE THIS NOTICE
Pursuant to ORS 162.305**

**Issued by Jeffrey Munns Attorney for and Designated Representative of the
Building Official of Clackamas County**

TO: Kaluga LLC and All Occupants

SITE ADDRESS: 29450 SE Lariat Lane, Boring OR 97009
T.1S, R.4E, Section 31A, Tax Lots 01401, 01301, 01400

AUTHORITY: Chapter 9.01 of the Clackamas County Code

DATE: April 17, 2024

Pursuant to Chapter 9.01 of the Clackamas County Code (CCC) the Building Official for Clackamas County have inspected or caused to be inspected the Lookout Deck-Cargo Container (Structure) at the above referenced location and have determined that such building is a dangerous building for the following reasons:

- The structure has not received proper review, permits and inspections for the activities and related uses . CCC §9.01.100(E)
- Electrical has been installed without issued permits and all required inspections in violation of CCC 9.02.040(A,D) CCC §9.01.100(G)

As a result of this notice and order you must take the following actions as required by the Building Official:

- Submit all required building permit application(s), appropriate fees(s) and all construction documents of sufficient clarity to indicate the location, nature and extent of the work proposed (or constructed without permits) and show in detail that it will conform to the provisions of the Building code and relevant laws within 30 days of the date of this notice.
 - Respond to requests for clarification or additional information from permitting staff within 15 days of receiving such request.
 - The permits must have the fees paid in full within ten days of your being notified by Building Codes in order to prevent delay of the issuance of permits.
 - Schedule all inspections so that final inspections may be obtained not later than 45 days of the date of receipt of your approved permits.

The submitted permit documents will be subject to the review and approval of the Planning and Zoning Division. The construction and use must meet the requirements and standards of the zoning district applied to the subject property.

You must vacate this building by no later than 11:59pm on April 19, 2024 and you must not re-occupy this building until all permits are issued and receive all required inspections for approved uses and occupancies.

If the actions described above are not commenced within the timeframes provided, the Building Official may proceed to cause the work to be done and charge the costs thereof against the property and its owners.

Any person having any record title or legal interest in the building may appeal from this notice and order and any action of the Building Official to the Code Compliance Hearings Officer, **provided the appeal is made in writing as provided in this chapter and filed with the Building Official within 30 days of the date of service of this notice and order.** See CCC §9.01.150. Failure to appeal will constitute a waiver of all rights to an administrative hearing and determination of the matter.

This notice and order are being served on the owner of record and posted on each known exit of the building. In addition, this notice and order is being served on other potential legal interest holders including but not limited to mortgage, deed of trust, or lien holders, and known tenants or occupants. Mailings shall be accomplished by

certified mailing, return receipt requested, to the person or entity entitled to service of the notice and order as required by CCC §9.01.110(C).



Jeffrey Munns, Attorney for and
designated representative of the
Clackamas County Building Official
Clackamas County, Oregon

NOTICE AND ORDER OF DANGEROUS BUILDING

AND NOTICE TO VACATE

DO NOT ENTER THIS BUILDING

UNSAFE TO OCCUPY

IT IS A MISDEMEANOR CRIME TO OCCUPY, ENTER, OR

REMAIN IN THIS BUILDING

VIOLATORS ARE SUBJECT TO ARREST

DO NOT REMOVE OR DEFACE THIS NOTICE

Pursuant to ORS 162.305

**Issued by Jeffrey Munns, Attorney for, and designated representative of, the
Building Official of Clackamas County**

TO: Kaluga LLC and All Occupants

SITE ADDRESS: 29450 SE Lariat Lane, Boring OR 97009
T.1S, R.4E, Section 31A, Tax Lot 01301

AUTHORITY: Chapter 9.01 of the Clackamas County Code

DATE: April 17, 2024

Pursuant to Chapter 9.01 of the Clackamas County Code (CCC) the Building Official for Clackamas County have inspected or caused to be inspected the Trestle Bridge (structure) at the above referenced location and have determined that such building is a dangerous building and is an immediate danger to life, limb, and safety of its occupants and the public for the following reasons:

- The use and occupation of the structure has been determined to be in violation of the Clackamas County Building Code 9.02.040(A) by failing to obtain required permits and inspections necessary for the current uses creating a life, and fire safety hazard to the building users. CCC §9.01.100(C)

- The structure has not received proper review, permits and inspections for the activities and uses.. CCC §9.01.100(E)

As a result of this notice and order you must take the following action(s) as required by the Building Official:

- Submit all required building permit application(s), appropriate fees(s) and all construction documents of sufficient clarity to indicate the location, nature and extent of the work proposed (or constructed without permits) and show in detail that it will conform to the provisions of the Building code and relevant laws within 30 days of the date of this notice.
 - Respond to requests for clarification or additional information from permitting staff within 15 days of receiving such request.
 - The permits must have the fees paid in full within ten days of your being notified by Building Codes in order to prevent delay of the issuance of permits.
 - Schedule all inspections so that final inspections may be obtained not later than 45 days of the date of receipt of your approved permits.

The submitted permit documents will be subject to the review and approval of the Planning and Zoning Division. The construction and use must meet the requirements and standards of the zoning district applied to the subject property.

You must vacate this building by no later than 11:59pm on April 19, 2024 and you must not re-occupy this building until all permits are issued and receive all required inspections for approved uses and occupancies.

If the actions described above are not commenced within the timeframes provided, the Building Official may proceed to cause the work to be done and charge the costs thereof against the property and its owners.

Any person having any record title or legal interest in the building may appeal from this notice and order and any action of the Building Official to the Code Compliance Hearings Officer, **provided the appeal is made in writing as provided in this chapter and filed with the Building Official within 30 days of the date of service of this notice and order.** See CCC §9.01.150. Failure to appeal will constitute a waiver of all rights to an administrative hearing and determination of the matter.

This notice and order are being served on the owner of record and posted on each known exit of the building. In addition, this notice and order is being served on other potential legal interest holders including but not limited to mortgage, deed of trust, or lien holders, and known tenants or occupants. Mailings shall be accomplished by

certified mailing, return receipt requested, to the person or entity entitled to service of the notice and order as required by CCC §9.01.110(C).



Jeffrey Munns Attorney for, and
designated representative of, the
Clackamas County Building Official
Clackamas County, Oregon

NOTICE AND ORDER OF DANGEROUS BUILDING

AND NOTICE TO VACATE

DO NOT ENTER THIS BUILDING

UNSAFE TO OCCUPY

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VIOLATORS ARE SUBJECT TO ARREST

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Pursuant to ORS 162.305

**Issued by Jeffrey Munns, Attorney for and designated representative of the
Building Official of Clackamas County**

TO: Kaluga LLC and All Occupants

SITE ADDRESS: 29450 SE Lariat Lane, Boring OR 97009
T.1S, R.4E, Section 31A, Tax Lot 01301

AUTHORITY: Chapter 9.01 of the Clackamas County Code

DATE: April 17, 2024

Pursuant to Chapter 9.01 of the Clackamas County Code (CCC) the Building Official for Clackamas County have inspected or caused to be inspected the Viewing Platform building (structure) at the above referenced location and have determined that such building is a dangerous building for the following reasons:

- The use and occupation of the structure has been determined to be in violation of the Clackamas County Building Code 9.02.040(A) by failing to obtain required permits and inspections necessary for the current uses creating a life and fire safety hazard to the building users. CCC §9.01.100(C)

- The structure has not received proper review, permits and inspections for the activities and uses.. CCC §9.01.100(E)

As a result of this notice and order you must take the following action(s) as required by the Building Official:

- Submit all required building permit application(s), appropriate fees(s) and all construction documents of sufficient clarity to indicate the location, nature and extent of the work proposed (or constructed without permits) and show in detail that it will conform to the provisions of the Building code and relevant laws within 30 days of the date of this notice.
 - Respond to requests for clarification or additional information from permitting staff within 15 days of receiving such request.
 - The permits must have the fees paid in full within ten days of your being notified by Building Codes in order to prevent delay of the issuance of permits.
 - Schedule all inspections so that final inspections may be obtained not later than 45 days of the date of receipt of your approved permits.

The submitted permit documents will be subject to the review and approval of the Planning and Zoning Division. The construction and use must meet the requirements and standards of the zoning district applied to the subject property.

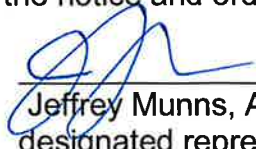
You must vacate this building by no later than 11:59pm on April 19, 2024 and you must not re-occupy this building until all permits are issued and receive all required inspections for approved uses and occupancies.

If the actions described above are not commenced within the timeframes provided, the Building Official may proceed to cause the work to be done and charge the costs thereof against the property and its owners.

Any person having any record title or legal interest in the building may appeal from this notice and order and any action of the Building Official to the Code Compliance Hearings Officer, **provided the appeal is made in writing as provided in this chapter and filed with the Building Official within 30 days of the date of service of this notice and order.** See CCC §9.01.150. Failure to appeal will constitute a waiver of all rights to an administrative hearing and determination of the matter.

This notice and order are being served on the owner of record and posted on each known exit of the building. In addition, this notice and order is being served on other potential legal interest holders including but not limited to mortgage, deed of trust, or lien holders, and known tenants or occupants. Mailings shall be accomplished by

certified mailing, return receipt requested, to the person or entity entitled to service of the notice and order as required by CCC §9.01.110(C).



Jeffrey Munns, Attorney for, and
designated representative of, the
Clackamas County Building Official
Clackamas County, Oregon

NOTICE AND ORDER OF DANGEROUS BUILDING
AND NOTICE TO VACATE
DO NOT ENTER THIS BUILDING
UNSAFE TO OCCUPY

**IT IS A MISDEMEANOR CRIME TO OCCUPY, ENTER, OR
REMAIN IN THIS BUILDING**

VIOLATORS ARE SUBJECT TO ARREST

DO NOT REMOVE OR DEFACE THIS NOTICE
Pursuant to ORS 162.305

**Issued by Jeffrey Munns Attorney for, and designated representative of, the
Building Official of Clackamas County**

TO: Kaluga LLC and All Occupants

SITE ADDRESS: 29450 SE Lariat Lane, Boring OR 97009
T.1S, R.4E, Section 31A, Tax Lot 01301, 01300

AUTHORITY: Chapter 9.01 of the Clackamas County Code

DATE: April 17, 2024

Pursuant to Chapter 9.01 of the Clackamas County Code (CCC) the Building Official for Clackamas County have inspected or caused to be inspected the West Barn building also referred to as the Kids Annex (structure) at the above referenced location and have determined that such building is a dangerous building and is an immediate danger to life, limb, and safety of its occupants and the public for the following reasons:

- The use and occupation of the structure as a commercial venue for parties and events has been determined to be contrary to the manner in which it was approved (a storage building) creating a life, and fire safety hazard to the building occupants. CCC §9.01.100(C)

- The structure has not received proper review, permits and inspections for the activities and uses occurring within. CCC §9.01.100(E)
- Electrical, plumbing, heating, ventilation, systems have been installed without all issued permits and all required inspections in violation of CCC 9.02.040(A,B,C,D) CCC §9.01.100(G)

As a result of this notice and order you must take the following actions as required by the Building Official:

- Submit all required building permit applications, appropriate fees and all construction documents of sufficient clarity to indicate the location, nature and extent of the work proposed (or constructed without permits) and show in detail that it will conform to the provisions of the Building code and relevant laws within 30 days of the date of this notice.
 - Respond to requests for clarification or additional information from permitting staff within 15 days of receiving such request.
 - The permits must have the fees paid in full within ten days of your being notified by Building Codes in order to prevent delay of the issuance of permits.
 - Schedule all inspections so that final inspections may be obtained not later than 45 days of the date of receipt of your approved permits.

The submitted permit documents will be subject to the review and approval of the Planning and Zoning Division. The construction and use must meet the requirements and standards of the zoning district applied to the subject property.


You must vacate this building by no later than 11:59pm on April 19, 2024 and you must not re-occupy this building until all permits are issued and receive all required inspections for approved uses and occupancies.

If the actions described above are not commenced within the timeframes provided, the Building Official may proceed to cause the work to be done and charge the costs thereof against the property and its owners.

Any person having any record title or legal interest in the building may appeal from this notice and order and any action of the Building Official to the Code Compliance Hearings Officer, **provided the appeal is made in writing as provided in this chapter and filed with the Building Official within 30 days of the date of service of this notice and order.** See CCC §9.01.150. Failure to appeal will constitute a waiver of all rights to an administrative hearing and determination of the matter.

This notice and order are being served on the owner of record and posted on each known exit of the building. In addition, this notice and order is being served on other potential legal interest holders including but not limited to mortgage, deed of trust,

or lien holders, and known tenants or occupants. Mailings shall be accomplished by certified mailing, return receipt requested, to the person or entity entitled to service of the notice and order as required by CCC §9.01.110(C).



Jeffrey Munns, Attorney for, and
designated representative of, the
Clackamas County Building Official
Clackamas County, Oregon

**In The Matter of the Dangerous Building
located at 29450 SE Lariat Ln and 29444
SE Lariat Ln, Boring OR 97009**

File No. V0035019

**DECLARATION OF SERVICE OF
CLACKAMAS COUNTY BUILDING
OFFICIAL DANGEROUS BUILDING
NOTICE AND ORDER**

I, Darryl Godsby declare, under the penalty of perjury, the following to be true to the best of my personal knowledge and belief:

1. I am employed by Clackamas County as a Deputy Building Codes Administrator for the Building Codes Program of the Clackamas County Department of Transportation and Development.
2. On April 17, 2024 I posted full and true copies of the attached notice and order at the entrance gate to The Mt. Hood Center at 29450 and 29444 SE Lariat Ln., Boring OR 97009. T1S, R4E, Section 31A, Tax Lots 01300, 01301, 01303, 01400, 01401.

**I HEREBY DECLARE THAT THE ABOVE STATEMENT IS TRUE TO THE BEST OF MY
KNOWLEDGE AND BELIEF, AND THAT I UNDERSTAND IT IS MADE FOR USE AS
EVIDENCE IN COURT AND IS SUBJECT TO PENALTY FOR PERJURY.**

Executed on this 18th day of April 2024.

By: 
Darryl Godsby
Deputy Building Codes Administrator
Building Codes Program
Clackamas County Department of Transportation and Development

**In The Matter of the Dangerous Building
located at 29450 SE Lariat Ln and 29444
SE Lariat Ln, Boring OR 97009**

File No. V0035019

**DECLARATION OF SERVICE OF
CLACKAMAS COUNTY BUILDING
OFFICIAL DANGEROUS BUILDING
NOTICE AND ORDER**

I, Diane Bautista, declare, under the penalty of perjury, the following to be true to the best of my personal knowledge and belief:

1. I am employed by Clackamas County as a Code Enforcement Specialist in the Clackamas County Department of Transportation and Development.
2. On April 17, 2024 I posted full and true copies of the attached notice and order at the entrance gate to The Mt. Hood Center at 29450 and 29444 SE Lariat Ln., Boring OR 97009. T1S, R4E, Section 31A, Tax Lots 01300, 01301, 01303, 01400, 01401.

Photos that fairly and truly depict the posted notice and order are attached hereto.

**I HEREBY DECLARE THAT THE ABOVE STATEMENT IS TRUE TO THE BEST OF MY
KNOWLEDGE AND BELIEF, AND THAT I UNDERSTAND IT IS MADE FOR USE AS
EVIDENCE IN COURT AND IS SUBJECT TO PENALTY FOR PERJURY.**

Executed on this 17th day of April 2024.



By: _____
Diane Bautista
Code Enforcement Specialist
Clackamas County Department of Transportation and Development

**In The Matter of the Dangerous Building
located at 29450 SE Lariat Ln and 29444
SE Lariat Ln, Boring OR 97009**

File No. V0035019

**DECLARATION OF SERVICE OF
CLACKAMAS COUNTY BUILDING
OFFICIAL DANGEROUS BUILDING
NOTICE AND ORDER**

I, Jennifer Kauppi, declare, under the penalty of perjury, the following to be true to the best of my personal knowledge and belief:

1. I am employed by Clackamas County as a Code Enforcement Specialist in the Department Transportation and Development.
2. On April 17, 2024, I posted full and true copies of the attached notice and order at the entrance gate to The Mt. Hood Center at 29450 and 29444 SE Lariat Ln., Boring OR 97009. T1S, R4E, Section 31A, Tax Lots 01300, 01301, 01303, 01400, 01401.

Photos that fairly and truly depict the posted notice and order are attached hereto.

**I HEREBY DECLARE THAT THE ABOVE STATEMENT IS TRUE TO THE BEST OF MY
KNOWLEDGE AND BELIEF, AND THAT I UNDERSTAND IT IS MADE FOR USE AS
EVIDENCE IN COURT AND IS SUBJECT TO PENALTY FOR PERJURY.**

Executed on this 18th day of April, 2024.



By: _____
Jennifer Kauppi
Code Enforcement Specialist
Code Enforcement Section
Clackamas County Department of Transportation and Development

In The Matter of the Dangerous Building
located at 29450 SE Lariat Ln and 29444
SE Lariat Ln, Boring OR 97009

File No. V0035019


**DECLARATION OF SERVICE OF
CLACKAMAS COUNTY BUILDING
OFFICIAL DANGEROUS BUILDING
NOTICE AND ORDER**

I, Johnny Sapp, declare, under the penalty of perjury, the following to be true to the
best of my personal knowledge and belief:

1. I am employed by Clackamas County as the Electrical Inspector Supervisor in the
Building Codes Program of the Clackamas County Department of Transportation and
Development.
2. On April 17, 2024 I took photos of the posting of the attached notice and order at
the entrance gate to The Mt. Hood Center at 29450 and 29444 SE Lariat Ln., Boring
OR 97009. T1S, R4E, Section 31A, Tax Lots 01300, 01301, 01303, 01400, 01401.

**I HEREBY DECLARE THAT THE ABOVE STATEMENT IS TRUE TO THE BEST OF MY
KNOWLEDGE AND BELIEF, AND THAT I UNDERSTAND IT IS MADE FOR USE AS
EVIDENCE IN COURT AND IS SUBJECT TO PENALTY FOR PERJURY.**

Executed on this 18th day of April 2024.

By: 
Johnny Sapp
Electrical Inspector Supervisor
Building Codes Program
Clackamas County Department of Transportation and Development

**In The Matter of the Dangerous Building
located at 29450 SE Lariat Ln and 29444
SE Lariat Ln, Boring, OR 97009**

File No. V0035019

**DECLARATION OF SERVICE OF
CLACKAMAS COUNTY BUILDING
OFFICIAL DANGEROUS BUILDING
NOTICE AND ORDER**

I, Kimberly Benthin, declare, under the penalty of perjury, the following to be true to the best of my personal knowledge and belief:

1. I am employed by Clackamas County as a Code Enforcement Specialist in the Department Transportation and Development.
2. On April 17, 2024 I served the attached notice and order on:
 - i. Kaluga LLC, Aaron Shelley Registered Agent by certified mail at 29450 SE Lariat Ln., Boring OR 97009
 - ii. Kaluga LLC, by certified mail at 5 Kingswood Cir., Hillsborough, CA 94010
 - iii. Pat's Pound & Pour LLC, by certified mail at 19612 S. Ferguson Rd., Oregon City OR 97045
 - iv. Plaza El Toro Pinto, Magdala LLC Registered Agent by certified mail at 29450 SE Lariat Ln., Boring OR 97009
 - v. Odin's Halls Brazilian Jiu Jitso Oregon LLC, Anthony Speckman, Registered Agent, by certified mail at 38759 Barlow Parkway, Sandy, OR 97055
 - vi. Arabella Intellect LLC, Dean Najdawi Registered Agent, by certified mail at 29450 SE Lariat Ln Boring OR 97009
 - vii. Magdala LLC, Aaron Shelley, Registered Agent, by certified mail at 29450 SE Lariat Ln Boring OR 97009
 - viii. Mt Hood Center, Dean Najdawi Registered Agent, by certified mail at 29450 SE Lariat Ln Boring OR 97009

- ix. Mt Hood Center Equine, Kellie Puckett Registered Agent, by certified mail at 29450 SE Lariat Ln Boring OR 97009
 - x. Carlyle Conservation Foundation LLC, by certified mail at 172561095 AIS Services LLC, 60995 Stoney Point Rd., Vernonia OR 97064
3. Documentation of the certified mailings described above along with any receipts therefore are attached hereto.

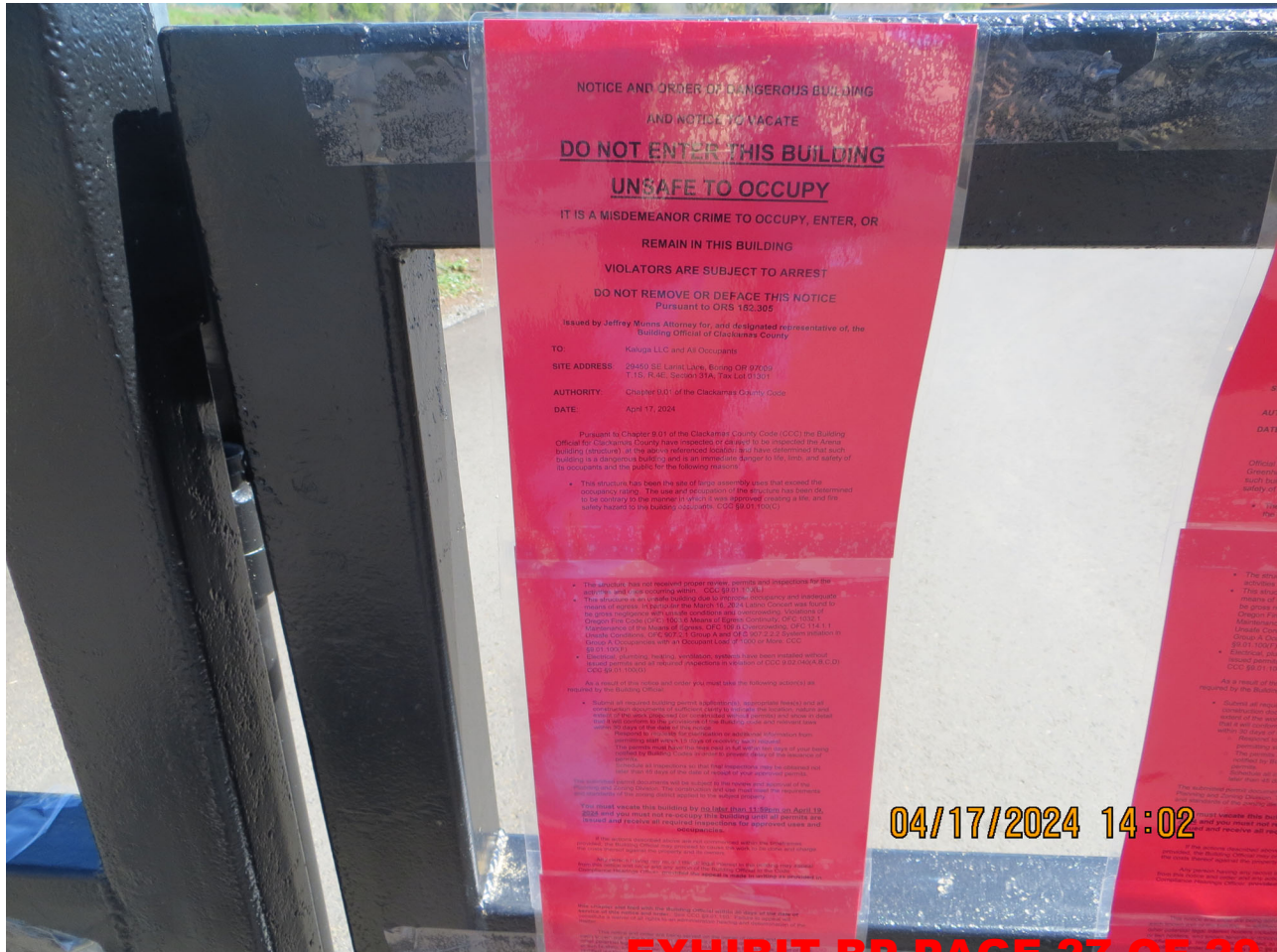
I HEREBY DECLARE THAT THE ABOVE STATEMENT IS TRUE TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT I UNDERSTAND IT IS MADE FOR USE AS EVIDENCE IN COURT AND IS SUBJECT TO PENALTY FOR PERJURY.

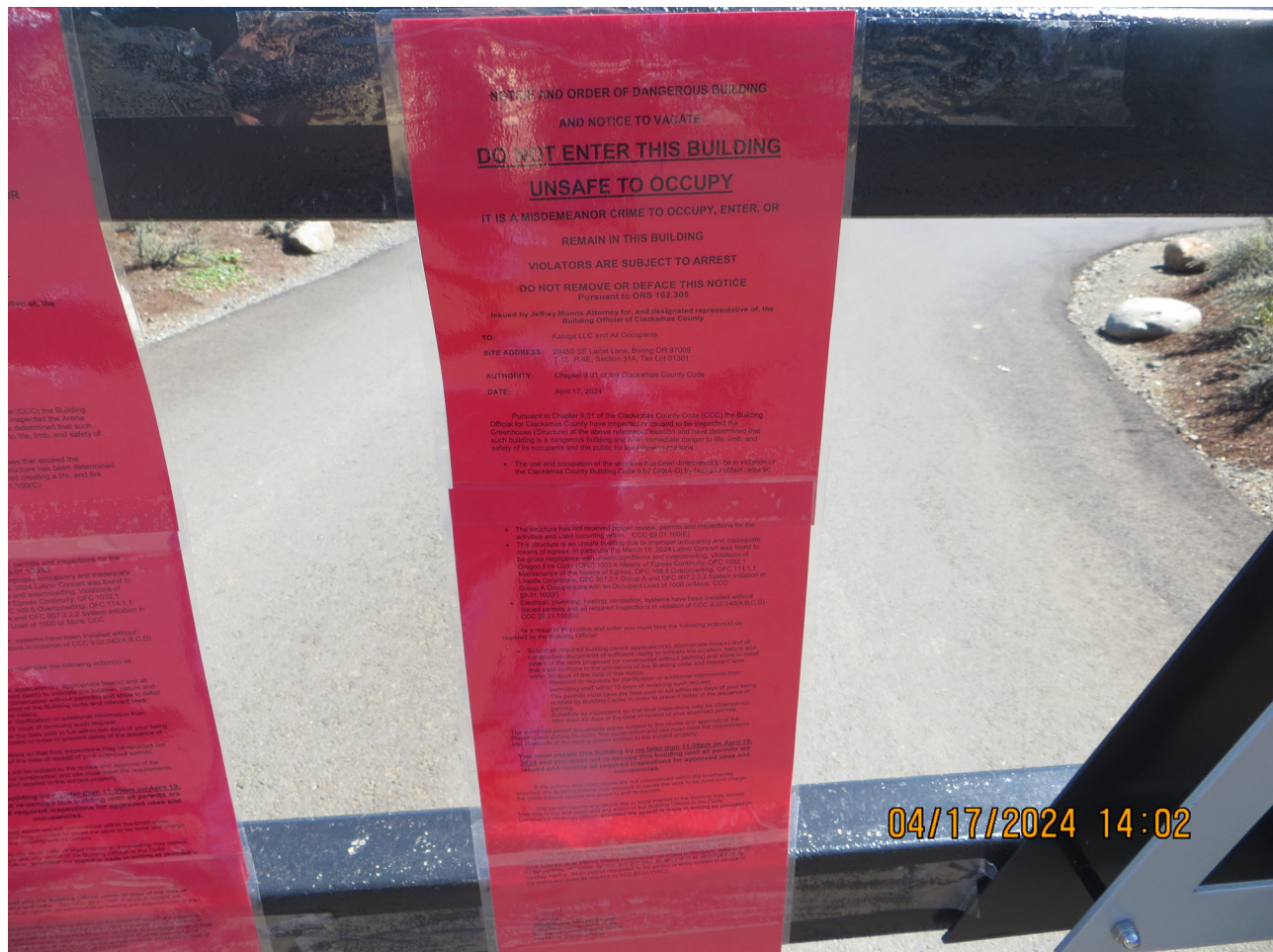
Executed on this 17th day of April 2024.

By:


Kimberly Benthin
Code Enforcement Specialist









7019 1640 0000 8200 8365

U.S. Postal Service™ CERTIFIED MAIL® RECEIPT Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

Boring, OR 97009

Certified Mail Fee \$4.40

Extra Services & Fees (check box, add fee as appropriate)

☐ Return Receipt (hardcopy) \$3.65

☐ Return Receipt (electronic) \$0.00

☐ Certified Mail Restricted Delivery \$0.00

☐ Adult Signature Required \$0.00

☐ Adult Signature Restricted Delivery \$0.00

Postage \$2.11

Total Postage and Fees \$10.16

Sent To

Mt Hood Center Equine, Kellie Puckett, Registered Agent
29450 SE Lariat Ln
Boring OR 97009

PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions

0108

77

Postmark
Here

04/17/2024

7019 1640 0000 8200 8341

U.S. Postal Service™ CERTIFIED MAIL® RECEIPT Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

Boring, OR 97009

Certified Mail Fee \$4.40

Extra Services & Fees (check box, add fee as appropriate)

☐ Return Receipt (hardcopy) \$3.65

☐ Return Receipt (electronic) \$0.00

☐ Certified Mail Restricted Delivery \$0.00

☐ Adult Signature Required \$0.00

☐ Adult Signature Restricted Delivery \$0.00

Postage \$2.11

Total Postage and Fees \$10.16

Sent To

Kaluga LLC
Aaron Shelley, Registered Agent
29450 SE Lariat Ln
Boring OR 97009

PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions

0108

77

Postmark
Here

04/17/2024

7019 1640 0000 8200 8358

U.S. Postal Service™ CERTIFIED MAIL® RECEIPT Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

Vernonia, OR 97064

Certified Mail Fee \$4.40

Extra Services & Fees (check box, add fee as appropriate)

☐ Return Receipt (hardcopy) \$3.65

☐ Return Receipt (electronic) \$0.00

☐ Certified Mail Restricted Delivery \$0.00

☐ Adult Signature Required \$0.00

☐ Adult Signature Restricted Delivery \$0.00

Postage \$2.11

Total Postage and Fees \$10.16

Sent To

Carlyle Conservation Foundation LLC
172561095 AIS Services LLC
60995 Stoney Point Rd
Vernonia OR 97064

PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions

0108

77

Postmark
Here

04/17/2024

7019 1640 0000 8200 8273

U.S. Postal Service™ CERTIFIED MAIL® RECEIPT Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

Burlingame, CA 94010

Certified Mail Fee \$4.40

Extra Services & Fees (check box, add fee as appropriate)

☐ Return Receipt (hardcopy) \$3.65

☐ Return Receipt (electronic) \$0.00

☐ Certified Mail Restricted Delivery \$0.00

☐ Adult Signature Required \$0.00

☐ Adult Signature Restricted Delivery \$0.00

Postage \$2.11

Total Postage and Fees \$10.16

Sent To

Kaluga LLC
5 Kingswood Cir
Hillsborough, CA 94010

PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions

0108

77

Postmark
Here

04/17/2024

7019 1640 0000 8200 8327

U.S. Postal Service™ CERTIFIED MAIL® RECEIPT Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

Boring, OR 97009

Certified Mail Fee \$4.40

Extra Services & Fees (check box, add fee as appropriate)

☐ Return Receipt (hardcopy) \$3.65

☐ Return Receipt (electronic) \$0.00

☐ Certified Mail Restricted Delivery \$0.00

☐ Adult Signature Required \$0.00

☐ Adult Signature Restricted Delivery \$0.00

Postage \$2.11

Total Postage and Fees \$10.16

Sent To

Arabella Intellect, Dean Najdawi Registered Agent ...
29450 SE Lariat Ln
Boring OR 97009

PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions

0108

77

Postmark
Here

04/17/2024

7019 1640 0000 8200 8303

U.S. Postal Service™ CERTIFIED MAIL® RECEIPT Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

Boring, OR 97009

Certified Mail Fee \$4.40

Extra Services & Fees (check box, add fee as appropriate)

☐ Return Receipt (hardcopy) \$3.65

☐ Return Receipt (electronic) \$0.00

☐ Certified Mail Restricted Delivery \$0.00

☐ Adult Signature Required \$0.00

☐ Adult Signature Restricted Delivery \$0.00

Postage \$2.11

Total Postage and Fees \$10.16

Sent To

Plaza El Toro Pinto, Magdala LLC, Registered Agent
29450 SE Lariat Ln
Boring OR 97009

PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions

0108

77

Postmark
Here

04/17/2024

7019 1640 0000 8200 8297

U.S. Postal Service™ CERTIFIED MAIL® RECEIPT Domestic Mail Only	
For delivery information, visit our website at www.usps.com ®.	
Oregon City, OR 97045	
Certified Mail Fee \$4.40	0108 77
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy) \$0.00	
<input type="checkbox"/> Return Receipt (electronic) \$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery \$0.00	
<input type="checkbox"/> Adult Signature Required \$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery \$0.00	
Postage \$2.11	Postmark Here APR 17 2024
Total Postage and Fees \$10.16	04/17/2024
Pat's Pound & Pour LLC 19612 S Ferguson Rd Oregon City OR 97045	
PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions	

7019 1640 0000 8200 8334

U.S. Postal Service™ CERTIFIED MAIL® RECEIPT Domestic Mail Only	
For delivery information, visit our website at www.usps.com ®.	
Boring, OR 97009	
Certified Mail Fee \$4.40	0108 77
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy) \$0.00	
<input type="checkbox"/> Return Receipt (electronic) \$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery \$0.00	
<input type="checkbox"/> Adult Signature Required \$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery \$0.00	
Postage \$2.11	Postmark Here APR 17 2024
Total Postage and Fees \$10.16	04/17/2024
Magdala LLC, Aaron Shelley, Registered Agent 29450 SE Lariat Ln Boring OR 97009	
PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions	

7019 1640 0000 8200 8280

U.S. Postal Service™ CERTIFIED MAIL® RECEIPT Domestic Mail Only	
For delivery information, visit our website at www.usps.com ®.	
Sandy, OR 97055	
Certified Mail Fee \$4.40	0108 77
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy) \$0.00	
<input type="checkbox"/> Return Receipt (electronic) \$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery \$0.00	
<input type="checkbox"/> Adult Signature Required \$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery \$0.00	
Postage \$2.11	Postmark Here APR 17 2024
Total Postage and Fees \$10.16	04/17/2024
Odin's Halls Brazilian Jiu Jitsu Oregon LLC Anthony Speckman, Registered Agent 38759 Barlow Parkway Sandy, OR 97055	
PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions	

7019 1640 0000 8200 8310

U.S. Postal Service™ CERTIFIED MAIL® RECEIPT Domestic Mail Only	
For delivery information, visit our website at www.usps.com ®.	
Boring, OR 97009	
Certified Mail Fee \$4.40	0108 77
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy) \$0.00	
<input type="checkbox"/> Return Receipt (electronic) \$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery \$0.00	
<input type="checkbox"/> Adult Signature Required \$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery \$0.00	
Postage \$2.11	Postmark Here APR 17 2024
Total Postage and Fees \$10.16	04/17/2024
Mt Hood Center, Dean Najdawi, Registered Agent 29450 SE Lariat Ln Boring OR 97009	
PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions	

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

Arabella Intellect, Dean Najdawi Registered Agent
29450 SE Lariat Ln
Boring OR 97009



9590 9402 5770 0003 1350 25

2. Article Number (Transfer from carrier label)

7019 1640 0000 8200 8327

PS Form 3811, July 2015 PSN 7530-02-000-9053

Domestic Return Receipt

COMPLETE THIS SECTION ON DELIVERY

A. Signature

X

☐ Agent☒ Addressee

B. Received by (Printed Name)

Jill Shelley

C. Date of Delivery

4-20

D. Is delivery address different from item 1? ☐ Yes
If YES, enter delivery address below: ☒ No

3. Service Type

- ☐ Adult Signature
- ☐ Adult Signature Restricted Delivery
- ☒ Certified Mail®
- ☐ Certified Mail Restricted Delivery
- ☐ Collect on Delivery
- ☐ Collect on Delivery Restricted Delivery
- ☐ Insured Mail
- ☐ Insured Mail Restricted Delivery (over \$500)

- ☐ Priority Mail Express®
- ☐ Registered Mail™
- ☐ Registered Mail Restricted Delivery
- ☐ Return Receipt for Merchandise
- ☐ Signature Confirmation™
- ☐ Signature Confirmation Restricted Delivery

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

Mt Hood Center Equine, Kellie Puckett, Registered Agent
29450 SE Lariat Ln
Boring OR 97009



9590 9402 5770 0003 1353 84

7019 1640 0000 8200 8365

PS Form 3811, July 2015 PSN 7530-02-000-9053

Domestic Return Receipt

COMPLETE THIS SECTION ON DELIVERY

A. Signature

X

☐ Agent☒ Addressee

B. Received by (Printed Name)

Jill Shelley

C. Date of Delivery

4-20

D. Is delivery address different from item 1? ☐ Yes
If YES, enter delivery address below: ☒ No

3. Service Type

- ☐ Adult Signature
- ☐ Adult Signature Restricted Delivery
- ☒ Certified Mail®
- ☐ Certified Mail Restricted Delivery
- ☐ Collect on Delivery
- ☐ Collect on Delivery Restricted Delivery
- ☐ Insured Mail
- ☐ Insured Mail Restricted Delivery (over \$500)

- ☐ Priority Mail Express®
- ☐ Registered Mail™
- ☐ Registered Mail Restricted Delivery
- ☐ Return Receipt for Merchandise
- ☐ Signature Confirmation™
- ☐ Signature Confirmation Restricted Delivery

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

Mt Hood Center, Dean Najdawi, Registered Agent
29450 SE Lariat Ln
Boring OR 97009



9590 9402 5770 0003 1353 60

7019 1640 0000 8200 8310

PS Form 3811, July 2015 PSN 7530-02-000-9053

Domestic Return Receipt

COMPLETE THIS SECTION ON DELIVERY

A. Signature

X

☐ Agent☒ Addressee

B. Received by (Printed Name)

Jill Shelley

C. Date of Delivery

4-20

D. Is delivery address different from item 1? ☐ Yes
If YES, enter delivery address below: ☒ No

3. Service Type

- ☐ Adult Signature
- ☐ Adult Signature Restricted Delivery
- ☒ Certified Mail®
- ☐ Certified Mail Restricted Delivery
- ☐ Collect on Delivery
- ☐ Collect on Delivery Restricted Delivery
- ☐ Insured Mail
- ☐ Insured Mail Restricted Delivery (over \$500)

- ☐ Priority Mail Express®
- ☐ Registered Mail™
- ☐ Registered Mail Restricted Delivery
- ☐ Return Receipt for Merchandise
- ☐ Signature Confirmation™
- ☐ Signature Confirmation Restricted Delivery

USPS TRACKING#



PORTLAND, OR RPDC 972

20 APR 2024 PM 3 L

First-Class Mail
Postage & Fees Paid
USPS
Permit No. G-10

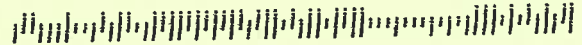
9590 9402 5770 0003 1350 25

United States
Postal Service

• Sender: Please print your name, address, and ZIP+4® in this box•

V00 350 19

Clackamas County
Code Enforcement Division
150 Beavercreek Rd
Oregon City, OR 97045



USPS TRACKING#



PORTLAND, OR RPDC 972

20 APR 2024 PM 3 L

First-Class Mail
Postage & Fees Paid
USPS
Permit No. G-10

9590 9402 5770 0003 1353 84

United States
Postal Service

• Sender: Please print your name, address, and ZIP+4® in this box•

V00 350 19

Clackamas County
Code Enforcement Division
150 Beavercreek Rd
Oregon City, OR 97045



USPS TRACKING#



PORTLAND, OR RPDC 972

20 APR 2024 PM 3 L

First-Class Mail
Postage & Fees Paid
USPS
Permit No. G-10

9590 9402 5770 0003 1353 60

United States
Postal Service

• Sender: Please print your name, address, and ZIP+4® in this box•

V00 350 19

Clackamas County
Code Enforcement Division
150 Beavercreek Rd
Oregon City, OR 97045

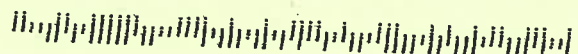


EXHIBIT BQ PAGE 4 OF 8

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

Kaluga LLC
5 Kingswood Cir
Hillsborough, CA 94010



9590 9402 5770 0003 1353 91

2. Article Number (Transfer from service label)

7019 1640 0000 8200 8273

PS Form 3811, July 2015 PSN 7530-02-000-9053

Domestic Return Receipt

COMPLETE THIS SECTION ON DELIVERY

A. Signature

X *M. Nym*☐ Agent☐ Addressee

B. Received by (Printed Name)

C. Date of Delivery

*4/20/15*D. Is delivery address different from item 1? ☐ Yes
If YES, enter delivery address below: ☐ No

3. Service Type

☐ Adult Signature☐ Adult Signature Restricted Delivery☒ Certified Mail®☐ Certified Mail Restricted Delivery☐ Collect on Delivery☐ Collect on Delivery Restricted Delivery☐ Insured Mail☐ Insured Mail Restricted Delivery (over \$500)☐ Priority Mail Express®☐ Registered Mail™☐ Registered Mail Restricted Delivery☐ Return Receipt for Merchandise☐ Signature Confirmation™☐ Signature Confirmation Restricted Delivery

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

Kaluga LLC
Aaron Shelley, Registered Agent
29450 SE Lariat Ln
Boring OR 97009



9590 9402 5770 0003 1351 31

2. Article Number (Transfer from service label)

7019 1640 0000 8200 8341

PS Form 3811, July 2015 PSN 7530-02-000-9053

Domestic Return Receipt

COMPLETE THIS SECTION ON DELIVERY

A. Signature

X *A. Shelley*☐ Agent☒ Addressee

B. Received by (Printed Name)

C. Date of Delivery

*4-20*D. Is delivery address different from item 1? ☐ Yes
If YES, enter delivery address below: ☒ No

3. Service Type

☐ Adult Signature☐ Adult Signature Restricted Delivery☒ Certified Mail®☐ Certified Mail Restricted Delivery☐ Collect on Delivery☐ Collect on Delivery Restricted Delivery☐ Insured Mail☐ Insured Mail Restricted Delivery (over \$500)☐ Priority Mail Express®☐ Registered Mail™☐ Registered Mail Restricted Delivery☐ Return Receipt for Merchandise☐ Signature Confirmation™☐ Signature Confirmation Restricted Delivery

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

Plaza El Toro Pinto, Magdala LLC, Registered Agent
29450 SE Lariat Ln
Boring OR 97009



9590 9402 5770 0003 1350 32

2. Article Number (Transfer from service label)

7019 1640 0000 8200 8303

PS Form 3811, July 2015 PSN 7530-02-000-9053

Domestic Return Receipt

COMPLETE THIS SECTION ON DELIVERY

A. Signature

X *A. Shelley*☐ Agent☒ Addressee

B. Received by (Printed Name)

C. Date of Delivery

*4-20*D. Is delivery address different from item 1? ☐ Yes
If YES, enter delivery address below: ☒ No

3. Service Type

☐ Adult Signature☐ Adult Signature Restricted Delivery☒ Certified Mail®☐ Certified Mail Restricted Delivery☐ Collect on Delivery☐ Collect on Delivery Restricted Delivery☐ Insured Mail☐ Insured Mail Restricted Delivery (over \$500)☐ Priority Mail Express®☐ Registered Mail™☐ Registered Mail Restricted Delivery☐ Return Receipt for Merchandise☐ Signature Confirmation™☐ Signature Confirmation Restricted Delivery

USPS TRACKING#



SAN FRANCISCO CA 940

20 APR 2024 PM 2 L

9590 9402 5770 0003 1353 91

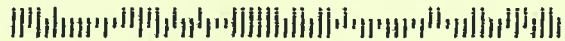
United States
Postal Service

• Sender: Please print your name, address, and ZIP+4® in this box•

V00350 19

Clackamas County
Code Enforcement Division
150 Beavercreek Rd
Oregon City, OR 97045

First-Class Mail
Postage & Fees Paid
USPS
Permit No. G-10



USPS TRACKING#



PORTLAND OR RPDC 972

20 APR 2024 PM 3 L

9590 9402 5770 0003 1351 31

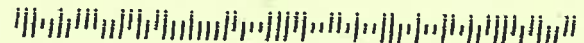
United States
Postal Service

• Sender: Please print your name, address, and ZIP+4® in this box•

V00350 19

Clackamas County
Code Enforcement Division
150 Beavercreek Rd
Oregon City, OR 97045

First-Class Mail
Postage & Fees Paid
USPS
Permit No. G-10



USPS TRACKING#



PORTLAND OR RPDC 972

20 APR 2024 PM 3 L

9590 9402 5770 0003 1350 32

United States
Postal Service

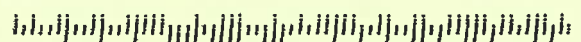
• Sender: Please print your name, address, and ZIP+4® in this box•

V00350 19

Clackamas County
Code Enforcement Division
150 Beavercreek Rd
Oregon City, OR 97045

First-Class Mail
Postage & Fees Paid
USPS
Permit No. G-10

5-430250



SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

Carlyle Conservation Foundation LLC
172561095 AIS Services LLC
60995 Stoney Point Rd
Vernonia OR 97064



9590 9402 5770 0003 1351 24

Article Number (Transfer from service label)

7019 1640 0000 8200 8358

PS Form 3811, July 2015 PSN 7530-02-000-9053

Domestic Return Receipt

COMPLETE THIS SECTION ON DELIVERY

A. Signature

X

☒ Agent☐ Addressee

B. Received by (Printed Name)

Kendra Schlegel

C. Date of Delivery

4/19/24

D. Is delivery address different from item 1? ☐ Yes
If YES, enter delivery address below: ☒ No

3. Service Type

☐ Adult Signature☐ Adult Signature Restricted Delivery☒ Certified Mail®☐ Certified Mail Restricted Delivery☐ Collect on Delivery☐ Collect on Delivery Restricted Delivery☐ Insured Mail☐ Insured Mail Restricted Delivery (over \$500)☐ Priority Mail Express®☐ Registered Mail™☐ Registered Mail Restricted Delivery☐ Return Receipt for Merchandise☐ Signature Confirmation™☐ Signature Confirmation Restricted Delivery

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

Magdala LLC, Aaron Shelley, Registered Agent
29450 SE Lariat Ln
Boring OR 97009



9590 9402 5770 0003 1353 77

Article Number (Transfer from service label)

7019 1640 0000 8200 8334

PS Form 3811, July 2015 PSN 7530-02-000-9053

Domestic Return Receipt

COMPLETE THIS SECTION ON DELIVERY

A. Signature

X

☐ Agent☒ Addressee

B. Received by (Printed Name)

C. Date of Delivery

4-20

D. Is delivery address different from item 1? ☐ Yes
If YES, enter delivery address below: ☒ No

3. Service Type

☐ Adult Signature☐ Adult Signature Restricted Delivery☒ Certified Mail®☐ Certified Mail Restricted Delivery☐ Collect on Delivery☐ Collect on Delivery Restricted Delivery☐ Insured Mail☐ Insured Mail Restricted Delivery (over \$500)☐ Priority Mail Express®☐ Registered Mail™☐ Registered Mail Restricted Delivery☐ Return Receipt for Merchandise☐ Signature Confirmation™☐ Signature Confirmation Restricted Delivery

USPS TRACKING #



9590 9402 5770 0003 1351 24

First-Class Mail
Postage & Fees Paid
USPS
Permit No. G-10

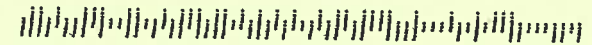
United States
Postal Service

• Sender: Please print your name, address, and ZIP+4® in this box•

V0035019

Clackamas County
Code Enforcement Division
150 Beaver Creek Rd
Oregon City, OR 97045

5-430250



USPS TRACKING #



9590 9402 5770 0003 1353 77

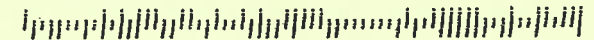
First-Class Mail
Postage & Fees Paid
USPS
Permit No. G-10

United States
Postal Service

• Sender: Please print your name, address, and ZIP+4® in this box•

V0035019

Clackamas County
Code Enforcement Division
150 Beaver Creek Rd
Oregon City, OR 97045





Citation No. 35019-1 Zoning

Case No. V0035019

ADMINISTRATIVE CITATION

Date Issued: April 23, 2024

Name and Address of Person(s) Cited:

Name: Kaluga LLC
Mailing Address: 5 Kingswood Cir.
City, State, Zip: Hillsborough, CA 94010

Date Violation(s) Confirmed: On the 23rd day of April 2024, the person(s) cited committed or allowed to be committed, the violations(s) of law described below, at the following address:

Address of Violations: 29450 SE Lariat Ln, Boring OR 97009
29444 SE Lariat Ln., Boring OR 97009
Legal Description: T1S, R4E Section 31A, Tax Lots 01300, 01301, 01303, 01400, 01401

Law(s) Violated

- ☐ Chapter 7.03 of Clackamas County Code, Road Use, Section
- ☐ Chapter 9.01 of CCC Uniform Code for the Abatement of Dangerous Buildings, Section
- ☐ Chapter 9.02 of CCC Application and Enforcement of the Clackamas County Building Code, Section 9.02.040,
- ☐ Chapter 9.03 of CCC Excavation and Grading, Section
- ☐ Chapter 10.03 of CCC Solid Waste and Wastes Management, Section 10.03.060 (A,B,C)
- ☒ Title 12 and 13 of CCC Zoning and Development Ordinance, Sections 12.316.030, - 12.1203.03
- ☐ Other law: _____

Description of the violation(s):

- 1) Commercial events, activities and uses such as rodeos, dances, weddings, Outdoor Arena Trail course, Outdoor and Indoor Concerts, New Years Eve party event, Markets, Shows and Festivals continue on the subject property in violation of the approved authorization Z0829-81 and Zoning District 316.

Maximum Civil Penalty \$2500.00 Fine \$400.00

- 2) The installation and operation of a campground with full recreational vehicle hookups and dry camping is not an authorized use on the subject property.

Maximum Civil Penalty \$2500.00 Fine \$400.00

You may avoid paying the civil penalty by abating the violation(s) and paying a total fine of \$800.00. If you have questions regarding how to abate the violation(s) contact Clackamas County Code Enforcement at the number listed below. Please be advised a \$75 monthly administrative fee is being assessed.

I hereby certify under penalties provided by ORS 153.990 that I have reasonable grounds to and do believe that the above person(s) committed or allowed to be committed the violation(s) described on this form.

Citation issued by: Jeffrey Munns

Date: April 23, 2024

Telephone No.: 503-742-5984

Department Initiating Enforcement Action: Department of Transportation and Development; Code Enforcement Section

EXHIBIT BR PAGE 1 OF 14

PLEASE READ CAREFULLY!

You have been cited for the violations(s) of law stated on the front of this form. You MUST exercise ONE of the following options within fifteen calendar days of the date of this citation.

If you fail to exercise one of these options within fifteen calendar days of the citation date, the County may request a hearing before the Code Enforcement Hearings Officer following which you may be ordered to pay the maximum civil penalty and abate the violation.

Options:

1. Abate the violation and pay the fine. Sign the statement of Understanding below and deliver or mail this form, together with a check or money order payable to Clackamas County in the amount of the fine to:
Clackamas County Code Enforcement Section
150 Beavercreek Rd.
Oregon City, OR 97045
2. Request a hearing in writing. You may request a hearing to contest the violation(s) alleged. A written request for a hearing must be mailed to Clackamas County at the address listed above or sent to codeenforcement@clackamas.us.

A request for hearing must contain all of the following information:

- a. Your name and address;
- b. A copy of the citation or the Citation No. and Case No.; and,
- c. The description of the relief you are requesting.

At the hearing, an administrative fee may be assessed by the Hearings Officer in addition to civil penalty(ies) if the Hearings Officer concludes you are responsible for the violation. If a civil penalty is imposed the amount will likely exceed the fine amount on this citation.

STATEMENT OF UNDERSTANDING

I, the undersigned, do hereby acknowledge that I understand the following:

1. By paying the fine I admit the existence of the violation(s) alleged on this citation and my responsibility for it.
2. Paying the fine does not relieve me of my responsibility to correct the violation and to comply with all applicable laws.
3. Additional citations may be issued to me if I fail to correct the violation or violate other applicable laws.

Signature: _____ Date: _____

Address: _____
City, State, Zip

Contact Number: _____ Email: _____

Violation File # : V0035019



Citation No. 35019-2 Arena

Case No. V0035019

ADMINISTRATIVE CITATION

Date Issued: April 23, 2024

Name and Address of Person(s) Cited:

6

Name: Kaluga LLC
Mailing Address: 5 Kingswood Cir.
City, State, Zip: Hillsborough, CA 94010

Date Violations Confirmed: On the 23rd day of April 2024, the person(s) cited committed or allowed to be committed, the violations of law described below, at the following address:

Address of Violations: 29450 SE Lariat Ln, Boring OR 97009
Legal Description: T1S, R4E Section 31A, Tax Lots 01301

Law(s) Violated

- ☐ Chapter 7.03 of Clackamas County Code, Road Use, Section
☐ Chapter 9.01 of CCC Uniform Code for the Abatement of Dangerous Buildings, Section
☒ Chapter 9.02 of CCC Application and Enforcement of the Clackamas County Building Code, Section 9.02.040, (A,B,C,D)
☐ Title 12 and 13 of CCC Zoning and Development Ordinance, Section

Description of the violation(s):

- 1) The Arena Building has numerous construction changes, occupancy changes including but not limited to a Ballroom, Food Prep areas, Bathrooms, Café, Upstairs remodeling, Gym, Storage area, Brides Room, Conference Room all without the benefit of permits and inspections.

Maximum Civil Penalty \$1,000.00

Fine: This is not subject to fine amount.

- 2) The Arena Building has electrical installation without the benefit of permits and all required inspections.

Maximum Civil Penalty \$1,000.00

Fine: This is not subject to fine amount.

- 3) The Arena Building has mechanical systems installed (heating and cooling) installed without the benefit of permits and inspections.

Maximum Civil Penalty \$1,000.00

Fine: This is not subject to fine amount.

- 4) The Arena Building has plumbing installed without the benefit of permits and all required inspections.

Maximum Civil Penalty \$1,000.00

Fine: This is not subject to fine amount.

You may avoid paying the civil penalty by abating the violation. If you have questions regarding how to abate the violation(s) contact Clackamas County Code Enforcement at the number listed below. Please be advised a \$75 monthly administrative fee is being assessed.

I hereby certify under penalties provided by ORS 153.990 that I have reasonable grounds to and do believe that the above person(s) committed or allowed to be committed the violation(s) described on this form.

Citation issued by: Jeffrey Munns

Date: April 23, 2024

Telephone No.: 503-742-5984

Department Initiating Enforcement Action: Department of Transportation and Development; Code Enforcement Section

PLEASE READ CAREFULLY!

You have been cited for the violation(s) of law stated on the front of this form. You MUST exercise ONE of the following options within fifteen calendar days of the date of this citation.

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150 Beavercreek Rd.
Oregon City, OR 97045
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A request for hearing must contain all of the following information:

- a. Your name and address;
- b. A copy of the citation or the Citation No. and Case No.; and,
- c. The description of the relief you are requesting.

At the hearing, an administrative fee may be assessed by the Hearings Officer in addition to civil penalty(ies) if the Hearings Officer concludes you are responsible for the violation. If a civil penalty is imposed the amount will likely exceed the fine amount on this citation.

STATEMENT OF UNDERSTANDING

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3. Additional citations may be issued to me if I fail to correct the violation or violate other applicable laws.

Signature: _____ Date: _____

Address: _____

City, State, Zip

Contact Number: _____ Email: _____

Violation File # : V0035019



Citation No. 35019-3 Greenhouse

Case No. V0035019

ADMINISTRATIVE CITATION

Date Issued: April 23, 2024

Name and Address of Person(s) Cited:

Name: Kaluga LLC
Mailing Address: 5 Kingswood Cir.
City, State, Zip: Hillsborough, CA 94010

Date Violations Confirmed: On the 23rd day of April 2024, the person(s) cited committed or allowed to be committed, the violations of law described below, at the following address:

Address of Violations: 29450 SE Lariat Ln, Boring OR 97009
Legal Description: T1S, R4E Section 31A, Tax Lots 01301

Law(s) Violated

- ☐ Chapter 7.03 of Clackamas County Code, Road Use, Section
☐ Chapter 9.01 of CCC Uniform Code for the Abatement of Dangerous Buildings, Section
☒ Chapter 9.02 of CCC Application and Enforcement of the Clackamas County Building Code, Section 9.02.040, (A,B,C,D)
☐ Title 12 and 13 of CCC Zoning and Development Ordinance, Section
☐ Other law: _____

Description of the violation(s):

- 1) The Greenhouse structure was constructed without the benefit of permits and inspections.
Maximum Civil Penalty \$1,000.00 Fine: This is not subject to fine amount.
- 2) The Greenhouse structure has an electrical installation without the benefit of permits and all inspections.
Maximum Civil Penalty \$1,000.00 Fine: This is not subject to fine amount.
- 3) The Greenhouse structure has mechanical systems (heating and cooling) installed without the benefit of permits and inspections.
Maximum Civil Penalty \$1,000.00 Fine: This is not subject to fine amount.
- 4) The Greenhouse structure has plumbing installed without the benefit of permits and inspections.
Maximum Civil Penalty \$1,000.00 Fine: This is not subject to fine amount.

You may avoid paying the civil penalty by abating the violations. If you have questions regarding how to abate the violation(s) contact Clackamas County Code Enforcement at the number listed below. Please be advised a \$75 monthly administrative fee is being assessed.

I hereby certify under penalties provided by ORS 153.990 that I have reasonable grounds to and do believe that the above person(s) committed or allowed to be committed the violation(s) described on this form.

Citation issued by: Jeffrey Munns

Date: April 23 2024

Telephone No.: 503-742-5984

Department Initiating Enforcement Action: Department of Transportation and Development; Code Enforcement Section

EXHIBIT BR PAGE 5 OF 14

PLEASE READ CAREFULLY!

You have been cited for the violation(s) of law stated on the front of this form. You MUST exercise ONE of the following options within fifteen calendar days of the date of this citation.

If you fail to exercise one of these options within fifteen calendar days of the citation date, the County may request a hearing before the Code Enforcement Hearings Officer following which you may be ordered to pay the maximum civil penalty and abate the violation.

Options:

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Clackamas County Code Enforcement Section
150 Beaver Creek Rd.
Oregon City, OR 97045
2. Request a hearing in writing. You may request a hearing to contest the violation(s) alleged. A written request for a hearing must be mailed to Clackamas County at the address listed above or sent to codeenforcement@clackamas.us.

A request for hearing must contain all of the following information:

- a. Your name and address;
- b. A copy of the citation or the Citation No. and Case No.; and,
- c. The description of the relief you are requesting.

At the hearing, an administrative fee may be assessed by the Hearings Officer in addition to civil penalty(ies) if the Hearings Officer concludes you are responsible for the violation. If a civil penalty is imposed the amount will likely exceed the fine amount on this citation.

STATEMENT OF UNDERSTANDING

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3. Additional citations may be issued to me if I fail to correct the violation or violate other applicable laws.

Signature: _____ Date: _____

Address: _____

City, State, Zip

Contact Number: _____ Email: _____

Violation File # : V0035019



Citation No. 35019-4 LookOut Deck

Case No. V0035019

ADMINISTRATIVE CITATION

Date Issued: April 23, 2024

Name and Address of Person(s) Cited:

Name: Kaluga LLC
Mailing Address: 5 Kingswood Cir.
City, State, Zip: Hillsborough, CA 94010

Date Violations Confirmed: On the 23rd day of April 2024, the person(s) cited committed or allowed to be committed, the violations of law described below, at the following address:

Address of Violations: 29450 SE Lariat Ln, Boring OR 97009
Legal Description: T1S, R4E Section 31A, Tax Lots 01301, 01401, 01400

Law(s) Violated

- ☐ Chapter 7.03 of Clackamas County Code, Road Use, Section
☐ Chapter 9.01 of CCC Uniform Code for the Abatement of Dangerous Buildings, Section
☒ Chapter 9.02 of CCC Application and Enforcement of the Clackamas County Building Code, Section 9.02.040, (A,D)
☐ Title 12 and 13 of CCC Zoning and Development Ordinance, Section
☐ Other law: _____

Description of the violation(s):

- 1) The Lookout Deck Cargo Container structure was placed and a deck constructed on top without the benefit of permits and inspections.

Maximum Civil Penalty \$1,000.00

Fine: This is not subject to fine amount.

- 2) The Lookout Deck Cargo Container structure has an electrical installation without the benefit of permits and all required inspections.

Maximum Civil Penalty \$1,000.00

Fine: This is not subject to fine amount.

You may avoid paying the civil penalty by abating the violations. If you have questions regarding how to abate the violation(s) contact Clackamas County Code Enforcement at the number listed below. Please be advised a \$75 monthly administrative fee is being assessed.

I hereby certify under penalties provided by ORS 153.990 that I have reasonable grounds to and do believe that the above person(s) committed or allowed to be committed the violation(s) described on this form.

Citation issued by: Jeffrey Munns

Date: April 23, 2024

Telephone No.: 503-742-5984

Department Initiating Enforcement Action: Department of Transportation and Development; Code Enforcement Section

PLEASE READ CAREFULLY!

You have been cited for the violation(s) of law stated on the front of this form. You MUST exercise ONE of the following options within fifteen calendar days of the date of this citation.

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Options:

1. Abate the violation and pay the fine. Sign the statement of Understanding below and deliver or mail this form, together with a check or money order payable to Clackamas County in the amount of the fine to:
Clackamas County Code Enforcement Section
150 Beavercreek Rd.
Oregon City, OR 97045
2. Request a hearing in writing. You may request a hearing to contest the violation(s) alleged. A written request for a hearing must be mailed to Clackamas County at the address listed above or sent to codeenforcement@clackamas.us.

A request for hearing must contain all of the following information:

- a. Your name and address;
- b. A copy of the citation or the Citation No. and Case No.; and,
- c. The description of the relief you are requesting.

At the hearing, an administrative fee may be assessed by the Hearings Officer in addition to civil penalty(ies) if the Hearings Officer concludes you are responsible for the violation. If a civil penalty is imposed the amount will likely exceed the fine amount on this citation.

STATEMENT OF UNDERSTANDING

I, the undersigned, do hereby acknowledge that I understand the following:

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3. Additional citations may be issued to me if I fail to correct the violation or violate other applicable laws.

Signature: _____ Date: _____

Address: _____

City, State, Zip

Contact Number: _____ Email: _____

Violation File # : V0035019



Citation No. 35019-5 Trestle Bridge

Case No. V0035019

ADMINISTRATIVE CITATION

Date Issued: April 23, 2024

Name and Address of Person(s) Cited:

Name: Kaluga LLC
Mailing Address: 5 Kingswood Cir.
City, State, Zip: Hillsborough, CA 94010

Date Violations Confirmed: On the 23rd day of April 2024, the person(s) cited committed or allowed to be committed, the violations of law described below, at the following address:

Address of Violations: 29450 SE Lariat Ln, Boring OR 97009
Legal Description: T1S, R4E Section 31A, Tax Lot 01301

Law(s) Violated

- ☐ Chapter 7.03 of Clackamas County Code, Road Use, Section
☐ Chapter 9.01 of CCC Uniform Code for the Abatement of Dangerous Buildings, Section
☒ Chapter 9.02 of CCC Application and Enforcement of the Clackamas County Building Code, Section 9.02.040, (A)
☐ Title 12 and 13 of CCC Zoning and Development Ordinance, Section
☐ Other law: _____

Description of the violation(s):

- 1) The Trestle Bridge structure was constructed and utilized for a commercial purpose without the benefit of permits and inspections.

Maximum Civil Penalty \$1,000.00

Fine: This is not subject to fine amount.

You may avoid paying the civil penalty by abating the violations. If you have questions regarding how to abate the violation(s) contact Clackamas County Code Enforcement at the number listed below. Please be advised a \$75 monthly administrative fee is being assessed.

I hereby certify under penalties provided by ORS 153.990 that I have reasonable grounds to and do believe that the above person(s) committed or allowed to be committed the violation(s) described on this form.

Citation issued by: Jeffrey Munns
Telephone No.: 503-742-5984

Date: April 23, 2024

Department Initiating Enforcement Action: Department of Transportation and Development; Code Enforcement Section

PLEASE READ CAREFULLY!

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Options:

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Clackamas County Code Enforcement Section
150 Beavercreek Rd.
Oregon City, OR 97045
2. Request a hearing in writing. You may request a hearing to contest the violation(s) alleged. A written request for a hearing must be mailed to Clackamas County at the address listed above or sent to codeenforcement@clackamas.us.

A request for hearing must contain all of the following information:

- a. Your name and address;
- b. A copy of the citation or the Citation No. and Case No.; and,
- c. The description of the relief you are requesting.

At the hearing, an administrative fee may be assessed by the Hearings Officer in addition to civil penalty(ies) if the Hearings Officer concludes you are responsible for the violation. If a civil penalty is imposed the amount will likely exceed the fine amount on this citation.

STATEMENT OF UNDERSTANDING

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3. Additional citations may be issued to me if I fail to correct the violation or violate other applicable laws.

Signature: _____ Date: _____

Address: _____

City, State, Zip

Contact Number: _____ Email: _____

Violation File # : V0035019



Citation No. 35019-6 Viewing Platform

Case No. V0035019

ADMINISTRATIVE CITATION

Date Issued: April 23, 2024

Name and Address of Person(s) Cited:

Name: Kaluga LLC
Mailing Address: 5 Kingswood Cir.
City, State, Zip: Hillsborough, CA 94010

Date Violations Confirmed: On the 23rd day of April 2024, the person(s) cited committed or allowed to be committed, the violations of law described below, at the following address:

Address of Violations: 29450 SE Lariat Ln, Boring OR 97009
Legal Description: T1S, R4E Section 31A, Tax Lot 01301

Law(s) Violated

- ☐ Chapter 7.03 of Clackamas County Code, Road Use, Section
☐ Chapter 9.01 of CCC Uniform Code for the Abatement of Dangerous Buildings, Section
☒ Chapter 9.02 of CCC Application and Enforcement of the Clackamas County Building Code, Section 9.02.040, (A)
☐ Title 12 and 13 of CCC Zoning and Development Ordinance, Section
☐ Other law: _____

Description of the violation(s):

- 1) The Viewing Platform structure was constructed and utilized for a commercial purpose without the benefit of permits and inspections.

Maximum Civil Penalty \$1,000.00

Fine: This is not subject to fine amount.

You may avoid paying the civil penalty by abating the violations. If you have questions regarding how to abate the violation(s) contact Clackamas County Code Enforcement at the number listed below. Please be advised a \$75 monthly administrative fee is being assessed.

I hereby certify under penalties provided by ORS 153.990 that I have reasonable grounds to and do believe that the above person(s) committed or allowed to be committed the violation(s) described on this form.

Citation issued by: Jeffrey Munns
Telephone No.: 503-742-5984

Date: April 23, 2024

Department Initiating Enforcement Action: Department of Transportation and Development; Code Enforcement Section

PLEASE READ CAREFULLY!

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Options:

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150 Beavercreek Rd.
Oregon City, OR 97045
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- c. The description of the relief you are requesting.

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STATEMENT OF UNDERSTANDING

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3. Additional citations may be issued to me if I fail to correct the violation or violate other applicable laws.

Signature: _____ Date: _____

Address: _____

City, State, Zip

Contact Number: _____ Email: _____

Violation File # : V0035019

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3. Additional citations may be issued to me if I fail to correct the violation or violate other applicable laws.

Signature: _____ Date: _____

Address: _____
City, State, Zip

Contact Number: _____ Email: _____

Violation File # : V0035019

Arena Structure						
Permit #	Permit Description	Submittal Date	Issuance	Inspections	Final	Current Status
P0079518	V0010615 - REPLACE EXISTING WATER HEATER IN EQUINE CENTER	4/6/2018	4/6/2018	Plumbing Final Inspection Approved 5/2/2018	Yes	Final
P0103418	Install three hose bibs.	5/1/2018	5/1/2018	Plumbing Final Inspection Denied 5/2/2018 1. Provide required back flow protection on hot and cold supply to hose connections. Label all hose bibbs “Non potable water, do not drink” (602.3) NOTE: Upstairs bathroom and kitchen sink that used to be apartment does not meet current or existing codes , remove fixtures and cap / remove piping or expose pipe, bring to current codes and provide required test. Also bring lower sink up to code, cap any unused kitchen fixtures. - Backflow Device Inspection Approved 5/9/2018 -Other/Misc Inspection Cancelled 5/9/2018	No	Expired 5/17/2021
E0519818	V0010615 - MT HOOD EQUESTRIAN CENTER ELECTRICAL UPGRADES	9/10/2018	9/10/2018	Other/Misc. Special Inspection for Code Violations Partial Approval 10/4/2018 1) Contractor will provide a site map showing the areas the tenant wants to occupy. The map will also show how the requested occupancy area will be separated from the rest of the building. Contractor is making good progress removing illegal wiring and making the building safe to occupy. I expect a final walkthrough to take place within two weeks. -Other/Misc. Partial Approval 11/5/2018 1) NW quadrant of stall area still being cleaned up and will be inspected next week. All other areas of the building have had illegal wiring removed or made code compliant. -Other/Misc. Inspection Partial Approval 12/5/2018 1) All illegal wiring has been removed or made code compliant throughout entire arena building. - Final Inspection Approved 12/5/2018 See notes on "190" inspection code completed today (<i>Other/Misc. inspection notes</i>)	Yes	Final

Arena Structure						
Permit #	Permit Description	Submittal Date	Issuance	Inspections	Final	Current Status
P0264718	V0010615 Equestrian Center - Decommission Kitchen Sink and Toilet, Sink in 1/2 Bath.	10/17/2018	10/17/2018	<p>Other/Misc. Inspection Partial Approval 10/18/2018</p> <p>Consultation with plumber on all piping that has been altered or added to existing plumbing.</p> <p>1. Cap copper waterlines behind main floor sink and lines that run overhead.</p> <p>2. Provide 4” for stack in wall that was reduced to 3” in main floor bathroom that is next to kitchen.</p> <p>3. Provide caps/ plug traps for existing bathroom over equestrian center until fixtures are in use at future date.</p> <p>NOTES: Bathroom and sink above arena (VIP Lounge) has been removed. The bathroom above the existing kitchen is the original bathroom and pipe, and has not been altered along with the main floor kitchen / bathroom area. The above items should take care of all work that was added or completed without permits. All remaining plumbing will be the original / existing plumbing.</p> <p>- Other/Misc Inspection Approved w/ Conditions 10/29/2018</p> <p>All alterations to existing plumbing have been repaired and capped. Remaining plumbing of kitchen, bath upstairs, and bathroom are all original plumbing to structure. Upstairs bathroom traps have been temporarily capped while not in use.</p> <p>- Plumbing Final Approved 10/29/2018</p>	Yes	Final
B0578118	V0010615 MT HOOD EQUESTRIAN CENTER - ADD CELL COMMUNICATOR TO FIRE ALARM	10/26/2018	11/14/2018	Final Fire Alarm Approved 12/18/2018	Yes	Final
B0590318	MT HOOD ESQUESTRIAN CENTER - CHANGE OF 3000 SQ FT FOR TOOL ROOM /STORAGE OF 97000 SQ FT BUILDING	11/5/2018	Permit not issued	No inspections.	N/A	Lobby - Plan Review fees never paid
B0651018	MT HOOD EQUESTRIAN CTR - 7 FIRE SPRINKLER HEADS TO COVER AREAS NOT COVERED BY ORIGINAL SYSTEM	12/5/2018	12/14/2018	<p>Final Fire Fire Sprinkler Approved 12/19/2018:</p> <p>Some existing head are painted and corroded and should be replaced</p>	Yes	Final

Arena Structure						
Permit #	Permit Description	Submittal Date	Issuance	Inspections	Final	Current Status
P0132219	MT HOOD CENTER-ADA UPGRADES TO LARGE BUILDING Plumbing Inspector Mike Archer added fixtures to permit on 7/22/2020 Inspection. Fees owed are \$1,139.04	5/23/2019	5/23/2019	-Ground Work Inspection Partial Approval 8/20/2019 1. Provide 3". Wye branch upper terminal clean outs on toilets in excess of 5'-0" from cleaned main and every 135 degree change in direction. Also 3" floor clean out as discussed. (707.4) NOTE: ok to cover ares not affected by changes. Bathroom groundwork still to come. - Ground Work Inspection Partial Approval 8/21/2019 Groundwork completed and ok for cover, floor drains and primers to come at rough. Upper terminal clean outs on carrier line, 1-1/2" floor drain line in carrier bathroom, three 3" toilet vents, two 3" floor clean out, and one 4" floor clean out at rough/ final. - Rough In Inspection Cancelled 3/18/2020 - Rough In Inspection Approved w/ Conditions 7/22/2020 Date: 7/22/2020 You need to add these fixtures to the permit prior to final. 5- sinks (9-total) 2- urinals (4-total) 6- water closets (7-total) 8- floor drains (8- total) 3- primer valves (3- total) 2- showers (4- total) 2- back flow devices (2- total) 1- bottle filler (1- total) 2- clothes washers (2- total) 50' of water service This inspection is also pending that the land use is approved. Owner says this is being reviewed by Clackamas County now for revisions. There is an RP Back flow devise 5' off water meter. It will need to be in a hot box with adequate heat source. Prior to final. There is also a Back Flow Device in a yard box for a possible connection to an existing well in the future. They will both need test reports at final. Clean outs are in place as well as the clean outs that Mike Archer required at ground work. (See ground work report) Ok to pull test and cover	No	Expired 1/22/2021
E0513219	MT HOOD EQUESTRIAN CENTER - ADDITION TO FIRE ALARM - NEW 200AMP PANEL	10/1/2019	10/1/2019	-Service & Rough-In Approved 11/25/2019 -Electrical Final Approved 7/14/2020	Yes	Final
B0185819	EPR - V0010615-ADA UPGRADES TO LARGE EQUESTRIAN BUILDING/ Toilet Room Changes, Shower, New Storage, Tack Sales, Firewall repairs and minor demo of non load bearing walls Revised permit application for scope of work received 9/24/2020. Original Scope of work for 'ADA Toilet Room Upgrade	4/16/2019	10/30/2020	No inspections.	No	Expired 4/11/2021
B0516219	MT HOOD EQUESTRIAN CENTER - ADDITION TO FIRE ALARM	10/1/2019	11/22/2019	Final Fire Alarm Inspection Approved w/ Conditions 11/26/2019 . <i>Label out building so the fire department know where to go</i>	Yes	Final
B0608019	V0035019 MT HOOD EQUESTRIAN CENTER - REROOF retro active roof already existing	11/19/2019	12/10/2019	Final Building Inspection Approved 12/11/2019	Yes	Final
E0446720	EPR - MT HOOD EQUESTRIAN CENTER - Replacement of existing electrical service with new 1600 amp service. All existing panels to remain	9/1/2020	1/31/2021	- Service or Feeder Inspection Cancelled 1/14/2021 - Service or Feeder Inspection Approved 1/15/2021	No	Expired 7/15/2021
B0515220	EPR - V0010615-ADA UPGRADES TO LARGE EQUESTRIAN BUILDING/ Toilet Room Changes, Shower, New Storage, Tack Sales, Firewall repairs and minor demo of non load bearing walls FIRE SPRINKLERwra	10/30/2020	12/4/2020	Fire Sprinkler Rough/Pressure Test Approved 12/7/2020 Fire Sprinkler Final Approved 12/7/2020	Yes	Final
B0053921	EPR - ADDING 2 GAS FURNACES, SPIRAL DUCTING AND GAS LINE	2/2/2021	5/4/2021	Gas piping/Pressure test Approved 5/5/2021 Mechanical Final Approved 5/5/2021	Yes	Final
B0283521	EPR - V0035019 - RELOCAT/ADD/REMOVE 3 SPRINKLER HEADS FOR MAIN BUILDING B0482219	5/27/2021	7/29/2021	Fire Sprinkler Final Approved 8/30/2021	Yes	Final

Arena Structure						
Permit #	Permit Description	Submittal Date	Issuance	Inspections	Final	Current Status
B0488421	Meeting Room TI	9/1/2021	Permit not issued	No Inspections.	No	Waiting Info
B0102322	Fire Life Safety Plan	2/15/2022	Permit not issued	No Inspections.	No	Prescreen. Land Use required prior to intake.

West Hay Barn

Permit #	Permit Description	Submitted Date	Revisions & Date	Issuance	Inspections	Current Status
B0101315	FUTURE TI- IN STORAGE BLD FIRING OUT INTERIOR WALLS & BUILDING MEZZANINE FOR PERSONAL USE	3/17/2015		6/11/2015		Final
P0128415	FUTURE TI- IN STORAGE BLD FIRING OUT INTERIOR WALLS & BUILDING MEZZANINE FOR PERSONAL USE PLUMBING	6/11/2015		6/11/2015	- Ground Work Inspection Approved 6/12/2015 - Rough In Approved 8/26/2015 - Backflow Device Inspection Approved 7/12/2019 - Plumbing Final Inspection Approved w/ Conditions 7/12/2019 No fixtures set in bathroom area at this time. Separate permit required when completed.	Final
B0482219	EPR -MT HOOD CENTER - BLDG - ADD EXTERIOR DOOR AND WINDOWS IN CONCRETE WALL PORTION - (was MT HOOD EQUESTRIAN CENTER)	9/13/2019	<p>Correction Letter from Building Codes sent 1/6/2020 Subject: B0482219 Mt. Hood Center Auxiliary 29540 S Lariat Lane Boring OR 97009 ADA Restrooms and Storefront Improvements</p> <p>I have reviewed the drawings for the project referenced above for compliance with the 2014 Oregon Structural Specialty Code (OSSC) and ICC A117.1 2009. The following items need to be addressed: 1.What is the use of each room of this space? Sheet 1 states it is an F1 however the statement of use dated 9/23/2019 states it is a meeting facility for equine education clinics and lectures which would classify it as an A-3. Provide an overview of the use and correct Sheet 1 with the actual occupancy. 2.Show the room furnishings, equipment, racks, counters, etc. on the floor plan. This is important to determine the occupancy load per OSSC Table 1004.1. 3.Remove the information which does not pertain to these plans and correct sheet 1.2 to show the actual dimensions. 4.Provide details of the construction of the retaining wall. What is the purpose of the retaining wall? 5.Why will the pump house be removed and the tank relocated? Does the tank or pump house serve any of the fire protection sprinkler system equipment? 6.The doors in a series through the ADA restroom are not ADA compliant. Please correct the affected sheets to show compliance with ICC A117.1 section 404.2.5. Doors in a series must have a space between them of 48" plus the width of the door (see attachment). Documents uploaded to Accela 7/17/2020: Submit 1 2nd FLR PLN, SUBMIT 1 1 FLOOR PLAN, SUBMIT 1 LG SECT, SUBMIT 1 1.1 EGRESS PLAN, SUBMIT 1 SECTION, SUBMIT 1 ELEV, SUBMIT 1 5.1 SECTION DTL, SUBMIT 1 1 SITE, SUBMIT 1 SECT DTL, SUBMIT 1 STRUCTUR FLOOR, SUBMIT 1 ADA SPEC, SUBMIT 1 STRUCTURAL S1</p>	Not issued. County departments waiting information: Septic, SDC, Engineering, Planning, Building.	No Inspections.	Waiting Info
E0147620	tenet improvement bathroom remodel for ADA compliance	3/16/2020		3/16/2020	- Electrical Final Inspection Cancelled 7/14/2020 - Electrical Rough-In/Cover Inspection Partial Approval 7/27/2020 Bathrooms	Expired 1/27/21
B0132721	EPR - V0005721- SPRINKLERS FOR AN UNPERMITTED COMMERCIAL USE - PER MATT R AND THE FIRE MARSHAL THEY WANT THE SPRINKLERS IN, AS THERE ARE CHILDREN IN WHAT IS THE "SCHOOL" AND FOR LIFE SAFETY REASONS ARE ALLOWING THIS ONE TO BE APPLIED FOR AND THEN ISSUED	3/17/2021		5/18/2021	Fire Sprinkler Final Inspection Approved 6/23/2021 - 2 sprinkler heads	Final
B0492821	West Building Stairway T-I	9/2/2021		Not issued.	No inspections.	Waiting Info

Other Structures and permits

Permit #	Permit Type	Structure	Permit Description	Submittal Date	Issuance	Inspections	Current Status
B0218718	Mechanical	No Record	No Record Description. Locked and void per notes that this should be a commercial permit and was pulled as residential.	4/27/2018	4/27/2018	No Inspections	Void
B0006221	Mechanical	No Record	add two furnaces, spiral ducting and gas line. Locked and void per notes that this should be a commercial permit and was pulled as residential.	1/5/2021	1/5/2021	No Inspections	Pending
B0005521	Mechanical	No Record	add mini split heat pumps. Locked and void per notes that this should be a commercial permit and was pulled as residential.	1/5/2021	1/5/2021	No inspections	Pending
B0490721	Building	Greenhouse	Greenhouse	9/1/2021	Not Issued	No inspections	Waiting Info
B0494521	Building	Container, Viewing Platform	Container, Viewing Platform	9/2/2021	Not Issued	No Inspections	Waiting Info
B0494021	Building	Trestle Bridge and Viewing Platform	Trestle Bridge and Viewing Platform	9/2/2021	Not Issued	No inspections	Waiting Info
B0493021	Building	Commecial Building for Storage - Pole tpe Building	Commecial Building for Storage - Pole tpe Building	9/2/2021	Not Issued	No inspections	Waiting Info
E0314921	Electrical	No Record	feeders, panel , transformer to provide power for irrigation pumps.	5/5/2021	5/5/2021	No Inspections	Expired 11/1/2021

Dear Madam or Sir,

In Response to requests from industrial plants, commercial office building owners/managers, hospitals, schools, and local governments, Clackamas County is providing a "Master Electrical Permit Program" to provide annual or more frequent electrical safety inspections of these facilities.

Annual inspections are necessary to comply with Oregon Revises Statute 470.630 for all electrical maintenance and installation work done in industrial, commercial and government properties by owners, contractors or employees, unless separate electrical permits/labels are purchased. Annual inspections eliminate the costly and time-consuming process of purchasing separate permits for electrical work done within the scope of the "Master Permit Program". Excluded from the "Master Permit Program" is work done on an electrical service, new building construction, hazardous locations or modifications that also require a building, plumbing and/or a mechanical permit.

Inspections are conducted to identify electrical hazards and to ensure electrical maintenance and installations are made safely and meet the minimum requirements of the National Electrical Code. These inspections are designed to include electrical maintenance, repairs and replacement of parts done by Limited Maintenance Electricians (LME), Limited Building Maintenance Electricians (LBME) and installation work performed by Journeyman Electricians. A Master Permit and inspections are required for work performed by persons licensed in the LME and LBME category. Annual inspections are conducted at an hourly flat rate, currently \$85.00 per hour.

Thank you for your interest in electrical safety.

Johnny Sapp

Electrical Inspector Supervisor

503-742-4764

Doug Boettcher

Electrical Inspector

503-307-6480

Electrical Master Permit Program

PURPOSE:

The Oregon Revised Statutes Chapter 479 “Electrical Safety Law” (ORS) and Oregon Administrative Rules (OAR) Chapter 918 require permits for electrical installations. This requirement can be met by obtaining a permit for each installation or by meeting the requirements of the Master Permit Program under ORS 479.560(3)(a). The Master Permit Program also satisfies the requirements of 918-282-0120 providing a means for the managers of the facility to report names and license numbers of all electrical employees as required for all Limited Maintenance Electricians (LME) and Limited Manufacturing Plant Electricians.

In addition, it is to promote electrical safety, eliminate electrical hazards and potential accidents or fires.

REQUIREMENTS:

The Master Permit Program requires periodic or at least annual electrical safety inspections. This eliminates the need to purchase individual electrical permits for work covered by the Master Permit.

WORK COVERED:

The electrical work covered by the Master Permit Program is all encompassing for installations performed at a covered site except for items listed as NOT covered.

Examples of work covered by the Master Permit Program are:

- Installation, extension or relocation of branch circuit outlets.
- Installation, extension, or relocation of feeder or panels.
- Replacement of electrical components, motors, ballasts, starters, etc.
- Installation or relocation of electrically operated machinery or process equipment and controls.
- Installation or relocation of light fixtures, switches and controls
- Installation, extension or relocation of limited energy systems and control panels for all types of data, network, signal, control and CCTV systems.

WORK NOT COVERED:

The following do NOT constitute “repair, alteration or replacement of existing electrical products” and require a separate permit and inspection.

- Electrical installations in a new building shell, structural retrofits or installation/alteration of load bearing walls.
- Any electrical installation in connection with changing the type of use or occupancy classification of the building or structure.
- Any addition which increases the square footage of the building or structure.
- Remodeling within an occupied existing shell involving more than 25% of the occupied floor area.
- Electrical installations which also involve a plumbing, structural or mechanical permit.
- Installation, maintenance or alteration of a main electrical service.

PROGRAM REQUIREMENTS:

The Master Permit Program covers work done on participating sites by employees holding an appropriate electrical license issued by the State of Oregon Building Codes Division. Work done by electrical contractors with employees holding appropriate licenses is also covered if they are included in the list of contractors of record under the Master Permit taken out by the owner or plant manager.

Each plant or site will maintain a record of all licensed employees and contractor electricians doing electrical work at the site including names, license numbers and type of electrical licenses. An updated roster shall be furnished to Clackamas County at each Master Permit Inspection.

The covered facility must also maintain a list of what electrical work is done including date, location, electrician name and a brief description of the work. This would include work performed by employees and contractors but can be separate lists. These lists will be used for the periodic inspections and are the only paperwork required in place of separate electrical permits. These lists will be furnished to Clackamas County at each Master Permit inspection for review.

MASTER PERMIT LOG REQUIREMENTS

There are two paperwork requirements that must be completed when doing work under the master permit. A list of all electrical workers, indicating names and license numbers, doing work on the facilities properties must be maintained at a central location at the facility and in the County office. This list of electrical workers must be kept current with all persons working on the property.

The second requirement is that a log be kept of all work performed by these individuals on the facilities property. This list must include the date the work was done, the name of all electricians working on that job, the location of the job and a description of the work being done. The log must include enough information to allow the inspector to locate the job when the annual Master Permit inspection is performed. This is very important as state law requires that all electrical work be inspected. Also, when work is entered into the logbook the work is legally covered by the Master Permit. If work is not logged, the work is not covered under the master permit, and you could be subject to a penalty for performing electrical work without a permit. This log should be kept at a central location on the site for easy access to the electrical workers and available for inspection at any time.

Logging of small ordinary maintenance type jobs such as changing a ballast, replacing lamps and trouble shooting type work is not necessary, unless it involved major equipment or parts of the electrical system, such as replacing a breaker. All installation work must be logged regardless of complexity. An installation would include relocation, extension or replacement of an electrical device, other than like for like. Other examples of items which should be logged are changing out motors, circuit breakers, motor starters, MCC buckets and replacement of a complete light fixture.

Remember that a ROUGH-IN/COVER inspection is always required for underground work, walls, ceilings and other areas which are to be covered with sheet rock, ceiling tile, concrete or other BEFORE THEY ARE COVERED. You may call this office and schedule a cover inspection and we will inspect the work the following business day just as we would a normal permit. However, please give as much notice as possible in advance of the needed inspection date.

Please call or email with any questions you may have

Johnny Sapp

or

Doug Boettcher

Electrical Inspector Supervisor

Electrical Inspector

Phone: 503-742-4764

Phone: 503-307-6480

Fax: 503-742-4741

Fax: 503-742-4741

Email: jsapp@clackamas.us

Email: dboettcher@clackamas.us

Date: _____

To: Johnny Sapp

Clackamas County

Electrical Inspector Supervisor

Please enroll these facilities in the Master Permit Program. Please call to plan for inspection and to get further information

I would like more information on the Master Permit Program. Please call me to discuss the program further.

I do not desire the Master Electrical Permit. All electrical work is performed under separate permits or no electrical work will be done.

Contact Person: _____

Company Name: _____

Address: _____

City, State & Zip: _____

Phone: _____

Signature: _____

Master Permit Inspection Program

Facility Information

Permit number:

Facility Name:

Facility Address:

City State & Zip:

Facility Contact:

Position:

Phone Number:

Billing Information

Company Name:

Attention:

Address:

City State & Zip:

Contact Number:

Purchase Order:

Inspection Information

Date of Last Inspection:

Time In:

Time Out:

Hours of Inspection:

Travel Hours:

Office Hours:

Other Hours:

Total Billable Hours:

Master Permit Program Annual Renewal Update

To: Clackamas County Building Codes Division

Return to: bldservice@clackamas.us

Current Information on Permit

Signing Supervisor: _____
Site Address: _____
Billing Address: _____
Facility Contact: _____
Contact Phone #: _____
Contact email: _____

All information is current and correct.

Some information has changed, see updates below.

Updated Information for Permit

Signing Supervisor: _____
Site Address: _____
Billing Contact Name: _____
Billing Address: _____
Billing Email Address: _____
Facility Contact: _____
Contact Phone #: _____
Contact email: _____

This information must be received anytime updates to a master permit are needed or at the being of each year before a new master permit is started.

Master Permit Work Log

#1

Date: _____

Electrician/Company: _____

License # _____

Location: _____

Building _____

Room _____

Job
Description _____

Load Center/MDP/Panel _____

Circuit # _____

Inspection Date: _____

County Inspector _____

Inspection
Comments _____

#2

Date: _____

Electrician/Company: _____

License # _____

Location: _____

Building _____

Room _____

Job

Description _____

Load Center/MDP/Panel _____

Circuit # _____

Inspection Date: _____

County Inspector _____

Inspection

Comments _____

Signing Supervisor Change Notice

Signing Supervisor Change Notice Form found here:

<https://www.oregon.gov/bcd/Formslibrary/2554.pdf>

Send a copy to:

Clackamas County Building Codes

Mail in:

attn: Johnny Sapp

150 Beavercreek Road,

Oregon City, OR 97045

Email in:

jsapp@clackamas.us

Electrical Workers License Log

Company/Facility

Name _____

Facility

Address: _____

DATE	ELECTRICIAN	LICENSE #	CONTRACTOR NAME

MASTER ELECTRICAL PERMITS

About master electrical permits

Oregon Revised Statute (ORS) 479.560(3) allows the Building Codes Division, or jurisdiction operating an electrical inspection program, to issue master electrical permits for their respective programs. The holder of a master electrical permit is not required to obtain individual permits for certain installations, or the repair, alteration, or replacement of existing electrical products in certain qualified facilities. Electrical installations within qualified facilities may be done by employees holding the appropriate electrical licenses, or by State of Oregon licensed electrical contractors.

Any electrical installation not covered by the program requires a separate electrical permit. An owner, electrical contractor or operating manager of a covered facility can obtain a master permit only if appropriately licensed electricians are to do the work. If the applicant is an owner or operating manager, a roster of workers under the permit must be filed with the issuing jurisdiction.

Issuance, inspections, and responsibility

Jurisdictions operating delegated electrical inspection programs are responsible for issuing master electrical permits for their jurisdiction.

Inspections of permit holding facilities will be done periodically by the jurisdiction issuing the master permit for electrical installations. The jurisdiction may also undertake a cover inspection, which shall be made before electrical installations are covered. The periodic inspection under the permit shall be done at least once a year or more frequently based on the needs of the particular plant, building or facility.

When a jurisdiction is delegated a building inspection program, Oregon Administrative Rule (OAR) 918-020-0090(2)(e) requires the jurisdiction to establish policies and procedure for issuing permits not requiring plan review, including master permits. Therefore, any jurisdiction operating an electrical inspection program would also be responsible for the receipt of applications for master permits, issuance of master permits, and the periodic inspection of permit-holding facilities.

Contact

Keith Anderson
Electrical Program Chief
503-378-4459

William.K.Anderson@dcbs.oregon.gov

ELECTRICAL MASTER PERMIT WORK LOG

Facility Name: _____

Facility Address: _____

Date: 8-30-21 Job No: _____ Electrician: JF NReet

Location: venue Room or Grid No: _____

Job Description: Run Pipe wire A-C units

Load Center: venue K2 Circuit No: _____

Date Inspected: _____ County Inspector: _____

Inspection Comments: _____

Date: 9-27-21 Job No: _____ Electrician: JF NRee

Location: E-PM Room or Grid No: _____

Job Description: Run (2) 2" feeders for maintenance shop & Greenhouse

Load Center: Greenhouse Circuit No: 14.21.23 25.27.29

Date Inspected: _____ County Inspector: _____

Inspection Comments: _____

Date: 9-28-21 Job No: _____ Electrician: _____

Location: EAST Lot Service Room or Grid No: _____

Job Description: Wire transformers for (2) 200A panels from 200A 480V panel

Load Center: _____ Circuit No: _____

Date Inspected: _____ County Inspector: _____

Inspection Comments: _____

Date: 10-4-21 Job No: _____ Electrician: JF

Location: Greenhouse Room or Grid No: _____

Job Description: underground for chicken coop

Load Center: _____ Circuit No: _____

Date Inspected: _____ County Inspector: _____

Inspection Comments: _____

Date: 10-4-21 Job No: _____ Electrician: JF

Location: School Room or Grid No: _____

Job Description: Hook up Gas furnace

Load Center: Classroom Circuit No: 37

Date Inspected: _____ County Inspector: _____

Inspection Comments: _____

ELECTRICAL MASTER PERMIT WORK LOG

Facility Name: _____
Facility Address: _____

Date: _____ Job No: _____ Electrician: _____
Location: _____ Room or Grid No: _____
Job Description: _____

Load Center: _____ Circuit No: _____
Date Inspected: _____ County Inspector: _____
Inspection Comments: _____

Date: _____ Job No: _____ Electrician: _____
Location: _____ Room or Grid No: _____
Job Description: _____

Load Center: _____ Circuit No: _____
Date Inspected: _____ County Inspector: _____
Inspection Comments: _____

Date: 11-5-2020 Job No: _____ Electrician: JF NREC
Location: 1022246 Room or Grid No: _____
Job Description: _____

Load Center: _____ Circuit No: _____
Date Inspected: _____ County Inspector: _____
Inspection Comments: _____

Date: 11-30-2020 Job No: _____ Electrician: JF NREC
Location: Main bldg. Room or Grid No: _____
Job Description: add exterior light in SE corner of bldg.

Load Center: H2 Circuit No: _____
Date Inspected: _____ County Inspector: _____
Inspection Comments: _____

12-11-20
Date: 12-10-20 Job No: _____ Electrician: JF NREC
Location: Front main bldg. Room or Grid No: _____
Job Description: Rel. on post under front cover (17) ea.

Load Center: H2 Circuit No: B-10
Date Inspected: _____ County Inspector: _____
Inspection Comments: _____

ELECTRICAL MASTER PERMIT WORK LOG

Facility Name: School MHC
Facility Address: _____

Date: 9-17-2020 Job No: _____ Electrician: NRec JF
Location: Sub bldg. Room or Grid No: _____
Job Description: Wire well controller

Load Center: School PNL Circuit No: 25-27
Date Inspected: _____ County Inspector: _____
Inspection Comments: _____

Date: 9-9-2020 Job No: _____ Electrician: NRec JF
Location: School Room or Grid No: _____
Job Description: Wire/Pipe Freezer Rec. Non GFCI "Freezer only"
3 RV Rec.
Load Center: School Circuit No: 11-13-19
Date Inspected: _____ County Inspector: _____
Inspection Comments: _____

Date: 9-9-2020 Job No: _____ Electrician: NRec JF
Location: School Room or Grid No: _____
Job Description: Refeed old school PNL Turned into J-box. Refeed
all existing CKTS including furnace, rec, LTS, Fire ect.
Load Center: School Circuit No: 3-5-7-9-15-17-12-16-21-23
Date Inspected: _____ County Inspector: _____
Inspection Comments: _____

Date: 9-23-2020 Job No: _____ Electrician: NRec JF
Location: Arena Room or Grid No: _____
Job Description: Wire contactor & thermostat for Arena fan.
Load Center: P3 Circuit No: 21-19
Date Inspected: _____ County Inspector: _____
Inspection Comments: _____

Date: 10-19-2020 Job No: _____ Electrician: NRec JF
Location: West bldg. Room or Grid No: _____
Job Description: Power for sauna & SPA.
Load Center: School Circuit No: 29-29-31 33-35
Date Inspected: _____ County Inspector: _____
Inspection Comments: _____

ELECTRICAL MASTER PERMIT WORK LOG

Facility Name: MHC
Facility Address: _____

Date: 12-28-20 Job No: _____ Electrician: JF NREC
Location: Service Room or Grid No: _____
Job Description: Demo - Panel Room

Load Center: _____ Circuit No: _____
Date Inspected: _____ County Inspector: _____
Inspection Comments: _____

Date: 12-29-20 Job No: _____ Electrician: JF NREC
Location: Service Room or Grid No: _____
Job Description: Demo panel room

Load Center: _____ Circuit No: _____
Date Inspected: _____ County Inspector: _____
Inspection Comments: _____

Date: 12-30-20 Job No: _____ Electrician: JF NREC
Location: Service Room or Grid No: _____
Job Description: Gutter assembly

Load Center: _____ Circuit No: _____
Date Inspected: _____ County Inspector: _____
Inspection Comments: _____

Date: 12-31-20 Job No: _____ Electrician: JF NREC
Location: Service Room or Grid No: _____
Job Description: New 2" PVC Feeders for Sara, Kit, Bath

Load Center: D-2 D-3 Circuit No: _____
Date Inspected: _____ County Inspector: _____
Inspection Comments: _____

Date: 1 Job No: _____ Electrician: JF NREC
Location: Bathroom Room or Grid No: _____
Job Description: Run CMT for hand dryers & fountain

Load Center: B-2 Circuit No: 28, 27-29
Date Inspected: _____ County Inspector: _____
Inspection Comments: _____

ELECTRICAL MASTER PERMIT WORK LOG

Facility Name: _____
Facility Address: _____

Date: 1-4-21 Job No: _____ Electrician: JF NRec.
Location: E-Room Room or Grid No: _____
Job Description: Set disconnects.

Load Center: Hall Panel New Service. Circuit No: 200
Date Inspected: _____ County Inspector: _____
Inspection Comments: _____

Date: 1-5-21 Job No: _____ Electrician: JF NRec
Location: Brandi's office Room or Grid No: _____
Job Description: Pipe & wire office

Load Center: Hall panel Circuit No: 17
Date Inspected: _____ County Inspector: _____
Inspection Comments: _____

Date: 1-8-21 Job No: _____ Electrician: JF NRec
Location: Service Room or Grid No: _____
Job Description: install service

Load Center: _____ Circuit No: _____
Date Inspected: _____ County Inspector: _____
Inspection Comments: _____

Date: 1-9-21 Job No: _____ Electrician: NRec-JF
Location: Service Room or Grid No: _____
Job Description: install service

Load Center: _____ Circuit No: _____
Date Inspected: _____ County Inspector: _____
Inspection Comments: _____

Date: 1-15-21 Job No: _____ Electrician: JF NRec.
Location: E-Rm Room or Grid No: _____
Job Description: hook up transformers

Load Center: T.1 T.2 Circuit No: _____
Date Inspected: _____ County Inspector: _____
Inspection Comments: _____

ELECTRICAL MASTER PERMIT WORK LOG

Facility Name: _____

Facility Address: _____

Date: 2-1-21 Job No: _____ Electrician: JF NRec

Location: Service Room or Grid No: _____

Job Description: Hook up service, pull Hall feeder.

Load Center: House / Hall Lighting Circuit No: A Feeder

Date Inspected: _____ County Inspector: _____

Inspection Comments: _____

Date: 2-5-21 Job No: _____ Electrician: JF NRec.

Location: Hook up service Room or Grid No: _____

Job Description: ↑ ↑ Remove from genset power

Load Center: Panel House P1 Circuit No: N/A

Date Inspected: _____ County Inspector: _____

Inspection Comments: _____

Date: 2-8-21 Job No: _____ Electrician: JF NRec.

Location: Bathroom / Classroom Room or Grid No: _____

Job Description: Pipe mini split, septic pump.

Load Center: Bathroom Circuit No: 13-9-11

Date Inspected: _____ County Inspector: _____

Inspection Comments: _____

Date: 2-10-11-21 Job No: _____ Electrician: JF NRec

Location: Classroom Pre K. Room or Grid No: _____

Job Description: Run pipe, pull wire. Rec.

Load Center: Bathroom B-2 Circuit No: 1-3

Date Inspected: _____ County Inspector: _____

Inspection Comments: _____

Date: 3-1-21 Job No: _____ Electrician: JF NRec

Location: main bldg. Pre K. Room or Grid No: _____

Job Description: wire mini split for Pre K, wire septic controller.

Load Center: Bathroom Circuit No: 9-11-13

Date Inspected: _____ County Inspector: _____

Inspection Comments: _____

ELECTRICAL MASTER PERMIT WORK LOG

Facility Name: _____
Facility Address: _____

Date: 2-26-21 Job No: _____ Electrician: JF NRec.
Location: E-Rm. Room or Grid No: _____
Job Description: Wired transformers for bathroom 3 RJ 100A diss.

Load Center: Service T.1 T.2 Circuit No: _____
Date Inspected: _____ County Inspector: _____
Inspection Comments: _____

Date: 3-13-21 Job No: _____ Electrician: JF NRec.
Location: Pre K. Room or Grid No: _____
Job Description: Finish wiring Rec in pre K.

Load Center: Bathroom Circuit No: 1.3
Date Inspected: _____ County Inspector: _____
Inspection Comments: _____

Date: 3-19-21 Job No: _____ Electrician: JF NRec.
Location: Bathroom's Room or Grid No: _____
Job Description: wire water heater plug.

Load Center: Bathroom B.1 Circuit No: 16
Date Inspected: _____ County Inspector: _____
Inspection Comments: _____

Date: 4-12-21 Job No: _____ Electrician: JF NRec.
Location: Tack Rm PNL Room or Grid No: _____
Job Description: Pull feeder for tack room panel.

Load Center: Tack Rm. T.2 Circuit No: _____
Date Inspected: _____ County Inspector: _____
Inspection Comments: _____

Date: 4-14-21 Job No: _____ Electrician: JF NRec.
Location: Venue Kitchen Room or Grid No: _____
Job Description: Pull feeder for Venue Kit Panel.

Load Center: venue/kit K2 Circuit No: _____
Date Inspected: _____ County Inspector: _____
Inspection Comments: _____

ELECTRICAL MASTER PERMIT WORK LOG

Facility Name: _____
Facility Address: _____

Date: 4-15-21 Job No: _____ Electrician: NRec JF
Location: Front of main Room or Grid No: _____
Job Description: Pipe for Rec. on Post Front

Load Center: Tack Rm. T12 Circuit No: 6-8-10-12
Date Inspected: _____ County Inspector: _____
Inspection Comments: _____

Date: 4-20-21 Job No: _____ Electrician: JF NRec
Location: Venue Room or Grid No: _____
Job Description: pipe lights in venue

Load Center: Venue kit. K2 Circuit No: 2-4-6-8
Date Inspected: _____ County Inspector: _____
Inspection Comments: _____

Date: 4-21-21 Job No: _____ Electrician: JF NRec
Location: Venue Room or Grid No: _____
Job Description: Pipe Venue

Load Center: venue kit. K2 Circuit No: _____
Date Inspected: _____ County Inspector: _____
Inspection Comments: _____

Date: ²³4-22-21 Job No: _____ Electrician: _____
Location: venue Room or Grid No: _____
Job Description: Demo old Lighting Pipe, Pull wire new Lighting

pipe
Load Center: Venue kit K2 Circuit No: 2-4-6-8
Date Inspected: _____ County Inspector: _____
Inspection Comments: _____

Date: 4-28, 28, 29, 30-21 Job No: _____ Electrician: JF NRec
Location: Venue Room or Grid No: _____
Job Description: Makeup Venue, Bride Room, Furnaces for Venue
Finish SOA Rec. Plugs, Lights
Load Center: Venue kit K2 Circuit No: 26-17B-17A 13-15-3-5-7-10-12-14-16
Date Inspected: _____ County Inspector: _____
Inspection Comments: _____

18-20
22-24
28-30

ELECTRICAL MASTER PERMIT WORK LOG

Facility Name: _____
Facility Address: _____

Date: 5-3-21 Job No: _____ Electrician: JF Nee
Location: Sign Room or Grid No: _____

Job Description: Hang Sign Lighter Rec.

Load Center: Tack Rm Circuit No: 2-4
Date Inspected: _____ County Inspector: _____
Inspection Comments: _____

Date: 5-4-21 Job No: _____ Electrician: JF Nee
Location: Front Room or Grid No: _____
Job Description: Add 50A Rec. @ Front of Tack area, 3 Below panel.

Load Center: Tack Circuit No: 14-16 & 18-20
Date Inspected: _____ County Inspector: _____
Inspection Comments: _____

Date: 5-6-21 Job No: _____ Electrician: JF Nee
Location: Hall, venue Room or Grid No: _____
Job Description: Add override switch to arena fan. Change covers in venue.

Load Center: Hall, venue-K7. H2 Circuit No: 22
Date Inspected: _____ County Inspector: _____
Inspection Comments: _____

Date: 5-17-21 Job No: _____ Electrician: Nee, JF
Location: Pond Room or Grid No: _____
Job Description: Underground by Pond.

Load Center: _____ Circuit No: _____
Date Inspected: _____ County Inspector: _____
Inspection Comments: _____

Date: 6-2-21 Job No: _____ Electrician: JF Nee
Location: venue Room or Grid No: _____
Job Description: Add 50A Rec. outside (X2)

Load Center: venue-K7. Circuit No: 10-20 18-20
Date Inspected: _____ County Inspector: _____
Inspection Comments: _____

ELECTRICAL MASTER PERMIT WORK LOG

Facility Name: MAC
Facility Address: _____

Date: 8-10-2020 Job No: _____ Electrician: NREC JF
Location: Therapy office Room or Grid No: _____
Job Description: Run 3/4 to therapy office branch ckt. from panel.
Load Center: T2 Circuit No: N/A
Date Inspected: _____ County Inspector: _____
Inspection Comments: _____

Date: 8-12-2020 Job No: _____ Electrician: NREC JF
Location: Classroom Room or Grid No: _____
Job Description: Run 3/4 to New Party Room. Random Rec.
Load Center: _____ Circuit No: 2-4-6-8
Date Inspected: _____ County Inspector: _____
Inspection Comments: _____

Date: 8-13-2020 Job No: _____ Electrician: NREC JF
Location: Classroom Left Room or Grid No: _____
Job Description: Run 3/4 East Quadplex Rec. along walls.
Load Center: School Circuit No: 10
Date Inspected: _____ County Inspector: _____
Inspection Comments: _____

Date: 8-28-2020 Job No: _____ Electrician: NREC JF
Location: Wood Shop Room or Grid No: _____
Job Description: Run conduit for Rec. for General use Plugs along isle.
Load Center: Sub Panel Front of bldg. Circuit No: 1, 2, 3, 4, 5, 6
Date Inspected: _____ County Inspector: _____
Inspection Comments: _____

Date: 8-31-2020 Job No: _____ Electrician: NREC JF
Location: Wood Shop Room or Grid No: _____
Job Description: wire/pipe (to) Quadplex for main area Wood shop.
Load Center: Sub Panel Front bldg. Circuit No: 3, 4, 7, 8
Date Inspected: _____ County Inspector: _____
Inspection Comments: _____

ELECTRICAL MASTER PERMIT WORK LOG

Facility Name: _____
Facility Address: _____

Date: 6/14-21 Job No: _____ Electrician: JF
Location: Viewing Platform Room or Grid No: _____
Job Description: Pull 200A 480V feeder from service. Hang
200A 480V 3 200A 120/208V.
Load Center: Viewing Platform Circuit No: _____
Date Inspected: _____ County Inspector: _____
Inspection Comments: _____

Date: 6/15-21 Job No: _____ Electrician: JF-NREC
Location: Pond Room or Grid No: _____
Job Description: Hang panels @ pond.
480V 3 240V
Load Center: Pond Circuit No: _____
Date Inspected: _____ County Inspector: _____
Inspection Comments: _____

Date: 8-23-21 Job No: _____ Electrician: JF-NREC
Location: Parking Room or Grid No: _____
Job Description: underground for hand
Load Center: Viewing Platform Circuit No: 13-15
Date Inspected: _____ County Inspector: _____
Inspection Comments: _____

Date: 8-24-21 Job No: _____ Electrician: _____
Location: Parking Lot Room or Grid No: _____
Job Description: underground 50A rec.
Load Center: Viewing Platform Circuit No: 16-18
Date Inspected: _____ County Inspector: _____
Inspection Comments: _____

Date: _____ Job No: _____ Electrician: _____
Location: R.V. Room or Grid No: _____
Job Description: underground for R.V. service.
Load Center: R.V. Circuit No: _____
Date Inspected: _____ County Inspector: _____
Inspection Comments: _____

ELECTRICAL MASTER PERMIT WORK LOG

Facility Name: _____

Facility Address: _____

Date: 10-6-21 Job No: _____ Electrician: JF Nree

Location: R.V Room or Grid No: _____

Job Description: Set RV pedestals East side

Load Center: East lot service Circuit No: _____

Date Inspected: _____ County Inspector: _____

Inspection Comments: _____

Date: 10-1-21 Job No: _____ Electrician: JF Nree

Location: outside perimeter lights Room or Grid No: _____

Job Description: _____

Load Center: P1/K2 Circuit No: 33/1

Date Inspected: _____ County Inspector: _____

Inspection Comments: _____

Date: _____ Job No: _____ Electrician: _____

Location: _____ Room or Grid No: _____

Job Description: _____

Load Center: _____ Circuit No: _____

Date Inspected: _____ County Inspector: _____

Inspection Comments: _____

Date: _____ Job No: _____ Electrician: _____

Location: _____ Room or Grid No: _____

Job Description: _____

Load Center: _____ Circuit No: _____

Date Inspected: _____ County Inspector: _____

Inspection Comments: _____

Date: _____ Job No: _____ Electrician: _____

Location: _____ Room or Grid No: _____

Job Description: _____

Load Center: _____ Circuit No: _____

Date Inspected: _____ County Inspector: _____

Inspection Comments: _____

ELECTRICAL MASTER PERMIT WORK LOG

Facility Name: _____
Facility Address: _____

Date: _____ Job No: _____ Electrician: _____
Location: Verue Kit Room or Grid No: _____
Job Description: Expand Kit add Light 3 CTS

Load Center: K7 Circuit No: 15B 11B 9b
Date Inspected: _____ County Inspector: _____
Inspection Comments: _____

Date: _____ Job No: _____ Electrician: _____
Location: _____ Room or Grid No: _____
Job Description: _____

Load Center: _____ Circuit No: _____
Date Inspected: _____ County Inspector: _____
Inspection Comments: _____

Date: _____ Job No: _____ Electrician: _____
Location: _____ Room or Grid No: _____
Job Description: _____

Load Center: _____ Circuit No: _____
Date Inspected: _____ County Inspector: _____
Inspection Comments: _____

Date: _____ Job No: _____ Electrician: _____
Location: _____ Room or Grid No: _____
Job Description: _____

Load Center: _____ Circuit No: _____
Date Inspected: _____ County Inspector: _____
Inspection Comments: _____

Date: _____ Job No: _____ Electrician: _____
Location: _____ Room or Grid No: _____
Job Description: _____

Load Center: _____ Circuit No: _____
Date Inspected: _____ County Inspector: _____
Inspection Comments: _____

ELECTRICAL MASTER PERMIT WORK LOG

Facility Name: MHC
Facility Address: _____

Date: 7.30.2020 Job No: _____ Electrician: NREC JF
Location: BATHROOM'S Room or Grid No: _____
Job Description: Run 2" feeder to BATHROOM PANEL

Load Center: D1 Circuit No: _____
Date Inspected: _____ County Inspector: _____
Inspection Comments: _____

Date: 7.30 Job No: _____ Electrician: NREC KF
Location: ARENA Room or Grid No: _____
Job Description: RUN 3/4 TO SPEAKERS & Announcers Booth

Load Center: H2 Circuit No: NA
Date Inspected: _____ County Inspector: _____
Inspection Comments: _____

Date: 8.3.2020 Job No: _____ Electrician: NREC JF
Location: Classroom Room or Grid No: _____
Job Description: Hang Rec. in ceiling for 2x4 Lights

Load Center: School Circuit No: 1
Date Inspected: _____ County Inspector: _____
Inspection Comments: _____

Date: 8.4.2020 Job No: _____ Electrician: NREC JF
Location: therapy offices & tack Room or Grid No: _____
Job Description: pipe in offices & tack Rooms.

Load Center: T2 Circuit No: NA
Date Inspected: _____ County Inspector: _____
Inspection Comments: _____

Date: 8.7.2020 Job No: _____ Electrician: NREC JF
Location: Main bldg. Room or Grid No: _____
Job Description: Run 2" feeders to therapy offices & Hall SE Room. Panel.

Load Center: D2-D-3 T2-K2 Circuit No: _____
Date Inspected: _____ County Inspector: _____
Inspection Comments: _____

Rustwood

Steve@Northriver.Llc.com