



**Clackamas County Planning and Zoning Division  
Department of Transportation and Development**

Development Services Building  
150 Beaver Creek Road | Oregon City, OR 97045  
503-742-4500 | [zoninginfo@clackamas.us](mailto:zoninginfo@clackamas.us)  
[www.clackamas.us/planning](http://www.clackamas.us/planning)

## Memo

3/18/20

**To:** Historic Review Board members  
**From:** Anthony Riederer, Planner  
**cc:** file  
**Date:** March 18, 2020  
**Re:** HRB meeting, March 25

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Hello,

Warm greetings to you all in these unusual times. As you know, we have a meeting scheduled for Wednesday, March 25. This meeting will be conducted by telephone and is scheduled at an atypical daytime to allow for county staff (myself) to limit hours in the office. You all will participate via phone and I will provide the slide images of my presentation to you in PDF format in the coming week.

There is one application on the agenda for this meeting. The proposal is for an addition to an existing farm house outside of Canby.

The first property is known as the Harvey and Anna Freeze Farm. It is a strong and well-maintained example of a vernacular farm house associated with the agricultural and economic history of the region. The applicants are proposing a building addition and the removal of an existing non-historic outbuilding to accommodate that addition.

Attached is the submitted application for this proposal (which contains the applicant's narrative and images, along with information from the inventory and/or nomination of the site). As of the time of this memorandum, several supportive public comments have been received about the building addition.

Take a look, feel free to contact me with questions. Thank you for your understanding and adaptability in rescheduling this meeting and changing the format. We're working to maintain our operations as well as is possible, and your flexibility on this matter helps us provide the best customer service we can.

Looking forward to speaking with you all on Wednesday the 25<sup>th</sup> at 9 am.

Best regards,

Anthony Riederer, Planner  
Phone: 503-742-4528

# Oregon Historic Site Form--Intensive Level Survey

## Location Information

☐ (approximate address)  
 address: **23300 S Blount Rd**  
 street # pre-dir street name suffix post dir  
 (2nd nbr, e.g. 213 - 215)  
 city: **Canby** ☒ vicinity state: **OR** zip: **97013**  
 county: **Clackamas**  
 township: **3 S** range: **1E** section: **35** 1/4: \_\_\_\_\_ tax lot nbr: **01300**  
 block nbr: **N/A** lot nbr: **N/A** acreage: **8.14**  
 addition: \_\_\_\_\_ zoning: **Farm Use**  
 map nbr: **Study Area 7** zoning\_file\_nbr **Z1277-90**

## CLACKAMAS COUNTY HISTORIC LANDMARK

location description:  
 (use for remote sites)

associated addresses: **Oregon City**

### USGS Location Information

USGS Quad Name: **Canby**

UTM Zone: \_\_\_\_\_ UTM Easting: \_\_\_\_\_ UTM Northing: \_\_\_\_\_

## Resource Information

resource type: **Building** evaluation: \_\_\_\_\_  
 NR Status: \_\_\_\_\_  
 historic name: **FREEZE, HARVEY & ANNA, FARM**  
 primary constr date: **1900** (c.) ☒ secondary date: \_\_\_\_\_ (c.) ☐  
 height (# stories): **1.5** (optional--use for major addns)  
 primary historic use: **FARMSTEAD**  
 secondary hist use: \_\_\_\_\_  
 primary style: **QUEEN ANNE**  
 secondary style: \_\_\_\_\_  
 primary siding: **HORIZONTAL BOARD**  
 secondary siding: \_\_\_\_\_  
 structural framing: **Wood stud**  
 foundation material: **Brick w/piers** secondary mat.: **Basement**  
 roof material: **Composition shin** window material: **Wood double-hu**

current/other names:

farmstead/cluster name: **Freeze, Harvey & Anna, Farm**

# assoc resources: **5** # contributing: **1** # noncontr: **4**

description: **Historic woodshed/pumphouse; deteriorated or non-historic**

local designation: **Historic Landmark**

historic use comments:

prim style comments: \_\_\_\_\_

sec style comments: \_\_\_\_\_

siding comments: **Dropped shiplap w/corner and rake boards and caps**

plan type: **Crosswing**

architect: \_\_\_\_\_

builder: \_\_\_\_\_

### physical descr:

STYLE: Vernacular  
 PLAN TYPE/SHAPE: Asymmetrical  
 NO. OF STORIES: 1 1/2  
 FOUNDATION MATERIAL: Brick w/ piers  
 BASEMENT: Yes  
 ROOF FORM AND MATERIALS: Intersecting gable w/ composition shingles  
 WALL CONSTRUCTION/STRUCTURAL FRAME: Wood w/ stud  
 PRIMARY WINDOW TYPE: Double-hung sash; some in pairs  
 EXTERIOR SURFACING MATERIALS: Dropped shiplap w/ corner and rake boards and caps  
 DECORATIVE FEATURES: Gable ornament  
 OTHER: Full-width hip porch w/ enclosed balustrade, e. elev.; paneled and glazed door; interior chimney  
 The Freeze House is an fine example of the Vernacular style. Salient architectural elements include the steeply pitched gable roof and gable-end ornament  
 WOODSHED/PUMPHOUSE  
 DATE BUILT: Unknown  
 STYLE: Vernacular  
 PLAN TYPE/SHAPE: Rectangular  
 NO. OF STORIES: 1  
 FOUNDATION MATERIAL: Post-and-beam  
 BASEMENT: No

## Oregon Historic Site Form--Intensive Level Survey

ROOF FORM AND MATERIALS: Gable w/ composition shingles  
WALL CONSTRUCTION/STRUCTURAL FRAME: Wood/unknown  
PRIMARY WINDOW TYPE: None  
EXTERIOR SURFACING MATERIALS: Wood siding  
DECORATIVE FEATURES: None  
OTHER: Gable ell

**alterations:** Unknown

**landscape:** Ornamental plantings; mature deciduous trees

**setting:** The subject property sits on Blount Road. The site faces the southwest. The surrounding area is characterized primarily by mainly agricultural uses. To the south and north of the subject house are other residences. An assortment of ornamental plantings and mature trees are growing on the property. The Harvey and Anna Freeze House is located two miles east of Canby.

**significance:** Harvey and Anna Freeze filed a Certificate of Title for several lots in Walnut Grove Acres in 1910, one year before the area was platted as Walnut Grove Acres. Although records are not clear prior to this it is likely that the Freezes owned the property when the dwelling was constructed circa 1900. Harvey Freeze worked as an optometrist in Portland, and operated the Oregon Optical Specialists. He died, at age 71, during a move from New Era to Portland in 1952. Between 1919 and 1945 Mary Hvidding owned the subject property. Mrs. Hvidding is listed in the 1947 48 Clackamas County Directory, although no occupation is given.

The Freeze House is an fine example of the Vernacular style. Salient architectural elements include the steeply pitched gable roof and gable-end ornament. The house is part of a farm complex which includes several small outbuildings, including a garage, chicken house and barn. The barn has deteriorated to such a degree that it no longer contributes to the property's significance. The Freeze Farm is significant as an example of a the Vernacular dwelling as well as an example of a small farm complex and may be evaluated as an example of a 20th century farm complex.

### Research Information

- |   |  |  |   |
|---|--|--|---|
| <input checked="" type="checkbox"/> Research Title    | <input type="checkbox"/> Research Census     | <input checked="" type="checkbox"/> Research Tax | <input type="checkbox"/> Research Local Histories |
| <input type="checkbox"/> Research Sanborn             | <input type="checkbox"/> Research Bios       | <input type="checkbox"/> Research SHPO           | <input type="checkbox"/> Research Interviews      |
| <input checked="" type="checkbox"/> Research Obituary | <input type="checkbox"/> Research Newspapers | <input type="checkbox"/> Research State Archives | <input type="checkbox"/> Research Photographs     |
| <input type="checkbox"/> Research City Directory      | <input type="checkbox"/> Research Permits    | <input type="checkbox"/> Research State Library  |   |

Research Local Library: \_\_\_\_\_ Research University Library: \_\_\_\_\_

Research Historical Society: \_\_\_\_\_ Research Other: \_\_\_\_\_

Bibliography: Clackamas County Cultural Resource Inventory, 1984.  
Clackamas County Directory, 1947 48.  
Freeze, Dr. H., obituary, Oregonian, 10/28/52.  
Ticor Title Company, Oregon City, OR.

### Record Information

ILS survey date: 09/30/2007 recorder: Hayden/Altier; Sigler CC-SHPO #: 1102  
ILS date required (ID# used in city/agency database)

Survey Project Clackamas County Historic Landmarks Survey & Inventory Project  
Name or other \_\_\_\_\_  
Grouping Name \_\_\_\_\_

comments/notes:

#### SHPO FILE INFO FOR THIS RECORD

RLS Date: 10/30/1984 Gen File Date: \_\_\_\_\_ NR Date Listed: \_\_\_\_\_ Master ID#: 31666 record ID: 48674

## Oregon Historic Site Form--Intensive Level Survey

### Report Photos



1 Freeze House-nw elev

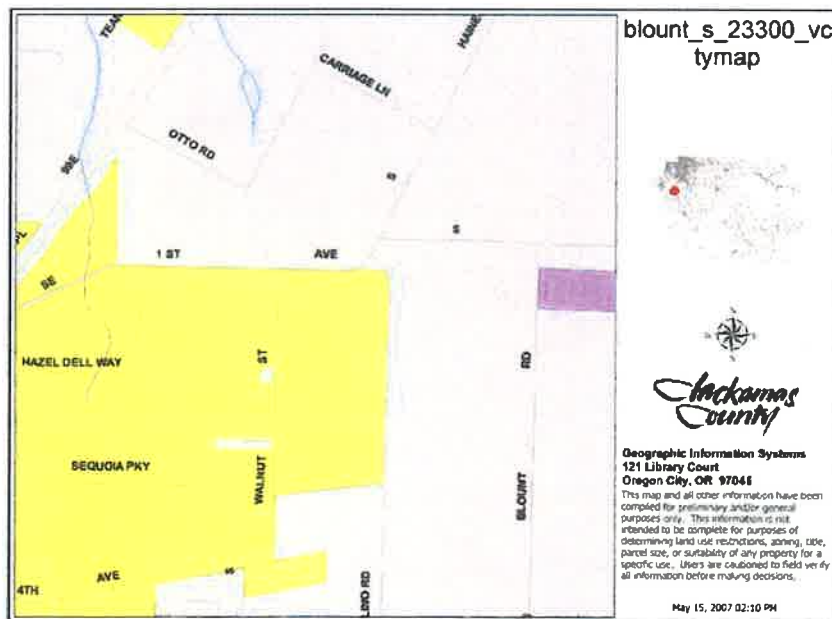
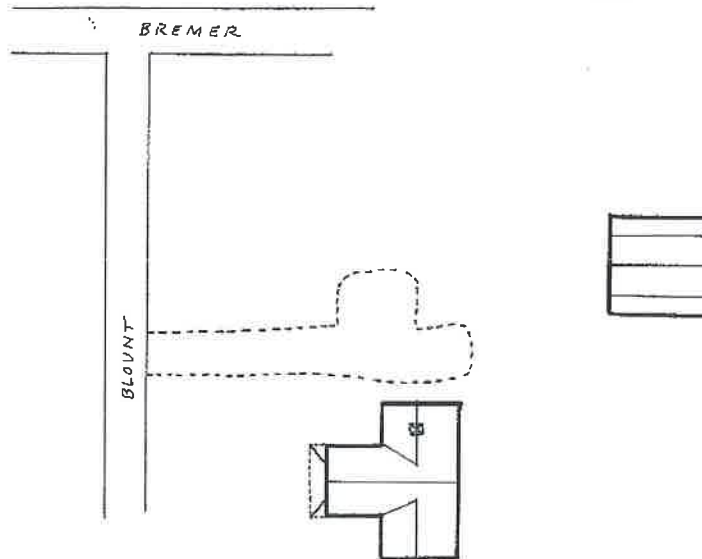


2 Freeze House-west elev

# Oregon Historic Site Form--Intensive Level Survey

## Report Maps

Address: 23300 S. Blount Road  
Historic Name: FREEZE, HARVEY AND ANNA, FARM





PLANNING & ZONING DIVISION

DEPARTMENT OF TRANSPORTATION AND DEVELOPMENT

DEVELOPMENT SERVICES BUILDING  
150 BEAVERCREEK ROAD OREGON CITY, OR 97045

**LAND USE STAFF RECOMMENDATION**

This document represents the Staff Recommendation on a Land Use Application requesting the removal of the Historic Preservation Overlay from the Historic Landmark property known as the Harvey and Anna Freeze Farm, SHPO #1102.

**SECTION 1 – SUMMARY**

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**DATE:** March 25, 2020

**CASE FILE NO.:** Z0025-20-HR

**STAFF CONTACT:** Anthony Riederer, (503) 742-4528

**LOCATION:** 22330 S Blount Road

**APPLICANT:** June Snook, trustee

**OWNER:** Barry Snook, trustee

**TOTAL AREA:** Approximately 2.49 acre

**ZONING:** EFU/HL, Rural Commercial/Historic Landmark Overlay

**CITIZENS PLANNING ORGANIZATION:** Canby

**PROPOSAL:** A major alteration to the building most specifically, the construction of a non-historic residential addition in a complimentary style. A non-historic accessory building will be removed to allow for the building addition.

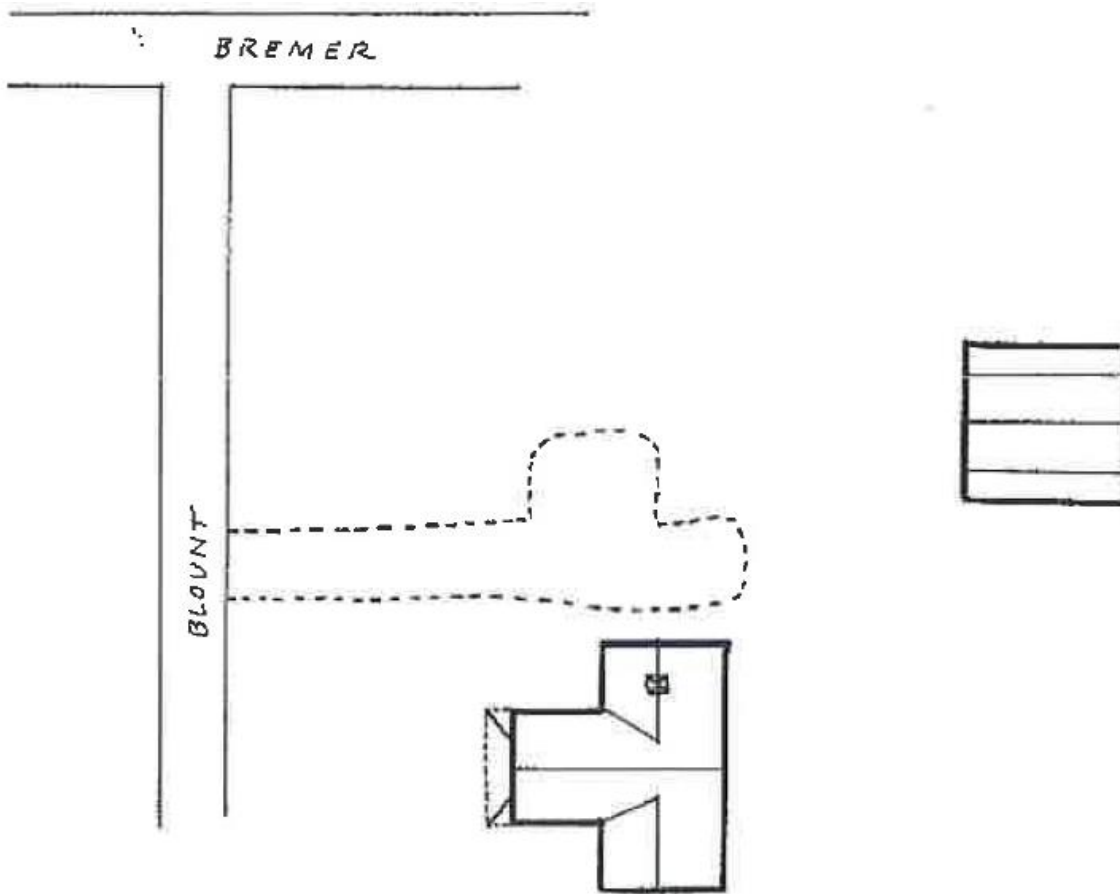
**APPLICABLE APPROVAL CRITERIA:** This application is subject to Clackamas County Zoning and Development Ordinance (ZDO) Sections(s) 707.06(C)(3), and 1307.



## Location Map



Historic Plot Plan





**Site Photographs (Current Day)**

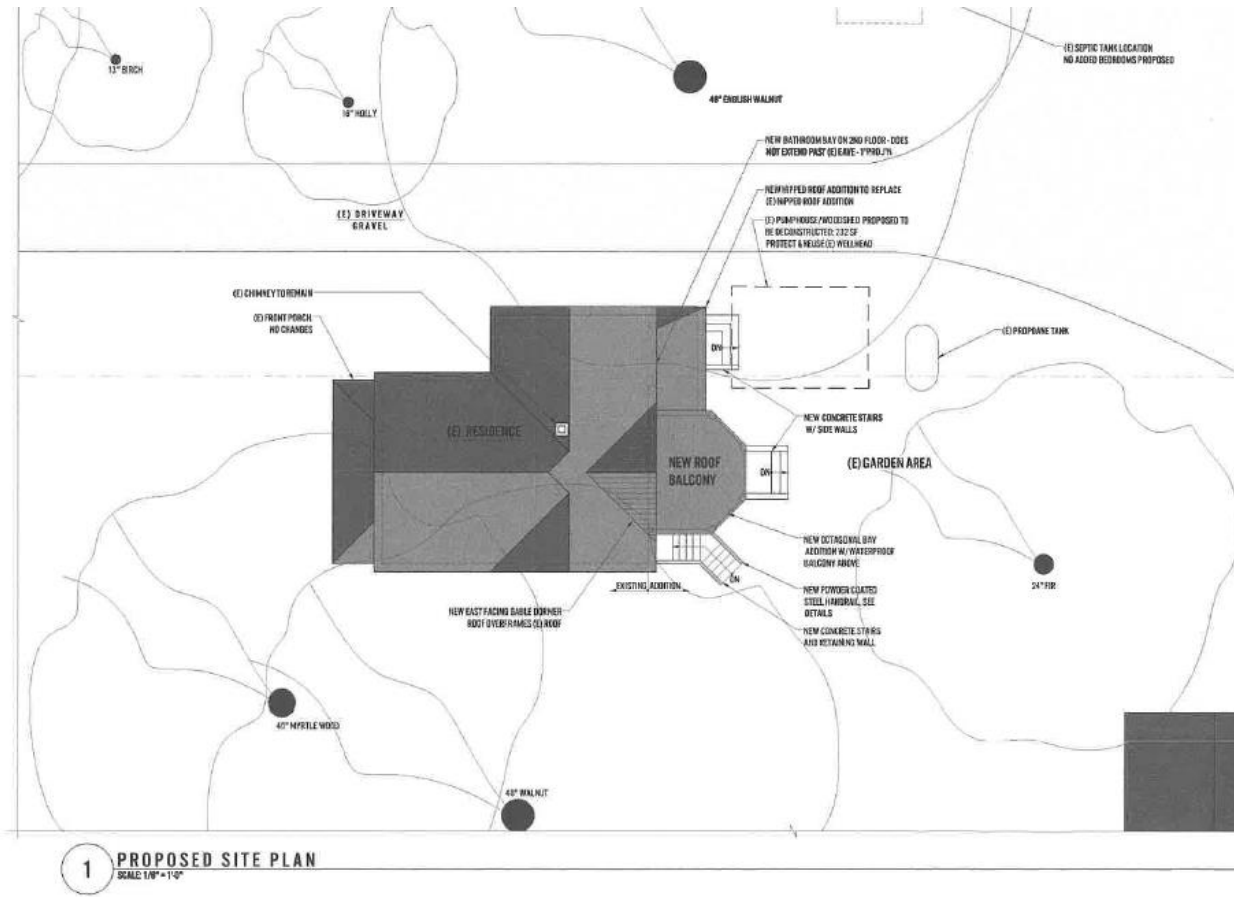


Front Façade (No Changes Proposed)

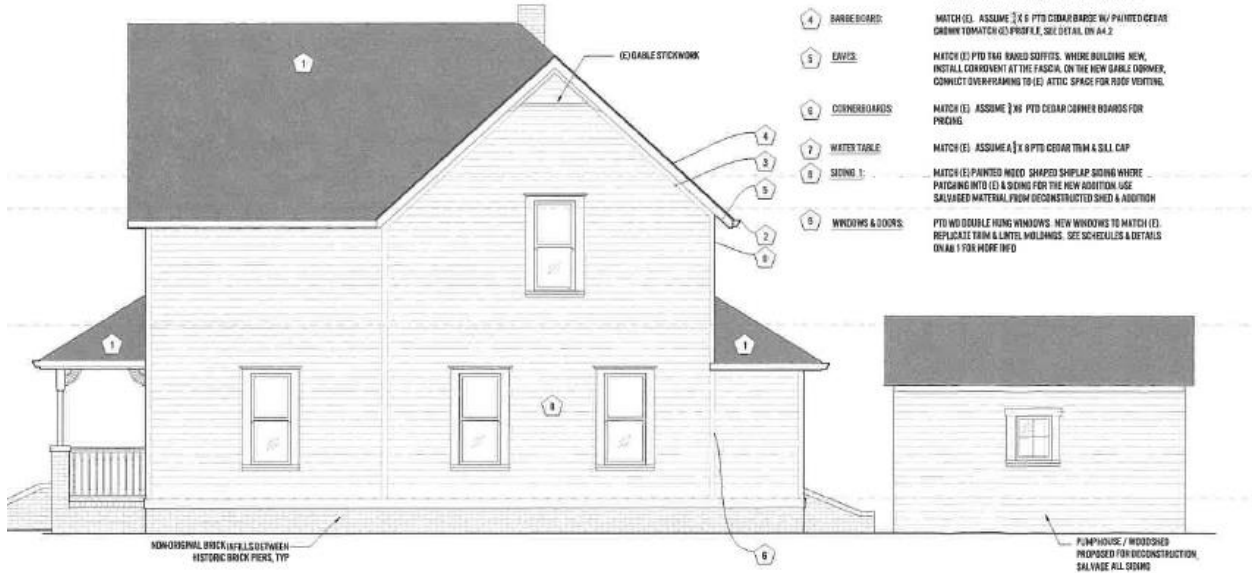


Rear Façade (location of proposed addition)

## Site Plan



### Elevation Drawing (Existing)



### Elevation Drawing (Proposed)



## **BACKGROUND:**

This property is known within the Clackamas County's inventory of designated sites as the Harvey and Anna Freeze Farm. Originally designated in the early 1990s as an excellent example of vernacular residential architecture and for its association with the economic and agricultural history of the area.

The building was built in approximately 1900 on the property owned at the time by the Freeze family. Harvey Freeze worked as a prominent optometrist in Portland. The home was a fine example of vernacular architecture and has been well-maintained over the years with much of its character defining features and detailing intact.

The applicant proposes significant residential extension to the rear in a sympathetic style to the home. The addition will require deconstruction of and existing non-historic outbuilding.

## **DISCUSSION AND RECOMMENDATION:**

The Planning and Zoning Staff finds that, based on the findings below, the proposed scope of work meets the criteria for a major alteration of a Clackamas County Historic Site and approves the proposal as submitted.

**Applicable Criteria And Findings:** Section 707.06(C)(3) provides the criteria used to review major alterations.

### **Section 707.06(C)(3) – Major Alterations:**

Major alterations shall be reviewed as Type II applications pursuant to Section 1307. Approval of an application for a major alteration shall be subject to the following criteria for rehabilitation:

- a. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

**Finding:** The building has historically been used as a home and the addition will allow for that use to continue well into the future. The criterion is met.

- b. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

**Finding:** The proposal places the addition at the rear of the building replacing a non-historic addition and with limited impact on historic siding and other building materials. The criterion is met.

- c. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.

**Finding:** The residential addition will be in a sympathetic style to the original house and set to the rear of the property, replacing a previously completed residential addition. The criterion is met.

- d. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.

**Finding:** This addition replaces only a non-historic residential addition and outbuilding. The criterion is met.

- e. Distinctive features, finished, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.

**Finding:** The proposal is to retain and restore historic windows where possible and to reinstate windows with the proportions of those historically on the home. This criterion is met.

- f. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

**Finding:** The proposal is to restore deteriorated historic façade materials and, where necessary replace with newly milled siding to match the original. This criterion is met.

- g. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the least damaging or gentlest means possible.

**Finding:** No chemical or physical treatments that will cause damage to historic materials are proposed. This criterion is met.

- h. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.

**Finding:** There are no known archeological resources on the site. This criterion does not apply.

- i. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

**Finding:** The proposed addition will not destroy character defining features and will be completed in a style sympathetic to the vernacular style of the historic home. The addition will serve to ensure the use and function of the building into the future. This criterion is met.

- j. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property, including historic plant materials, and its environment would be unimpaired.

**Finding:** The residential expansion will attach in the same location, to the rear of the building, as the existing addition. This location does the least to interfere with the appearance of the historic building from the adjacent roads and has the least impact on the essential form and integrity of the property. This criterion is met.

**Finding:** The above analysis of the proposal demonstrates that the design complies with the evaluation criteria for a major alteration to a historic property. The program of façade restoration and expansion of this historic building will ensure the continued presence and function of the site within the community.

## **SUMMARY OF FINDINGS AND RECOMMENDATION**

The Planning and Zoning Staff finds that the proposed design meets the relevant criteria for approval as a major alteration to a Clackamas County Historic Landmark.

Based on the above analysis of the ordinance criteria, staff recommends approval of the proposed changes to this property.



**Clackamas County Planning and Zoning Division  
Department of Transportation and Development**

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[www.clackamas.us/planning](http://www.clackamas.us/planning)

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**NOTICE OF LAND USE APPLICATION IN YOUR AREA**

**Date:** 02/26/2020  
**Permit Number:** Z0070-20  
**Application:** Design Review  
**From:** Clackamas County Planning and Zoning  
**Notice Mailed To:** Property owners within 750 feet  
Community Planning Organizations (CPO)  
Interested Citizens and Agencies

**Application Proposal:**

HISTORIC LANDMARK REVIEW - Applicant is seeing to complete an addition (major alteration) to a historic structure to expand an existing conforming residential use.

This project has been scheduled to be presented to the Historic Review Board on Wednesday, March 26 at 7 pm. The meeting will be held in the Auditorium of Clackamas County's Development Services Building, located at 150 Beavercreek Road, in Oregon City.

**Property Owner:** SNOOK JUNE L TRUSTEE

**Applicant:** SALIMENA, GENO

**Address:** 23300 S BLOUNT RD  
CANBY, OR 97013

**Location:**

**Legal Description:** 31E35 01300

**Acres:** 8.08

**Zone:** EFU- EXCLUSIVE FARM USE

**Staff:** Anthony Riederer 503-742-4528 **E-mail:** [ariederer@co.clackamas.or.us](mailto:ariederer@co.clackamas.or.us),

**How to Comment on this Application:**

1. To be sure your comments will be considered prior to the decision, we need to have them within 20 days of the date of this notice.



**Permit Number:** Z0070-20

2. You may use the space provided below, mail a separate letter or e-mail the information. Please include the permit number, address the information to the staff member handling this matter, and focus your comments on the approval criteria for the application.

3. Return your mailed comments to: Clackamas County Planning and Zoning, 150 Beaver Creek Rd, Oregon City, OR 97045; FAX to (503) 742-4550.

**Community Planning Organization:** The following recognized Community Planning Organization (CPO) has been notified of this application. This organization may develop a recommendation on this application. You are welcome to contact this organization and attend their meeting. If this Community Planning Organization is currently inactive, and you are interested in becoming involved in Land Use Planning in your area, please contact the Citizen Involvement Office at (503) 655-8552.

CANBY CPO (INACTIVE)

OR

**Decision Process:** In order to be approved, this proposal must meet the approval criteria in the Zoning and Development Ordinance, Section(s)

1307, 401, 707

The Ordinance criteria for evaluating this application can be obtained from this office or viewed at [www.clackamas.us/planning/zdo.html](http://www.clackamas.us/planning/zdo.html). You may view the submitted application at the following link, <https://accela.clackamas.us/citizenaccess/> within five days of the date of this notice, or at our office during weekday lobby hours, 8:00 am to 4:00 pm, Monday through Thursday and 8:00 am to 3:00 pm Friday.

A decision on this proposal will be made and a copy will be mailed to you. If you disagree with the decision you may appeal to the Land Use Hearings Officer who will conduct a public hearing. There is a \$250 appeal fee.

Comments:

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\_\_\_\_\_  
Your Name/Organization

\_\_\_\_\_  
Telephone Number

*Clackamas County is committed to providing meaningful access and will make reasonable accommodations, modifications, or provide translation, interpretation or other services upon request. Please contact us at 503-742-4545 or email [DRenhard@clackamas.us](mailto:DRenhard@clackamas.us).*

503-742-4696: ¿Traducción e interpretación? | Требуется ли вам устный или письменный перевод? | 翻译或口译? | Cần Biên dịch hoặc Phiên dịch? | 번역 또는 통역?



Planning & Zoning  
Development Services Building  
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Web: <http://www.clackamas.us/transportation/planning/>

**LAND USE APPLICATION**

**DEEMED COMPLETE**

ORIGINAL DATE SUBMITTED: 02/12/2020  
FILE NUMBER: Z0070-20-HL  
APPLICATION TYPE: HISTORIC LANDMARK

The Planning and Zoning Division staff deemed this application complete for the purposes of Oregon Revised Statutes (ORS) 215.427 on: 2/25/20

[Signature]  
Signature

Sr Planner  
Title

Anthony Riedner  
Print Name

Comments: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

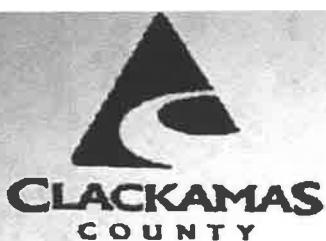
**Check one:**

☐ The subject property is located inside an urban growth boundary. The 120-day deadline for final action on the application pursuant to ORS 215.427(1) is:

\_\_\_\_\_

☒ The subject property is not located inside an urban growth boundary. The 150-day deadline for final action on the application pursuant to ORS 215.427(1) is:

June 24, 2020



CLACKAMAS COUNTY PLANNING AND ZONING DIVISION  
DEPARTMENT OF TRANSPORTATION AND DEVELOPMENT  
DEVELOPMENT SERVICES BUILDING  
150 BEAVERCREEK ROAD | OREGON CITY, OR 97045  
503-742-4500 | [ZONINGINFO@CLACKAMAS.US](mailto:ZONINGINFO@CLACKAMAS.US)

RECEIVED

FEB 12 2020

Clackamas County  
Planning & Zoning Division  
**Land Use Application**

Date received: 2/12/2020	Staff initials:
Application type: HL REVIEW	File number:
Zone: EDU HL	Fee: NO FEE
Violation #:	CPO/Hamlet:

What is proposed? HISTORIC DESIGN REVIEW FOR ALTERATION TO FREEZE FAMILY FARM, EAST ADDITION REPLACEMENT & CHANGES TO FENESTRATION ON NORTH EAST FACADES

Name of applicant: GENO SALIMENA

Mailing address: 7637 SE 15TH AVE

City PORTLAND State OR Zip 97202

Applicant is (select one): ☐ Property owner ☐ Contract purchaser ☒ Agent of the property owner or contract purchaser

Name of contact person (if other than applicant):

Mailing address of contact person:

Applicant #s: Wk: Cell: 503-200-0310 Email: geno@gustodesignstudio.com  
Contact person #s: Wk: Cell: Email:

Other persons (if any) to be mailed notices regarding this application:

JENNIFER GILLER 23338 S. BLOUNT RD, CANBY, OR 97013 OWNER  
Name Address Zip Relationship

SITE ADDRESS: 23300 S. BLOUNT RD, CANBY, OR 97013  
Name Address Zip Relationship

TAX LOT #: T. R Section 351E35 Tax Lot(s) 01300  
Adjacent properties under same ownership: Total land area: 8.08 ACRES

T	R	Section	Tax lot(s)
T	R	Section	Tax lot(s)
T	R	Section	Tax lot(s)

I hereby certify that the statements contained herein, along with the evidence submitted, are in all respects true and correct to the best of my knowledge.

JENNIFER GILLER  
Property owner or contract purchaser's name  
(print)

2/11/2020  
Date

GENO SALIMENA  
Applicant's name  
(print)

Date

[Signature]  
Owner or contract purchaser's signature  
[Signature]  
Applicant's signature

## Clackamas County Historic Landmark Review

February 10, 2020

### PROJECT INFO

Historic Address: 23300 S Blount Road, Canby, OR 97013  
Mailing Address: 23338 S Blount Road, Canby, OR 97013  
Owners: Jennifer Giller, June Snook  
Taxlot #: 31E35 01300  
Parcel #: 00800039  
Property size: 8.08 acres  
Zoning: EFU – outside urban growth boundary  
Applicant: Geno Salimena: 503-200-0310  
Gusto Design, LLC 7637 SE 13<sup>th</sup> Ave, Portland, OR 97202

### PROJECT SUMMARY

- Rebuild the 145 SF east-side hipped-roof addition and add a new 230 SF addition with an attached two-story octagonal bay projection with roof balcony and roof dormer at the back side (east-side) of this single-family residence.
- The proposed east-side addition will have a new concrete foundation and crawlspace except under the proposed octagonal bay of the east-side addition, the new concrete foundation will be dug down to create 138 SF of full-height basement storage and mechanical room.
- Reconfigure windows on the east façade (back side) where the addition is being rebuilt. Replace non-original kitchen windows on the north side with new taller units.
- Deconstruct a non-contributing detached woodshed / pumphouse in poor condition. It is located five feet from the back (east) side of the main house.

### MAJOR ALTERATIONS CRITERIA

#### **A. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.**

The Freeze Farm property is an original farmstead and will continue to function as a small farm. The proposed alterations will improve the deteriorating conditions and also improve the livability of the house; however, the improvements will not impact the current use of the house or structures on the property. The proposed design is in keeping with the original character and charm of the Vernacular Victorian farm house. The defining characteristics of the house will be preserved and maintained.

**B. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.**

All architectural details and materials will remain unchanged on the west façade (front, street-facing) and the south façade. On the north side of the home, we are proposing a minor change to the kitchen windows and the bathroom window on the main floor. In both locations, the windows are not original to the existing house. We are proposing removing the bathroom window altogether and infilling the siding with horizontal siding to match original ship lap siding. For the kitchen windows, we are proposing replacing the current non-original windows with new, taller windows, maximizing the verticality of the windows to better match the proportions of the original window on the west wall of the kitchen. Currently, a siding patch below the kitchen window sills can be seen where the original windows were removed for the currently installed, shorter ones that accommodate a wall mounted faucet on the interior. All trim, sills and window sash materials will be replicated to match the painted wood originals.

The east façade is the most private and least visible to the public. It is on this side that we are proposing a single-story addition to replace the existing deteriorating single-story addition, a two-story octagonal bay addition with a basement, a proposed east-facing roof dormer with new fenestration on the 2<sup>nd</sup> floor. The existing single-story hipped addition on the east side is in poor condition and is not original to the house, at least not in its current form. The east addition was claimed to be added sometime between 1920 and 1939 as a back porch that entered into the living room. At some point in time, sheets of T-111 plywood siding were used to infill between the structural posts on the east wall (exterior wall) of addition. The door and door casing (trim) are out of character with the other cased openings on the exterior. These addition windows are not original double hung but are storm windows made to look like double hung windows. The west wall of the hipped addition (the interior wall) has areas of original ship-lap siding and appears to have an infilled door connecting the east porch to the living room. The ad-hoc character of this east side hipped addition has been modified several times over its lifetime and does not contribute to the style of the house or display unique defining characteristics that were added over time. This east addition was infilled with very little wall framing lumber, inappropriate single pane storm windows, inexpensive plywood siding and inferior finish work that shows the builders were not concerned about matching the integrity or character of the original house. Therefore, because this back edge of the house offers an incredible opportunity to connect the interior living spaces to the pastoral outdoors, it is the ideal area of the home to receive improvements that will make the house more livable for future generations without having impacts to the facades that are visible from the street.

**C. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.**

The design of the new east side addition is not creating a false sense of historical development. The north end of the proposed east side addition will be similar in shape and form to the original addition. It will be re-built as a single-story hipped roof structure. The proposed addition will be clad in siding that matches the original house siding as to create an addition that integrates with the original structure. We are proposing shifting the east wall of the proposed addition one-foot past the original addition's foundation in order to clearly define the new addition as new (and not to depend on using the earlier unreinforced foundation) and to create a more usable mudroom and laundry room along that east edge of the house (the primary entry from the farm buildings).

At the south end of the proposed east side addition, we are proposing an octagonal bay as a means to bring natural light into the living space of the original house. The bay will be a new architectural feature to the house and although it is not replicating an original feature, it is common for Victorian-era homes to have octagonal bays as a means to bring light and views into the home. This proposed octagonal bay design incorporates windows that match the material, size and scale of the original windows still in use throughout the home. This bay also introduces a roof balcony for the master bedroom above and a full-height basement for storage below. The balcony handrailing above will be made of painted wood piers and turned balusters that match the painted wood details of the front porch.

The proposed exterior materials and architectural details will be in-keeping with the architectural style of the home so that there is an architectural harmony between the original structure and the new addition. The siding and trim profiles will be matched at a local millwork company to ensure a perfect match in size and shape. Windows will be all-wood painted double-hung windows with sash lugs to match the existing windows. The composition asphalt roofing material will stay the same over the replaced hipped portion of the addition to match the main gable roofs on the house.

Similarly, the roofing, rake boards, barge and gable stick ends of the new gable roof dormer above the octagonal bay will be detailed to match the gables on the other three sides of the house. All new doors and windows will be painted wood to match the original doors and windows.



**D. Most properties change over time; those changes that have acquired historic significances in their own right shall be retained and preserved.**

The front porch detailing is not original to the house, but it adds to the architectural character of the home and will remain intact in this renovation.

The original foundation of the house appears to be post and beam on brick piers. That foundation was subsequently infilled with newer brick between the piers. We are proposing a new concrete foundation for the east-side addition only. In all other locations the brick foundation will remain as the exposed foundation. We will be utilizing the new concrete foundation to reinforce this historic structure for lateral and seismic forces as required by modern seismic codes. It will also serve as an element that differentiates the new construction from the original without noticeably compromising the architectural character of the house.

The existing woodshed/pumphouse is not listed as a contributing structure to the farmstead in the Intensive Level Survey and is labeled of an indeterminable age. Referencing the narratives and the site plan of the Land Use File #1277-90-Z, the woodshed/pumphouse is not specifically mentioned as integral to maintaining the historical nature of the property nor is it drawn on the site plan of the farm complex (only the garage, chicken house and barn are drawn as outbuildings on the site plan in the land use file). The deteriorated state of this woodshed/pumphouse structure, its lack of contributing architectural character and its disconnection to the house and the surrounding outdoor spaces make it difficult to justify any improvements or restoration. Because it has no significant documented history to the farmstead and because of its poor physical condition, we propose to remove it and locate the water storage tanks in the full-height basement of the proposed octagonal bay addition.

**E. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.**

The distinctive features of the home include painted wood double-hung windows, shiplap siding with corner boards, rake board trim, decorative window trim at the head casing, and small stickwork ornamentation high in the gables. These architectural features will be preserved and replicated at the new east-side addition. As part of the deconstruction of the older east-side addition and the woodshed/pumphouse, siding material being removed will be salvaged for reuse at areas of repair, specifically at the north side of the house, where the new addition will be tying into the original wall of the house.



**F. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.**

The original siding of the house appears to be in good shape. All exterior materials on the west, north and south facades will remain. Only exterior siding materials that are severely damaged beyond repair or rotten will be replaced. If a piece of siding or trim is beyond repair, fortunately, the materials salvaged from the dismantling of the existing east side addition and the existing pumphouse/woodshed can be utilized as replacement materials.

**G. Chemical or physical treatments, such as sandblasting, that cause damage to materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the least damaging or gentlest means possible.**

There is no proposed sandblasting or harsh chemical treatments proposed for the home. Any surface cleaning (as in preparation to paint) will be as gentle as possible and according to lead-safe practices. Lead-safe practices only allow scaping of paint and limited heat-gun paint removal.

**H. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.**

Not applicable.

**I. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.**

The proposed first floor addition features an octagonal bay solarium with tall double hung windows that match the proportions of the existing original double hung windows. To differentiate the new bay addition (at solarium and master bath) from the original house, the proposed siding material will be painted wood panels, while the original walls will remain painted shiplap wood siding. The new foundation for the east-side and octagonal bay addition will be concrete to differentiate from the older brick foundations. At the proposed dormer, the roof pitch and gutter/eave height will match the existing roof pitch and eave height, and the original rake trim and painted wood gable ornamentation will be replicated at the new gable. The proposed new windows will be painted double-hung windows to match the scale and proportion of the existing original windows, as well as the painted wood trim with the unique head casing lintel molding. The nature of the of the modifications will be to match the existing woodwork and detailing to maintain a cohesiveness to the style of the house but with subtle ques that differentiate the old from the new.

**J. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property, including the historic plant materials, and its environment would be unimpaired.**

All of the proposed alterations could be removed in the future and still maintain the integrity of the historic property. The primary asymmetrical intersecting gable roof forms will be maintained. The new dormer roof on the east side will be largely over-framed on the existing roof with the only change happening at the eave so that the wall plate can be raised and an east-facing door can be introduced for access to the solarium's roof balcony. There are no historic plant materials that are being impacted and therefore the existing farmstead environment will be maintained as it is.

### Photos

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Existing west (street-facing) façade – NO PROPOSED CHANGES



Existing south façade - NO PROPOSED CHANGES



Existing gable trim & ornamentation (shown at south gable) To be replicated in the proposed east dormer





Existing east (rear) façade (non-original hipped-roof addition)



Detail of east (rear) addition. T111 plywood siding, non-period door + casework & non-original storm windows



Existing north façade (non-original kitchen windows shown on main level)



Detail of non-original kitchen windows and cut siding below. Detail of non-original bathroom window





The existing deteriorated woodshed/pumphouse North elevation (proposed to be deconstructed)



Existing woodshed/pumphouse. South & East elevations (proposed to be deconstructed)

## EROSION CONTROL NOTES:

1. SPOILS: ALL SOIL EXCAVATED FROM THE SITE FOR THE NEW FOUNDATION IS TO BE DISTRIBUTED ON SITE AND GRADED LEVEL WITH THE EXISTING TOPOGRAPHY. SOIL SHALL BE PLANTED WITH SEED OR COVERED WITH STRAW IMMEDIATELY TO MINIMIZE EROSION.
2. SITE ENTRANCE: (E) GRAVEL DRIVEWAY WILL BE USED TO ACCESS THE SITE.
3. GRAVEL BASE: ONCE SITE HAS BEEN EXCAVATED TO PROPER DEPTH, GRAVEL IS TO BE TRUCKED ON SITE TO MINIMIZE SOIL TRACKING ONTO THE STREET DURING CONSTRUCTION.

## IMPERVIOUS AREAS:

(E) ROOF AREA:	1255 SF
DEMOLISHED SHED	-232 SF
NEW EXTERIOR STAIRS	71 SF
NEW ROOF AREA (INCLUDES OVERHANG):	60 SF
TOTAL:	1154 SF

## ABBREVIATIONS

ADD'L	ADDITIONAL
CFCI	CONTRACTOR FURNISHED, CONTRACTOR INSTALLED
CLR	CLEAR
CNTP	COUNTERTOP
CONC	CONCRETE
CVG	CLEAR VERTICAL GRAIN
DEMO	DEMOLISH
DF	DOUG FIR
(E)	EXISTING
FIN	FINISH
HT	HEIGHT
LOC'N	LOCATION
OFCI	OWNER FURNISHED, CONTRACTOR INSTALLED
PT(D)	PAINT(ED)
RM	ROOM
REQ'S	REQUIREMENTS
SIM	SIMILAR
STC	STUCCO
STN	STONE
T	TEMPERED
TBD	TO BE DETERMINED
T/M	TO MATCH
TL	TILE
T&G	TONGUE & GROOVE PANELING
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE
W/	WITH
WD	WOOD
WF	WOOD FLOORING
WB	WOOD BASE
WP	WOOD PANELING
WT	WOOD TRIM

## INDEX

A1	PROPERTY MAP, INDEX, PROJECT DESCRIPTION, CONTACT INFO
A2	SITE PLAN
A3	EXISTING FLOOR PLANS
A4	PROPOSED FLOOR PLANS
A5	EXISTING EXTERIOR ELEVATIONS
A6	PROPOSED EXTERIOR ELEVATIONS

## PROJECT DESCRIPTION

### HOUSE REMODEL

- REMODEL KITCHEN, LIVING, AND DINING ROOM
- OPEN UP EAST SIDE (BACK) OF HOUSE FOR IMPROVED GARDEN CONNECTION AND NATURAL LIGHT
- SOLARIUM ADDITION AT THE BACK SE CORNER
- REMODEL 2ND FLOOR BEDROOMS AND ADD 2 BATHROOM (1 ENSUITE FOR A MASTER BEDROOM)
- HISTORIC DESIGN REVIEW

(E) MAIN FLR AREA:	1004 SF
(E) 2ND FLR AREA:	852 SF
TOTAL (E) AREA:	1856 SF

NEW MAIN FLOOR AREA:	97 SF
NEW 2ND FLR BAY AREA:	7 SF
TOTAL NEW LIVING AREA:	104 SF

NEW BASEMENT AREA:	138 SF
(UNCONDITIONED)	

## PROPERTY DESCRIPTION

23300 S BLOUNT ROAD (23338 S BLOUNT RD - MAILING)  
CANBY, OR 97013

ZONING:	EFU (OUTSIDE UGB)
PARCEL #:	00800039
TAXLOT #:	31E35 01300
LOT AREA:	8.08 ACRES
JURISDICTION:	CLACKAMAS COUNTY
CONSTRUCTED:	1900

## CONTACTS

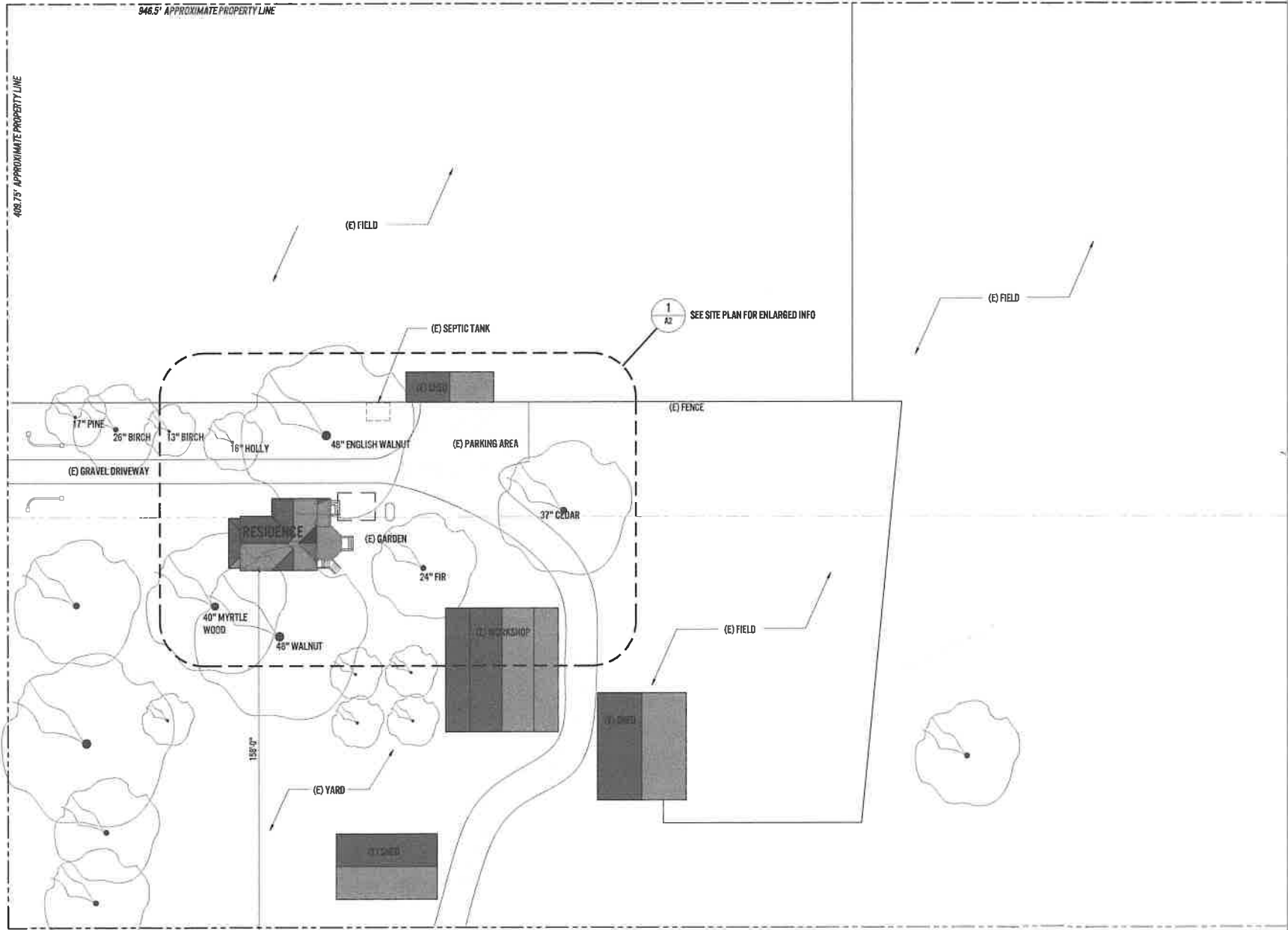
OWNER:	JUNE SNOOK, JENNIFER GILLER 23338 S BLOUNT ROAD CANBY, OR 97013
DESIGNER:	GUSTO DESIGN, LLC 7637 SE 13TH AVE PORTLAND, OR 97202 CONTACT: GENO SALIMENA; 503-200-0310
CONTRACTOR:	ROBERT AND KIDS LLC; CCB# 219509 CONTACT: 503-957-3171 ROBERT HUBATCH EMAIL: ROBERTANDKIDSLLC@GMAIL.COM
STRUCTURAL ENGINEER:	GRUMMEL ENGINEERING, INC. CONTACT: (503) 244-7014 BRITTANY STONE, EIT BRITTANY@GRUMMELENGINEERING.COM

## SMALL ADDITION INSULATION/ENERGY CODE NOTES:

N1101.2.2 SMALL ADDITIONS  
ADDITIONS THAT ARE LESS THAN 40% OF THE EXISTING BUILDING HEATED FLOOR AREA OR LESS THAN 600 SF IN AREA, WHICHEVER IS LESS, SHALL BE REQUIRED TO SELECT ONE MEASURE FROM TABLE N1101.1(2) OR COMPLY WITH TABLE N1101.3.

EXCEPTION: ADDITIONS THAT ARE LESS THAN 15% OF EXISTING BUILDING HEATED FLOOR AREA OR 200 SF IN AREA, WHICHEVER IS LESS, SHALL NOT BE REQUIRED TO COMPLY WITH TABLE N1101.1(2) OR TABLE N1101.3.

TABLE N1101.3	
SMALL ADDITION ADDITIONAL MEASURE (SELECT ONE)	
1	INCREASE THE CEILING INSULATION OF THE EXISTING PORTION OF THE HOME AS SPECIFIED IN TABLE N1101.2.
2	REPLACE ALL EXISTING SINGLE-PANE WOOD OR ALUMINUM WINDOWS TO THE U-FACTOR AS SPECIFIED IN TABLE N1101.2
3	INSULATE THE FLOOR SYSTEM AS SPECIFIED IN TABLE N1101.2 & INSTALL 100 PERCENT OF PERMANENTLY INSTALLED LIGHTING FIXTURES AS CFL, LED, OR LINEAR FLUORESCENT OR A MIN. EFFICACY OF 40 LUMENS PER WATT AS SPECIFIED IN SECTION N1107.2.
4	TEST THE ENTIRE DWELLING WITH A BLOWER DOOR AND EXHIBIT NO MORE THAN 5.0 AIR CHANGES PER HOUR @ 50 PASCALS.
5	SEAL AND PERFORMANCE TEST THE DUCT SYSTEM.
6	REPLACE EXISTING 78 PERCENT AFUE OR LESS GAS FURNACE WITH A 92 PERCENT AFUE OR GREATER SYSTEM.
7	REPLACE EXISTING ELECTRIC RADIANT SPACE HEATERS WITH A DUCTLESS MINI SPLIT SYSTEM WITH A MINIMUM HSPF OF 10.0.
8	REPLACE EXISTING ELECTRIC FORCED AIR FURNACE WITH AN AIR SOURCE HEAT PUMP WITH A MINIMUM HSPF OF 9.5.
9	REPLACE EXISTING WATER HEATER WITH A WATER HEATER MEETING CONSERVATION MEASURE D (TABLE N1101.1(2)).



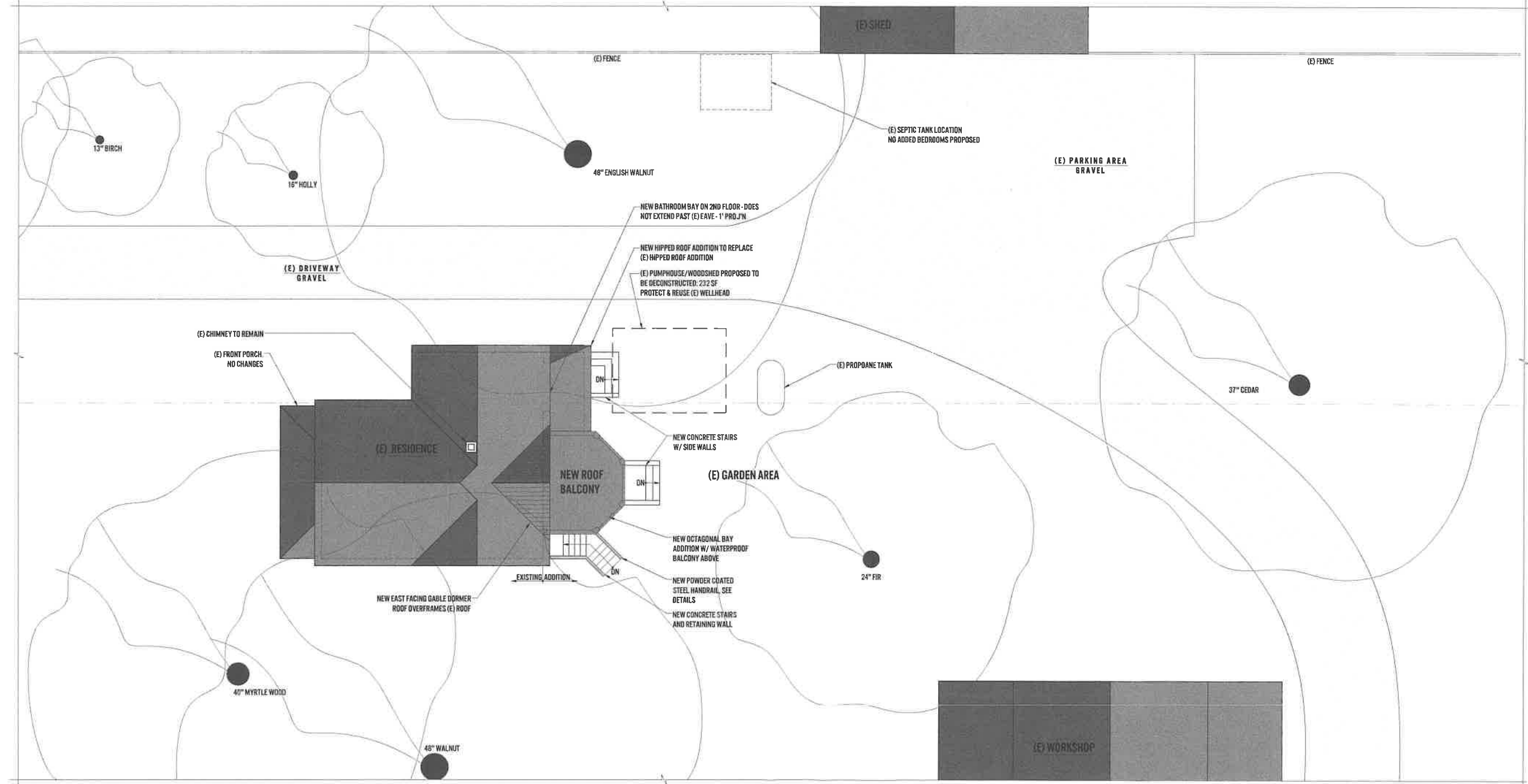
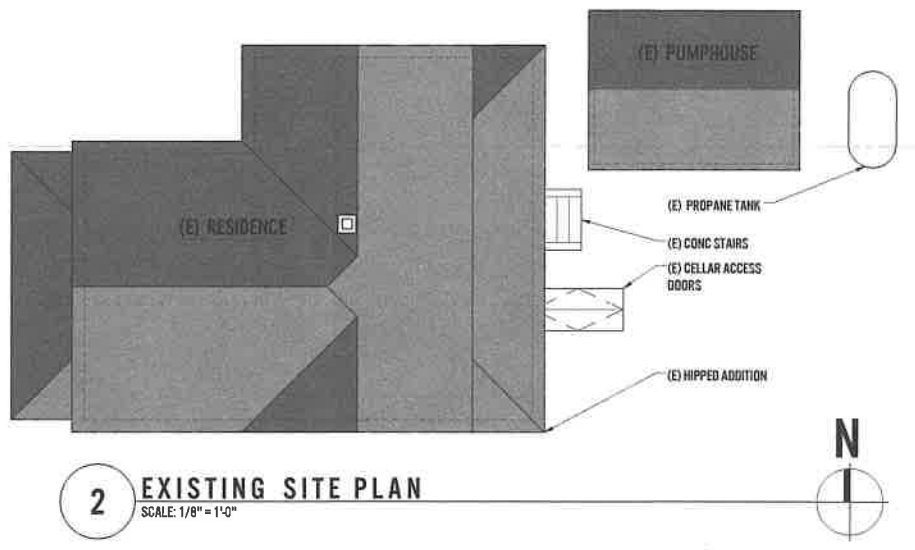


SITE PLAN NOTES:

1. WATER: (E) WELL TO BE MAINTAINED AS CONTINUING SOURCE OF WATER. PROTECT (E) WELLHEAD DURING DECONSTRUCTION OF SHED.
2. SANITARY: CONFIRM (E) SEPTIC SYSTEM IS IN GOOD CONDITION, NO ADDITIONAL BEDROOMS PROPOSED.
3. STORM WATER: (E) RAIN DRAINS. VERIFY ALL RAIN DRAINS DAYLIGHT AT LEAST 10' FROM THE HOUSE.
4. ROOFING: SEE ROOF PLAN A0.1. (SEE SPECIFIC AREA CALC'S)
5. CONCRETE: ALL WALLS TO BE FINISHED WITH PARGE COAT TO COVER SNAPTIES.
6. ELECTRICAL SERVICE: UPGRADE (E) SERVICE TO 200 AMP PANEL. COORDINATE TEMP. SERVICE & OVERHEAD LINES WITH POWER COMPANY AS NECESSARY.
7. PROPANE: DISCONNECT SERVICE FOR EXCAVATION AND RELOCATE METER PER SITE PLAN. DISCUSS (E) TANK LOCATION W/ OWNER BEFORE ANY DEMOLITION BEGINS.
8. LANDSCAPE: WALK THE SITE WITH THE OWNERS TO IDENTIFY PLANTS TO BE RELOCATED BEFORE ANY EXCAVATION BEGINS ON THE NEW ADDITION. CONSTRUCTION AND STAGING OF MATERIALS TO STAY CLEAR OF TREE CANOPIES WITH TRUNKS LARGER THAN 18" IN DIAMETER. USE GRAVEL AREAS FOR STAGING.

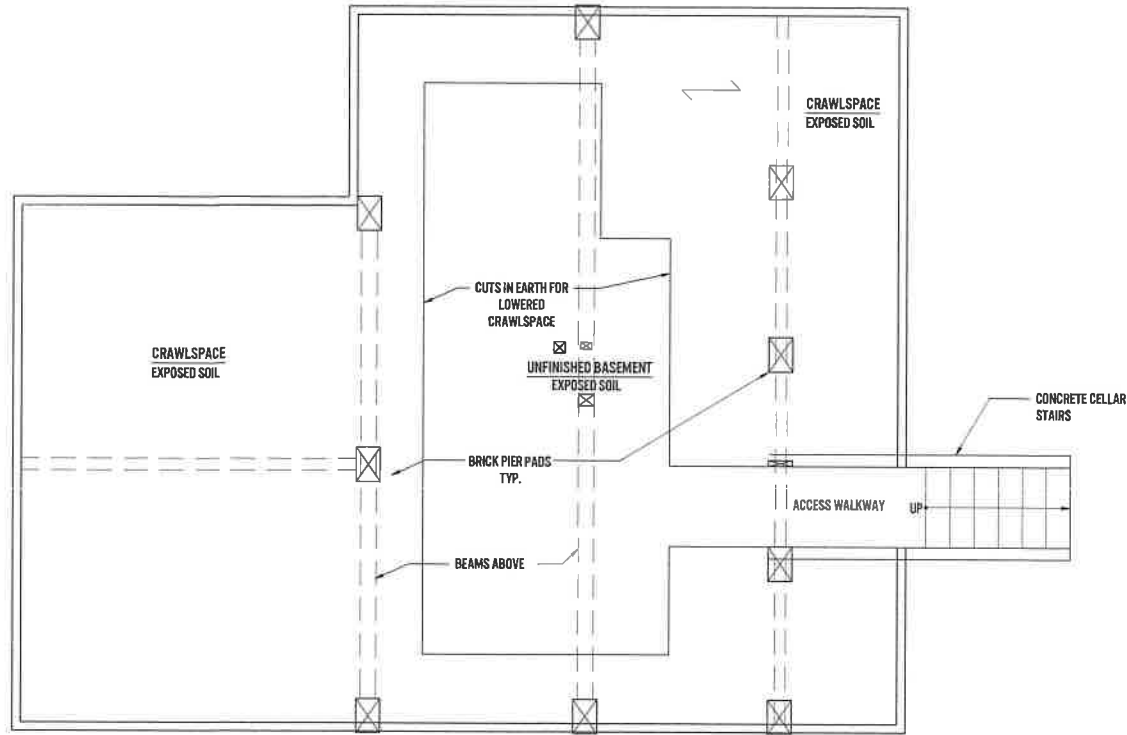
GENERAL ROOFING NOTES:

1. LICENSED ROOFING CONTRACTOR TO BE RESPONSIBLE FOR MEETING MANUFACTURER'S SPECIFICATIONS FOR INSTALLATION DETAILS OF SELECTED SYSTEM.
2. LICENSED ROOFING CONTRACTOR TO BE RESPONSIBLE FOR FLASHING & WATERPROOFING DETAILS.
3. PROVIDE STEP FLASHING/CRICKETS AT ALL CHIMNEY, SKYLIGHT AND SIDING TRANSITIONS. PROVIDE GASKET SEALS AROUND ALL VENT PENETRATIONS.
4. PROVIDE EAVE AND SOFFIT VENTING PER CODE WITH VENTED BLOCKING BETWEEN ROOF FRAMING AT EAVES. USE CONTINUOUS RIDGE VENT WHEN POSSIBLE. VERIFY THAT VENTING IS CONTINUOUS AT ALL EAVE CONDITIONS BEFORE INSTALLING.
5. ALL PLUMBING VENT PIPES TO BE ROUTED TO MAINTAIN A MINIMUM OF 10' CLEAR FROM OPERABLE SKYLIGHTS, WINDOWS AND DOORS IF A MINIMUM OF 3" ABOVE SUCH FEATURES IS NOT FEASIBLE.
6. DOWNSPOUTS TO MATCH EXISTING. CONNECT ANY NEW DOWNSPOUTS AND DRAINPIES TO EXISTING STORM DRAINS. NOTIFY OWNER / DESIGNER OF ANY NON-FUNCTIONING & DAMAGED GUTTERS, DOWNSPOUTS & RAIN DRAINS. PROVIDE A PROPOSAL FOR SCOPING (E) RAIN DRAINS FOR OWNER'S REFERENCE.
7. ALL ROOF SLOPES LESS THAN 4:12 TO RECEIVE A LAYER OF ICE & WATER SHIELD OR APPROVED EQUAL BY ROOFING MANUFACTURER.
8. LOW SLOPE ROOFING FOR NEW BALCONY, SEE SECTIONS A4.1.

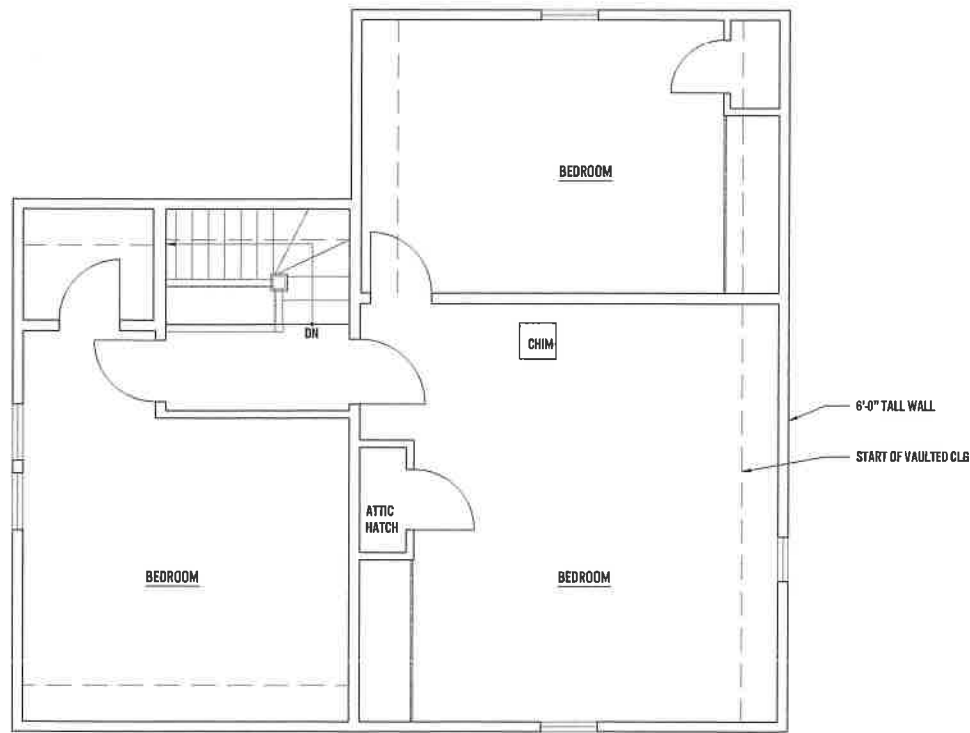


1 PROPOSED SITE PLAN  
SCALE: 1/8" = 1'-0"

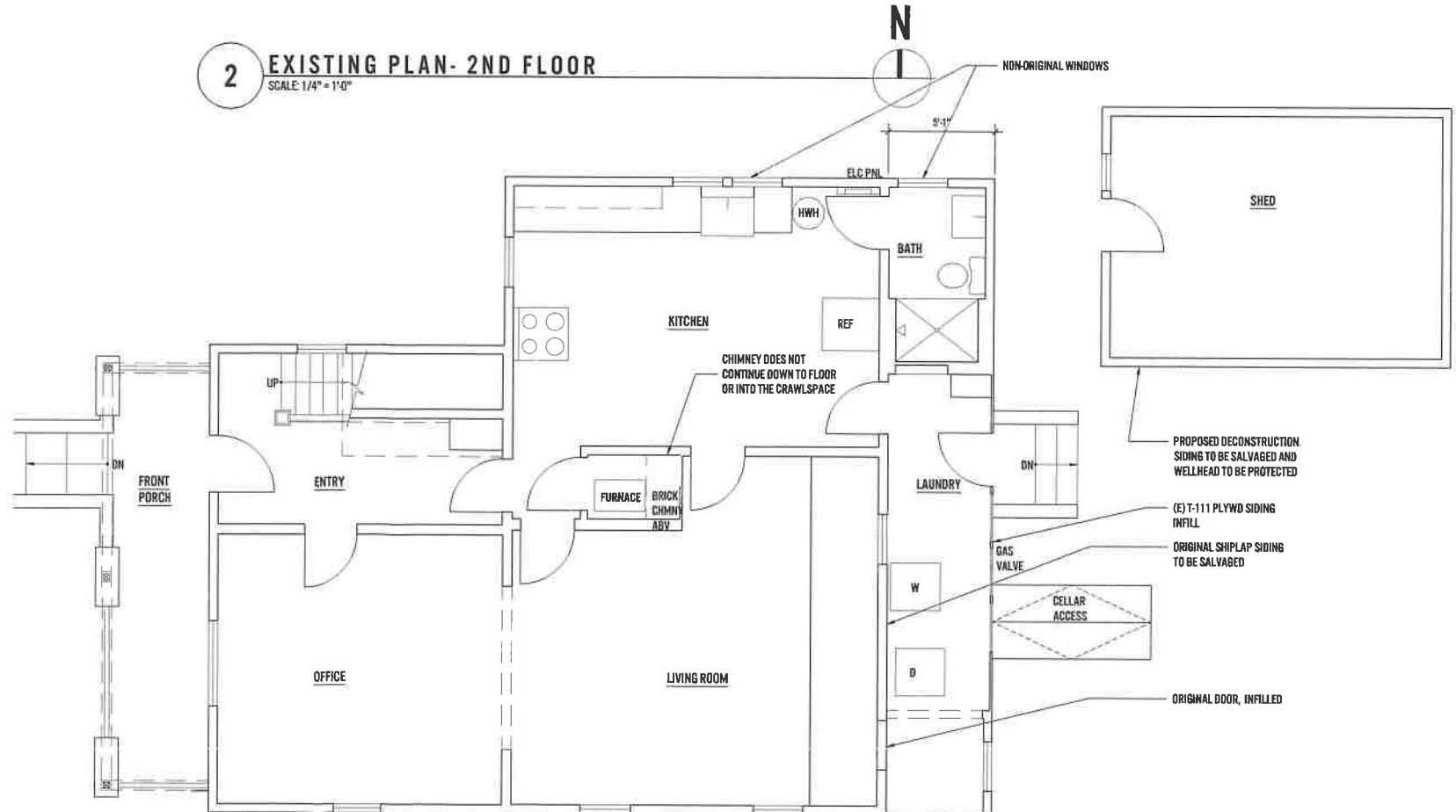
2 EXISTING SITE PLAN  
SCALE: 1/8" = 1'-0"



**2 EXISTING PLAN- 2ND FLOOR**  
SCALE: 1/4" = 1'-0"



**2 EXISTING PLAN- 2ND FLOOR**  
SCALE: 1/4" = 1'-0"



**1 EXISTING PLAN- 1ST FLOOR**  
SCALE: 1/4" = 1'-0"

### FLOOR PLAN LEGEND:

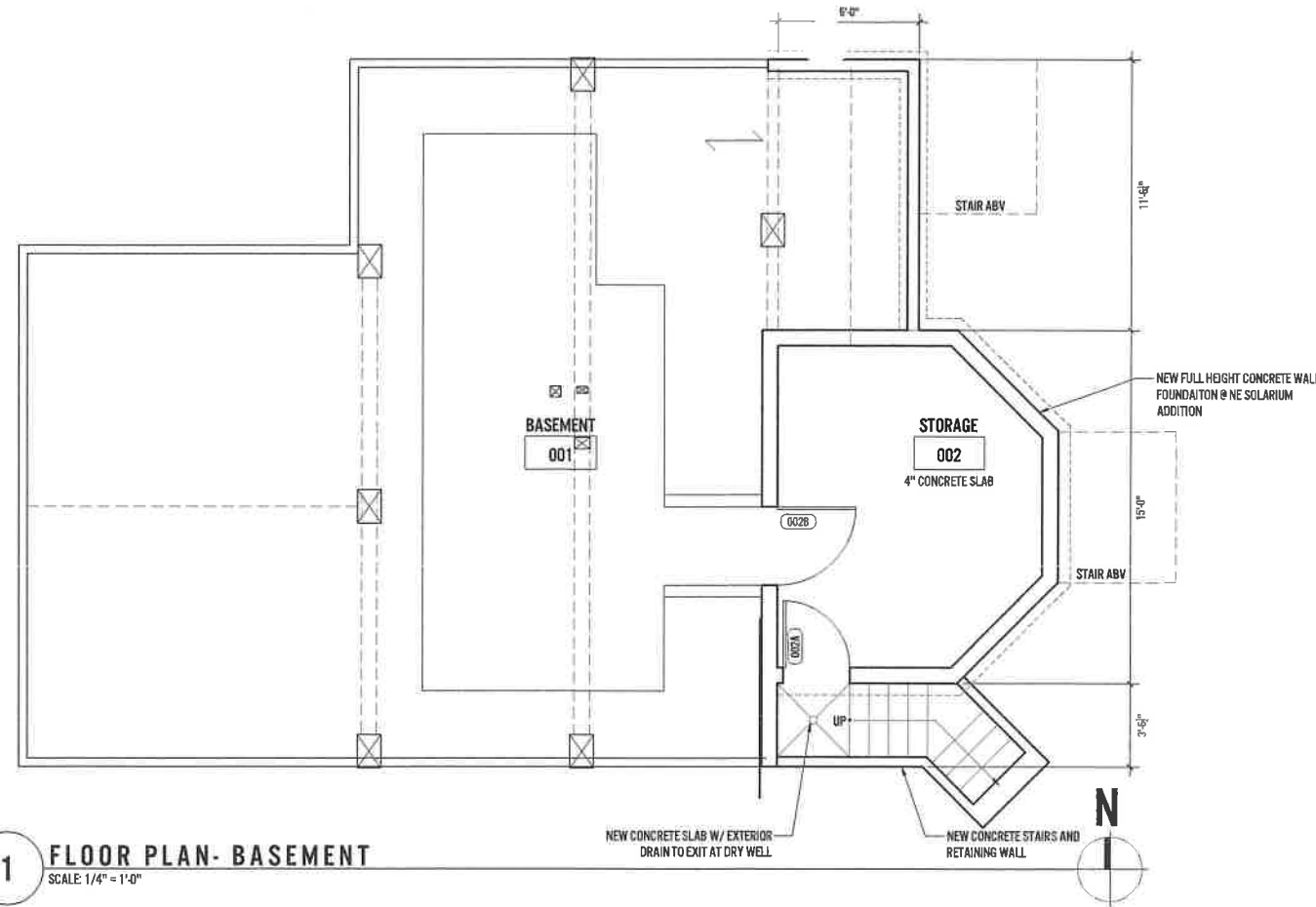
- NEW 2 X 4 INTERIOR STUD WALL, OR 2 X 6 EXTERIOR WALL. ALL WALLS BUILT AT 16" O.C. ALL PLUMBING WALLS TO BE 2 X 6 CONSTRUCTION. NEW WALLS ADJACENT TO (E) WALLS ARE TO MATCH THICKNESS WHERE VISIBLE.
- (E) EXTERIOR WALL TO REMAIN. FINISHES TO BE REMOVED PER A1 DEMOLITION SERIES NOTES & DRAWINGS.
- ITEM HIDDEN BELOW
- ITEM ABOVE
- WINDOW TAG, SEE SCHEDULE ON A2.2
- REVISION
- DOOR
- SMOKE DETECTOR - SEE REFLECTED CEILING PLAN FOR LOCATIONS

### FLOOR PLAN NOTES:

1. ALL DIMENSIONS ARE TO FACE FINISH FACE OF GWB UNLESS NOTED OTHERWISE.
2. INSULATE ALL EXTERIOR CAVITIES THAT ARE EXPOSED DURING CONSTRUCTION AS CLOSE TO CODE AS SPACE ALLOWS. REFER TO INSULATION SPECIFIED IN ENERGY CODE NOTES ON SHEET A2.1
3. SOUND ATTENUATION BATTS TO BE INSTALLED AT ALL INTERIOR WALLS ADJACENT ANY BATHROOMS AND BEDROOMS, U.N.O.
4. TUBS & SHOWERS WALLS TO HAVE NON-PAPER FACED BACKER BOARD.
5. ELECTRIC FLOOR MATS TO BE INSTALLED TO HEAT THE MASTER BATHROOM
6. SHOWER TO BE CURBLESS. REFRAME THE FLOOR TO ACCOMMODATE THE NEW SHOWER SLOPE & WATERPROOFING.
7. EXHAUST SYSTEMS INSTALLED IN BATHROOMS ARE TO BE EXHAUSTED DIRECTLY TO OUTDOORS. DISCUSS UNUSUAL VENT LOCATIONS W/ DESIGNER. REFER TO REFLECTED CEILING PLAN A6.1 FOR FAN & SWITCHING SPECS.
8. PLUMBING FIXTURES ON A8.2; SEE INTERIOR ELEVATIONS A5 FOR KEYED LOCATIONS
9. SEE FINISH FLOOR PLANS A7 FOR FLOOR FINISH INFORMATION, SEE REFLECTED CEILING PLANS A6 FOR CEILING INFORMATION, SEE WINDOW SCHEDULE A2.2 FOR SPECS

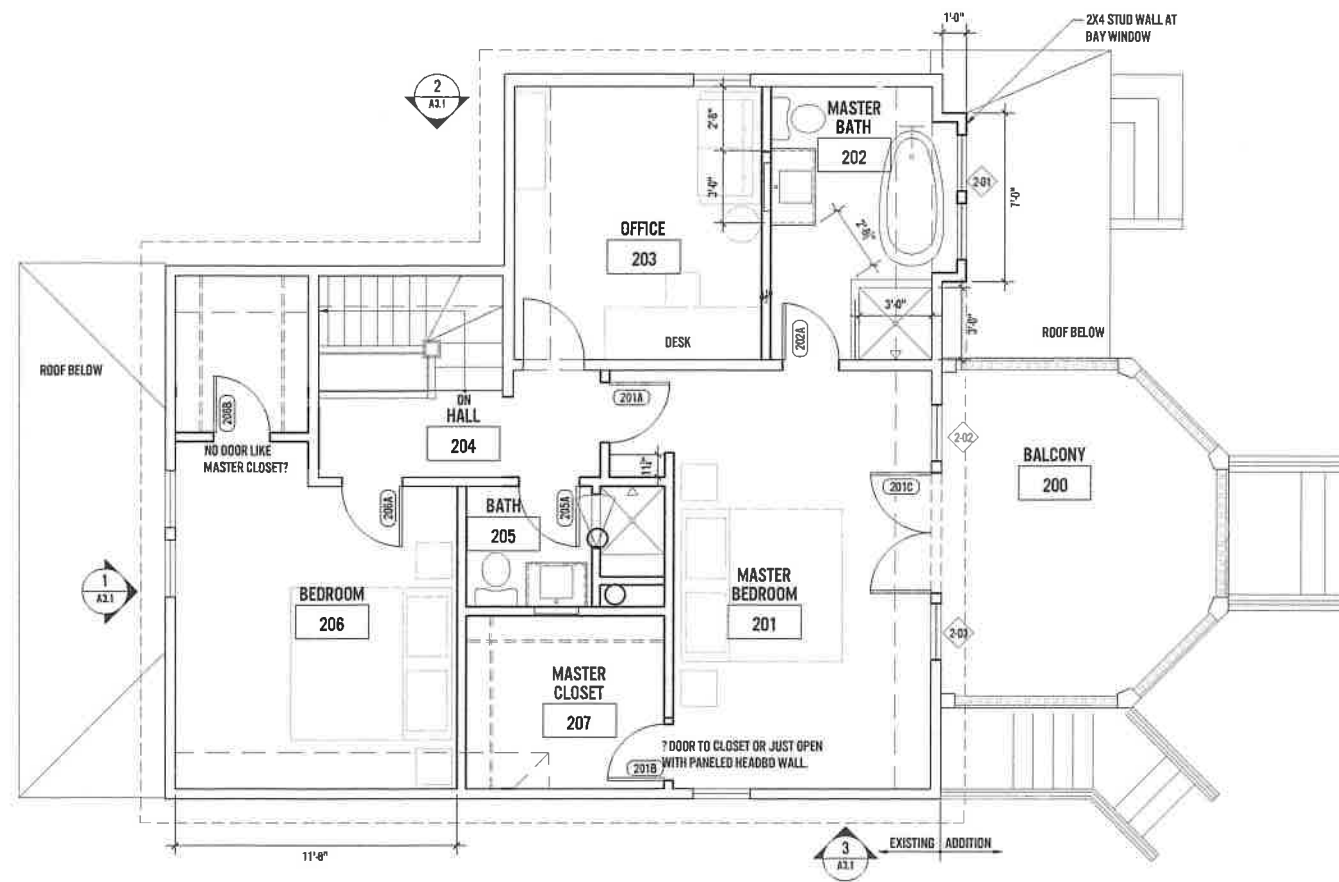
### 1 FLOOR PLAN- BASEMENT

SCALE: 1/4" = 1'-0"



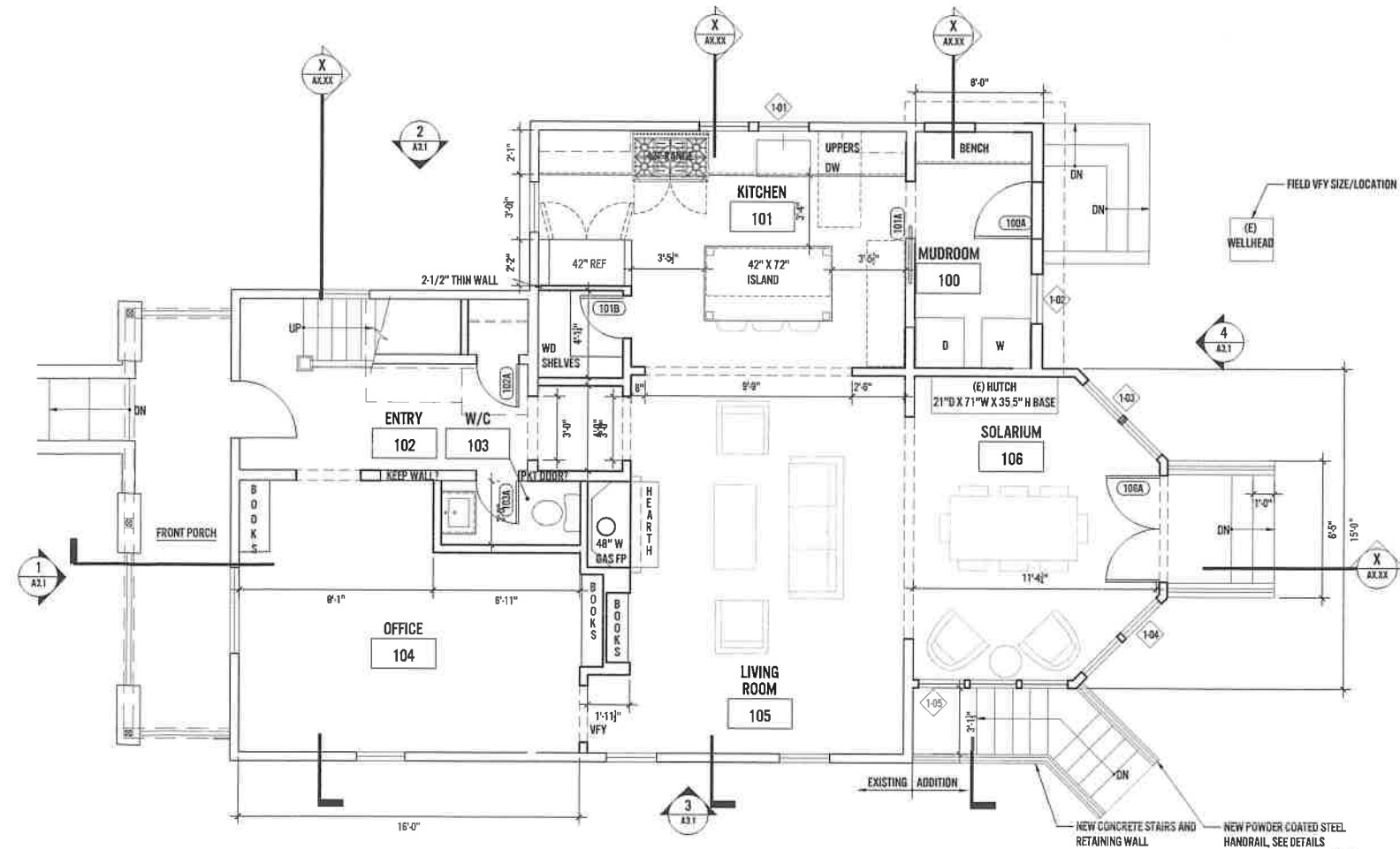
### 3 FLOOR PLAN- 2ND FLOOR

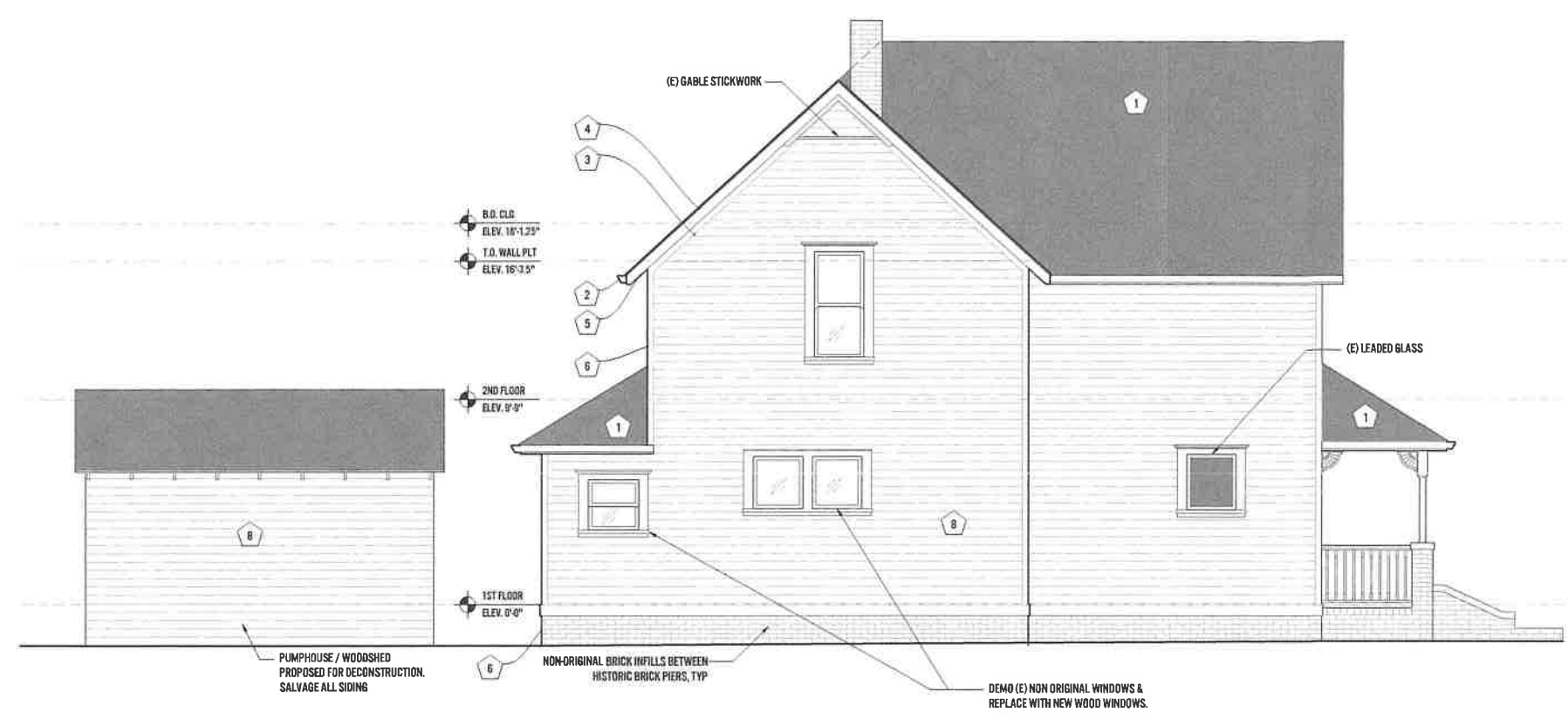
SCALE: 1/4" = 1'-0"



### 2 FLOOR PLAN- 1ST FLOOR

SCALE: 1/4" = 1'-0"





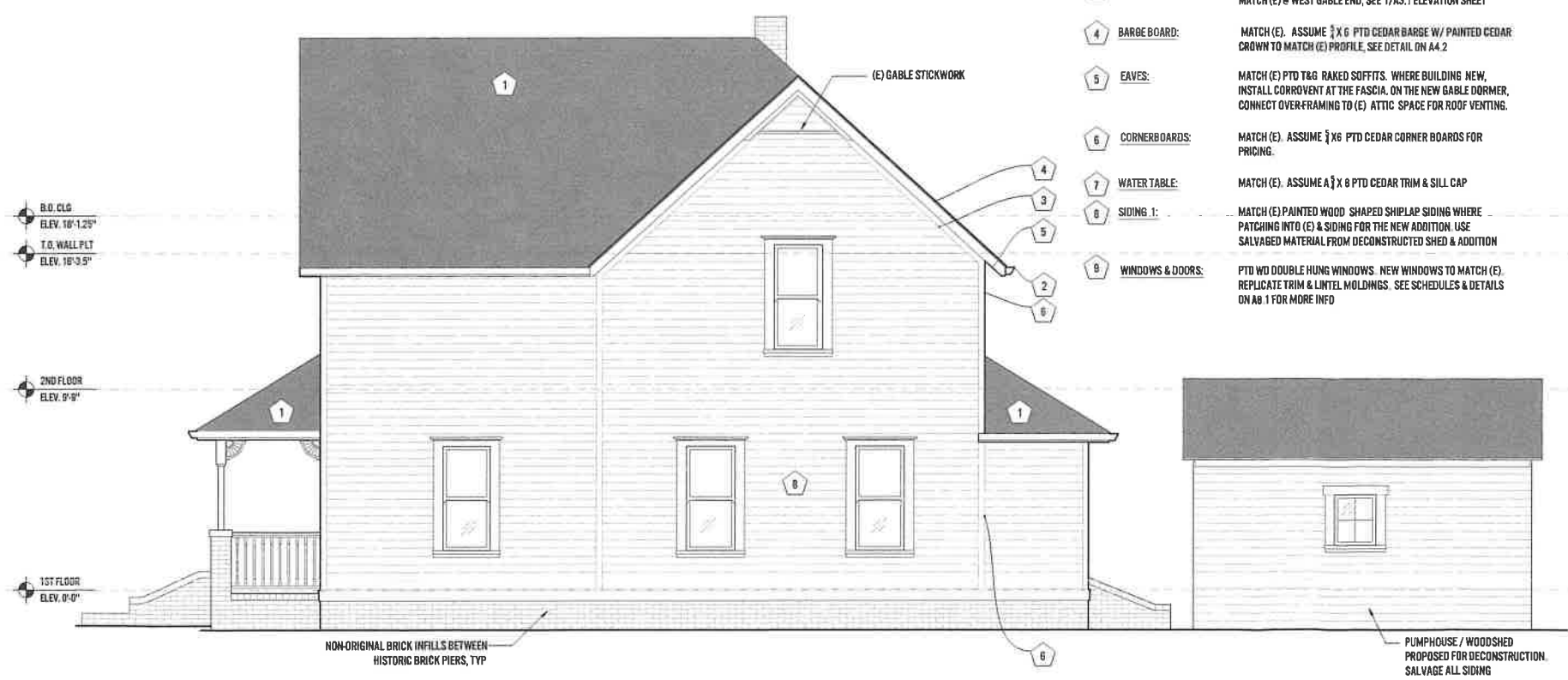
2 EXISTING ELEVATION - NORTH  
SCALE: 1/4" = 1'-0"



1 EXISTING ELEVATION - WEST  
SCALE: 1/4" = 1'-0"

ELEVATION KEY NOTES:

- 1 ROOFING: COMPOSITE ASPHALT SHINGLES. MATCH (E) COLOR & MANUFACTURER. SEE MORE GENERAL ROOFING SPECS ON A0.1.
- 2 GUTTERS & FASCIA BOARDS: MATCH (E). ASSUME 1/2" X 6 PTD CEDAR FASCIA BOARD FOR PRICING. MATCH THE PAINTED METAL 5K GUTTER & FLAT RECT DOWNSPOUTS PAINTED TO MATCH THE HOUSE COLOR.
- 3 RAKE BOARDS: MATCH (E). ASSUME PTD 1/2" X 10 CEDAR BOARD & BEDMOLD TO MATCH (E) @ WEST GABLE END. SEE 1/A3.1 ELEVATION SHEET
- 4 BARGE BOARD: MATCH (E). ASSUME 1/2" X 6 PTD CEDAR BARGE W/ PAINTED CEDAR CROWN TO MATCH (E) PROFILE. SEE DETAIL ON A4.2
- 5 EAVES: MATCH (E) PTD T&G RAKED SOFFITS. WHERE BUILDING NEW, INSTALL CORROVENT AT THE FASCIA. ON THE NEW GABLE DORMER, CONNECT OVERFRAMING TO (E) ATTIC SPACE FOR ROOF VENTING.
- 6 CORNERBOARDS: MATCH (E). ASSUME 1/2" X 6 PTD CEDAR CORNER BOARDS FOR PRICING.
- 7 WATER TABLE: MATCH (E). ASSUME A 1/2" X 8 PTD CEDAR TRIM & SILL CAP
- 8 SIDING 1: MATCH (E) PAINTED WOOD SHAPED SHIPLAP SIDING WHERE PATCHING INTO (E) & SIDING FOR THE NEW ADDITION. USE SALVAGED MATERIAL FROM DECONSTRUCTED SHED & ADDITION
- 9 WINDOWS & DOORS: PTD WD DOUBLE HUNG WINDOWS. NEW WINDOWS TO MATCH (E). REPLICATE TRIM & LINTEL MOLDINGS. SEE SCHEDULES & DETAILS ON A8.1 FOR MORE INFO

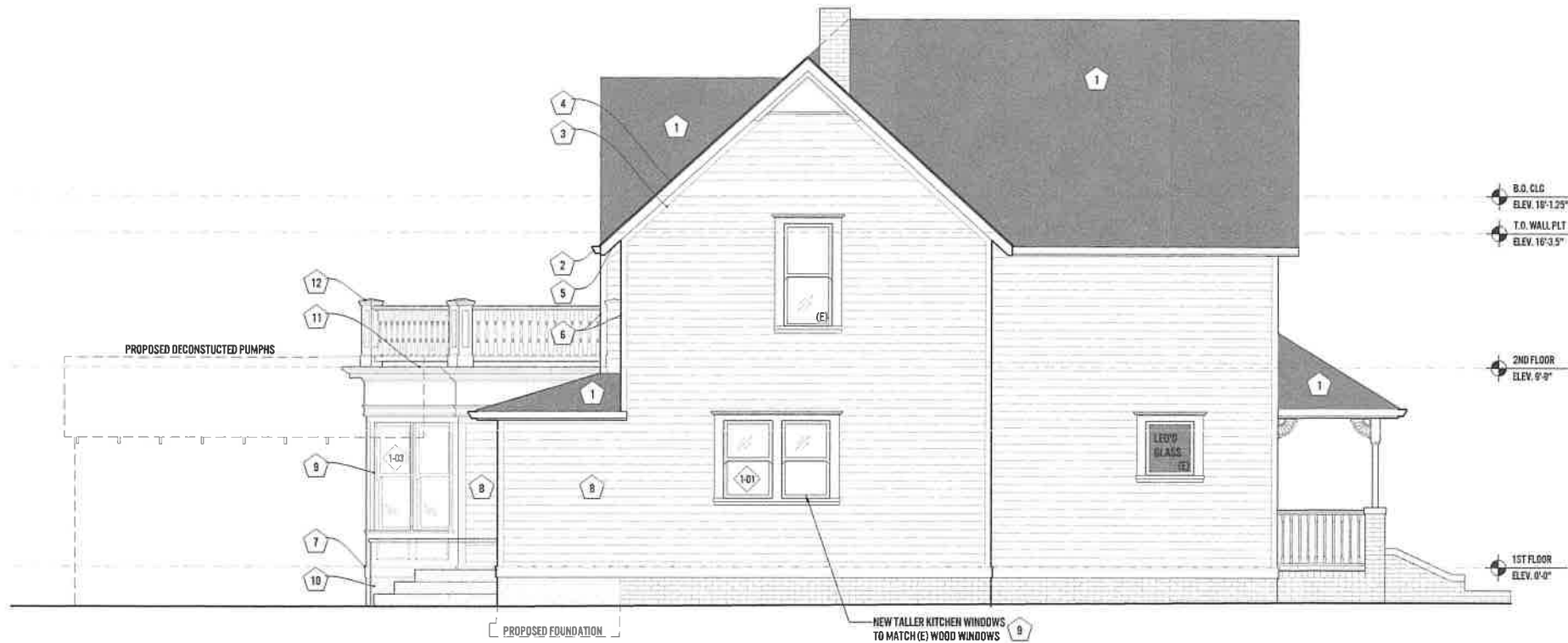


4 EXISTING ELEVATION - SOUTH  
SCALE: 1/4" = 1'-0"



3 EXISTING ELEVATION - EAST  
SCALE: 1/4" = 1'-0"



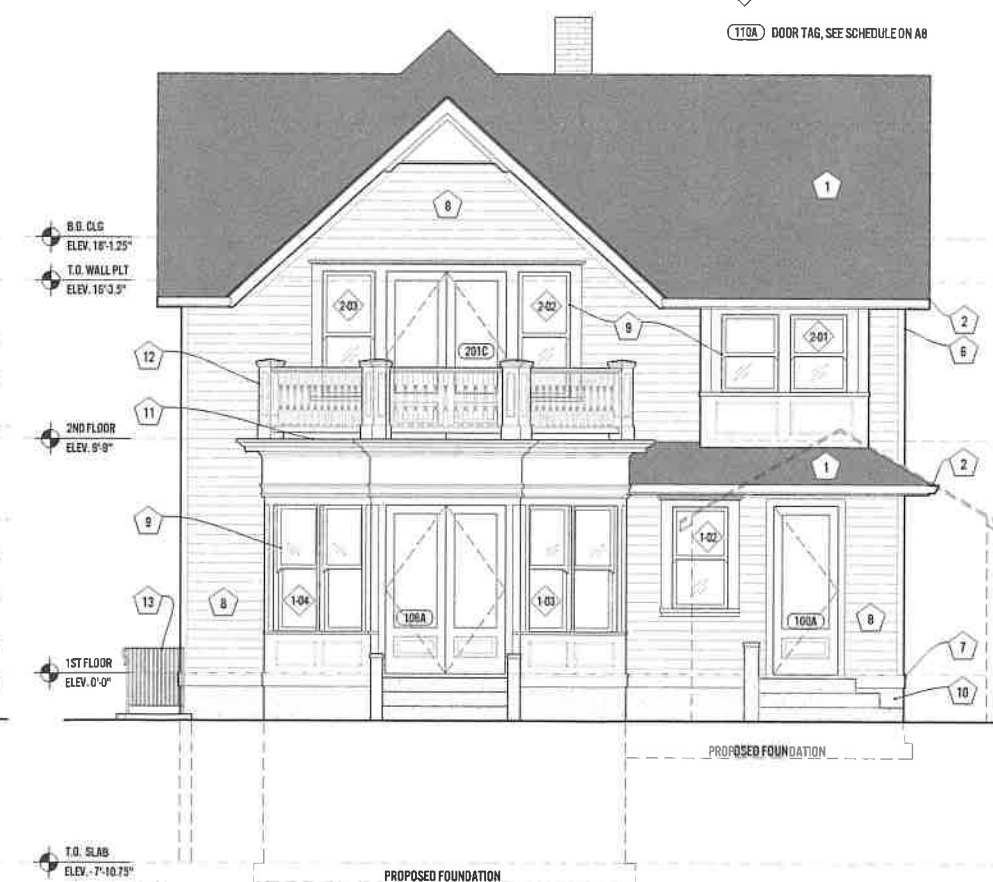


1 WEST ELEVATION (NO CHANGES - REFERENCE ONLY)  
SCALE: 1/4" = 1'-0"

2 NORTH ELEVATION  
SCALE: 1/4" = 1'-0"



4 SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"



3 EAST ELEVATION  
SCALE: 1/4" = 1'-0"

#### ELEVATION LEGEND:

- 1 KEY NOTE, SEE ABOVE.
- 10 WINDOW, SEE SCHEDULE ON A8
- 110A DOOR TAG, SEE SCHEDULE ON A8

#### ELEVATION KEY NOTES:

- 1 ROOFING: COMPOSITE ASPHALT SHINGLES. MATCH (E) COLOR & MANUFACTURER. SEE MORE GENERAL ROOFING SPECS ON A0.1.
- 2 GUTTERS & FASCIA BOARDS: MATCH (E). ASSUME 3/4" X 6" PTD CEDAR FASCIA BOARD FOR PRICING. MATCH THE PAINTED METAL SK GUTTER & FLAT RECT DOWNSPOUTS PAINTED TO MATCH THE HOUSE COLOR.
- 3 RAKE BOARDS: MATCH (E). ASSUME PTD 1/2" X 10" CEDAR BOARD & BEDMOLD TO MATCH (E) @ WEST GABLE END, SEE 1/A3.1 ELEVATION SHEET
- 4 BARGE BOARD: MATCH (E). ASSUME 1/2" X 6" PTD CEDAR BARGE W/ PAINTED CEDAR CROWN TO MATCH (E) PROFILE, SEE DETAIL ON A4.2
- 5 EAVES: MATCH (E) PTD T&G RAKED SOFFITS. WHERE BUILDING NEW, INSTALL CORROVENT AT THE FASCIA ON THE NEW GABLE DORMER, CONNECT OVER-FRAMING TO (E) ATTIC SPACE FOR ROOF VENTING.
- 6 CORNERBOARDS: MATCH (E). ASSUME 3/4" X 6" PTD CEDAR CORNER BOARDS FOR PRICING.
- 7 WATER TABLE: MATCH (E). ASSUME A 3/4" X 6" PTD CEDAR TRIM & SILL CAP
- 8 SIDING 1: MATCH (E) PAINTED WOOD SHAPED SHIPLAP SIDING WHERE PATCHING INTO (E) & SIDING FOR THE NEW ADDITION. USE SALVAGED MATERIAL FROM DECONSTRUCTED SHED & ADDITION
- 9 WINDOWS & DOORS: PTD WD DOUBLE HUNG WINDOWS. NEW WINDOWS TO MATCH (E). REPLICATE TRIM & LINTEL MOLDINGS. SEE SCHEDULES & DETAILS ON A8.1 FOR MORE INFO
- 10 CONCRETE FOUNDATION: ALL NEW RETAINING & FOUNDATION WALLS CAN REMAIN AS POURED IF FORMS ARE CLEAN W/ MINIMAL TEXTURE & PANEL SEAMS. OTHERWISE WALLS TO BE FINISHED WITH A PARGE COAT. ACID ETCH ALL STAIRS & STAIR EDGING WALLS
- 11 DECKING: 1X4 IPE DECKING IN THE FIELD W/ 1X6 IPE BORDER AT THE OUTSIDE PERIMETER WHERE THE DECKING EDGE IS EXPOSED TO THE INTEGRATED GUTTER. WHERE DECK BOARDS BUTT INTO BORDER, ROUTER END CUTS TO MATCH THE ROUND-OVER ON THE EDGE. PRE-DRILL IPE & USE EXPOSED PAINTED STAINLESS TRIM-HEAD FASTENERS TO TAPERED SLEEPERS
- 12 BALCONY RAILING: PTD WOOD FRAME & PANEL PIERS; PYRAMIDAL CAP WITH BONDERIZED METAL CAP FLASHING; PTD DF TOP RAIL W/ MATCHING MTL CAP FLASHING; PTD DF BOTTOM RAIL AND TURNED PTD CEDAR BALUSTERS. SEE DETAIL A4.2
- 13 STEEL HANDRAILING: TOP AND BOTTOM RAILS: 1-1/2" X 3/4" F&B; BALUSTERS: 1" SQ BAR; UPRIGHTS: 1" SQ BAR UPRIGHTS, BOLTED TO CONCRETE WALLS W/ MNT'G PLATE. TOP RAIL RUNS LONG & TURNS DOWN TO CREATE LAMB'S TONGUE. POWDER-COATED: BLACK 20% GLOSS.

HISTORIC FREEZE FARMHOUSE REMODEL  
23300 S BLOUNT ROAD CANBY, OR 97013  
PROPOSED ELEVATIONS  
LUR SET - NOT FOR CONSTRUCTION

DATE: 2-10-20  
REV: