



**Clackamas County Planning and Zoning Division
Department of Transportation and Development**

Development Services Building
150 Beaver Creek Road | Oregon City, OR 97045
503-742-4500 | zoninginfo@clackamas.us
www.clackamas.us/planning

Memo

To: Historic Review Board members
From: Anthony Riederer, Planner
cc: file
Date: July 24, 2019
Re: HRB meeting, July 31

Hello,

We have a meeting scheduled for Tuesday next, July 31, 2019. This will be an evening meeting set to begin at 7:00 p.m., in the first floor auditorium at 150 Beaver Creek Road. The subject of this meeting is the proposed demolition of two accessory buildings and the proposed construction of a new accessory shop/garage building.

This property is known within the Clackamas County's inventory of designated sites as the Raujol-Salwson House, originally designated in the early 1990s as an example of an early 20th century dwelling as well as its association with local recreational history. Though they are indeterminate date, the accessory buildings are identified in the property's statement of significance. That being said, they have fallen into significant disrepair and, in the opinion of the property owner, have become a hazard on the property. They have submitted narrative along with property images in substantiation of this claim. Additionally, they are requesting to construct a new shop/garage building on a separate area of the property, near the historic dwelling at the end of the existing driveway.

Attached is the submitted application (which contains the applicant's narrative and images, along with information from the inventory and nomination of the site) as well as a copy of ZDO Section 707, which contains the standards on which this application is to be evaluated. As of the time of this memorandum, no public comment has been received relating to this proposal.

Your role here is advisory, to supply information and recommendation to staff who will then render a decision. Broadly speaking, it appears that the buildings have deteriorated to a point where it is not economically reasonable to restore them, and so staff can foresee a pathway to the approval of their removal. The proposed new building, though not 'fancy', is distinct from the style of the historic dwelling without significantly detracting from its historic character.

Take a look, feel free to contact me with questions. Hope to see you all Tuesday the 31st, at 7:00 p.m. Thank you in advance.

Anthony Riederer, Planner
Phone: 503-742-4528



STAFF REPORT TO THE HISTORIC REVIEW BOARD

This document represents the Staff report for a Land Use Application requesting the demolition and removal of two accessory structures of indeterminate age along with the construction of a new accessory garage/shop building on the Historic Landmark property known as the Raujol-Salwson House, SHPO #478.

SECTION 1 – SUMMARY

MEETING DATE: July 31, 2019

CASE FILE NO.: Z0261-19-HL

STAFF CONTACT: Anthony Riederer, (503) 421-9024

LOCATION: 1165 SW Borland Road

APPLICANT: Brandon and Megan Burt

OWNER: same

TOTAL AREA: Approximately 1.96 acres

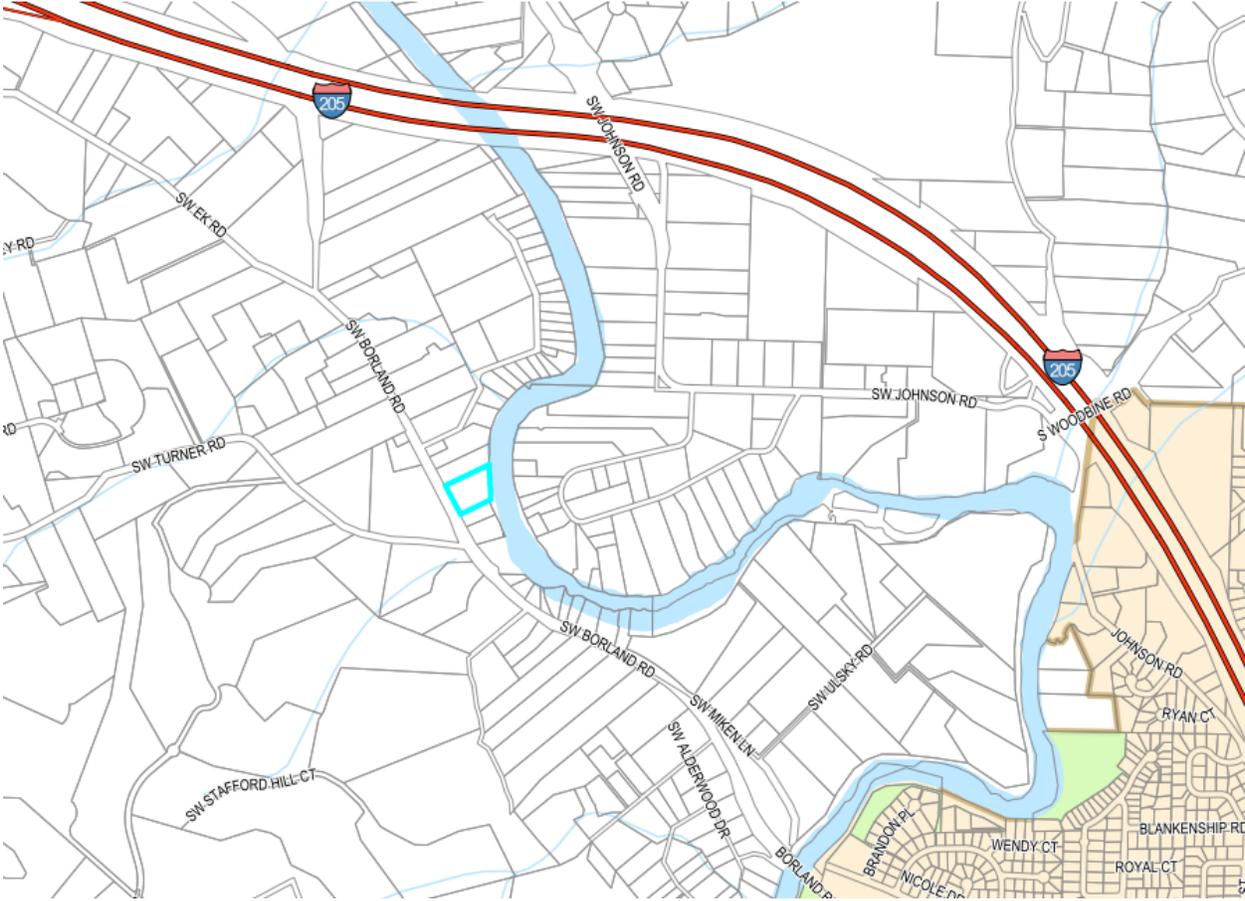
ZONING: RRFF-5/HL, Rural Residential Farm and Forest – 5 Acre/Historic Landmark Overlay

CITIZENS PLANNING ORGANIZATION: Stafford-Tualatin Valley CPO

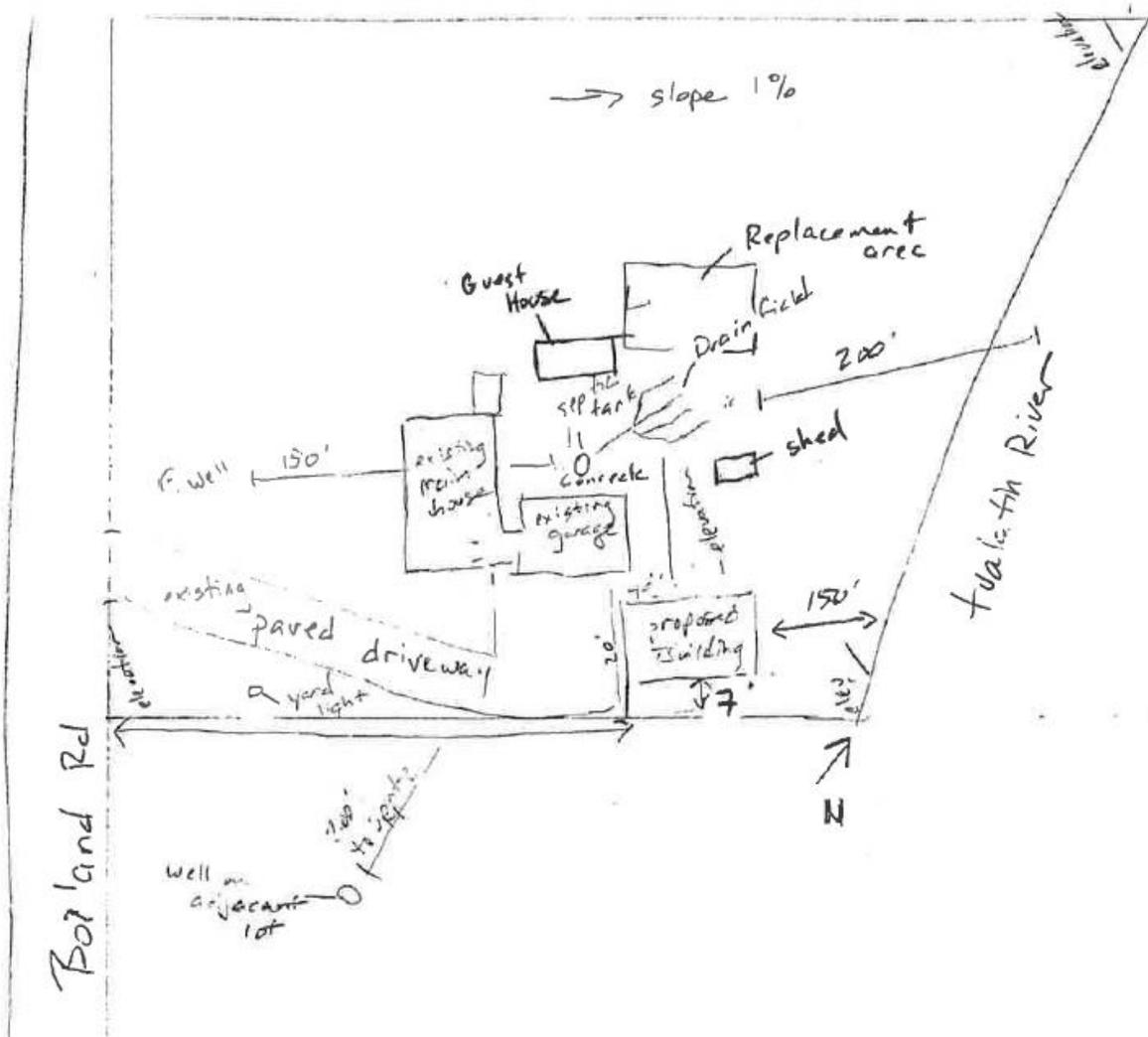
PROPOSAL: Proposed demolition of two accessory structures on a historic designated property along with the construction of a new accessory shop/garage building.

APPLICABLE APPROVAL CRITERIA: This application is subject to Clackamas County Zoning and Development Ordinance (ZDO) Sections(s) 707.06(C)(4) and (D)(3).

Location Map



Plot Plan



Site Photographs - Shed



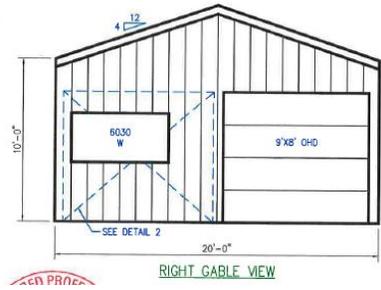
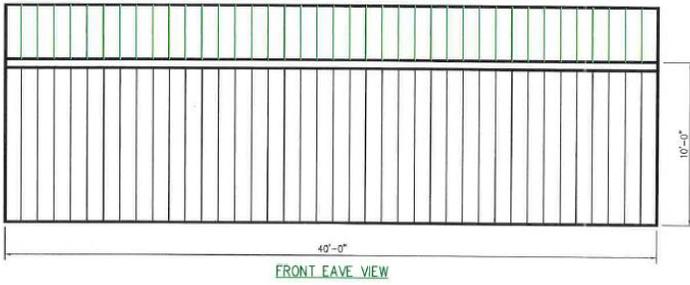
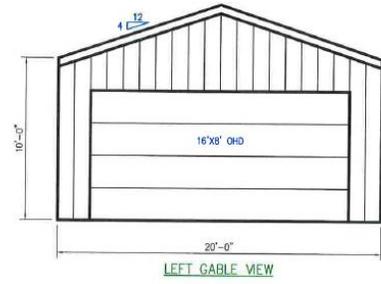
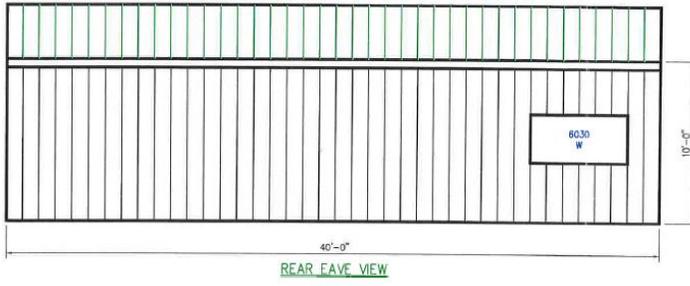


Site Photographs – Guesthouse





New Accessory Building Elevations



BACKGROUND:

This property is known within the Clackamas County's inventory of designated sites as the Raujol-Salwson House, originally designated in the early 1990s as an example of an early 20th century dwelling in the Oregon Rustic style, as well as for its association with local recreational history. This proposal involves the removal of two deteriorated accessory buildings of indeterminate age from the subject property and the new construction of an accessory garage/shop building (see attached plot plan.)

The accessory buildings proposed for demolition and removal are identified in the site inventory and statement of significance as being of indeterminate age. Though they are identified as being on concrete foundations, site investigations demonstrate that this is in error. In point of fact, the buildings are built directly on wooden planks on the ground, greatly contributing to their decay over time. Further, each is significantly impacted by the growth of large trees. In both case, the façade itself demonstrates that the steady growth of these trees have pushed the building out of alignment, hastening their deterioration. As such, each of them have fallen into significant disrepair and, in the opinion of the property owner, have become a hazard on the property. The applicants have submitted narrative along with property images in substantiation of this claim.

Additionally, they are requesting to construct a new shop/garage building on a separate area of the property, near the historic dwelling at the end of the existing driveway.

Applicable criteria/findings: Section 707.06(C)(4) and (D)(3) relate to new construction on landmark sites and the demolition of a contributing resource on a landmark site, respectively.

Section 707.06(C)(4) – New Construction on a Landmark Site

Clackamas County Zoning Ordinance states that proposed new structures on a Historic Landmark site, or within a Historic District or Historic Corridor shall be subject to the following standards:

- A. The design of the proposed structure is compatible with the design of the landmark building(s) on the site or in the district or corridor considering scale, style, height, and architectural detail, materials, and colors.

The proposed building is set behind and subordinate in scale to the landmark building on site. The applicant has indicated that though it will be made of durable and contemporary materials, the architectural style will be complimentary to the landmark building and will be painted in complimentary colors. The standard is met.

- B. The location and orientation of the new structure on the site is consistent with the typical location and orientation of similar structures on the site or within the district or corridor, considering setbacks, distances between structures, location of entrances, and similar siting considerations.

The new accessory building is set behind the landmark building at the end of the driveway approach. This is a common arrangement for this type of building and is in character with the location and orientation of similar contemporary structures on landmark properties of the same era. The standard is met.

- C. Changes to yard areas including planters, fences, ponds, walkways and landscape materials should be compatible with the overall historic setting.

There are not changes to the yard areas proposed, other than the construction of the building on a portion of the yard near the landmark building. This standard is met.

- D. Scale of commercial use: Individual permitted uses shall be of a scale appropriate to serve properties surrounding the historic overlay.

This use is not commercial in nature. The standard does not apply.

Section 707.06(D)(3) – Demolition of a Contributing Site Element

Clackamas County Zoning Ordinance states that the review authority for an application to demolish a Historic Landmark or contributing resource within a Historic District or Historic Corridor shall consider the following:

- A. All plans, drawings, and photographs submitted by the applicant;

The applicant has submitted significant narrative and illustrations demonstrating the state of disrepair of the accessory structures proposed for removal.

- B. Information presented at the public hearing concerning the proposed work; proposal;

No public comment or additional information has been received prior to the issuance of this draft recommendation.

- C. The Comprehensive Plan;

Per Page IX-3 of the Comprehensive Plan: “Many historic sites and structures in Clackamas County are in disrepair and may be expensive to restore and maintain. While many can be adapted to contemporary use, care must be taken not to harm the features which made the structure or site significant.” The accessory buildings proposed for removal are not the essential resource on this site, forcing their retention and slow decline will only do harm to the primary resource, as it will make the property less desirable and act as a disincentive to future investment.

- D. The purposes of Section 707 as set forth in Subsection 707.01;

The purposes of Section 707 are, broadly speaking, to safeguard the County's heritage as embodied and reflected in its historic resources. These structures have deteriorated to the point that it is not economically reasonable to restore or relocate them. Forcing the retention of these kinds of deteriorated structures, especially when they are not the primary historic resource on a site, acts as a disincentive to the owners of historic properties ‘doing things the right way’ by working with county staff to ensure the long-term success/protection of historic resources in the county.

- E. The criteria used in the original designation of the Historic Landmark, Historic District, or Historic Corridor in which the property under consideration is situated

The removal of these accessory buildings will have limited impact of the site’s Architectural, Environmental, or Historic significance. The primary historic resource on the site, that without which it would likely not have been nominated, remains intact and unimpaired by the proposed removal of these structures.

- F. The historical and architectural style, the general design, arrangement, materials of the structure in question, or its appurtenant fixtures; the relationship of such features to the other buildings within the district or corridor; and the position of the building in relation to public rights-of-way and to other buildings and structures in the area;

The accessory buildings proposed for removal are of indeterminate age. Their removal will have limited, if any, impact on the historic qualities identifiable from the public rights of way.

- G. The effects of the proposed work upon the protection, enhancement, perpetuation, and use of the district or corridor which cause it to possess a special character or special historical or aesthetic interest or value;

The subject property is not part of a district or corridor. The individual site is largely nominated on the basis of the historic dwelling, which remains intact and unaffected by the proposed removal of these accessory buildings.

- H. Whether suspension of the proposed demolition will involve substantial hardship to the applicant, and whether approval of the request would act to the substantial detriment of the public welfare and would be contrary to the intent and purposes of Section 707; and;

The buildings, as they sit, constitute a continuing hazard and legal liability and thus suspension of their demolition would constitute a significant and ongoing hardship to the applicant. The site is privately held and not accessible to the public, thus the removal of these accessory buildings does not constitute a detriment to the public welfare. Though Section 707 has a number of purposes for which it was adopted, these particular accessory buildings have deteriorated to the point that they cannot be economically restored. Further, because they are privately held, their removal does not create a significant impact to the public knowledge of history, or enjoyment of historic resources by the public. This standard is met.

- I. When applicable, the findings of the building official in determining the status of the subject building as a dangerous building under County Code Chapter 9.01, *Uniform Code for the Abatement of Dangerous Buildings*, and the feasibility of correcting the deficiencies to meet the requirements of the building official rather than demolishing the building.

This building has not been formally determined to be a ‘dangerous’ building by the county building official. These findings are not a part of the record and, thus, are not applicable.

DISCUSSION:

Staff recommends approval of the proposed removal of the two accessory structures, along with the new construction of an accessory garage/shop building and invites the Historic Review Board carefully consider this proposal relative to applicable criteria from Section 707 of the Clackamas County Zoning Ordinance.

Z0261-19

Submitted Application Materials



**Clackamas County Planning and Zoning Division
Department of Transportation and Development**

Development Services Building
150 Beaver Creek Road | Oregon City, OR 97045

503-742-4500 | zoninginfo@clackamas.us
www.clackamas.us/planning

NOTICE OF LAND USE APPLICATION IN YOUR AREA

Date: 07/11/2019
Permit Number: Z0261-19
Application: Planning Director Review
From: Clackamas County Planning and Zoning
Notice Mailed To: Property owners within 500 feet
Community Planning Organizations (CPO)
Interested Citizens and Agencies

Application Proposal:

HISTORIC LANDMARK REVIEW - Applicant is seeking the demolition/removal of two historic accessory structures and construction of a new accessory building.

This project has been scheduled to be presented to the Historic Review Board on Wednesday, July 31st at 7 pm. The meeting will be held in the Auditorium of Clackamas County's Development Services Building, located at 150 Beaver Creek Road in Oregon City.

Property Owner: BURT BRANDON T
1165 BORLAND RD
WEST LINN, OR 97068

Applicant: BURT, BRANDON & MEGAN
1165 SW BORLADN RD
WEST LINN, OR 97068

Address: 1165 BORLAND RD
WEST LINN, OR 97068

Location:

Legal Description: 21E33AB01000 **Acres:** 1.96

Zone: RRF5-RURAL RESIDENTIAL FARM FOREST

Staff: Anthony Riederer 503-742-4528 **E-mail:** ariederer@co.clackamas.or.us,

How to Comment on this Application:

1. To be sure your comments will be considered prior to the decision, we need to have them within 20 days of the date of this notice.

Permit Number: Z0261-19

2. You may use the space provided below, mail a separate letter or e-mail the information. Please include the permit number, address the information to the staff member handling this matter, and focus your comments on the approval criteria for the application.

3. Return your mailed comments to: Clackamas County Planning and Zoning, 150 Beaver Creek Rd, Oregon City, OR 97045; FAX to (503) 742-4550.

Community Planning Organization: The following recognized Community Planning Organization (CPO) has been notified of this application. This organization may develop a recommendation on this application. You are welcome to contact this organization and attend their meeting. If this Community Planning Organization is currently inactive, and you are interested in becoming involved in Land Use Planning in your area, please contact the Citizen Involvement Office at (503) 655-8552.

STAFFORD TUALATIN VALLEY CPO
SCHABER 503-707-9792
19919 SW SCHABER LN
TUALATIN OR 97062

Decision Process: In order to be approved, this proposal must meet the approval criteria in the Zoning and Development Ordinance, Section(s)

316, 707, 1307

The Ordinance criteria for evaluating this application can be obtained from this office or viewed at www.clackamas.us/planning/zdo.html. You may view the submitted application at the following link, <https://accela.clackamas.us/citizenaccess/> within five days of the date of this notice, or at our office during weekday lobby hours, 8:00 am to 4:00 pm, Monday through Thursday and 8:00 am to 3:00 pm Friday.

A decision on this proposal will be made and a copy will be mailed to you. If you disagree with the decision you may appeal to the Land Use Hearings Officer who will conduct a public hearing. There is a \$250 appeal fee.

Comments:

Your Name/Organization

Telephone Number

Clackamas County is committed to providing meaningful access and will make reasonable accommodations, modifications, or provide translation, interpretation or other services upon request. Please contact us at 503-742-4545 or email DRenhard@clackamas.us.

503-742-4696: ¿Traducción e interpretación? | Требуется ли вам устный или письменный перевод? | 翻译或口译? | Cán Biên dịch hoặc Phiên dịch? | 번역 또는 통역?



Planning & Zoning
 Development Services Building
 150 Beaver Creek Road | Oregon City, OR | 97045
 Phone: (503) 742-4500 | Fax: (503) 742-4550
 E-mail: zoninginfo@co.clackamas.or.us
 Web: <http://www.clackamas.us/transportation/planning/>

LAND USE APPLICATION
DEEMED COMPLETE

ORIGINAL DATE SUBMITTED: 06/05/2019
 FILE NUMBER: Z0261-19-HL
 APPLICATION TYPE: HISTORIC LANDMARK REVIEW

The Planning and Zoning Division staff deemed this application complete for the purposes of Oregon Revised Statutes (ORS) 215.427 on: 7/9/19

[Signature]
 Signature

Sr. Planner
 Title

Anthony Rieders
 Print Name

Comments: _____

Check one:

The subject property is located inside an urban growth boundary. The 120-day deadline for final action on the application pursuant to ORS 215.427(1) is:

The subject property is not located inside an urban growth boundary. The 150-day deadline for final action on the application pursuant to ORS 215.427(1) is:

12/6/19



Land Use Application

2PAC 0044-19

For Staff Use Only	
Date received: 6/5/2019	Staff initials: L. Dance
Application type: HL Review	File number: 202601-19-HL
Zone: RRFF5	Fee: 00
Violation #:	CPO/Hamlet: stafford-TV

Applicant Information:

What is proposed? New shop building - approx 800 ft. ²

Name of applicant: Megan and Brandon Burt

Mailing address: 1165 SW Borland Rd

City West Linn State OR Zip 97068

Applicant is (select one): Property owner Contract purchaser Agent of the property owner or contract purchaser

Name of contact person (if other than applicant): Same

Mailing address of contact person: 1165 SW Borland Rd West Linn OR 97068

Applicant #s: Wk: 503-807-2165 Cell: same Email: Brandon.burt@live.com

Contact person #s: Wk: 503-887-7847 Cell: same Email: .burt

Other persons (if any) to be mailed notices regarding this application:

Name	Address	Zip	Relationship
SITE ADDRESS:	<u>1165 SW Borland Rd, West Linn, OR 97068</u>		
TAX LOT #:	T <u>2</u> R <u>1E</u> Section <u>33AB</u>	Tax Lot(s) <u>01000</u>	Total land area:
Adjacent properties under same ownership:			
T <u>none</u>	R _____	Section _____	Tax lot(s) _____
T _____	R _____	Section _____	Tax lot(s) _____
T _____	R _____	Section _____	Tax lot(s) _____

I hereby certify that the statements contained herein, along with the evidence submitted, are in all respects true and correct to the best of my knowledge.

Brandon Burt 4/30/19 Brandon Burt
 Property owner or contract purchaser's name (print) Date Owner or contract purchaser's signature

Megan Burt _____ Megan CM Burt
 Applicant's name (print) Date Applicant's signature

HISTORIC NAME Rajoul - Slawson House

CURRENT/OTHER NAMES same

FARMSTEAD/CLUSTER NAMES Stafford

PRIMARY RESOURCE (i.e. house, barn) house # ASSOCIATED RESOURCES: 0 # CONTRIB: 0 # NON-CONTRIB: 0

LIST ASSOCIATED RESOURCES (i.e. shed, barn) Guest House, Shed

SETTING: (Which side of road and how close? How busy is road? Is the site flat, hilly? What is the immediate land use in all directions?)

The home is located on the north and east side of the road. Barland Road is quite busy, and has gotten much busier in the last 5 years. The site is flat. Across the street is a fallow field, and both adjacent lots are residences.

ARCHITECTURAL INFORMATION

Complete the following information on a separate form for the Primary Resource and each Associated Contributing Resource.

RESOURCE (i.e. house, barn, shed) B PRIMARY B
ASSOCIATED

PRIMARY CONSTRUCTION DATE 1922 (circa B -within 10 years) SECONDARY DATE (major additions) none (circa B)

HEIGHT (# stories) 2 PRIMARY HISTORIC USE Settlers Cabin SECONDARY USE Swim park

HISTORIC USE COMMENTS Swim park was established here.

PRIMARY STYLE Rustic Vernacular SECONDARY STYLE none

STYLE COMMENTS Log Cabin in a wooded setting

PLAN TYPE none ARCHITECT unknown BUILDER Franky Rajoul

PRIMARY SIDING log SECONDARY SIDING Shake

STRUCTURAL FRAMING log FOUNDATION MATERIAL(S) concrete BASEMENT partial

ROOF FORM Gable ROOF MATERIAL composition / shake

WINDOW STYLES plain WINDOW MATERIAL(S) Wood

DECORATIVE FEATURES plain log cabin. Front porch made of log.

OTHER:

ALTERATIONS

LANDSCAPE Grass and shrubs, mature old growth cedar.



HISTORIC LANDMARK APPLICATION

CLACKAMAS COUNTY PLANNING DIVISION

150 BEAVERCREEK RD, OREGON CITY, OREGON 97045 PHONE (503) 7423-4500 FAX (503) 742-4550

www.co.clackamas.or.us EMAIL: zoninginfo@co.clackamas.or.us

FOR STAFF USE ONLY

B HISTORIC OVERLAY ZONING

Research Reviewed: _____ Comp. Plan: _____ File No: _____
 HRB Review Date: _____ Violation #: _____ Date Received: _____ Fee: NONE
 Staff Recommendation: _____ CPO: _____ Hearing Date: _____
 HRB Recommendation: _____ Development No.: _____ Staff Member: _____
 Evaluation: B Signif B Contribut B Ineligible Project No.: _____ Zone: _____
 Resource Type: _____ USGS Quad: _____

APPLICANT INFORMATION

PLEASE TYPE OR PRINT IN BLACK INK ONLY

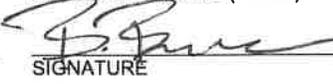
NAME OF APPLICANT Megan and Brandon Burt
 MAILING ADDRESS 1165 SW Borland Rd CITY West Linn ST OR ZIP 97068
 APPLICANT IS: B LEGAL OWNER B CONTRACT BUYER B OPTION BUYER B AGENT
 NAME OF CONTACT PERSON (if other than applicant) same
 MAILING ADDRESS OF CONTACT same ZIP _____
 APPLICANT PHONE NUMBERS: Day 503-887-7847 Eve 503-807-2165 Email brandon.burt@live.com
 CONTACT PERSON PHONE NUMBERS: Day same Eve same Email same
 SITE ADDRESS 1165 SW Borland Rd West Linn OR 97068 TOTAL LAND AREA 2.06 acres
 LEGAL DESCRIPTION: T _____ R _____ SECTION _____ TAX LOT(S) _____
 ADJACENT PROPERTIES UNDER SAME OWNERSHIP: T _____ R _____ SECTION _____ TAX LOT(S) _____
 PRESENT USE OF PROPERTY Residential
 METHOD OF SEWAGE DISPOSAL Septic WATER SUPPLY Well

brandon.burt@live.com

~~OTHER PERSONS (if any) TO BE MAILED NOTICES REGARDING THIS APPLICATION:~~

NAME	ADDRESS	ZIP	RELATIONSHIP

I hereby certify the statements contained herein, along with the evidence submitted, are in all respects true and correct to the best of my knowledge, and sources are accurately documented in the Bibliography.

Brandon Burt / Megan Burt 4/30/19 Brandon Burt / Megan Burt 4/30/19
 OWNER'S NAME (PRINT) DATE APPLICANT'S NAME (PRINT) DATE
 SIGNATURE  SIGNATURE

REQUIRED ENCLOSURES: 1 PAPER COPY & 1 DIGITAL COPY

B ARCHITECTURAL INFORMATION B HISTORICAL INFORMATION B ENVIRONMENTAL INFORMATION
 B SITE PLAN B RESEARCH DOCUMENTATION B PHOTOS (See specifications)
 TO BE PROVIDED BY PLANNING STAFF: B VICINITY MAP A HISTORICAL CONTEXT SUMMARY A I.L.S. REPORT

(Rev 2/08)

Page 1 of ____

Materials 707-9
 707-11
 Appendix 707-15 preservation plan

Narrative for new building
 " " old "

LIST ALL PROPERTY OWNERS & DATES OF OWNERSHIP:

Adrian Rajoul 1922 - 1928
W.A. Slawson 1928 - 1950

Brandon + Megan Burt 2012 - current

Art + Edie Houser 1950 - 2018

BIOGRAPHICAL INFORMATION OF PRIMARY OWNERS:

See county records re: Rajoul-Slawson House.

DETAILS OF ORGANIZATION, INSTITUTION OR EVENT WITH WHICH THIS RESOURCE IS ASSOCIATED:

See county records re: Rajoul-Slawson House

HIGHLIGHTS OF PATTERNS OF CULTURAL, SOCIAL, POLITICAL, ECONOMIC OR INDUSTRIAL HISTORY:

Same as above.

POTENTIAL TO PROVIDE ADDITIONAL PREHISTORIC OR HISTORIC INFORMATION:

No further information can be researched.

ENVIRONMENTAL (SETTING) INFORMATION

IS THIS A LOCAL VISUAL LANDMARK?

Yes

IS THE SETTING TRUE TO ITS ORIGINAL USEAGE?

Yes.

DESCRIBE EXISTING BUILDINGS, STRUCTURES, TREES, ORCHARDS OR OTHER FEATURES RELATED TO THE ORIGINAL USE:

Building (house) and outbuildings are as they were approx. 70 years ago. Outbuildings are significantly decayed and must be removed.

DOES THIS RESOURCE CONTRIBUTE TO THE OVERALL NEIGHBORHOOD CHARACTER?

Yes - historic model of vernacular home.

SITE PLAN

(Hand-drawn sketch is acceptable.)

see attached.

NOT TO SCALE

RESEARCH DOCUMENTATION

- | | | | |
|------------------------|------------------------|---------------------------|-----------------------------|
| B Research Title | B Research Census | B Research Tax Records | B Research Local Histories |
| B Research Sanborn Map | B Research biographies | B Research SHPO | B Research Interviews |
| B Research Obituary | B Research Newspapers | B Research State Archives | B Research Photographs |
| B Research Directories | B Research Permits | B Research State Library | B Research County Inventory |

Research Local Library: _____ Research University Library: _____

Research Historical Society: _____ Research Other: _____

DETAILED BIBLIOGRAPHY:

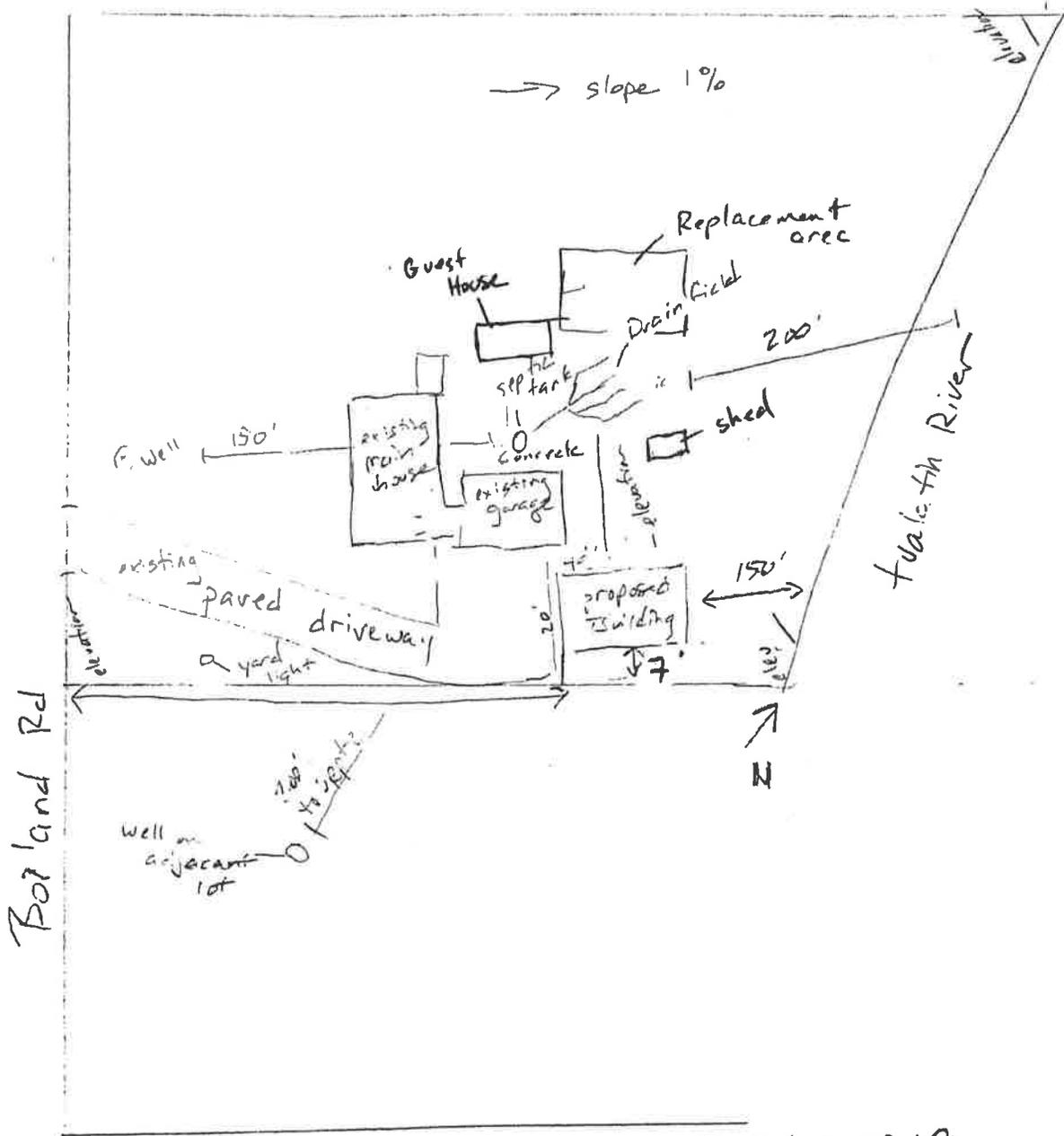
see county records re: Raujoul-Slawson House.

PHOTOS

Please enclose at least 2 photos taken from opposing corners of primary building. Include historical photo(s) if available. Additional photos may be included of architectural details, significant landscape features, setting, additional contributing resources, interiors, etc.

* SIZE: minimum 4" x 6" up to 8" x 10" prints * High Resolution. * Computer prints allowed; no photocopies. * Do not manipulate images.

1cm = 2"



B0085219
~~B0082519~~

APPROVED PLOT PLAN:
 PLANNING _____
 BUILDING _____
 ENGINEERING on 2/21/19
 SOILS AS 3/8/19

EROSION CONTROL



Building Permit Application

150 Beavercreek Road, Oregon City, OR 97045
 Phone: (503) 742-4240 Fax: (503) 742-4741
 Inspection request: 503-742-4720
 Internet address: www.clackamas.us

TYPE OF WORK	
<input checked="" type="checkbox"/> New construction	<input type="checkbox"/> Demolition
<input type="checkbox"/> Addition/alteration/replacement	<input type="checkbox"/> Other:
CATEGORY OF CONSTRUCTION	
<input type="checkbox"/> 1- and 2-family dwelling	<input type="checkbox"/> Commercial/industrial
<input checked="" type="checkbox"/> Accessory building	<input type="checkbox"/> Multi-family
<input type="checkbox"/> Master builder	<input type="checkbox"/> Other:
JOB SITE INFORMATION AND LOCATION	
Job site address: 1165 SW Barland Rd	
City/State/ZIP: West Linn OR 97068	
Suite/bldg./apt. no.:	Project name:
Cross street/directions to job site: Turner Rd.	
Subdivision:	Lot no.:
Tax map/parcel no.:	
DESCRIPTION OF WORK	
Erect a 20' x 40' pole barn	
<input checked="" type="checkbox"/> PROPERTY OWNER	<input type="checkbox"/> TENANT
Name: Brandon Burt	
Address: 1165 SW Barland Rd	
City/State/ZIP: West Linn, OR 97068	
Phone: (503) 807-2165	Fax: ()
<input checked="" type="checkbox"/> APPLICANT	<input type="checkbox"/> CONTACT PERSON
Business name:	
Contact name: Brandon Burt	
Address: 1165 SW Barland Rd	
City/State/ZIP: West Linn, OR 97068	
Phone: (503) 807-2165	Fax: ()
E-mail:	
CONTRACTOR	
Business name: Econo Fab Buildings	
Address: 14255 SW Pomale Rd	
City/State/ZIP: Gaston, OR 97119	
Phone: (503) 985-1808	Fax: ()
CCB lic.: 51042	
Authorized signature:	
Print name: Brandon Burt	Date: 2/21/19

Date Recd:	Bldg #: 30085219
By:	Plmb #:
Simple/Complex:	Elec #:
Land Use Appr:	Prj #:

REQUIRED DATA: 1- AND 2-FAMILY DWELLING	
Permit fees* are based on the value of the work performed. Indicate the value (rounded to the nearest dollar) of all equipment, materials, labor, overhead, and the profit for the work indicated on this application.	
Valuation	18,000
Number of bedrooms:	
Number of bathrooms:	
Total number of floors:	
New dwelling area:	square feet
Garage/carport area:	square feet
Covered porch area:	square feet
Deck area:	square feet
Other structure area:	square feet
REQUIRED DATA: COMMERCIAL-USE CHECKLIST	
Permit fees* are based on the value of the work performed. Indicate the value (rounded to the nearest dollar) of all equipment, materials, labor, overhead, and the profit for the work indicated on this application.	
Valuation	
Existing building area:	square feet
New building area:	square feet
Number of stories:	
Type of construction:	
Occupancy groups:	
Existing:	
New:	
NOTICE	
All contractors and subcontractors are required to be licensed with the Oregon Construction Contractors Board under ORS 701 and may be required to be licensed in the jurisdiction in which work is being performed. If the applicant is exempt from licensing, the following reasons apply:	
EROSION CONTROL	
BUILDING PERMIT FEES*	
Please refer to fee schedule	
Fees due upon application	
Amount received	
Date received:	

This permit application expires if a permit is not obtained within 180 days after it has been accepted as complete
 * Fee methodology set by Tri-County Building Industry ServiceBoard
 440-4613T (11/02/COM/WEB) CCP-PW12 (Rev. 9/08)























PRE-APPLICATION CONFERENCE INFORMATION

The purpose of a land use pre-application conference is to provide project specific information to the applicant on Clackamas County development policies, procedures, fees, and environmental regulations. The pre-application conference is an informal meeting with Clackamas County Development Review staff members and other affected agencies. The main objectives of the conference are to:

- Provide a preliminary review of the proposal for compliance with all applicable development standards.
- Identify significant issues.
- Assist in identifying design alternatives.
- Explain the submittal requirements and outline the review process, timelines, and costs associated with the application.
- Answer additional questions posed by the applicant.
- Introduce staff and provide staff contact information.
- Discuss the permitting required to comply with land use entitlements.

If you have questions regarding your application, please refer to page 2 of this document for planning staff contact information.

FREQUENTLY ASKED QUESTIONS

Are pre-application conferences mandatory?

Pre-application conferences are required some land use applications: Design Review, Partition, Subdivision, Zone Changes, Home Occupation Exceptions and Conditional Use. Pre-application conferences are optional for other applications.

How do I schedule the conference? Who coordinates the meeting?

To schedule a pre-application conference, you must submit a complete Pre-Application Conference Request and provide the required documentation as listed on the form. Pre-application conference materials can be delivered or mailed to Planning & Zoning (See address below). Once Planning & Zoning has received and reviewed your pre-application conference request and materials, you will be contacted with a date and time for your pre-application conference.

How much does it cost?

\$500, which is due at the time the pre-application is submitted.

How quickly can I schedule a pre-application conference?

A conference generally can be scheduled within 2-6 weeks from the time a complete pre-application material is submitted. Conferences are scheduled on a first come, first-serve basis. Please provide 24 hours notice to cancel or reschedule.

When are the conferences held?

Pre-application conferences for a conditional use are held on Tuesday and all others are held on Wednesday between the hours of 9:00am and 3:30pm.

How long does the conference last?

60 minutes is scheduled for each pre-application conference.

Where will the conference be held?

Pre-application conferences are held at the Clackamas County Development Services Building, 150 Beaver Creek Road, Oregon City, OR 97045. Check in at the 2nd floor lobby.



Pre-Application Conference Request Form

The following information is required for a pre-application conference.

PLEASE PRINT

DATE RECEIVED: _____

(Check appropriate land use application type.) Zone Change Partition/Subdivision
 Design Review Conditional Use Home Occupation Exception

Contact Information: Owner Architect Engineer Other

Contact/Applicant's Name: Brandon Burt
 Mailing Address: 1165 SW Borland Rd City/State/Zip: West Linn, OR 97068
 E-Mail: branda.burt@live.com Phone: 503-807-2165

Contact Information: Owner Architect Engineer Other

Contact's/Applicant's Name: Same as above
 Mailing Address: _____ City/State/Zip: _____
 E-Mail: _____ Phone: _____

Property Information

Property Address: 1165 SW Borland Rd, West Linn, OR 97068
 Legal Description: T _____ S, R _____ E/W/Q, Section _____ Tax Lot(s) _____
 (For property legal description, contact Planning & Zoning at 503-742-4500)

Project Description: We propose to build a pole barn or steel building on our historic property. We propose to build a structure in similar look and appearance to the existing house. We propose to match the outbuilding to color and trim styles currently on the house.
 Current Zoning: _____ Existing Bldg. Square Footage: 3000' +/- square
 Building Valuation: _____ Proposed New Square Footage: 800' +/- square (40x20 shop)

Partitions/Subdivisions Number of Lots: 1 Measure 49: _____

Multifamily Development: Studio (# Units): _____ Square Feet
 One Bedroom (# Units): _____ Square Feet
 Two Bedroom (# Units): _____ Square Feet
 Three Bedroom (# Units): _____ Square Feet
N/A

Additional Items Required for DESIGN REVIEW Pre-Application Conferences ONLY

Design Review applications for commercial, industrial, or multi-family projects must also include the following:

- 13. Preliminary landscape plan.
- 14. Building elevations and/or profiles, if available.
- 15. Parking and vehicle circulation plans. (*Number, sizes, widths*)
- 16. Pedestrian improvements. (*Sidewalks, pathways*)
- 17. Location and size of garbage and recycling enclosures. (*Show circulation*)
(www.clackamas.us/transportation/recycling/enclosure.jsp)
- 18. Location and size of loading spaces.

List any specific questions you wish to have discussed at the pre-application conference:

What can we do to simply expand our covered storage on our property?

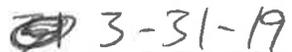
We want to build a new structure that appears similar to the existing historic home, but use more modern, durable materials. Our proposed shop is to be 20 x 40. Is this possible?

Some Key Things to Remember:

- ✓ Staff is able to provide more explicit information at your pre-application meeting when you submit detailed information in your application.
- ✓ You are required to submit the pre-application conference report as part of your formal land use application.
- ✓ The property you are investigating may have private obligations, such as codes, covenants, and restrictions (CC&Rs) to which the County is not a party and does not consider in its review.

I understand that the comments provided by staff at the pre-application conference are preliminary, additional concerns may be raised during the land use review process. More comprehensive information may be required for a formal land use application. All parties, including the owner, are encouraged to participate.


Applicant Signature


Date

Brandon Burt
Applicant Name, Printed

Brandon and Megan Burt - shop application

Section C - subsection 4

New construction to replace existing buildings:

The owner of the property is proposing to build a pole barn, or other very similar structure adjacent to the house. Please see attached map. In an effort to meet the needs of a growing and vibrant family, additional space is needed for storage. The building is to be 20' wide by 40' long and to be in the same colors overall as the house. While the house is built with wood and frame construction, and wood siding, this building would be clad in steel as the material is much more durable and performs at a much higher level than wood siding. We propose to build it with overhanging eaves and decorative craftsman supports to give it a look like the primary house has right now. In addition, the paint color of the steel will match the house in a dark brown color. Any trim on the shop will be painted to match trim colors on the home as well. The shop height will have lower walls at 10', with the top of the roof to be well below the roofline of the nearby garage. It's orientation will mirror the garage in placement on the lot, and it will face Borland road with the smaller face and the garage door. The garage door on the front of the building will match the three on the main garage in color, style and overall design. Finally, the new shop building is to be situated well back from Borland road, Behind the site of the main garage. It will be visible from the main road, but only just a small portion.

Section D - Moving or demolition of a historic landmark or contributing resource

Subsection 1

- A. Narrative plan for for the applicant will accomplish the following:
- I. Advertise the resource in local, regional, and historic preservation newspapers. Provide evidence of said advertising. We will be advertising for two weeks in the public notices section of the West Linn Tidings and the Lake Oswego review that we have an outbuilding with can be removed for free. All costs to be borne for moving will be at new owners expense. We also mention that the buildings are in very poor condition, but may be able to be restored. We will provide receipts to this effect.
 - II. We will post a sign at the end of our driveway which will highlight the action we propose to take. We will include the planning office phone number. Will take pictures of and keep record of said sign.
 - III. We will provide the historic registry info to any who inquire.
 - IV. Provide information to the public, and all who ask, about the new proposed construction.
 - V. We will keep records of any who express interest in the buildings, whether purchasing or relocating. This will be done in a Microsoft Word Document. This listing will be available to the planning department upon request.

Brandon and Megan Burt - shop application

Section D- Moving or demolition of a historic landmark or contributing resource

subsection 3

E - see notes from historic registry admission

F. As noted in the land use files, the Slawson- Rajoul house (to be referred to as subject property going forward) is a historic structure on Borland road. It has no other adjoining historic properties recognized by the county, state, federal, or any other recognizing authority. It is a stand alone historic point. The house and surrounding property have significant local history as they date to the original development of Borland Rd. The house is of original log in the main part of the house, and the additions to the home are done in the same style, albeit with frame construction. Total house footprint is just over 3,000 sq feet, with an unfinished garage not included in the measurements for the main house. As mentioned in the previous documents which admitted the subject property into the county historic registry, the house faces the road and is readily visible from the front. The front porch faces Borland Rd. The garage is also visible from the road, but it faces 90 degrees to the south, and in a direction parallel with Borland Rd. The effect is that the side of the garage is visible. There are no other historic structures visible from the road.

In the back, behind the main house are two structures which the homeowner is planning to deconstruct and have either moved or demolished. Neither of these buildings are visible from the road or to any other than an immediate neighbor to the north. They are referred to as:

- 1) Guest House - constructed around 1935. It is called a vernacular - stating that it is of similar construction as the garage. It is of frame construction. Importantly, the historic documents which admitted this property note that it has a concrete foundation. This is untrue, and is the direct reason the guest house must be removed. It is on a wood post and pier foundation, with advanced deterioration to said piling and wood piers. At the time of admission to the historic registry in 1991, the building was in workable condition. In the nearly 30 years since, major cracks have emerged in the building, and it has become unsafe and untenable in its current position. Until recently, the building was used for storage - and now cannot be safely used for storage, necessitating a replacement structure.
- 2) The second structure is unnamed in the county documents. It is listed as having a similar construction date, and also being of frame construction. Importantly, the historic documents note that it has a concrete foundation. It does not. It is built on large wood skids and is currently being made unlevel by large cedar trees which have grown up around the building. As with the other building, it has decayed significantly with time, and cannot safely be used in its current position.

G Effect of proposed shop and demolition on surrounding historic corridor. The house does not sit in a historic corridor, so it does not affect other structures or a corridor area. This proposed shop shall it in similar orientation, be designed with similar appearance, and blend into the surrounding environment as unobtrusively as possible. While it would be a new structure, it

Brandon and Megan Burt - shop application

would have very diminished effect on the surroundings due to efforts to match it with the existing historical structures. As to the effect on the local history of the two outbuildings being removed, these would be minimal losses. They were built not using lasting materials, they are out of sight of the main road, and can only be accessed by crossing private property. The effect of removing them is minimal.

H Hardship to the owner - given the advanced state of decomposition in the outbuildings, considerable expense would be necessary to restore the buildings to proper order. Both buildings would have to be jacked and leveled, then have new concrete foundations poured. In addition, new wiring would be required all through both buildings as they currently have very outdated electrical. Given the above considerations, the property owner is proposing that removal of the currently unsafe buildings creates the least financial hardship for the owner of the property. As mentioned above, said buildings are not currently visible to the public, and create very little additional historic character for the main home.

LAND USE FILES

FILE # 20083-94-2

LEGAL DESCRIPTION:

T2 S R1 E

SEC. 33AB TAX LOT 1000 WM

MAP _____

NOTICE OF PUBLIC MEETING AND PUBLIC HEARINGS

Clackamas County is holding Historic Landmark public hearings to comply with State Land Use Law Goal 5 which requires Counties to inventory, evaluate and protect significant historic resources.

THIS NOTICE IS BEING MAILED TO:

Property owners of candidate Clackamas County Historic Landmarks and property owners adjacent to historic properties.

Any action taken on the property listed below will not affect the adjacent property owners. Adjacent property owners are being notified for informational purposes and to comply with State law.

INFORMATION ON PROPERTY

Subject: Zone Change

File No.: Z0083-91-Z

Applicant: Clackamas County

Owner of Property: Arthur and Edith Howser

Proposal: Apply Historic Landmark overlay zone to historic building(s) named RAJOU-L-SLAWSON HOUSE, SHPO #487, built in 1920/1935 in the Oregon Rustic style of architecture.

Ordinance Criteria: Section 707

Site Address: 1165 SW Borland Road

Legal Description: T2S, R1E, Section 33AB, Tax Lot(s) 1000, W.M.

Total Area Involved: Approximately 2.06 acres

Zoning: RRFF-5, Rural Residential Farm Forest, 5 acre minimum

Citizens Planning Organization For Area: Stafford/Tualatin Valley CPO

This organization has been notified of this application. You are welcome to attend this organization's meeting. The contact for this organization is Maryls Rutherford. The contact phone number is 638-6406. Her mailing address is 4455 SW Halcyon, Tualatin, OR 97062.

MEETING AND HEARING DATES:

The Far West Citizen Participation Organization, the Stafford/Tualatin Valley Citizen Participation Organization and the Clackamas County Department of Transportation and Development will hold a public Informational Meeting about the Clackamas County Historic Landmarks Hearings process. County staff will explain the purpose and the process of these Historic Landmark designation hearings and answer questions.

Informational Meeting Date: May 6, 1992, 7:00 p.m. at the Frog Pond Grange, 27270 SW Stafford Road.

Hearing Dates:

Clackamas County Historic Review Board, May 18, 1992, 7:00 p.m., Department of Transportation and Development Conference Room A, 902 Abernethy Road, Oregon City, Oregon.

Clackamas County Board of Commissioners, June 10, 1992, 9:30 a.m., Courthouse Annex, 906 Main Street, Oregon City, Oregon.

BEFORE THE BOARD OF COUNTY COMMISSIONERS
OF CLACKAMAS COUNTY, STATE OF OREGON

20083-91-2

In the Matter of Designating the
RAJOUL-SLAWSON HOUSE
described as T2S-R1E-Section 33AB,
Tax Lot 1000,
a Clackamas County Historic Landmark
in compliance with State
Land Use Law Goal 5.

Order No. 94-141

This matter coming on at this time and it appearing to the Board of County Commissioners that the RAJOUL-SLAWSON HOUSE meets the criteria of Subsection 707 of the Zoning and Development Ordinance, "Historic Landmark, Historic District and Historic Corridor", and Goal 5 for designation as a Historic Landmark; and

It further appearing to the Board that the Historic Review Board at its public hearing on May 18, 1992 has recommended the designation of the RAJOUL-SLAWSON HOUSE as a Historic Landmark; and

It further appearing to the Board that hearings were held before this Board on June 10, 1992, at which testimony was taken and evidence presented; and

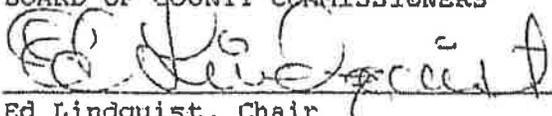
It further appearing to the Board that a decision was made by this Board on June 10, 1992;

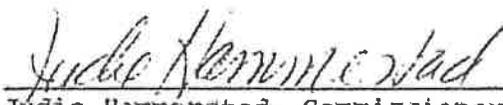
NOW, THEREFORE, IT IS HEREBY ORDERED that the RAJOUL-SLAWSON HOUSE, as described in the attached materials, is zoned a Clackamas County Historic Landmark; and

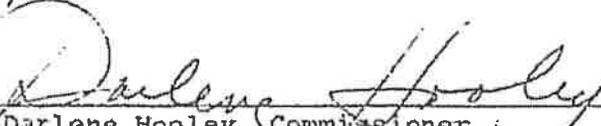
It is further ordered that the required changes be made in the relevant zoning maps.

Dated this 3rd day of February, 1994.

BOARD OF COUNTY COMMISSIONERS


Ed Lindquist, Chair


Judie Hammerstad, Commissioner (Vice Chair)


Darlene Hooley, Commissioner



CLACKAMAS COUNTY

Department of Transportation & Development

WINSTON KURTH
EXECUTIVE DIRECTOR

RICHARD DOPP
DIRECTOR
OPERATIONS & ADMINISTRATION

TOM VANDERZANDEN
DIRECTOR
PLANNING & DEVELOPMENT

HISTORIC REVIEW BOARD

MINUTES

DATE OF MEETING: May 18, 1992

LOCATION AND TIME OF MEETING: DTD Conference Room A, 7:00 p.m.

IN ATTENDANCE:

Historic Review Board Members: Ron Lee, Peggy Sigler, Herb Beals, Todd Iselin

Planning Staff: Pam Hayden, Jane Morrison, Dominic Mancini

Others: 32

Ron Lee, Chairperson of the Historic Review Board, introduced Board members, explained the purpose of the public hearing, and outlined the evening's hearing procedure.

Staff reviewed the history of the project. Using wall chart, explanations were given on some of the following features:

- . Purpose of hearing
- . Reason for designating properties Historic Landmarks
- . Historic Landmarks Ordinance
- . Rehab Loan Program
- . Options for use of Historic Landmark properties

Staff also reviewed the criteria for designating properties historic, including:

- . Architectural criteria
- . Environmental criteria
- . Historic criteria

The Chairperson indicated that the Board would first consider properties which had individuals here to testify.

PUBLIC HEARING

Z0064-91-Z. W.H. ZIVNEY FARM, #471

The staff report was presented and slides of the property were shown.

Eileen Chamberlin, representing the property owner, stated that she would like to correct the survey form to change the original property owner from W.H. Zivney to Joseph and Rosa Zivney. The historic name should be changed to the Joseph and Rosa Zivney Farm. They came from Bohemia to Wisconsin and then to Oregon.

Ms. Chamberlin read a statement which indicated that the house had no insulation, broken window frames and other structural problems. She is concerned that they will be saddled with a deteriorating structure and the burden of associated costs and limitations. There are newer homes throughout the Stafford area and new homes on all three sides. She also stated that a bathroom and porch were added prior to 1950.

Ms. Chamberlin submitted a structural engineering report from BW Inspection Engineers dated May 14, 1992 describing the conditions of buildings on site. This is labeled EXHIBIT #1.

The HRB reviewed the criteria for evaluation of significance with Eileen Chamberlin. The Historic Review Board revised their evaluation. The total points received were reduced to 42 points from 47 points. The Historic Review Board agreed that the integrity of the buildings were not deteriorated because it was not irreversible at this point.

ACTION: Peggy Sigler moved to recommend to the Board of County Commissioners that a portion of the Zivney Farm, to include the residence, barn and outbuildings and historic landscape features be designated a Clackamas County Historic Landmark based on the Goal 5 analysis of the historic resource. Exact portions of the property to be designated should be worked out with staff prior to the Board of County Commissioners hearing. Herb Beals seconded the motion.

VOTE: 4-0

Z0067-91-Z. ROBBINS-MELCHER-SCHATZ FARM, #479 AND #480

The staff report was presented and slides of the property were shown.

Paula Hansen, property owner, stated that she and her husband are very excited about the potential Historic Landmarks designation. They are making application to the

National Register of Historic properties and the information the county has generated in the survey form has been very helpful. She submitted more historic information on their farm and this was labeled Exhibit #2.

ACTION: Herb Beals moved to recommend to the Board of County Commissioners that the Robbins-Melcher-Schatz Farm #479 and #480 be designated a Clackamas County Historic Landmark based on the Goal 5 analysis of the historic resource. Peggy Sigler seconded the motion.

VOTE: 4-0

Z0068-91-Z, FIRST BAPTIST CHURCH, #482

The staff report was presented and slides of the property were shown. A letter from the church congregation was read.

Paul Miller, church representative, discussed alterations made to the church which he felt were significant. He does not like the government telling them what to do except for safety reasons.

The Historic Review Board explained that these changes occurred within the historic period and were done in a sensitive way and are historic in themselves.

Mr. Miller reviewed the criteria and evaluation suggesting a number of areas warranting a reduced score.

Marlis Rutherford, Chairperson for the Tualatin Stafford CPO indicated that she felt a primary concern of property owners centered around the limitations on the property owners to alter the structure or the site.

The Historic Review Board accepted many of the reductions and reduced the ranking from 55 points to 42 points.

ACTION: Todd Iselin moved to recommend to the Board of County Commissioners that the First German Baptist Church #482 be designated a Clackamas County Historic Landmark based on the Goal 5 analysis of the historic resource. Peggy Sigler seconded the motion.

VOTE: 4-0

Z0110-91-Z, BENJAMIN F. WEDDLE FARM, #485

The staff report was presented and slides of the property were shown.

June Green, property owner, stated that she was in favor of the Historic Landmarks overlay because it opens up options for the use of her property. She considers the designation beneficial.

ACTION: Herb Beals moved to recommend to the Board of County Commissioners that the Benjamin F. Weddle Farm, #485 be designated a Clackamas County Historic Landmark based on the Goal 5 analysis of the historic resource. Peggy Sigler seconded the motion indicating that she and Todd Iselin feel that the point score should be higher than it was given.

VOTE: 4-0

Z0111-91-Z, TUALATIN GRANGE NO 111 (FROG POND GRANGE), #507

The staff report was presented and slides of the property were shown.

Mildred Bennett, Grange representative, indicated that they had a meeting to evaluate the criteria. She reviewed the results and their suggested point total. She stated that two of the porches were enclosed. She did not feel that this was a Landmark in the area. The Grange's biggest concern was that they have a very small dining room and want to add on and they don't want to go through a lot of red tape. She indicated that the Grange does not own the property and when the Grange is no longer in existence, the property will revert to the heirs.

Ernest Russell stated that the building has changed. The address was confusing as the Fire Dept. address is 28000 and the County address was 27270. He asked questions of the HRB about putting on a new roof. The HRB responded that a composition roof would be fine. Roland Koelermeier stated that the back porch was added on seven years ago.

Staff labeled a letter from Far West CPO Sparkle Fuller Anderson and Jean Connelly Exhibit #3.

The Historic Review Board stated that the form and design of the building is good and that the changes are minor. They discussed rehabilitation loan funds

Grange members indicated that the old Kruse School was located near this property with two out houses. It was moved in 1922 and the property sold. The Grange never had any other buildings on the property.

ACTION: Peggy Sigler moved to recommend to the Board of County Commissioners that the Tualatin Grange No 111, (Frog Pond Grange), #507 be designated a Clackamas County Historic Landmark based on the Goal 5 analysis of the historic resource. She stated that the Grange evaluation points should be changed under Environment A to a 7 and Environment B to a 2, making the total points 51. Herb Beals seconded the motion.

VOTE: 4-0

Z0171-91-Z, JOHN KRUSE FARM, #511, #512, #513

The staff report was presented and slides of the property were shown.

Gayle Verber, property owner, stated that he and his wife Carol bought the property to establish Stafford Vineyards. He said that the metal barn is not on the property. The 1857 home was a two story building but the upper story was destroyed by fire. The foundation and about six feet of house was original. They would like to remove the pop up dormer. There are two parcels of property. He would like to see the 1857 house be considered but not the barn or the larger house. The barn is on 18 acres and was purchased two years ago for economic use. They bought it to make a winery. They have invested substantial amounts of money into the property. They have planted \$50,000 worth of grapes. He is concerned that the designation might cause economic hardship in that they would have to keep everything the same. They need to further develop the property with buildings and steel tanks for the wine business.

Carol Verber stated that if they hadn't restored the barn it would not be here much longer. They spent nearly \$50,000 in barn restoration. They bought the property and have done a good job to restore the historic building and property. They have a farm plan. By putting a winery in and around the barn, the historic property will be changed. Anna Kruse said that the barn was built in 1862.

Gary Rusher stated that stainless steel tanks would not be compatible with a historic barn. His concern is having an advisory board making decisions which could well be negative to the property owners needs, desires and pocket book.

Staff explained that the underlying zoning designation is EFU-20 and that the economic viability of a vineyard and farm winery was of utmost important. The Historic designation would not interfere with the farm use.

ACTION: Peggy Sigler moved to recommend to the Board of County Commissioners that a portion of the John Kruse Farm, to include the two residences, barn and historic landscape features to the Willamette River be designated a Clackamas County Historic Landmark based on the Goal 5 analysis of the historic resource. Exact portions of the property to be designated should be worked out with staff prior to the Board of County Commissioners hearing. Herb Beals seconded the motion.

VOTE: 4-0

Z0170-91-Z, WILLIAM SHARP FARM, #510

The staff report was presented and slides of the property were shown.

O.D. Nelson stated that the property was now owned by the heirs of Christina J. Sattler. He asked if the historic name could be changed because his family has owned the property since 1933. No one in the area has ever heard about the Sharps. He asked questions about the County's files and State Land Use Laws.

Gary Rusher stated that the 1950s buildings didn't fit in with the farm complex. There are nurseries and subdivisions nearby that destroy the surrounding setting. He went through the criteria and made recommendations on reducing the points because both the house and the barn and the landscape have been altered considerably over time.

The Historic Review Board reviewed the points. There was discussion on the rarity of the 1870s house and barn. Staff explained that it was one of four in this area. But that this is one of the oldest study areas developed. Early buildings are rare in the County overall. The points were reevaluated and reduced to between 39 and 41 points.

ACTION: TODD ISELIN moved to recommend to the Board of County Commissioners that the William Sharp Farm, #510 not be designated a Clackamas County Historic Landmark based on the Goal 5 analysis of the historic resource. Herb Beals seconded the motion.

VOTE: 3-1. Peggy Sigler voted against the motion.

Z0649-91-Z, FRED SCHAMBERG BARN, #520

Staff read a letter from the property owner requesting that the barn be considered for Landmark Designation but not the house because it has been remodeled.

ACTION: Peggy Sigler moved to recommend to the Board of County Commissioners that a portion of the Fred Schamberg Farm to include the barn and the milk house be designated a Clackamas County Historic Landmark based on the Goal 5 analysis of the historic resource. Exact portions of the property to be designated should be worked out with staff prior to the Board of County Commissioners hearing. Herb Beals seconded the motion.

VOTE: 4-0

There being no further testimony for any of the remaining properties, the Board briefly discussed these properties not

yet considered.

ACTION: Peggy Sigler moved to recommend to the Board of County Commissioners that the following properties be designated a Clackamas County Historic Landmarks based on the Goal 5 analysis of the historic resources.

Z0065-91-Z, GEORGE J. AND MARY NAGL FARM, #474

Z0066-91-Z, MILLER-RANDS-APPERSON FARM, #475

Z0082-91-Z, STAFFORD SCHOOL, #486

Z0083-91-Z, RAJOUL-SLAWSON HOUSE, #487

Todd Iselin seconded the motion.

VOTE: 4-0

Meeting adjourned 12:15 a.m.

hrb/min/5-18-92



CLACKAMAS COUNTY

Department of Transportation & Development

WINSTON KURTH
EXECUTIVE DIRECTOR

RICHARD DOPP
DIRECTOR
OPERATIONS & ADMINISTRATION

TOM VANDERZANDEN
DIRECTOR
PLANNING & DEVELOPMENT

April 14, 1992

Community Newspapers, Inc.
Legal Notice Section
Lake Oswego Review
P.O. Box 548
Lake Oswego, Oregon 97034

RE: Notice of Public Information Meeting and Public Hearings,
May 6th, May 18th and June 10, 1992

Dear Sir or Madam:

Attached is a notice for public information meeting and public hearings before the Historic Review Board and Board of County Commissioners. Please publish this notice on April 23, 1992

Please return two (2) copies of the Affidavit of Publication together with your statement. Please send statement to the Board of County Commissioners for payment. Thank you.

Sincerely,

A handwritten signature in cursive script that reads "Pam Hayden".

Pam Hayden, Planner
Planning and Economic Development Division

0413/502/ph:eb
Enclosure



CLACKAMAS COUNTY

Department of Transportation & Development

WINSTON KURTH:
EXECUTIVE DIRECTOR

RICHARD DOPP
DIRECTOR
OPERATIONS & ADMINISTRATION

TOM VANDERZANDEN
DIRECTOR
PLANNING & DEVELOPMENT

April 14, 1992

Wilsonville Spokesman
P.O. Box 1108
Canby, Oregon 97013

RE: Notice of Public Information Meeting and Public Hearings,
May 6th, May 18th and June 10, 1992

Dear Sir or Madam:

Attached is a notice for public information meeting and public hearings before the Historic Review Board and Board of County Commissioners. Please publish this notice on April 22, 1992.

Please return two (2) copies of the Affidavit of Publication together with your statement. Please send statement to the Board of County Commissioners for payment. Thank you.

Sincerely,

A handwritten signature in cursive script that reads "Pam Hayden".

Pam Hayden, Planner
Planning and Economic Development Division

0413/502/ph:eb
Enclosure

NOTICE OF PUBLIC HEARINGS

Historic Landmark public information meeting, May 6, 1992, 7:00 p.m.,
Frogpond Grange, 27270 S.W. Stafford Road, Tualatin, Oregon 97062.

Clackamas County Historic Review Board, May 18, 1992, 7:00 p.m.,
Department of Transportation and Development, Conference Room A, 902
Abernethy Road, Oregon City, Oregon 97045

Clackamas County Board of Commissioners, June 10, 1992, 9:30 p.m.,
Courthouse Annex, 906 Main Street, Oregon City, Oregon 97045

File No.: Z0064-91-Z; Z0065-91-Z; Z0066-91-Z; Z0067-91-Z; Z0068-91-Z;
Z0110-91-Z; Z0082-91-Z; Z0083-91-Z; Z0084-91-Z; Z0086-91-Z; Z0111-91-Z;
Z0170-91-Z; Z0171-91-Z; Z0649-91-Z

Applicant: Clackamas County

Proposal: Apply Historic Landmark overlay zone to subject properties.

Location: Stafford/Petes Mountain/Wilsonville area.

Legal Description: Varied

Zoning: Varied

Staff Contact: Pam Hayden (655-8521).

All interested citizens are invited to attend the public meeting and
hearings. An agenda will be provided at the public hearings.

The above applications are available for inspection at the Clackamas
County Planning Division, 902 Abernethy Road, Oregon City, Oregon
97045. The Historic Review Board and Board of County Commissioners
will give careful consideration to all written correspondence.

0506/522/ph:eb

Failure to raise an issue at the hearing, or by letter, or failure to provide sufficient specificity to afford the Historic Review Board or Board of Commissioners an opportunity to respond to an issue precludes appeal to the Land Use Board of Appeals based on that issue.

GENERAL INFORMATION

The public Informational Meeting will discuss what it means to be a Clackamas County Historic Landmark and the criteria used by the Historic Review Board to evaluate the significance of an historic property.

Two Public Hearings are scheduled. The first public hearing will be held before the Historic Review Board. The Historic Review Board is made up of a group of volunteer citizens with expertise in history, architecture, engineering and historic building restoration. They will review findings and hear public testimony regarding the historic properties. The Historic Review Board makes a recommendation to the Board of County Commissioners about designation of the historic property as a County Historic Landmark.

The Board of County Commissioners then holds a public hearing to review findings and hear public testimony. The Board of Commissioners makes a motion to designate or not designate a property a County Historic Landmark.

If a property is designated a Clackamas County Historic Landmark it falls under the provisions of the Historic Landmarks, Historic Districts and Historic Corridors Ordinance. This means that the Historic Review Board reviews applications for exterior alterations only, land partitions, new construction and demolition on Historic Landmark properties. The purpose of the Ordinance is to assist property owners to make changes to historic properties that are historically compatible.

All interested citizens are invited to attend the public meeting and the public hearings. An agenda will be provided at the hearings. Testimony and evidence should address those criteria identified in the Historic Landmarks, Historic Districts and Historic Corridors Ordinance or information relevant to potential conflicting uses.

A staff report will be available seven (7) days prior to the hearing. The staff report, applicable criteria, application, and all documents and evidence relied on by the applicant are available for inspection and may be purchased at reasonable cost at the Clackamas County Planning Division, 902 Abernethy Road, Oregon City, Oregon 97045 (655-8521). Direct all calls and written correspondence to the Planning Division.

To receive written notification of the Board of County Commissioners' decision, provide this office with a stamped, self-addressed envelope indicating the application file number.

NOTICE TO MORTGAGEE, LIENHOLDER, VENDOR, OR SELLER: ORS CHAPTER 215 REQUIRES THAT IF YOU RECEIVE THIS NOTICE, IT MUST BE PROMPTLY FORWARDED TO THE PURCHASER.



CLACKAMAS COUNTY

Department of Transportation & Development

WINSTON KURTH
EXECUTIVE DIRECTOR

RICHARD DOPP
DIRECTOR
OPERATIONS & ADMINISTRATION

TOM VANDERZANDEN
DIRECTOR
PLANNING & DEVELOPMENT

April 1992

DEAR HISTORIC PROPERTY OWNER:

Congratulations! Your property is a Candidate Clackamas County Historic Landmark. Your house may not be the McLoughlin House, but it has been recommended by the Clackamas County Historic Review Board as a Historic Landmark because it is considered significant as an integral part of Clackamas County's heritage, either for its history, architecture or cultural importance. The Historic Landmarks program has been in effect since 1980.

During the last few years Clackamas County, with financial assistance from the State Historic Preservation Office, physically surveyed and researched the history of properties in your area listed on the Clackamas County Cultural Resources Inventory.

This information was presented to the Historic Review Board. Using criteria from the Clackamas County Historic Landmarks Ordinance, the Historic Review Board evaluated properties for architectural, environmental and historic significance. Your property was evaluated as significant for consideration as a Clackamas County Historic Landmark, to be protected under the Historic Landmarks, Historic Districts and Historic Corridors Ordinance.

You may ask what this means to you if your property is designated a Clackamas County Historic Landmark by the Board of County Commissioners. An information sheet is attached to this letter which may answer some of your questions. If you would like a copy of the Historic Landmarks Ordinance, please call this office and one will be sent to you.

Protection and preservation of historic resources is mandated by state land use law. Goal 5 of the Land Conservation and Development Commission requires that all cities and counties in the state inventory and protect their significant historic resources.

Clackamas County has a rich heritage as exemplified in the variety and type of buildings which still survive from the earlier periods of settlement in the area. This physical evidence allows us to understand the way of life of our forbears, their farming practices, means of commerce and industry, and educational and religious history. By protecting and preserving

these buildings, we are making it possible for future generations to also learn about these people; those pioneers and settlers who began our culture in Oregon.

The earliest buildings which are Candidate Historic Landmarks date from the earliest period of settlement in Oregon; the 1850's. The dates of construction of these Candidate properties range from this early period through the 1930's; after the advent of the railroads and the automobile.

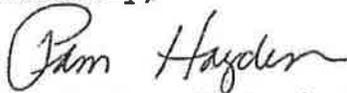
Enclosed with this letter is a notice of public hearing for your property. Consideration for Historic Landmarks designation will first be considered first by the Historic Review Board and second by the Board of County Commissioners. Your neighbors within 250 feet of your property will also be notified of these hearings. A total of 14 Candidate Historic Landmarks will be the subject of these public hearings.

Also enclosed is a copy of the Historic Survey Form for your property. If you see any errors in the information please let us know as it is important that all information about the description of the building(s) are accurate, as well as the historic information under the Subject Property description.

You may ask what this means to you if your property is designated a Historic Landmark by the Board of County Commissioners. The following is a summary of the Historic Landmarks Ordinance. If you would like a copy of the entire Ordinance, please call this office and one will sent one to you.

If you have any questions, please feel free to call me at this office at 655-8521. I am in the office on Tuesdays, Wednesdays and Thursdays. If you are unable to reach me on one of these days, please leave a message on the recorder and I will get back to you.

Sincerely,



Pam Hayden, Historic Resources Coordinator
Planning Division

WHAT IS THE HISTORIC LANDMARKS ORDINANCE AND WHAT AFFECT WILL IT HAVE ON MY PROPERTY?

The intent of this ordinance is to protect and preserve important historic resources in Clackamas County. The Historic Landmark zoning designation is an overlay zone which is an addition to the current zoning designation on your property. For instance, if your property is zoned for farm use or for apartment use, these underlying zoning districts and their allowable uses are still maintained, but with a Historic Landmark overlay.

An advantage to having the Historic Landmark overlay zone is that there are greater options for the use of the property, which might not normally be allowed in the underlying zoning district. Property owners can apply for a conditional use permit to allow for uses such as antique or book shops, or for cafes or bed and breakfast establishments. Many zoning districts do not allow these options without the Historic Landmark overlay zone.

Another advantage to being designated a Clackamas County Historic Landmark is that historic property owners qualify to apply for a no-interest deferred loan. Up to \$7,500 is available to individual property owners for exterior restoration work. More information can be obtained about this loan program from the County.

The Historic Landmarks, Historic Districts, and Historic Corridors Ordinance outlines a process and criteria for the Historic Review Board to review building additions and alterations which effect the exterior of a structure only, partitioning of property, new development on Landmark property and demolitions. The Historic Review Board uses criteria in the Ordinance which insures that changes to Landmark properties occur in a compatible manner. When a Historic Landmark property owner decides that changes are necessary to their building or property, they make application to the Planning Division to bring their proposal before the Historic Review Board for review and approval.

THE HISTORIC LANDMARKS ORDINANCE:

DOES NOT require the review of interior changes to a building, affect tax assessments, prevent property owners from making changes or painting their building, or require that improvements be made to their building(s). This Ordinance also does not restrict ordinary maintenance or require that a building be open to the public. It does not prohibit property divisions, new construction or demolition.

WHO IS ON THE HISTORIC REVIEW BOARD:

Historic Review Board members are volunteer citizens appointed by the Board of County Commissioners. Their backgrounds focus on special expertise or knowledge in the field of historic preservation: architects with knowledge in historic restoration, contractors with expertise in construction techniques applied to historic structures, and representatives from historic groups in the County.

The Historic Review Board's role is to advise and assist property owners on appropriate restoration techniques and compatible alterations so that the integrity of the historic building be maintained.

The Historic Review Board also evaluates historic resources and determine which buildings and properties meet criteria in the Ordinance to qualify as a Historic Landmark. They recommend to the Board of County Commissioners the most significant properties be designated Clackamas County Historic Landmarks.

NOTICE OF PROPOSED ACTION

Must be sent to DLCD 45 days prior to the final hearing
See OAR 660-18-020

Jurisdiction Clackamas County

Date Mailed April 8, 1992 Local File Number See Attached

Date Set for Final Hearing on Adoption June 10 1992
Month Day Year

Time and Place for Hearing 9:30 a.m. - Board of County Commissioners

Courthouse Annex - 906 Main St. - Oregon City, OR

Type of Proposed Action (Check all that apply)

97045

Comprehensive Plan Amendment Land Use Regulation Amendment New Land Use Regulation

Please Complete (A) for Text Amendments and (B) for Map Amendments

- A. Summary and Purpose of Proposed Action (Write a brief description of the proposed action. Avoid highly technical terms and stating "see attached".):

- B. For Map Amendments Fill Out the Following (For each area to be changed, provide a separate sheet if necessary. Do not use tax lot number alone.):

Current Plan Designation:

Various

Proposed Plan Designation:

Unchanged

Current Zone:

Various

Proposed Zone:

Apply Historic Landmark

Location: See Attached

Acreage Involved: Not available

Does this Change Include an Exception? Yes No

For Residential Changes Please Specify the Change in Allowed Density in Units Per Net Acre:

Current Density:

Proposed Density:

List Statewide Goals Which May Apply to the Proposal:

List any State or Federal Agencies, Local Government or Local Special Service Districts Which may be Interested in or Impacted by the Proposal:

State Historic Preservation Office

Direct Questions and Comments To: Pam Hayden/DTD - Planning Division

902 Abernethy Road

Oregon City, OR 97045

(Phone) 655-8521

Please Attach Three (3) Copies of the Proposal to this Form and Mail To:

Department of Land Conservation and Development
1175 Court Street, N.E.
Salem, Oregon 97310-0590

NOTE: If more copies of this form are needed, please contact the DLCD office at 373-0050, or this form may be duplicated on green paper. Please be advised that statutes require the "text" of a proposal to be provided. A general description of the intended action is not sufficient. Proposed plan and land use regulation amendments must be sent to DLCD at least 45 days prior to the final hearing (See OAR 660-18-020).

* * * FOR DLCD OFFICE USE * * *

DLCD File Number _____ # Days Notice _____

<pa>proposed form

GOAL 5 ANALYSIS OF HISTORIC RESOURCE

I) EVALUATION FOR SIGNIFICANCE

(Must receive 40 points or more to be eligible for Historic Landmark designation. The numbers coincide with Ordinance Criteria under 707.02 B., see attached)

	<u>ARCHITECTURE</u>					<u>ENVIRONMENT</u>				<u>HISTORY</u>			
	A	B	C	D	E	A	B	C	D	A	B	C	D
<u>Z0083-91-Z</u>													
RAJOUL-SLAWSON HOUSE, #487													
1165 SW BORLAND RD													
2-1E-33AB, TL 1000	10	3	3	5	7	7	3	10	5	5	0	5	5
RRFF-5, 2.06 A													
1920/1935, STYLE: Oregon Rustic													
TOTAL POINTS: 68.													

COMMENTS: Audrian Rajoul purchased this property in 1922 from the Oregon Iron and Steel Company. "Frenchy" Rajoul was a logger, trapper and prospector. Nearby roads, Sweetbriar and Grapevine, were his skid roads for his logging operation. The Oregon Rustic style house was built about the time Rajoul purchased the property.

Oregon Rustic or National Park style was popular in the 1920s through the Depression. Buildings of this type were designed with native materials, such as logs or stone; the natural beauty of the material was the design element rather than contrived classical architectural forms. Oregon Rustic buildings were crafted without modern tools or made to appear handmade, although sometimes houses were constructed of native materials during this period for purely economic considerations. Timberline Lodge is the best known example of the Oregon Rustic style in Clackamas County.

W.A. and Lou H. Slawson owned the property between 1928 and 1940. During this period some changes were made to the house. The garage was constructed in a compatible design; windows and doors on the main facade were altered.

The Slawsons established a park on the property, charging admission to picnickers and swimmers. The private park was a popular recreation site for area residents.

During the latter part of the 19th century and early years of the 20th century Americans, partly in reaction to increased industrialization, embraced outdoor recreation. Picnicking, a favorite activity, took place in the city park, in the country or at the end of an interurban railroad line. During the Motor Age (1914-1940) traditional recreational activities such as picnicking took on a new vitality. With the increase in

the number of automobiles, more people could enjoy outdoor recreation in locations such as the Rajoul-Slawson House.

The house is located on a wooded site on the south side of the Tualatin River. Landscape features include the towering coniferous trees and numerous ornamental plantings, which enhance the park-like setting. In addition to the house, there are two other buildings on the property. It is not known if these buildings were constructed during the historic period and are therefore associated with the recreation site. A structure in the river has been constructed to create a swimming hole.

The Rajoul-Slawson House is significant as a rare and excellent example of the Oregon Rustic style and for its association with recreation in Clackamas County.

STATEMENT OF SIGNIFICANCE

Address: 1165 S.W. Borland Road
Historic Name: RAUJOL-SLAWSON, HOUSE

The Raujol-Slawson House is located on the road between West Linn and Tualatin. The house is west of Stafford Road and immediately adjacent to the Tualatin River. The subject property may be evaluated as an example of an early 20th century dwelling and for its association with local recreational history.

HISTORICAL BACKGROUND

The earliest settlers in the Wilsonville-Stafford-Pete's Mountain area were the Boone family, descendants of famous American explorer Daniel Boone. Jesse Boone settled a claim on the south side of the Willamette River. George Curry settled immediately to the east of Boone and would serve as Territorial Governor, as well as governor of the State. In 1847, Jesse and Alphonso Boone built a ferry landing at the Willamette. Two years later Alphonso and many other pioneers left for the California gold fields; Jesse continued to operate the ferry. In 1852, H. Petite filed a claim on the north side of the river, at the site now known as Wilsonville.

By the close of the 1850s, the entire length of the Willamette River within Clackamas County had been claimed. In addition the most desirable farmland near the river had also been claimed. Settlements were also springing up near the waterway. The first settlement in the vicinity was Butteville, which is located just over the Marion County line on the east side of the Willamette. By 1850 a town had been laid out by Abernethy and Beers and a post office was established with F.X. Matthieu named postmaster.

Aurora Mills (Aurora) was established by Dr. William Keil on the road between Salem and Oregon City. The city is located just south of the Marion County line. Keil and about 500 followers came to Oregon from Bethel, Missouri, and for the next 20 years operated Aurora as an agrarian communistic colony.

The population of the county at that time was primarily made up of English, Irish and German immigrants, many of who had lived in the Missouri, Mississippi or Ohio river valleys prior to moving westward to Oregon.

The presence of Boone's Ferry contributed to the development of Boones Ferry Road, as it now known, which became a Territorial Road in 1857 and it would retain its status as a primary thoroughfare between Portland and Salem until after World War II.

Steamboat service for the area began in 1852 and over the next 25 years four landings were in operation in the vicinity. The flood of 1861-62 destroyed many primary shipping points along the upper and lower Willamette. Landings and ferries in the Boone's Ferry

and lower Willamette.² Landings and ferries in the Boone's Ferry area survived due to their higher elevation, a factor that had once cast the locale as a secondary shipping site, now was seen as an advantage. With the opening of the locks at Willamette Falls even more freight would be shipped via the river. Wheat and wood were the primary exports.

Mid-19th century dwellings were often of log or simple wood-frame construction. Many buildings exhibited an influence from the Classical Revival style of architecture, although generally this influence was limited to symmetrical facade arrangements, and suggestions of a cornice at the eave line and corner boards.

Like their residential counterparts, agricultural buildings from the period were generally simple buildings. Due to the nature of farming practices, barns and sheds were low-profile broad buildings.

After the Civil War (1865-1883), the area experienced slow but steady growth. By 1866 a store and a water-powered grist mill were in operation at Boone's Ferry. In 1876 Charles Wilson was named postmaster, a service he ministered from his store. Four years later Boone's Ferry was officially known as Wilsonville. The Oregon-California Railroad, the single most important transportation improvement of the period, bypassed Boone's Ferry, but the rural population continued to expand. With the exception of the more hilly areas, farms were established throughout the study area.

During this period subsistence farming was the norm throughout the county, as well as in the Wilsonville vicinity. Livestock and cereal grains were raised and lumber complemented the rural economy. Kitchen gardens were essential. Toward the end of the period, oats began to surpass wheat as the number one crop and potatoes attained the rank of number three crop. Increasing numbers of livestock corresponded with an increase in hay production. The total number of acres in cultivation tripled during the period. Further, improvements in farm practices and building technology caused changes to agrarian buildings.

Lumber was an important part of the local economy. Saw mills and grist mills dotted the landscape. Wood cutting was profitable in the areas near Oswego. Here, the iron smelting operation demanded cord wood for the furnace until coal could be imported from southern Oregon.

Dwellings from this period were simple wood-frame buildings; many showed an influence from the Gothic Revival style of architecture. The most common style is the Vernacular or Western Farmhouse. In contrast to earlier dwellings, the buildings of this period had a vertical emphasis: windows were taller and roof pitch was steeper. Drop siding was the most popular exterior wall material, although some buildings were clad with primitive lap siding. Windows had multiple lights or panes. The windows

of earlier buildings (circa 1860s) typically had six lights or panes in each sash. As window glass became more readily available panes became larger and the number of lights became fewer. By the end of the period four lights per sash became common.

In general agricultural buildings continued to be low, broad buildings. However, beginning in the 1870s, barns began to be taller to accommodate machinery, such as hay fork lifts.

During the Progressive Era (1883-1913), the population of Clackamas County tripled from 9260 to almost 30,000. In the Wilsonville area approximately 20 per cent of the newcomers were German. The land near the river had been claimed or purchased since the previous period, therefore arable land, especially that on a roadway, became attractive or desirable.

The Wilsonville vicinity experienced expansion in commerce and industry. Business directories of 1886 list one flour mill, two sawmills, a brick yard and a general store at Wilsonville. The population had reached 75 and mail was delivered three times a week. Five years later another sawmill and a saloon had been established; mail was delivered daily. Farms increased in raw numbers and in total production.

Changes in agriculture and other industries, and a trend toward urbanization marked the period. Technological advancements in agriculture continued, resulting in higher productivity. Hops and prunes became major cash crops. Income related to dairying doubled during the period. Truck farming near urban centers increased. Lumber began to decrease in importance in the lower elevations. However, in hilly areas, such as Pete's Mountain, the cutting of timber continued well into the 20th century. A major market for wood came from the pulp and paper industry at the Willamette Falls.

Throughout the country and in the Wilsonville vicinity the public demanded better roadways. In 1893, the enabling legislation was passed authorizing road improvement districts, realized in part by the agitation of farmers via the Grange and other organizations. The establishment of the Rural Free Delivery mail program also stimulated farmers to spend funds for rural road improvements.

Interurban railroads also sought to fill the demand for better transportation systems and entrepreneurs took advantage of the situation. George A. Steel, prominent Portland businessman and attorney, is attributed with the naming of the Stafford area. Steel was involved with a plan to run an interurban railroad from Portland south through Oswego. Presumably Steel's interest in the Stafford area came from his speculation that the line would pass through Stafford on its way to points south. In 1890, Steel abandoned his interest in the west side interurban in favor of the east side line through Oak Grove to Oregon City.

Almost 20 years later the town of Wilsonville was platted by John W. Thornton, in concert with the coming of the Oregon-Electric Railroad. A bridge over the Willamette was constructed in 1907 and service began in 1908. The following year 38 commuter trains traveled daily between Portland and Salem via Wilsonville, Tualatin and other west side communities. Oregon-Electric built a park at the river's edge and billed Wilsonville as a stopover as well as an excursion point. During the decade the town center shifted from the river to the depot. In 1911, Thornton established Farmer's Bank of Wilsonville, signaling the maturation of the community as an agricultural center. Thornton had been a railroad official in the Midwest and had participated in the construction of the Oregon-Electric.

Vernacular buildings continued to be popular in the Wilsonville vicinity, although in rare instances more varied styles were constructed. The eclectic styles of the late 19th century were more popular in cities; rural folk adapted modest forms of the ornament typically associated with the urban designs. The availability of machine made ornament, such as turned posts and balustrades, jigsaw brackets, and patterned shingles, allowed a modicum of decorative treatments to be used on even the most remote farmhouse.

At the turn-of-the-century innovative American styles came into being. The most popular in Clackamas County was the Craftsman-Bungalow. The designers of this type rejected the machine-made ornament and instead embraced the handmade look and natural materials. This building type would continue to be the most popular through the following period.

Agricultural buildings changed dramatically during the Progressive Era. By the turn-of-the-century barns had become quite tall. Most barns were equipped with devices to raise hay to a second floor or to a higher loft. Barns began to be designed in a variety of shapes, including Gambrel and Gothic Gambrel.

During the Motor Age (1914-1940), transportation improvements and growth in population continued to fuel agricultural activity. By the 1920s specialized crops, such as fruit and nut cultivation and dairying began to supplant general farming in the Wilsonville vicinity. In 1927, the Oregon-Electric ceased operation. Automobiles took precedence. Again the town center shifted, this time from the depot to the crossroads less than one-mile north of the river.

During the Depression and the years following, the population remained steady at slightly over 350. The town continued as an agricultural center.

The Craftsman-Bungalow style continued to be the most popular style. Although a variety of Period Revival styles were introduced from Europe after World War I.

Changes in agricultural buildings continued. Large barns were still constructed, but the most notable change was the introduction of outbuildings for large-scale specialized farming. In the 1950s the Wilsonville area witnessed dramatic changes. The ferry crossing was abandoned in favor of an automobile bridge over the Willamette. Wilsonville became an interchange on the interstate freeway system. The city was incorporated in 1968.

SUBJECT PROPERTY

Audrian Raujol purchased this property in 1922 from the Oregon Iron and Steel Company. "Frenchy" Raujol was a logger, trapper and prospector. Nearby roads, Sweetbriar and Grapevine, were his skid roads for his loggin operation.

The house was built circa 1922 in the Oregon Rustic style. Oregon Rustic or National Park style was popular in the 1920s through the Depression. Buildings of this type were designed with native materials, such as logs or stone; the natural beauty of the material was the design element rather than contrived classical architectural forms. Oregon Rustic buildings were often crafted without modern tools or made to appear handmade. Sometimes houses were constructed of native materials during this period for purely economic considerations. Timberline Lodge is the best known example of the Oregon Rustic style in Clackamas County.

W.A. and Lou H. Slawson owned the property between 1928 and 1940. During this period some changes were made to the house. The garage was constructed in a compatible design, and windows and doors on the main facade were altered.

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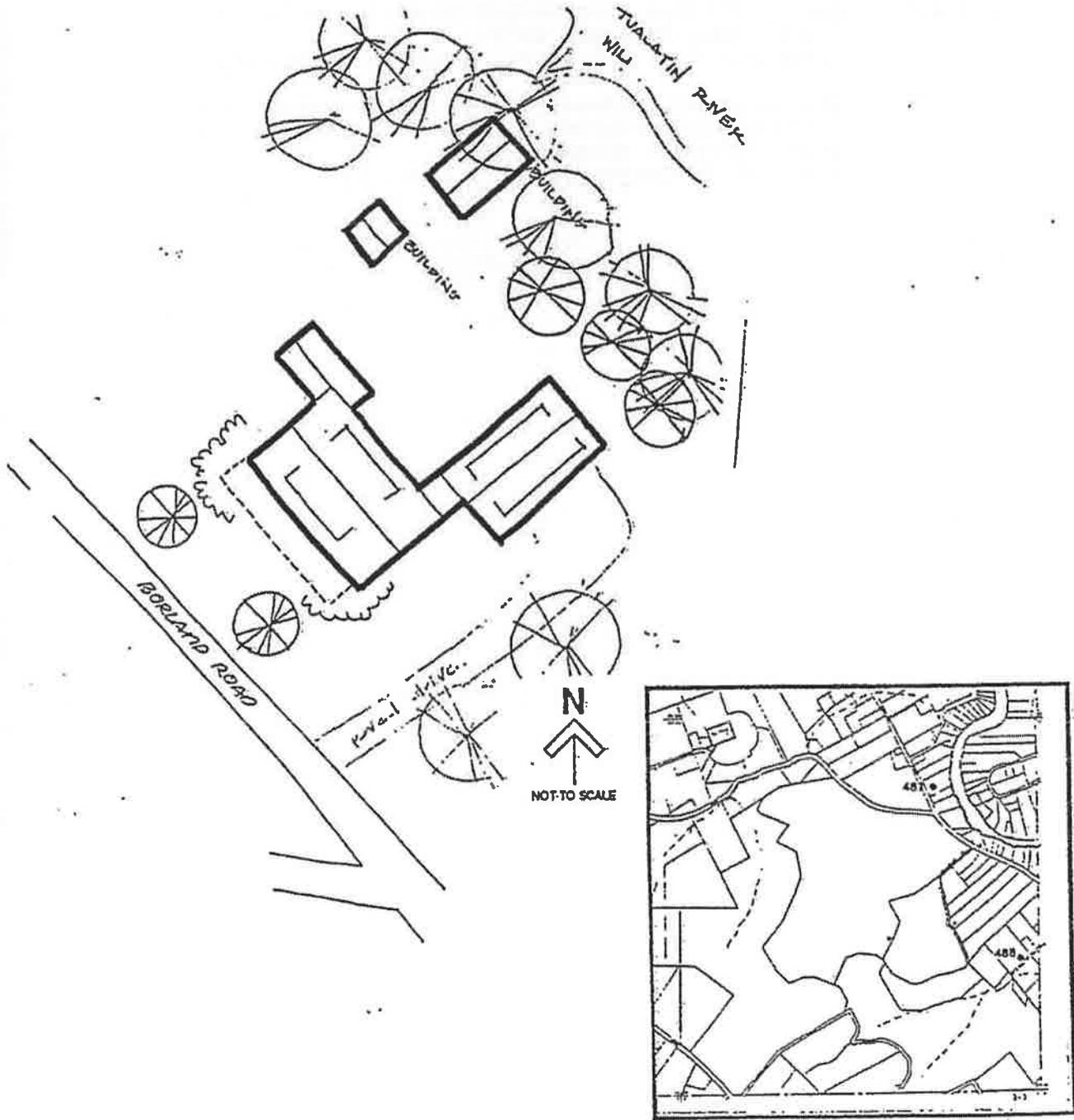
The house is located on a wooded site on the south side of the Tualatin River. Landscape features include the towering coniferous trees and numerous ornamental plantings, which enhance the park-like setting. In addition to the house, there are two other buildings on the property. It is not known if these buildings were constructed during the historic period and are therefore associated with the recreation site. A structure in the river has been constructed to create a swimming hole.

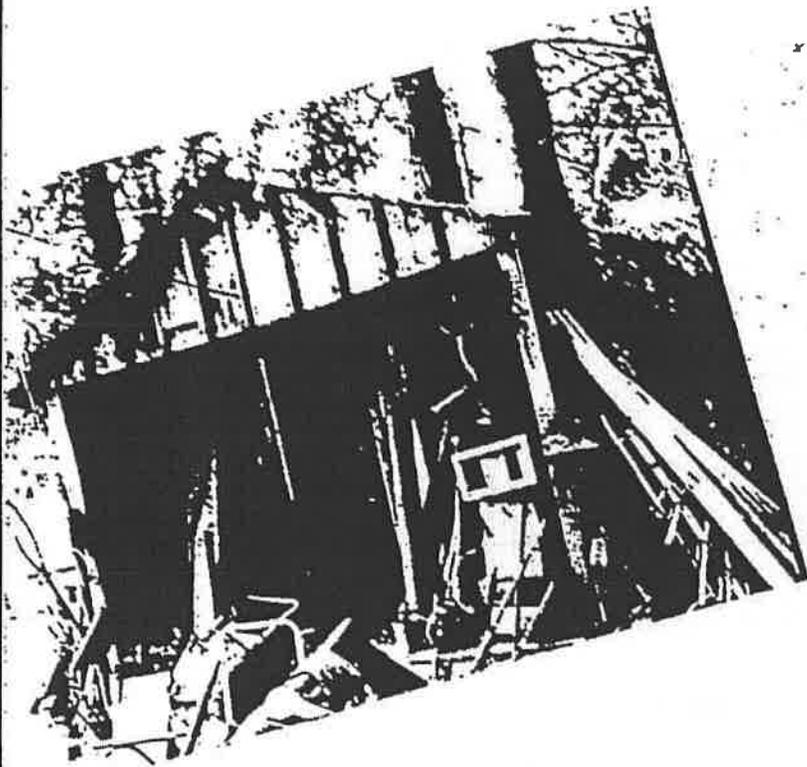
The Raujol-Slawson House is significant as a rare and excellent example of the Oregon Rustic style and for its association with recreation in Clackamas County.

Bibliography: Awalt, Charles, unrecorded interview with Jane Morrison, November 1989.
Clackamas County Cultural Resource Inventory, 1984.
Koellermeier, Roland, Lester Koellermeier, and Midge Koellermeier, unrecorded interview with Jinx Faulkner, November 1989.
Ticor Title Company, Oregon City, OR.

2
SITE PLAN AND VICINITY MAP

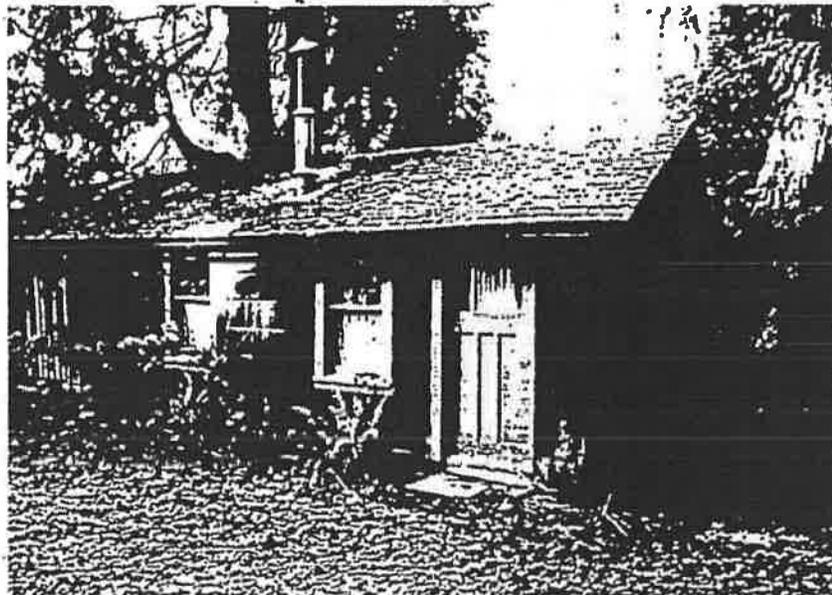
Address: 1165 S.W. Borland Road
Historic Name: RAUJOL-SLAWSON, HOUSE





ESTIMATED DATE BUILT: c. 1935
TYPE: Vernacular
STORIES: 1
FOUNDATION MATERIAL: Rectangular
FOUNDATION: No
FORM AND MATERIALS: Concrete
CONSTRUCTION/STRUCTURAL FRAME: Gable w/ composition shingles
PRIMARY WINDOW TYPE: Wood/stud
EXTERIOR SURFACING MATERIALS: Board-and-batten siding
DISTINCTIVE FEATURES: Three-vertical panel door w/ small square light, w. of
Use: Unknown
CONDITION: Good
EXTERIOR ALTERATIONS (DATE): Unknown

SHPO NO.: 487



GUEST HOUSE

ESTIMATED DATE BUILT: c. 1935
STYLE: Vernacular
PLAN TYPE/SHAPE: Rectangular
NO. OF STORIES: 1
FOUNDATION MATERIAL: Concrete
BASEMENT: No
ROOF FORM AND MATERIALS: Gable w/ composition shingles
WALL CONSTRUCTION/STRUCTURAL FRAME: Wood/stud
PRIMARY WINDOW TYPE: Double-hung
EXTERIOR SURFACING MATERIALS: Wide wood shingle siding
DECORATIVE FEATURES: None
OTHER: Three-vertical panel door w/ small square light, w. of house
CONDITION: Good
EXTERIOR ALTERATIONS (DATE): Unknown

CLACKAMAS COUNTY

HISTORIC RESOURCES INVENTORY 1989-90

HISTORIC NAME: RAUJOL-SLAWSON, HOUSE
COMMON NAME:
PROPERTY ADDRESS: 1165 S.W. Borland Road
OWNER: Howser, Arthur J.
OWNER ADDRESS: 1165 S.W. Borland Road, West Linn OR 97068
RESOURCE TYPE: Buildings
PRESENT USE: Residence
ORIGINAL USE: Residence
THEME: Culture: architecture and outdoor recreation
ARCHITECT/BUILDER: Rajol, Audkiam, attributed
COUNTY: Clackamas
QUAD: Canby
T/R/S: 2S 1E 33AB
TAX LOT: 1000
ADDITION: N/A
BLOCK: N/A
LOT: N/A
LOT SIZE: 2.06 Acres
ZONE: RRF-5

SETTING: This house sits on a lot located on the northeastern side of Borland Road, a two-lane thoroughfare that joins Turner Road nearby to the southwest. The building sits back from the road and is surrounded by heavy vegetative growth, most of it domestic plantings. Across Borland Road to the southwest is an open field, a tree-covered hillside, and an early twentieth century, single-family residence. On the northwest and southwest are other single-family homes that are also situated on lots along Borland Road. This is a hilly residential area, but remnants of late nineteenth century and early twentieth century farmsteads can still be seen. The Tualatin River abuts the eastern property boundary

NOTEWORTHY LANDSCAPE FEATURES: Ornamental plantings, surrounded by mature coniferous trees

NON-CONTRIBUTING FEATURES: None

RECORDED BY: Koler/Morrison
DATE: October 1989

SHPO NO.: 487



HOUSE

DATE BUILT: 1920-1935
STYLE: Oregon Rustic
PLAN TYPE/SHAPE: Asymmetrical
NO. OF STORIES: 1 1/2
FOUNDATION MATERIAL: Concrete
BASEMENT: No
ROOF FORM AND MATERIALS: Multi-gable w/ composition shingles
WALL CONSTRUCTION/STRUCTURAL FRAME: Wood/stud
PRIMARY WINDOW TYPE: Large, fixed sash
EXTERIOR SURFACING MATERIALS: Peeled half-logs
DECORATIVE FEATURES: None
OTHER: Full-width front porch w/ wood deck, log posts and multi-light door; wide, shed roof dormers w/ saddle-notch corners, n. and s. elev.; gabled ell w/ vertical board siding; shed roof side-porch w/ log posts and plywood deck; garage wing clad in vertical board siding at first level, horizontal boards at second level, and open shed, n. elev.; shed attachment, w. elev.
CONDITION: Good
EXTERIOR ALTERATIONS (DATE): Central front door moved (n.d.); garage wing added (n.d.).

CLACKAMAS COUNTY HISTORIC PROPERTIES
EVALUATION CRITERIA FORM
 Criteria for architectural, environmental,
 and historical significance

ARCHITECTURE

(A) STYLE/BUILDING TYPE/CONVENTION: Significance as an example of a particular architectural style, building type, or convention.

Especially fine or extremely early (1860 or earlier)	10
Excellent or early (1861-1890)	5
Good	3
Of little interest	0

(B) DESIGN/ARTISTIC QUALITY: Significance because of quality of composition, detailing, and craftsmanship.

Excellent	4
Very Good	3
Good	2
Fair	1
Poor	0

(C) MATERIALS/CONSTRUCTION: Significance as an example of a particular material or method of construction.

Especially fine or extremely early	4
Excellent or early	3
Good	2
Of some interest	1
Of little interest	0

(D) INTEGRITY: Significance because it retains its original design features, materials, and character.

No apparent changes	7
Minor changes	5
Major changes	3
Altered/Deteriorated	0

(E) RARITY: Significance as the only remaining, or one of the few remaining, properties of a particular style, building type, design, material, or method of construction.

One of a kind	10
One of few (<1884)	7
One of several	5
One of many	3

*(When several buildings comprise a complex of interrelated structures, the best example of the building type or architecture within the complex will be evaluated.)

ENVIRONMENT

(A) LANDMARK: Significance as a visual landmark.

Symbol for the community	10
Conspicuous/well-known in community	7
Conspicuous/well-known in neighborhood	5
Not conspicuous/not well-known	0

(B) SURROUNDING SETTING: Significance because the current land-use surrounding the property contributes to the integrity of the pertinent historic period.

Excellent	4
Very Good	3
Good	2
Fair	1
Intrusive	0

(C) ON SITE SETTING: Significance because the property consists of a complex of interrelated elements including associated structures from the historic period, viewsheds, natural features and historic landscape materials.

Excellent	10
Good	7
Fair	3
Poor	0

(D) CONTINUITY: Significance because the property contributes to the continuity or historic character of the street, neighborhood, or community.

Establishes character	7
Important/maintains character	5
Compatible	3
Incompatible	0

HISTORICAL ASSOCIATION

(A) PERSON/GROUP/ORGANIZATION: Associated with the life or activities of a person, group, organization, or institution that has made a significant contribution to the community, state, or nation.

Particularly strong	10
Strong (Donation Land Claim)	7
Some (century farm, school, business, grange, church)	5
None	0

(B) EVENT: Associated with an event that has made a significant contribution to the community, state or nation.

Particularly strong	10
Strong	7
Some	5
None	0

(C) PATTERN: Associated with, and illustrative of, trends of historical development or broad patterns of cultural, social, political, economic, or industrial history in the community, state, or nation. Pattern is reflective of cultural lifestyles during historic period.

Particularly strong (DLC, Barlow Road, territorial road, Willamette River)	10
Strong (century farms, education, religion, social, store, postoffice, recreation)	7
Some (farming, land use planning, architecture, early settlement/development, housing)	5
None	0

(D) LIKELIHOOD TO YIELD INFORMATION: Resource has yielded, or may be likely to yield, information important in prehistory or history.*

Very likely	10
Likely	5
Unlikely	0

*(site occupied prior to 1880 and is relatively undisturbed, then likely to very likely. If site is located near stream bank or water source, then likely to very likely.)

GOAL 5 ANALYSIS OF HISTORIC RESOURCE

Rajoul Slawson House, #487
Z0083-91-Z

II) CONFLICTING USE ANALYSIS

A. FINDINGS:

- 1) Current zone: RRF-5, Rural Residential, Farm Forest, five acre minimum - no conflict with Historic Landmark designation.
- 2) Private development plans: none
- 3) Public development plans: none
- 4) Potential conflicting uses: Alteration of historic resource, relocation of resource, new construction, land division, and demolition.

B. CONCLUSIONS: No existing conflicting uses exist under this zoning designation, however, since there are potential conflicting uses, an analysis of Economic, Social, Environmental and Energy Consequences on the Goal 5 resource is necessary, (see next page).

C. RECOMMENDATION: Designate the resource a Clackamas County Historic Landmark as Goal 5 historic resource, protected by the Historic Landmarks, Historic Districts and Historic Corridors Ordinance.

III. ECONOMIC, SOCIAL, ENVIRONMENTAL, ENERGY CONSEQUENCE ANALYSIS
FOR CLACKAMAS COUNTY GOAL 5 HISTORIC RESOURCES

CONFLICTING USES:

Potential impacts on Goal 5 historic resource: Alteration of historic resource, relocation of resource, new construction, land division, and demolitions.

Potential impacts of Goal 5 historic resource on existing land use: Requirement that alterations, relocation, new construction, land division and demolition be reviewed under Historic Landmarks Ordinance criteria.

POTENTIAL ACTION: Historic Landmark Designation

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CONSEQUENCE OF ACTION

- 1) Maintain and potentially enhance property values.
- 2) Enhance Tourism potential.
- 3) Provide full range of housing stock.
- 4) Potential for increased costs to property owners for restoration in order to meet Landmarks Ordinance criteria.
- 5) Potential for reinvestment in existing buildings.
 - *Qualify to apply for Conditional Use permit for uses not otherwise allowed in underlying zone.
 - *Potential for adaptive reuse of historic resources; an incentive to make resource economically viable for property owner while maintaining historic and architectural integrity.
 - *Qualify for low interest deferred loan program.
 - *First step in National Register nomination which gives tax incentives and qualifies property

CONSEQUENCE OF NO ACTION

- 1) Potential loss of incentives to maintain and potentially enhance property values.
- 2) Potential loss of significant historic resource, which could reduce tourism potential in area.
- 3) Potential loss of housing stock.
- 4) Property owners make alterations without application of Historic Landmarks Ordinance is potentially less costly.
- 5) Loss of potential in reinvestment in existing buildings.
 - *Would not qualify to apply for conditional use permit to allow potential commercial uses of historic property. No allowance for adaptive reuse of historic resource.
 - *Would not qualify for special loan program for historic rehabilitation.
 - *Would not be readily

owner for rehab money through the State Historic Preservation Office.

*Qualify to apply for C.B.D.G. block grant money for historic preservation and rehabilitation.

considered for National Register nomination in not Co. HL; would not qualify for tax incentives and grant money for rehab.

CONSEQUENCE OF ACTION

CONSEQUENCE OF NO ACTION

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1) Resource retains architectural and historic integrity.

1) Architectural, environmental and historical integrity of Goal 5 historic resource lost due to incompatible alterations, relocation, new construction, land division and demolition.

2) Historic resource protected to enhance understanding and appreciation of County's historical, cultural and architectural heritage.

2) Potential loss of significant County historic resource in terms of understanding and educational awareness of heritage to present and future generations. Loss to community at large.

3) Foster neighborhood, community and civic pride.

3) Potential loss to neighborhood livability.

4) Adds to quality of life/community at large.

4) Potential loss of quality of life/community at large.

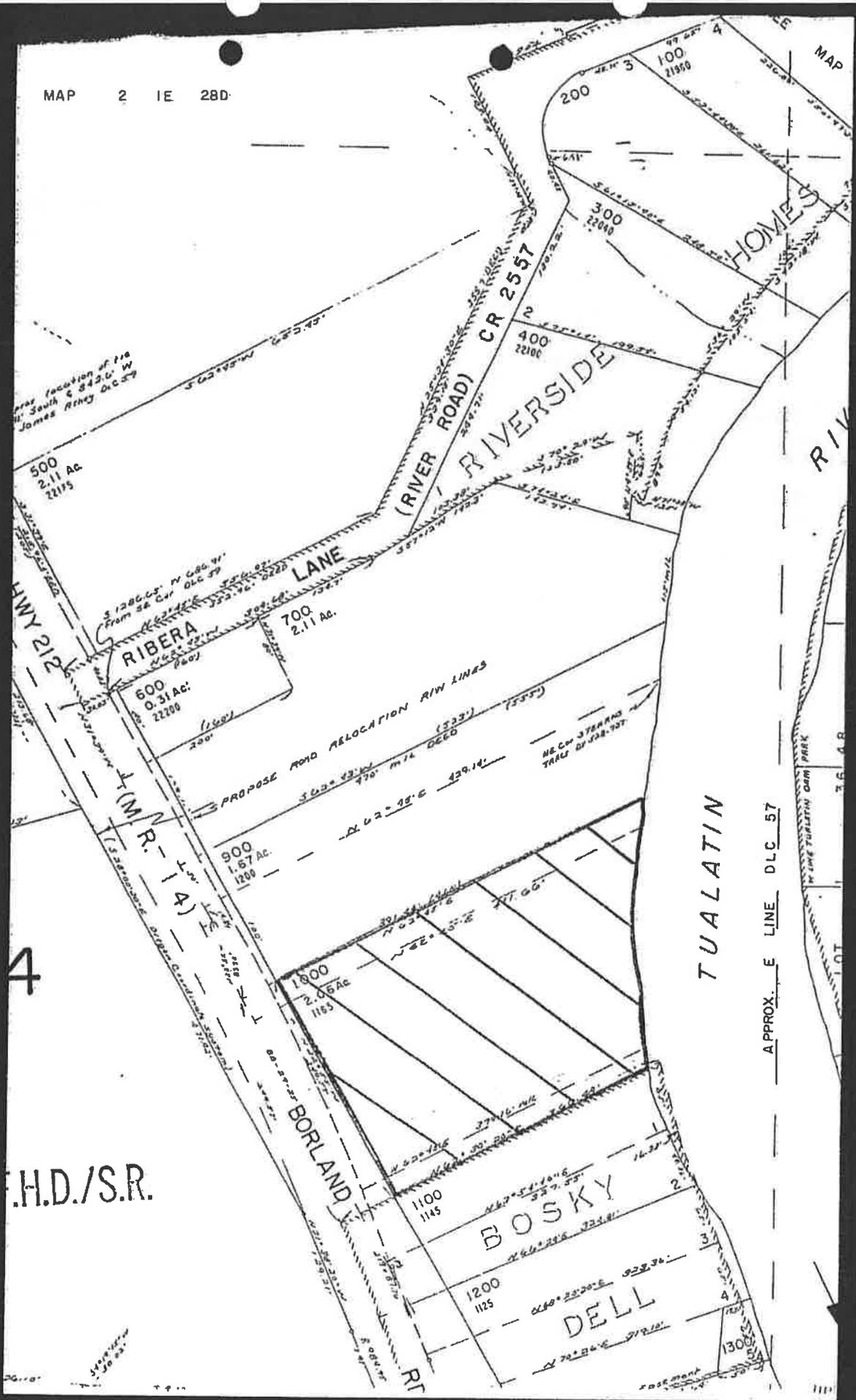
E/E
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1) Conservation of existing housing and building resources.

1) Added energy expenditure to replace existing resource.

2) Potential for more open space with mature trees and shrubs

2) Potential loss of open space and mature landscapes.



prec location of the
 W. South & 842.6' W
 James Riney Dec 29

500
 2.11 Ac
 22175

HWY 212

RIBERA

600
 0.31 AC
 22788

700
 2.11 Ac.

900
 1.67 Ac.
 1288

1800
 2.06 Ac
 1165

1100
 1.145

1200
 1.125

BOSKY

DELL

(RIVER ROAD) CR 2557

RIVERSIDE

TUALATIN

APPROX. E LINE DLC 57

H.D./S.R.

4

File No: Z0083-91
Type: ZZ

ZONE CHANGE

Page : 1 of 1
Date : 02/06/91
Time : 09:16

Status: PENDING

Dates Recieved 01/24/91 Decision
Final Expires

Applicant: CLACKAMAS COUNTY

Address:

City/Zip:

Phone:

Parcel No: 21E33AB-01000 Owner: HOWSER ARTHUR J

Site Address: 11120 SW STAFFORD RD

Title: RAJOUL-SLAWSON HOUSE, #487

Proposed Use: RREF-5 TO HL/ORE RUSTIC, 1920/1935, 2.06A

Const: OTH

Valuation:

Val by: LD

0 No. of Units: 0

Staff Reviewer: PH

GOAL 5 ANALYSIS OF HISTORIC RESOURCE

Rajoul Slawson House, #487
20083-91-Z

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A. FINDINGS:

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- 4) Potential conflicting uses: Alteration of historic resource, relocation of resource, new construction, land division, and demolition.

B. CONCLUSIONS:

No existing conflicting uses exist under this zoning designation, however, since there are potential conflicting uses, an analysis of Economic, Social, Environmental and Energy Consequences on the Goal 5 resource is necessary, (see next page).

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CONSEQUENCE OF NO ACTION

- 1) Potential loss of incentives to maintain and potentially enhance property values.
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 - *Would not be readily

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(A) LANDMARK: Significance as a visual landmark.

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Conspicuous/well-known in neighborhood	5
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Excellent	4
Very Good	3
Good	2
Fair	1
Intrusive	0

(C) ON SITE SETTING: Significance because the property consists of a complex of interrelated elements including associated structures from the historic period, viewsheds, natural features and historic landscape materials.

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None	0

(C) PATTERN: Associated with, and illustrative of, trends of historical development or broad patterns of cultural, social, political, economic, or industrial history in the community, state, or nation. Pattern is reflective of cultural lifestyles during historic period.

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*(site occupied prior to 1880 and is relatively undisturbed, then likely to very likely. If site is located near stream bank or water source, then likely to very likely.)

CLACKAMAS COUNTY HISTORIC PROPERTIES
EVALUATION CRITERIA FORM
Criteria for architectural, environmental,
and historical significance

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(A) STYLE/BUILDING TYPE/CONVENTION: Significance as an example of a particular architectural style, building type, or convention.

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Excellent or early (1861-1890)	5
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Of little interest	0

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Minor changes	5
Major changes	3
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One of a kind	10
One of few (<1884)	7
One of several	5
One of many	3

*(When several buildings comprise a complex of interrelated structures, the best example of the building type or architecture within the complex will be evaluated.)



HOUSE

DATE BUILT: 1920-1935

STYLE: Oregon Rustic

PLAN TYPE/SHAPE: Asymmetrical

NO. OF STORIES: 1 1/2

FOUNDATION MATERIAL: Concrete

BASEMENT: No

ROOF FORM AND MATERIALS: Multi-gable w/ composition shingles

WALL CONSTRUCTION/STRUCTURAL FRAME: Wood/stud

PRIMLRY WINDOW TYPE: Large, fixed sash

EXTERIOR SURFACING MATERIALS: Peeled half-logs

DECORATIVE FEATURES: None

OTHER: Full-width front porch w/ wood deck, log posts and multi-light door; wide, shed roof dormers w/ saddle-notch corners, n. and s. elev.; gabled ell w/ vertical board siding; shed roof side-porch w/ log posts and plywood deck; garage wing clad in vertical board siding at first level, horizontal boards at second level, and open shed, n. elev.; shed attachment, w. elev.

CONDITION: Good

EXTERIOR ALTERATIONS (DATE): Central front door moved (n.d.); garage wing added (n.d.)

SHPO NO.: 487

CLACKAMAS COUNTY

HISTORIC RESOURCES INVENTORY 1989-90

HISTORIC NAME: RAUJOL-SLAWSON, HOUSE
COMMON NAME:
PROPERTY ADDRESS: 1165 S.W. Borland Road
OWNER: Howser, Arthur J.
OWNER ADDRESS: 1165 S.W. Borland Road, West Linn OR 97068
RESOURCE TYPE: Buildings
PRESENT USE: Residence
ORIGINAL USE: Residence
THEME: Culture: architecture and outdoor recreation
ARCHITECT/BUILDER: Rajol, Audkiam, attributed
COUNTY: Clackamas
QUAD: Canby
T/R/S: 2S 1E 33AB
TAX LOT: 1000
ADDITION: N/A
BLOCK: N/A
LOT: N/A
LOT SIZE: 2.06 Acres
ZONE: RRF-5

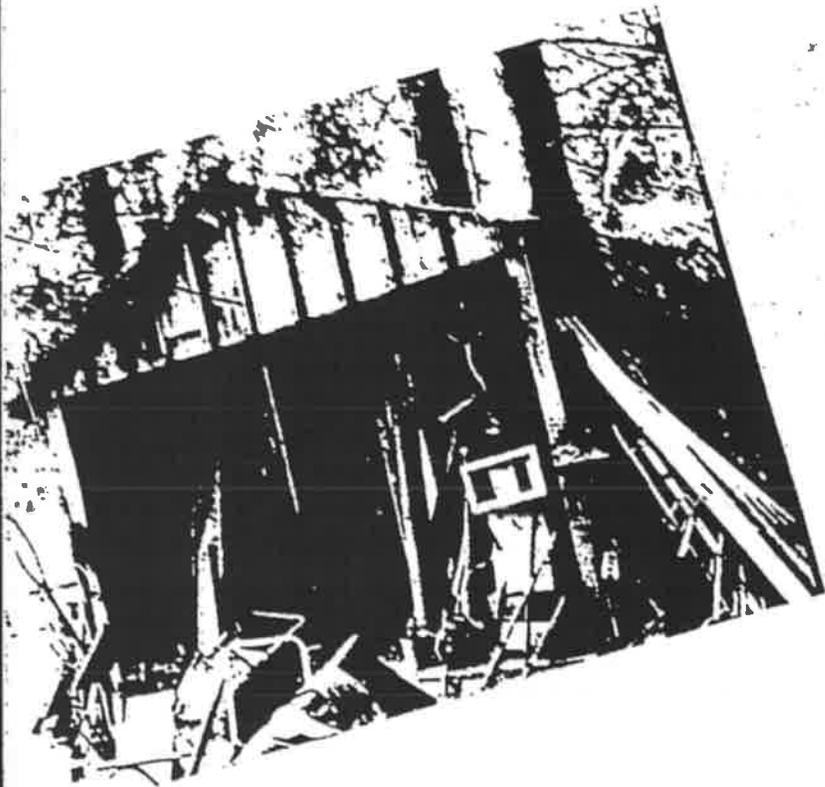
SETTING: This house sits on a lot located on the northeastern side of Borland Road, a two-lane thoroughfare that joins Turner Road nearby to the southwest. The building sits back from the road and is surrounded by heavy vegetative growth, most of it domestic plantings. Across Borland Road to the southwest is an open field, a tree-covered hillside, and an early twentieth century, single-family residence. On the northwest and southwest are other single-family homes that are also situated on lots along Borland Road. This is a hilly residential area, but remnants of late nineteenth century and early twentieth century farmsteads can still be seen. The Tualatin River abuts the eastern property boundary

NOTEWORTHY LANDSCAPE FEATURES: Ornamental plantings, surrounded by mature coniferous trees

NON-CONTRIBUTING FEATURES: None

RECORDED BY: Koler/Morrison
DATE: October 1989

SHPO NO.: 487



ESTIMATED DATE BUILT: c. 1935
TYPE/SHAPE: Vernacular Rectangular
NUMBER OF STORIES: 1
FOUNDATION MATERIAL: Concrete
ROOF FORM AND MATERIALS: Gable w/ composition shingles
PRIMARY WINDOW TYPE: None
EXTERIOR SURFACING MATERIALS: Board-and-batten siding
DISTINGUISHING FEATURES: Three-vertical panel door w/ small square light, w. of
HOUSE CONDITION: Good
EXTERIOR ALTERATIONS (DATE): Unknown

SHPO NO.: 487

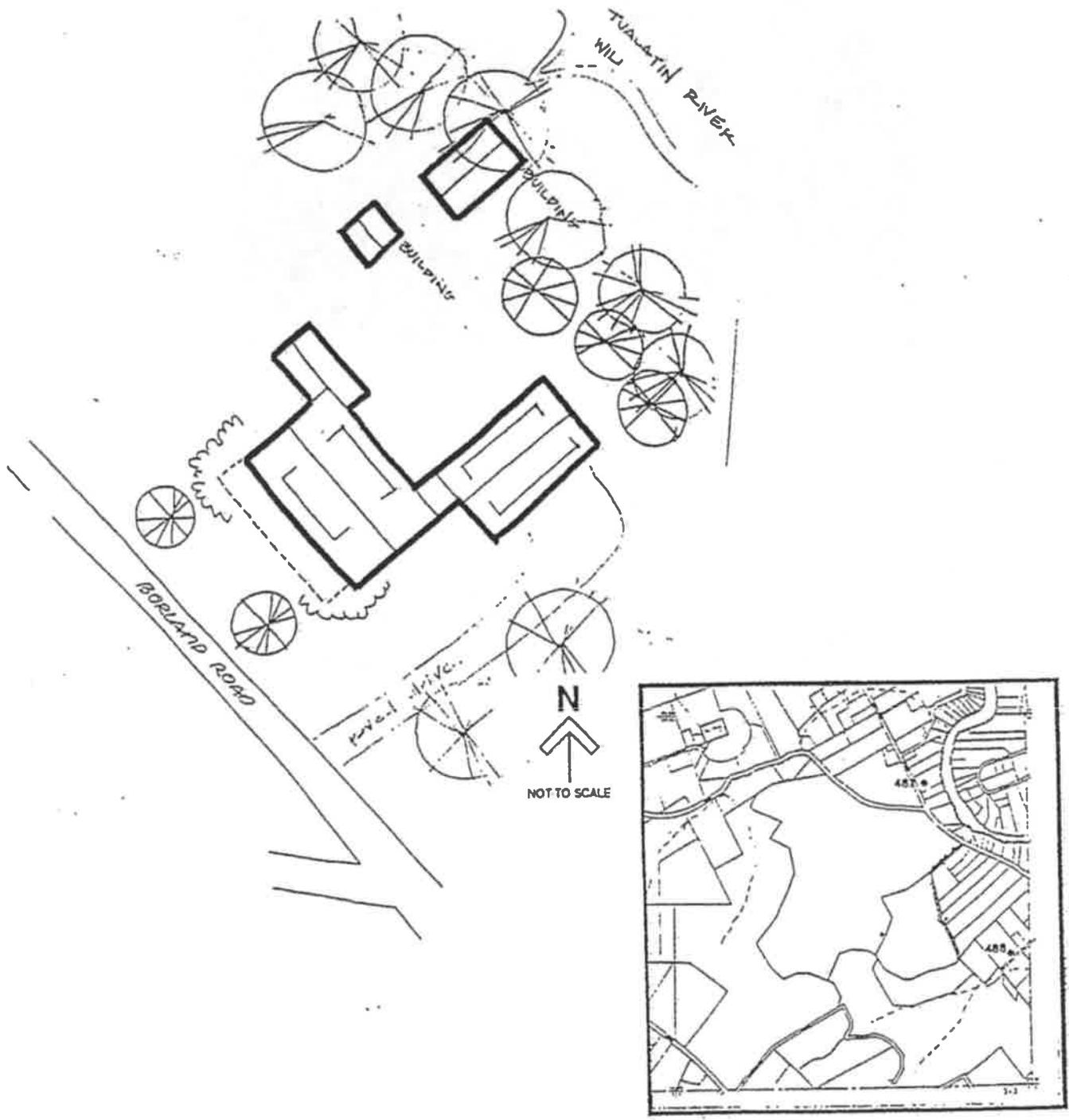


GUEST HOUSE

ESTIMATED DATE BUILT: c. 1935
STYLE: Vernacular
PLAN TYPE/SHAPE: Rectangular
NO. OF STORIES: 1
FOUNDATION MATERIAL: Concrete
BASEMENT: No
ROOF FORM AND MATERIALS: Gable w/ composition shingles
WALL CONSTRUCTION/STRUCTURAL FRAME: Wood/stud
PRIMARY WINDOW TYPE: Double-hung
EXTERIOR SURFACING MATERIALS: Wide wood shingle siding
DECORATIVE FEATURES: None
OTHER: Three-vertical panel door w/ small square light, w. of house
CONDITION: Good
EXTERIOR ALTERATIONS (DATE): Unknown

2
SITE PLAN AND VICINITY MAP

Address: 1165 S.W. Borland Road
Historic Name: RAUJOL-SLAWSON, HOUSE



SHPO NO.: 487

2

The Raujol-Slawson House is significant as a rare and excellent example of the Oregon Rustic style and for its association with recreation in Clackamas County.

Bibliography: Awalt, Charles, unrecorded interview with Jane Morrison, November 1989.
Clackamas County Cultural Resource Inventory, 1984.
Koellermeier, Roland, Lester Koellermeier, and Midge Koellermeier, unrecorded interview with Jinx Faulkner, November 1989.
Ticor Title Company, Oregon City, OR.

Changes in agricultural buildings continued. Large barns were still constructed, but the most notable change was the introduction of outbuildings for large-scale specialized farming. In the 1950s the Wilsonville area witnessed dramatic changes. The ferry crossing was abandoned in favor of an automobile bridge over the Willamette. Wilsonville became an interchange on the interstate freeway system. The city was incorporated in 1968.

SUBJECT PROPERTY

Audrian Raujol purchased this property in 1922 from the Oregon Iron and Steel Company. "Frenchy" Raujol was a logger, trapper and prospector. Nearby roads, Sweetbriar and Grapevine, were his skid roads for his loggin operation.

The house was built circa 1922 in the Oregon Rustic style. Oregon Rustic or National Park style was popular in the 1920s through the Depression. Buildings of this type were designed with native materials, such as logs or stone; the natural beauty of the material was the design element rather than contrived classical architectural forms. Oregon Rustic buildings were often crafted without modern tools or made to appear handmade. Sometimes houses were constructed of native materials during this period for purely economic considerations. Timberline Lodge is the best known example of the Oregon Rustic style in Clackamas County.

W.A. and Lou H. Slawson owned the property between 1928 and 1940. During this period some changes were made to the house. The garage was constructed in a compatible design, and windows and doors on the main facade were altered.

The Slawsons established a park on the property, charging admission to picnickers and swimmers. The private park was a popular recreation site for area residents.

During the latter part of the 19th century and early years of the 20th century Americans embraced outdoor recreation, partly in reaction to increased industrialization. Picnicking, a favorite activity, took place in the city park, in the country or at the end of an interurban railroad line. During the Motor Age (1914-1940) traditional recreational activities such as picnicking took on a new vitality. With the increase in the number of automobiles, more people could enjoy outdoor recreation.

The house is located on a wooded site on the south side of the Tualatin River. Landscape features include the towering coniferous trees and numerous ornamental plantings, which enhance the park-like setting. In addition to the house, there are two other buildings on the property. It is not known if these buildings were constructed during the historic period and are therefore associated with the recreation site. A structure in the river has been constructed to create a swimming hole.

Almost 20 years later the town of Wilsonville was platted by John W. Thornton, in concert with the coming of the Oregon-Electric Railroad. A bridge over the Willamette was constructed in 1907 and service began in 1908. The following year 38 commuter trains traveled daily between Portland and Salem via Wilsonville, Tualatin and other west side communities. Oregon-Electric built a park at the river's edge and billed Wilsonville as a stopover as well as an excursion point. During the decade the town center shifted from the river to the depot. In 1911, Thornton established Farmer's Bank of Wilsonville, signaling the maturation of the community as an agricultural center. Thornton had been a railroad official in the Midwest and had participated in the construction of the Oregon-Electric.

Vernacular buildings continued to be popular in the Wilsonville vicinity, although in rare instances more varied styles were constructed. The eclectic styles of the late 19th century were more popular in cities; rural folk adapted modest forms of the ornament typically associated with the urban designs. The availability of machine made ornament, such as turned posts and balustrades, jigsaw brackets, and patterned shingles, allowed a modicum of decorative treatments to be used on even the most remote farmhouse.

At the turn-of-the-century innovative American styles came into being. The most popular in Clackamas County was the Craftsman-Bungalow. The designers of this type rejected the machine-made ornament and instead embraced the handmade look and natural materials. This building type would continue to be the most popular through the following period.

Agricultural buildings changed dramatically during the Progressive Era. By the turn-of-the-century barns had become quite tall. Most barns were equipped with devices to raise hay to a second floor or to a higher loft. Barns began to be designed in a variety of shapes, including Gambrel and Gothic Gambrel.

During the Motor Age (1914-1940), transportation improvements and growth in population continued to fuel agricultural activity. By the 1920s specialized crops, such as fruit and nut cultivation and dairying began to supplant general farming in the Wilsonville vicinity. In 1927, the Oregon-Electric ceased operation. Automobiles took precedence. Again the town center shifted, this time from the depot to the crossroads less than one-mile north of the river.

During the Depression and the years following, the population remained steady at slightly over 350. The town continued as an agricultural center.

The Craftsman-Bungalow style continued to be the most popular style. Although a variety of Period Revival styles were introduced from Europe after World War I.

of earlier buildings (circa 1860s) typically had six lights or panes in each sash. As window glass became more readily available panes became larger and the number of lights became fewer. By the end of the period four lights per sash became common.

In general agricultural buildings continued to be low, broad buildings. However, beginning in the 1870s, barns began to be taller to accommodate machinery, such as hay fork lifts.

During the Progressive Era (1883-1913), the population of Clackamas County tripled from 9260 to almost 30,000. In the Wilsonville area approximately 20 per cent of the newcomers were German. The land near the river had been claimed or purchased since the previous period, therefore arable land, especially that on a roadway, became attractive or desirable.

The Wilsonville vicinity experienced expansion in commerce and industry. Business directories of 1886 list one flour mill, two sawmills, a brick yard and a general store at Wilsonville. The population had reached 75 and mail was delivered three times a week. Five years later another sawmill and a saloon had been established; mail was delivered daily. Farms increased in raw numbers and in total production.

Changes in agriculture and other industries, and a trend toward urbanization marked the period. Technological advancements in agriculture continued, resulting in higher productivity. Hops and prunes became major cash crops. Income related to dairying doubled during the period. Truck farming near urban centers increased. Lumber began to decrease in importance in the lower elevations. However, in hilly areas, such as Pete's Mountain, the cutting of timber continued well into the 20th century. A major market for wood came from the pulp and paper industry at the Willamette Falls.

Throughout the country and in the Wilsonville vicinity the public demanded better roadways. In 1893, the enabling legislation was passed authorizing road improvement districts, realized in part by the agitation of farmers via the Grange and other organizations. The establishment of the Rural Free Delivery mail program also stimulated farmers to spend funds for rural road improvements.

Interurban railroads also sought to fill the demand for better transportation systems and entrepreneurs took advantage of the situation. George A. Steel, prominent Portland businessman and attorney, is attributed with the naming of the Stafford area. Steel was involved with a plan to run an interurban railroad from Portland south through Oswego. Presumably Steel's interest in the Stafford area came from his speculation that the line would pass through Stafford on its way to points south. In 1890, Steel abandoned his interest in the west side interurban in favor of the east side line through Oak Grove to Oregon City.

and lower Willamette. Landings and ferries in the Boone's Ferry area survived due to their higher elevation, a factor that had once cast the locale as a secondary shipping site, now was seen as an advantage. With the opening of the locks at Willamette Falls even more freight would be shipped via the river. Wheat and wood were the primary exports.

Mid-19th century dwellings were often of log or simple wood-frame construction. Many buildings exhibited an influence from the Classical Revival style of architecture, although generally this influence was limited to symmetrical facade arrangements, and suggestions of a cornice at the eave line and corner boards.

Like their residential counterparts, agricultural buildings from the period were generally simple buildings. Due to the nature of farming practices, barns and sheds were low-profile broad buildings.

After the Civil War (1865-1883), the area experienced slow but steady growth. By 1866 a store and a water-powered grist mill were in operation at Boone's Ferry. In 1876 Charles Wilson was named postmaster, a service he ministered from his store. Four years later Boone's Ferry was officially known as Wilsonville. The Oregon-California Railroad, the single most important transportation improvement of the period, bypassed Boone's Ferry, but the rural population continued to expand. With the exception of the more hilly areas, farms were established throughout the study area.

During this period subsistence farming was the norm throughout the county, as well as in the Wilsonville vicinity. Livestock and cereal grains were raised and lumber complemented the rural economy. Kitchen gardens were essential. Toward the end of the period, oats began to surpass wheat as the number one crop and potatoes attained the rank of number three crop. Increasing numbers of livestock corresponded with an increase in hay production. The total number of acres in cultivation tripled during the period. Further, improvements in farm practices and building technology caused changes to agrarian buildings.

Lumber was an important part of the local economy. Saw mills and grist mills dotted the landscape. Wood cutting was profitable in the areas near Oswego. Here, the iron smelting operation demanded cord wood for the furnace until coal could be imported from southern Oregon.

Dwellings from this period were simple wood-frame buildings; many showed an influence from the Gothic Revival style of architecture. The most common style is the Vernacular or Western Farmhouse. In contrast to earlier dwellings, the buildings of this period had a vertical emphasis: windows were taller and roof pitch was steeper. Drop siding was the most popular exterior wall material, although some buildings were clad with primitive lap siding. Windows had multiple lights or panes. The windows

STATEMENT OF SIGNIFICANCE

Address: 1165 S.W. Borland Road
Historic Name: RAUJOL-SLAWSON, HOUSE

The Raujol-Slawson House is located on the road between West Linn and Tualatin. The house is west of Stafford Road and immediately adjacent to the Tualatin River. The subject property may be evaluated as an example of an early 20th century dwelling and for its association with local recreational history.

HISTORICAL BACKGROUND

The earliest settlers in the Wilsonville-Stafford-Pete's Mountain area were the Boone family, descendants of famous American explorer Daniel Boone. Jesse Boone settled a claim on the south side of the Willamette River. George Curry settled immediately to the east of Boone and would serve as Territorial Governor, as well as governor of the State. In 1847, Jesse and Alphonso Boone built a ferry landing at the Willamette. Two years later Alphonso and many other pioneers left for the California gold fields; Jesse continued to operate the ferry. In 1852, H. Petite filed a claim on the north side of the river, at the site now known as Wilsonville.

By the close of the 1850s, the entire length of the Willamette River within Clackamas County had been claimed. In addition the most desirable farmland near the river had also been claimed. Settlements were also springing up near the waterway. The first settlement in the vicinity was Butteville, which is located just over the Marion County line on the east side of the Willamette. By 1850 a town had been laid out by Abernethy and Beers and a post office was established with F.X. Matthieu named postmaster.

Aurora Mills (Aurora) was established by Dr. William Keil on the road between Salem and Oregon City. The city is located just south of the Marion County line. Keil and about 500 followers came to Oregon from Bethel, Missouri, and for the next 20 years operated Aurora as an agrarian communistic colony.

The population of the county at that time was primarily made up of English, Irish and German immigrants, many of who had lived in the Missouri, Mississippi or Ohio river valleys prior to moving westward to Oregon.

The presence of Boone's Ferry contributed to the development of Boones Ferry Road, as it now known, which became a Territorial Road in 1857 and it would retain its status as a primary thoroughfare between Portland and Salem until after World War II.

Steamboat service for the area began in 1852 and over the next 25 years four landings were in operation in the vicinity. The flood of 1861-62 destroyed many primary shipping points along the upper and lower Willamette. Landings and ferries in the Boone's Ferry

the number of automobiles, more people could enjoy outdoor recreation in locations such as the Rajoul-Slawson House.

The house is located on a wooded site on the south side of the Tualatin River. Landscape features include the towering coniferous trees and numerous ornamental plantings, which enhance the park-like setting. In addition to the house, there are two other buildings on the property. It is not known if these buildings were constructed during the historic period and are therefore associated with the recreation site. A structure in the river has been constructed to create a swimming hole.

The Rajoul-Slawson House is significant as a rare and excellent example of the Oregon Rustic style and for its association with recreation in Clackamas County.

GOAL 5 ANALYSIS OF HISTORIC RESOURCE

I) EVALUATION FOR SIGNIFICANCE

(Must receive 40 points or more to be eligible for Historic Landmark designation. The numbers coincide with Ordinance Criteria under 707.02 B., see attached)

	<u>ARCHITECTURE</u>					<u>ENVIRONMENT</u>				<u>HISTORY</u>			
	A	B	C	D	E	A	B	C	D	A	B	C	D
<u>Z0083-91-Z</u>													
RAJOUJ-SLAWSON HOUSE, #487													
1165 SW BORLAND RD													
2-1E-33AB, TL 1000	10	3	3	5	7	7	3	10	5	5	0	5	5
RRFF-5, 2.06 A													
1920/1935, STYLE: Oregon Rustic													
TOTAL POINTS:	68												

COMMENTS: Audrian Rajoul purchased this property in 1922 from the Oregon Iron and Steel Company. "Frenchy" Rajoul was a logger, trapper and prospector. Nearby roads, Sweetbriar and Grapevine, were his skid roads for his logging operation. The Oregon Rustic style house was built about the time Rajoul purchased the property.

Oregon Rustic or National Park style was popular in the 1920s through the Depression. Buildings of this type were designed with native materials, such as logs or stone; the natural beauty of the material was the design element rather than contrived classical architectural forms. Oregon Rustic buildings were crafted without modern tools or made to appear handmade, although sometimes houses were constructed of native materials during this period for purely economic considerations. Timberline Lodge is the best known example of the Oregon Rustic style in Clackamas County.

W.A. and Lou H. Slawson owned the property between 1928 and 1940. During this period some changes were made to the house. The garage was constructed in a compatible design; windows and doors on the main facade were altered.

The Slawsons established a park on the property, charging admission to picnickers and swimmers. The private park was a popular recreation site for area residents.

During the latter part of the 19th century and early years of the 20th century Americans, partly in reaction to increased industrialization, embraced outdoor recreation. Picnicking, a favorite activity, took place in the city park, in the country or at the end of an interurban railroad line. During the Motor Age (1914-1940) traditional recreational activities such as picnicking took on a new vitality. With the increase in

owner for rehab money through the State Historic Preservation Office.

*Qualify to apply for C.B.D.G. block grant money for historic preservation and rehabilitation.

considered for National Register nomination in not Co. HL; would not qualify for tax incentives and grant money for rehab.

CONSEQUENCE OF ACTION

CONSEQUENCE OF NO ACTION

S
O
C
I
A
L

1) Resource retains architectural and historic integrity.

2) Historic resource protected to enhance understanding and appreciation of County's historical, cultural and architectural heritage.

3) Foster neighborhood, community and civic pride.

4) Adds to quality of life/community at large.

1) Architectural, environmental and historical integrity of Goal 5 historic resource lost due to incompatible alterations, relocation, new construction, land division and demolition.

2) Potential loss of significant County historic resource in terms of understanding and educational awareness of heritage to present and future generations. Loss to community at large.

3) Potential loss to neighborhood livability.

4) Potential loss of quality of life/community at large.

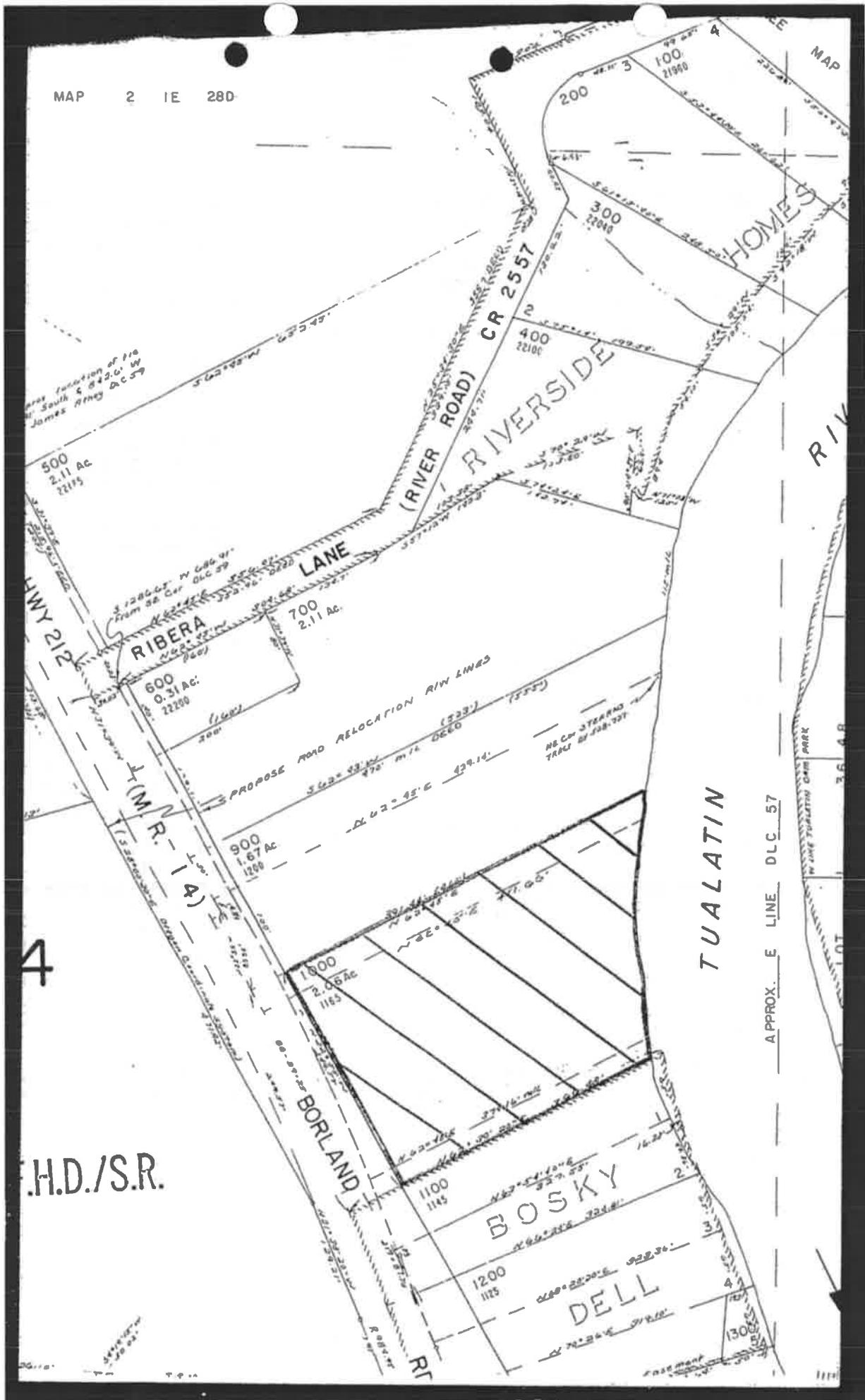
E/E
N/N
V/E
I/R
R/G
O/Y
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1) Conservation of existing housing and building resources.

2) Potential for more open space with mature trees and shrubs

1) Added energy expenditure to replace existing resource.

2) Potential loss of open space and mature landscapes.



any function of 10
 South & 842.0' W
 James Rhee DLC 59

500
 2.11 Ac
 2215

HWY 212

RIBERA

600
 0.31 Ac
 22200

LANE

700
 2.11 Ac

PROPOSED ROAD REALLOCATION R/W LINES
 S 62° 49' W
 N 62° 49' E

900
 1.67 Ac
 1200

1000
 0.06 Ac
 1165

BORLAND

BOSKY

DELL

TUALATIN

APPROX. E LINE DLC 57

H.D./S.R.

4

File No: Z0083-91
Type: ZZ

ZONE CHANGE

Page : 1 of 1
Date : 02/06/91
Time : 09:16

Status: PENDING

Dates Recieved 01/24/91 Decision
Final Expires

Applicant: CLACKAMAS COUNTY
Address:
City/Zip:
Phone:

Parcel No: 21E33AB-01000 Owner: HOWSER ARTHUR J
Site Address: 11120 SW STAFFORD RD

Title: RAJOUL-SLAWSON HOUSE, #487
Proposed Use: RRF-5 TO HL/ORE RUSTIC, 1920/1935, 2.06A

Const: OTH
Valuation: 0 No. of Units: 0
Val by: LD Staff Reviewer: PH



HISTORIC LANDMARK APPLICATION

CLACKAMAS COUNTY PLANNING DIVISION

150 Beaver Creek Rd, Oregon City, OR 97045

PHONE (503) 742-4500 FAX (503) 742-4550

www.co.clackamas.or.us

EMAIL: zoninginfo@co.clackamas.or.us

Unincorporated Clackamas County

Is your house, barn, stone cellar, cabin or other site or structure at least 50 years old and part of our county's rich past? Does your building retain its original look and feel, style and materials? Does it represent a lifestyle of bygone days - a self-sufficient farm or rural hunting lodge? Is it connected to a person or event significant to our local history? Does it stand out in your neighborhood or community as a visual landmark? If so, your old house or barn, farm or neighborhood, watertower or bridge may be eligible to be designated as a Clackamas County Historic Landmark.

Clackamas County's ***Historic Landmark, District and Corridor*** program was established in 1982 to recognize the importance of the County's heritage to our communities and safeguard its historic resources. Designation as a Clackamas County Historic Landmark is intended to encourage and assist property owners to identify and protect these structures and sites as part of our heritage. By 1992, we had over 350 designated Historic Landmarks in unincorporated Clackamas County.

The *purpose* [CCZDO 707.01] of this program is to foster the stewardship and maintenance of these significant heritage resources for the preservation and enjoyment of future generations. Historic Landmarks are nominated only by or with the consent of property owners. The nominated site or structure is evaluated under specific *architectural, environmental and historic criteria* [CCZDO 707.02]. If the resource is determined "significant", the Historic Review Board recommends Landmark designation to the Board of County Commissioners for their approval [CCZDO 707.07A].

Once designated, the Landmark property receives both new *benefits* [CCZDO 707.05] and *regulations* [CCZDO 707.07]. In **addition to its current zoning**, a Historic Overlay Zone is placed upon the property which implements CCZDO Ordinance 707.07 criteria. Historic Landmarks may have more eligible uses than the underlying zoning allows. The property is eligible for a bronze CCHL marker. Alterations and additions to the exterior of designated resources will be carefully reviewed by the Historic Review Board to maintain the integrity of the resource. Such reviews may take a bit longer and are in addition to the typical building permit process, but do not incur additional fees. The Historic Review Board *does not* dictate maintenance such as exterior paint colors, and the property is *never* required to be open to the public. Designation as a Historic Landmark is an honor and with that privilege comes an obligation to act as responsible stewards of the resource.

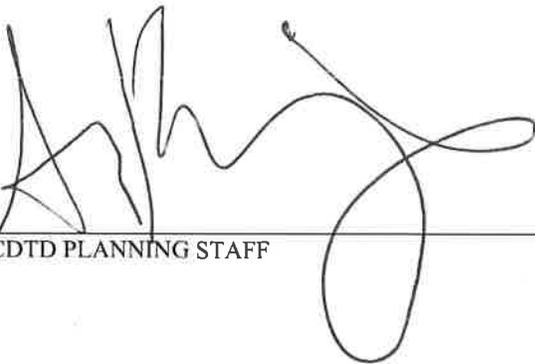
A pre-application meeting with the *Historic Resource Planning Staff* is required. Once the completed application is received, the historic site will be visited by staff and evaluated by the Clackamas County Historic Review Board. If the nomination is deemed "significant", the Clackamas County Historic Review Board will forward a designation recommendation to the Board of County Commissioners for consideration. Historic Landmarks are reviewed and designated at any time. The process from submission of a completed application takes approximately three months. Property owners will be notified for recognition by the Clackamas County Board of County Commissioners.

To nominate a Historic Landmark, 1) schedule a pre-application meeting with the Historic Resource Planning Staff and 2) complete all portions of this application. Return to the Clackamas County Planning Department, 150 Beaver Creek Rd, Oregon City, OR, 97045. Phone: 503-742-4528 or 503-742-4500.

HISTORIC LANDMARK APPLICATION

PRE-APPLICATION MEETING PACKET to include:

1. CCZD Historic Landmark Ordinance 707 sections (*available online*):
 - 707.01
 - 707.02
 - 707.05
 - 707.07A, B, C
2. "Tips on How to Research Your Historic Building" (*available online*)
3. VICINITY MAP for nominated property
4. HISTORICAL CONTEXT SUMMARY for region of county
5. Intensive Level Survey REPORT if previously completed by county
6. Link to Clackamas County Historic website location for further resources
(or reprints as needed if client does not have web access)



CCDTD PLANNING STAFF

4/22/19

DATE

ZDO Section 707

707 HISTORIC LANDMARK (HL), HISTORIC DISTRICT (HD), AND HISTORIC CORRIDOR (HC)

707.01 PURPOSE

Section 707 is adopted to:

- A. Implement the goals and policies of the Comprehensive Plan for Historic Landmarks, Districts, and Corridors;
- B. Promote the public health, safety, and general welfare by safeguarding the County's heritage as embodied and reflected in its historic resources;
- C. Provide for the identification, protection, enhancement, and use of sites, structures, corridors, objects, and buildings within the County that reflect special elements of the County's architectural, archeological, artistic, cultural, engineering, aesthetic, historical, political, social, and other heritage;
- D. Facilitate restoration and upkeep of historic buildings, structures or other physical objects or geographical areas;
- E. Encourage public knowledge, understanding and appreciation of the County's history and culture;
- F. Foster community and neighborhood pride and sense of identity based on recognition and use of cultural resources;
- G. Promote the enjoyment and use of historic and cultural resources appropriate for the education and recreation of the people of the County;
- H. Preserve diverse architectural styles reflecting phases of the County's history; and encourage complimentary design and construction impacting cultural resources;
- I. Enhance property values and increase economic and financial benefits to the County and its inhabitants;
- J. Identify and resolve conflicts between the preservation of cultural resources and alternative land uses; and
- K. Integrate the management of cultural resources and relevant data into public and private land management and development processes.

707.02 APPLICABILITY

- A. Section 707 applies to designated Historic Landmarks, Historic Districts, and Historic Corridors.

CLACKAMAS COUNTY ZONING AND DEVELOPMENT ORDINANCE

B. Historic Landmark: A site, structure, or object may be zoned Historic Landmark if it is listed on the National Register of Historic Places, or if it is rated as significant under the County's procedure for evaluating historic resources under the specific architectural, environmental, and historic association criteria. A site or structure must receive a minimum of 40 points under the following criteria to be considered for Historic Landmark status:

1. Architectural Significance

- a. It is an early (50 years or older), or exceptional, example of a particular architectural style, building type, or convention. (up to 10 points)
- b. It possesses a high quality of composition, detailing, and craftsmanship. (up to 4 points)
- c. It is a good, or early, example of a particular material or method of construction. (up to 4 points)
- d. It retains, with little or no change, its original design features, materials, and character. (up to 7 points)
- e. It is the only remaining, or one of the few remaining, properties of a particular style, building type, design, material, or method of construction. (up to 10 points)

2. Environmental Significance

- a. It is a conspicuous visual landmark in the neighborhood or community. (up to 10 points)
- b. It is well-located considering the current land use surrounding the property, which contributes to the integrity of the pertinent historic period. (up to 4 points)
- c. It consists of a grouping of interrelated elements including historic structures, plant materials and landscapes, viewsheds and natural features. (up to 10 points)
- d. It is an important or critical element in establishing or contributing to the continuity or character of the street, neighborhood, or community. (up to 7 points)

3. Historical Significance

- a. It is associated with the life or activities of a person, group, organization, or institution that has made a significant contribution to the community, state, or nation. (up to 10 points)

CLACKAMAS COUNTY ZONING AND DEVELOPMENT ORDINANCE

- b. It is associated with an event that has made a significant contribution to the community, state, or nation. (up to 10 points)
 - c. It is associated with, and illustrative of, broad patterns of cultural, social, political, economic, or industrial history in the community, state, or nation. (up to 10 points)
 - d. It possesses the potential for providing information of a prehistoric or historic nature. (up to 10 points)
- C. Historic District: Criteria for designation of a Historic District on the County zoning and Comprehensive Plan maps are as follows:
- 1. The area is listed as a National Register Historic District; or
 - 2. The area includes a significant concentration or linkage of sites, buildings, structures, objects or landscapes which are unified visually by style, plan, or physical development and distinguished by association with historic periods, events, people, or cultural trends; and
 - 3. The area is of sufficient size and scope, and the component parts are cohesive enough to adequately represent, demonstrate, or commemorate the significant historic period, event, people, or trend; and
 - 4. A substantial number of the component parts within the area are exceptionally well preserved.
- D. Historic Corridor: Property designated as a Historic Corridor on the County zoning and Comprehensive Plan maps shall satisfy one or both of the following criteria:
- 1. The property, site, trail, roadway, or rail corridor is associated with events that have made a significant contribution to the broad patterns of our history or are likely to yield additional information in the future, categorized under one or more of the following theme areas:
 - a. archeology and prehistory;
 - b. exploration;
 - c. western migration;
 - d. settlement;
 - e. agriculture;
 - f. commerce and industry;
 - g. transportation technology;

CLACKAMAS COUNTY ZONING AND DEVELOPMENT ORDINANCE

- h. government, politics, and military activities; and
- i. culture.

- 2. The property or site is necessary to provide for the continuity of, or future use of, the historic trail, roadway, or rail corridor.

E. Contributing Resource:

- 1. Criteria for designation of a site, object, structure, or landscape feature as a contributing resource are as follows:
 - a. The resource is or, at the time the designation becomes effective, will be within a Historic District or Historic Corridor; and
 - b. The resource is 50 years old or older, may have received alterations, but retains its overall physical integrity, or is of special architectural or environmental or cultural significance; and
 - c. The resource contributes to the integrity of the Historic District or Historic Corridor; and
 - d. The resource does not merit landmark designation; and
 - e. The resource is compatible with landmarks in the district or corridor considering overall proportions, scale, architectural detail and materials.
- 2. Contributing resources shall be identified upon the creation of a Historic District or Historic Corridor and a list shall be created containing the same information for each resource as is required for landmarks.

707.03 BARLOW ROAD HISTORIC CORRIDOR

- A. Intent: Subsection 707.03 is intended to provide for the preservation and protection of the Barlow Road Historic Corridor. The intent is to preserve the privacy of private property owners along the Barlow Road Historic Corridor. There is no intent by the County to condemn private property now or in the future.
- B. The Barlow Road Historic Corridor is defined by the Barlow Road Background Report and Management Plan maps and shown on Comprehensive Plan Map 3-2. Within the corridor, the following provisions shall apply:
 - 1. The Barlow Road Historic Corridor is defined as a 40-foot-wide historic corridor as shown on the Clackamas County assessor maps, identified through the Barlow Road Survey Project 1991-1992, and adopted through the historic corridor designation process within the provisions of Section 707. In the Government Camp area, north of Highway 26, the historic corridor width is 20 feet.

CLACKAMAS COUNTY ZONING AND DEVELOPMENT ORDINANCE

2. Third priority property segments shall be allowed to develop for primary uses allowed in the underlying zoning district. Significant development shall be reviewed as described in Subsection 707.03(B)(3). Where physical evidence of the Barlow Road exists, property owners are encouraged to preserve the evidence.
3. The Historic Review Board shall review and make recommendations pertaining to proposed significant development within the historic corridor. Significant development shall include: zone change, conditional use, and subdivision applications; commercial, industrial, and multifamily development applications; and mining and gravel extraction. The recommendation shall be made to the review authority, identified pursuant to Table 1307-1, for the significant development. A site analysis shall be submitted for any significant development by the applicant indicating potential impacts to the historic corridor. To the maximum practicable extent, the historic corridor shall be protected as open space. Where physical evidence of the Barlow Road exists, such as wagon ruts, such evidence shall not be disturbed by development unless it is shown that the property cannot be developed if the historic corridor is preserved.
4. Where road segments include portions of a County road, the Historic Review Board shall review and make recommendations to the County about any proposed right-of-way expansion or realignment to ensure that original features of the Barlow Road are retained where possible.
5. Where State Highways are aligned with the Barlow Road Historic Corridor, proposed right-of-way expansion or realignment will be reviewed as outlined under Subsection 707.06, when historic resource sites identified in the Clackamas County Cultural Resources Inventory, Barlow Road Survey Project or other identified potential sites may be impacted.
6. Within the Highest and Secondary Priority Barlow Road Historic Corridor as defined on the Clackamas County assessor maps, the following activities are prohibited: structural development, mining, highway or road building, cultivation, utility line/pipeline development, vehicular use, and other uses which would cause major surface disturbance to the road remains. Limited disturbance to the corridor shall be allowed when necessary to service the underlying use, such as sewer and utility lines.

Where the corridor has been used by vehicles, continued use is allowed. Maintaining driveways by repairing the driving surface is allowed. All attempts to preserve the historic road contour should be made when undergoing maintenance activities.

Where Highest and Secondary priority road segments include portions of a County or State road, the Historic Review Board shall review any proposed right-of-way expansion or realignment. To the maximum practicable extent, the Barlow Road alignment and historic landscape should be retained.

A variance application can be made to allow development in rare cases under Subsection 1205.02.

Normal maintenance activities are allowed such as clearing brush and fallen trees from the historic corridor and removing other objects foreign to the route.

707.04 USES PERMITTED

A. Primary Uses: A Historic Landmark or properties within a Historic District or Historic Corridor may be used for any use which is allowed in the underlying zoning district, including home occupations, provided such use is not detrimental to the preservation of the historic resource, subject to the specific requirements for the use, and all other requirements of Section 707.

B. Conditional Uses: In urban and rural zoning districts, uses listed in Subsection 707.04(B)(2), which are not otherwise allowed in the underlying zoning district, are conditional uses, approval of which is subject to Section 1203, *Conditional Use*

1. In addition, the following criteria apply:

- a. The use will preserve or improve a resource which would probably not be preserved or improved otherwise;
- b. The use will not require the extension or development of urban services in rural areas;
- c. The use will not adversely affect surrounding natural resource uses; and
- d. The use will utilize existing structures rather than new structures, except where new structures are determined by the Historic Review Board to be in the best interest of preserving the historic resource. All structures of any form or size, including new structures, shall satisfy Subsection 707.06.

2. The following conditional uses may be permitted. In addition, uses similar to one or more of the listed uses may be authorized pursuant to Section 106, *Authorizations of Similar Uses*.

- a. Art and music studios;
- b. Galleries;

CLACKAMAS COUNTY ZONING AND DEVELOPMENT ORDINANCE

- c. Offices;
- d. Craft shops;
- e. Bed and breakfast residences and inns, subject to Section 832;
- f. Gift shops;
- g. Museums;
- h. Catering services;
- i. Book stores;
- j. Boutiques;
- k. Restaurants;
- l. Antique shops;
- m. Community centers for civic or cultural events; and
- n. In the RA-1 District, replacement of a historic landmark dwelling with an additional dwelling on the same site and continued use of the existing dwelling for residential purposes, provided:
 - i. The existing dwelling is listed individually on the National Register of Historic Places or on state and local registers as a Historic Landmark;
 - ii. The existing dwelling is maintained under an approved plan for rehabilitation (e.g. Secretary of Interior guidelines); and
 - iii. There is a recorded deed recognition statement with the County that the additional dwelling is authorized only for the duration of the historic resource and to inform subsequent purchasers.

707.05 HISTORIC REVIEW BOARD

A Historic Review Board shall be established pursuant to Subsection 1307.03 and shall have the following responsibilities:

- A. Carry out the duties described for it in Section 707 and otherwise assist the Board of County Commissioners on historic preservation matters;
- B. Review and make recommendations on proposals to alter the exterior of a Historic Landmark or primary, secondary, or contributing structure within a Historic District or Historic Corridor, subject to Subsection 707.06;

CLACKAMAS COUNTY ZONING AND DEVELOPMENT ORDINANCE

- C. Review and make recommendations on all proposed new construction within a Historic District or Corridor, or on property on which a Historic Landmark is located, subject to Subsection 707.06;
- D. Review and make recommendations on all applications referred by the Board of County Commissioners, Hearings Officer, Planning Commission, or Design Review Committee;
- E. Review and make recommendations on all applications for zoning of a Historic Landmark, a Historic District, or a Historic Corridor, subject to Subsections 707.02 and 707.06;
- F. Review and make recommendations on all requests for moving or demolition of a Historic Landmark, subject to Subsection 707.06;
- G. Review and make recommendations to the Hearings Officer on all conditional use applications under Subsection 707.04(B);
- H. Review and make recommendations on all partitions and subdivisions of designated properties, subject to Subsection 707.06;
- I. Disseminate information to educate the public as to state and federal laws protecting antiquities and historic places;
- J. Act as a coordinator for local preservation groups, educational workshops, signing and monumentation projects, and other similar programs;
- K. Advise interest groups, agencies, boards, commissions, and citizens on matters relating to historic preservation within the County;
- L. Ensure that information on inventoried historic properties is updated and maintained; and
- M. Continue to add to the Clackamas County Cultural Resources Inventory when appropriate.

707.06 THE REVIEW PROCESS

Subsection 707.06 applies to all Historic Landmarks, properties within Historic Districts and Historic Corridors, and contributing resources therein.

- A. Designation and Zoning: Comprehensive Plan designation and zoning of a Historic Landmark, Historic District, or Historic Corridor shall be subject to the procedures identified in Section 1307 for Comprehensive Plan amendments and zone changes, respectively. In addition:

CLACKAMAS COUNTY ZONING AND DEVELOPMENT ORDINANCE

1. The Historic Review Board shall evaluate proposed designation and zoning of a Historic Landmark, Historic District, or Historic Corridor and shall make a recommendation to the Board of County Commissioners.
2. Pending Permits: No building permit for altering or moving any proposed Historic Landmark or any building within an area proposed for designation as a Historic Landmark, Historic District, or Historic Corridor, shall be issued while any advertised public hearing or any appeal affecting the proposed designation of the area or building is pending. In addition, demolition of a building affected by a pending public hearing or appeal under Subsection 707.06(A) shall be a violation of this Ordinance.

B. Application Requirements:

In addition to the submittal requirements identified in Subsection 1307.07(C), applications for alteration and development shall include:

1. A written description of the boundaries of the proposed Historic District, if applicable, or the location of the site;
2. A map illustrating the boundaries of the proposed Historic District, if applicable, or the location of the site;
3. A list of exterior materials pertinent to the application request;
4. Drawings of elevations of affected structure(s):
 - a. Drawings shall indicate dimensions and be to scale.
 - b. Photographs may be used in lieu of drawings for small projects.
5. Floor plans of affected structure(s); and
6. Site plan showing relationship of structure(s) to roadways, parking areas, access drives, landscape features, plant materials, fences, and other pertinent elements, drawn to scale.

C. Alteration and Development:

1. Maintenance: The normal responsibilities of the property owner to care, repair, and replace with like materials shall be reviewed as a Type I application pursuant to Section 1307. Normal maintenance may include but not be limited to:
 - a. Painting and related preparation of the structure. Original paint colors or colors appropriate to the historic period should be used on Historic Landmark buildings;

CLACKAMAS COUNTY ZONING AND DEVELOPMENT ORDINANCE

- b. Repair and/or replacement of roofing materials with the same kind of roof materials existing;
 - c. Grounds care and maintenance required or the permitted use on the property;
 - d. Replacement of fences, shrubs, or other yard fixtures or landscaping with like type and/or style;
 - e. Existing materials may be replaced in kind for a small portion of either building or grounds because of damage or decay of materials; and
 - f. Installation and maintenance of irrigation systems.
2. Minor Alterations: Minor alterations shall be reviewed as Type II applications pursuant to Section 1307. In addition, the review authority may consult with the Historic Review Board, or any member thereof, in applying the provisions of Subsection 707.06(C)(2). An alteration shall be considered minor when the result of the proposed action is to restore portions of the exterior to the original historic appearance while performing repairs, such as:
- a. Addition of gutters and downspouts;
 - b. Repairing or providing a compatible new foundation that does not result in raising or lowering the building elevation;
 - c. Change in material to match original type of material on the structure or grounds;
 - d. Change in type of roof material in character with the original roofing material; and
 - e. Replacement of storm windows or doors.
3. Major Alterations: Major alterations shall be reviewed as Type II applications pursuant to Section 1307. Approval of an application for a major alteration shall be subject to the following criteria for rehabilitation:
- a. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
 - b. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

- c. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
- d. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
- e. Distinctive features, finished, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.
- f. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
- g. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the least damaging or gentlest means possible.
- h. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
- i. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
- j. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property, including historic plant materials, and its environment would be unimpaired.

4. **New Construction:** Applications for proposed structures on a Historic Landmark site, or within a Historic District or Historic Corridor shall be reviewed as Type II applications pursuant to Section 1307. Approval of an application shall be subject to the following criteria:

- a. The design of the proposed structure is compatible with the design of the landmark building(s) on the site or in the district or corridor considering scale, style, height, and architectural detail, materials, and colors.

- b. The location and orientation of the new structure on the site is consistent with the typical location and orientation of similar structures on the site or within the district or corridor, considering setbacks, distances between structures, location of entrances, and similar siting considerations.
 - c. Changes to yard areas including planters, fences, ponds, walkways and landscape materials should be compatible with the overall historic setting.
 - d. Scale of commercial use: Individual permitted uses shall be of a scale appropriate to serve properties surrounding the historic overlay.
5. Maximum Building Floor Space: Commercial uses approved pursuant to Subsection 707.04(B)(2) are subject to the following standards:
- a. In an unincorporated community other than Government Camp, the maximum building floor space per commercial use shall be 4,000 square feet except that no maximum applies to uses intended to serve the community and surrounding rural area or the travel needs of people passing through the area.
 - b. In Government Camp, the maximum building floor space per commercial use shall be 8,000 square feet except that no maximum applies to uses intended to serve the community and surrounding rural area or the travel needs of people passing through the area
 - c. Outside both an unincorporated community and an urban growth boundary, the maximum building floor area per commercial use shall be 3,000 square feet. However, a lawfully established commercial use that existed on December 20, 2001, may expand to occupy a maximum of 3,000 square feet of building floor space or 25 percent more building floor space than was occupied by the use on December 20, 2001, whichever is greater.
6. Partitions and Subdivisions: The Historic Review Board shall review and make recommendations on proposed partitions or subdivisions of sites designated as a Historic Landmark site or located within a Historic District or Historic Corridor. The recommendation shall be made to the review authority, identified pursuant to Table 1307-1, for the partition or subdivision application. Review of proposed subdivisions or partitions shall be subject to the following criteria:
- a. The partition or subdivision does not allow a significant feature of the original site, as identified in the designation action and inventory, to be located on a separate site from the landmark.
 - b. The partition or subdivision allows adequate setbacks from landmark improvements to provide for buffering and mitigation of impacts associated with development of the new parcels.

c. Yard and landscaped areas including large trees and shrubs associated with the Historic Landmark structure shall be retained with the structure whenever possible.

7. Modifications to Certain Regulations: Regulations pertaining to signs, fence and wall provisions, general provisions regarding height, yards, area, lot width, frontage, depth, coverage, number of off-street parking spaces required, and regulations prescribing setbacks may be modified, if the modifications:

a. Are necessary to preserve the historic character, appearance or integrity of the proposed Historic Landmark, Historic District or Historic Corridor; and

b. Are in accordance with the purposes of the zoning and sign regulations.

D. Moving or Demolition of a Historic Landmark or Contributing Resource: No building identified as a primary, secondary, or contributing structure within a Historic District or Corridor, or designated as a Historic Landmark, shall be intentionally moved or demolished, unless approval is granted pursuant to Subsection 707.06(D). Moving or demolition of a Historic Landmark or Contributing Resource shall be reviewed as a Type II application pursuant to Section 1307. In addition:

1. The applicant shall prepare and submit a plan for preservation of the Historic Landmark prior to filing an application for moving or demolition.

a. The preservation plan shall include a narrative describing how the applicant will accomplish the following:

i. Advertise the resource in local, regional, and historic preservation newspapers of general circulation in the area once per week during the pre-application period and shall provide evidence of such advertising;

ii. Give public notice by placing a sign on the subject property informing the public of intended action which will remove or demolish the structure and including the County department and telephone number to call for further information. The sign shall remain on the subject property until a permit is issued.;

iii. Prepare and make available information related to the history and sale of the subject property to all who inquire;

iv. Provide information regarding the proposed use for the Historic Landmark site; and

CLACKAMAS COUNTY ZONING AND DEVELOPMENT ORDINANCE

- v. Keep a record of the parties who have expressed an interest in purchasing or relocating the structure. To ensure that an adequate effort has been made to secure a relocation site, the applicant shall provide a list of property locations and owners who were contacted regarding purchase of a relocation site.
 - b. Following receipt of the preservation plan, the Planning Director shall issue a media release to local and state newspapers of general circulation in the County. The media release shall include, but not be limited to, a description of the significance of the Historic Landmark, the reasons for the proposed moving or demolition, and the possible options for preserving the Historic Landmark.
2. Approval of an application to move a Historic Landmark or contributing resource shall be subject to the following criteria:
 - a. Relocation is the only alternative for preservation of the Historic Landmark or contributing resource;
 - b. The proposed relocation site will not greatly reduce the historical and/or architectural significance of the Historic Landmark or contributing resource; the site is a contextually appropriate setting; it is within the County and preferably within the neighborhood within which it is currently located;
 - c. The designated resource cannot reasonably be used in conjunction with the proposed use;
 - d. The continued location of the landmark or contributing resource on the proposed development site precludes development on the site which would provide a greater community benefit;
 - e. The designated landmark or contributing resource is structurally capable of relocation;
 - f. If the landmark or contributing resource is relocated within the County, the owner of the relocation site agrees, as a condition of the purchase agreement, to apply within 90 days of relocation to the County for designation as a Historic Landmark, to be protected under the provisions of Section 707;
 - g. The loss of the landmark or contributing resource will not affect the integrity of the Historic District or Historic Corridor; and
 - h. Adequate effort has been made to seek a relocation site within the Historic District or Corridor.

3. The review authority for an application to demolish a Historic Landmark or contributing resource within a Historic District or Historic Corridor shall consider the following:
 - a. All plans, drawings, and photographs submitted by the applicant;
 - b. Information presented at the public hearing concerning the proposed work; proposal;
 - c. The Comprehensive Plan;
 - d. The purposes of Section 707 as set forth in Subsection 707.01;
 - e. The criteria used in the original designation of the Historic Landmark, Historic District, or Historic Corridor in which the property under consideration is situated;
 - f. The historical and architectural style, the general design, arrangement, materials of the structure in question, or its appurtenant fixtures; the relationship of such features to the other buildings within the district or corridor; and the position of the building in relation to public rights-of-way and to other buildings and structures in the area;
 - g. The effects of the proposed work upon the protection, enhancement, perpetuation, and use of the district or corridor which cause it to possess a special character or special historical or aesthetic interest or value;
 - h. Whether suspension of the proposed demolition will involve substantial hardship to the applicant, and whether approval of the request would act to the substantial detriment of the public welfare and would be contrary to the intent and purposes of Section 707; and
 - i. When applicable, the findings of the building official in determining the status of the subject building as a dangerous building under County Code Chapter 9.01, *Uniform Code for the Abatement of Dangerous Buildings*, and the feasibility of correcting the deficiencies to meet the requirements of the building official rather than demolishing the building.
4. The application may be approved in consideration of Subsections 707.06(D)(2) and (3).
5. The application may be suspended, if, in the interest of preserving historic values for public benefit, the building should not be moved or demolished.

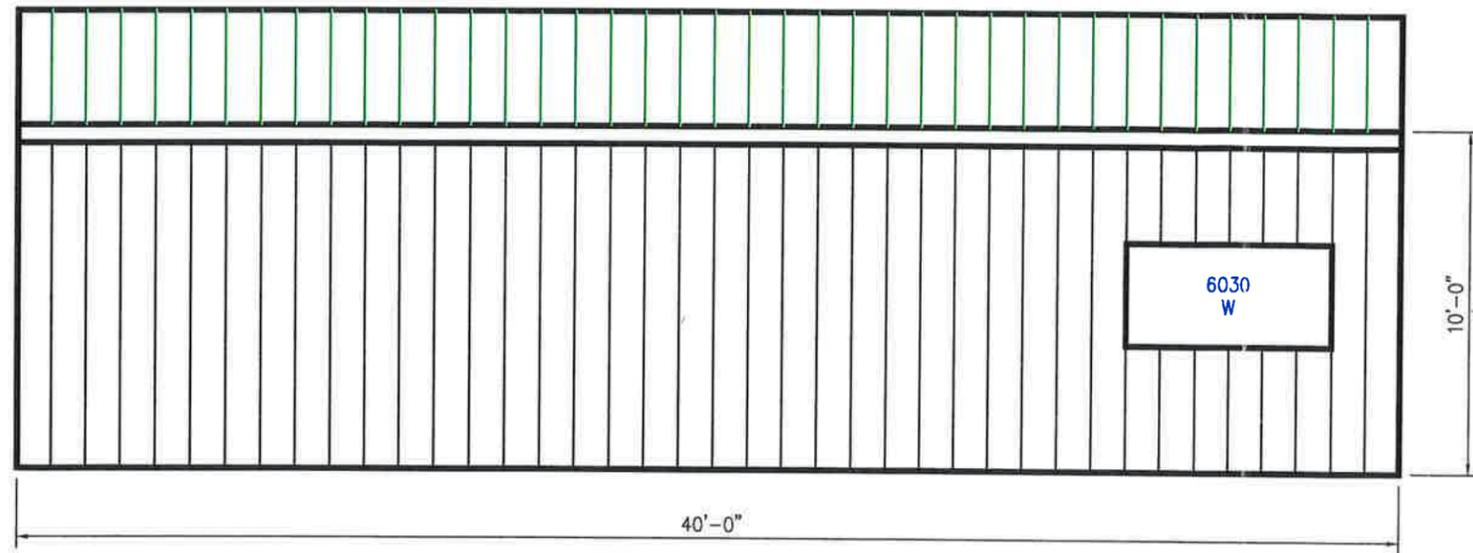
CLACKAMAS COUNTY ZONING AND DEVELOPMENT ORDINANCE

6. If the application is suspended, the written decision shall be transmitted to the building official along with a request that the enforcement of any applicable Notice and Order of the building official be stayed during the pendency of an appeal, or for a period of not more than 60 days from the date of the suspension decision. During this stay of moving or demolition, the following actions may be taken:
 - a. The building official may require the owner or other party responsible for the subject building to take appropriate actions, other than demolition, to protect the public from hazardous conditions associated with the building.
 - b. The applicant may be required to continue to carry out the pre-application plan activities through the entire stay of moving or demolition.
 - c. The Historic Review Board may research programs or projects underway which could result in public or private acquisition of the subject building and site, and assess the potential for the success of these programs or projects.
 - i. If the Historic Review Board determines that there are reasonable grounds to believe that such program or project may be successful, it may extend the suspension period up to 30 additional days per extension, not to exceed a total of 120 days from the date of the decision suspending the application.
 - ii. If the Historic Review Board determines that all such programs or projects are unlikely to be successful, and the applicant has not withdrawn his application or taken appropriate alternative action to correct the hazards associated with the subject building as provided in a Notice and Order of the building official, then, at the end of the suspension period, the Planning Director may issue a permit for moving or demolition, subject to all other applicable regulations.
7. When moving or demolition is imminent, whether by direct approval or if efforts during the pre-application preservation plan and suspension period are unsuccessful, the following complete documentation of the structure(s) is required to be submitted to the County by the applicant:
 - a. Floor plans to scale of the structure(s) and related structures;
 - b. Site plan to scale showing surrounding roadways, landscaping, natural features, structure(s), and related structures;
 - c. Drawings to scale or photographs of all exterior elevations;
 - d. Photographs of architectural detail not shown in elevation photographs; and

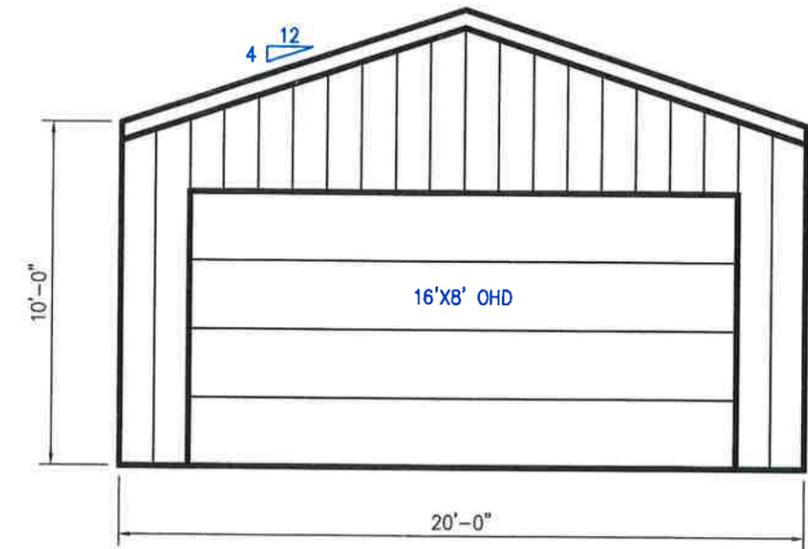
CLACKAMAS COUNTY ZONING AND DEVELOPMENT ORDINANCE

- e. The Historic Preservation League of Oregon or local preservation group to be given opportunity to salvage and record the resource.
- 8. A moving or demolition permit for a landmark found to comply with Subsection 707.06(D) shall not be issued until all development permit applications for the new use or development have been approved by the County.

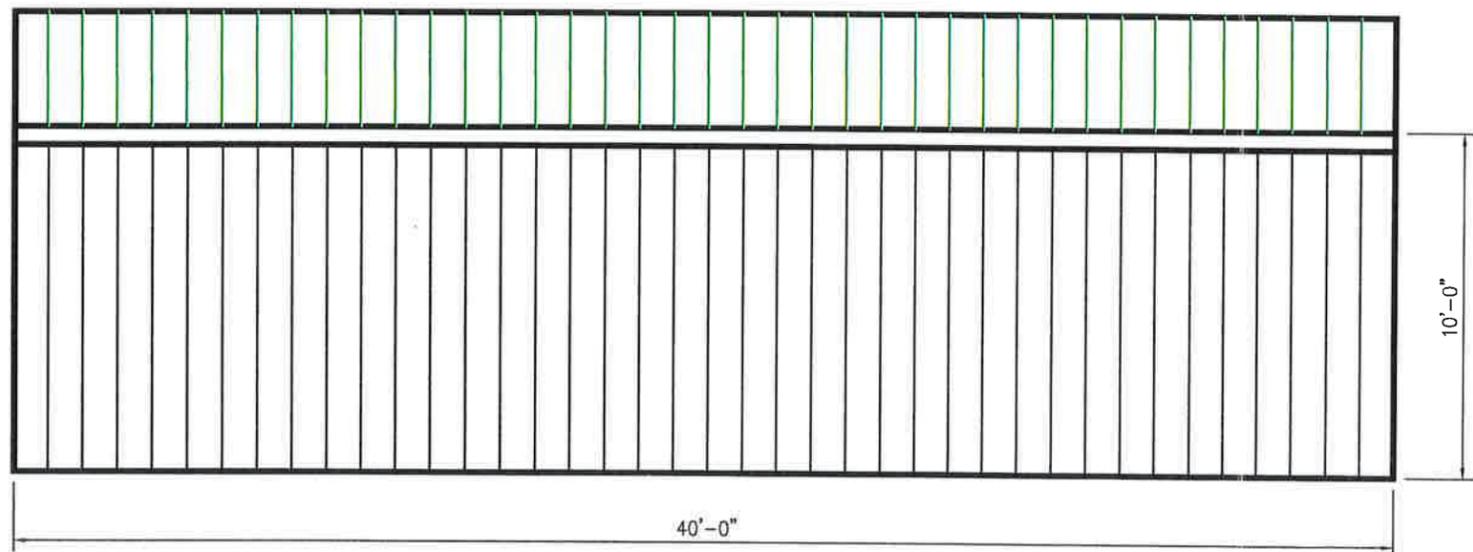
[Amended by Ord. ZDO-235, 5/14/12; Amended by Ord. ZDO-248, 10/13/14; Amended by Ord. ZDO-252, 6/1/15; Amended by Ord. ZDO-266, 5/23/18]



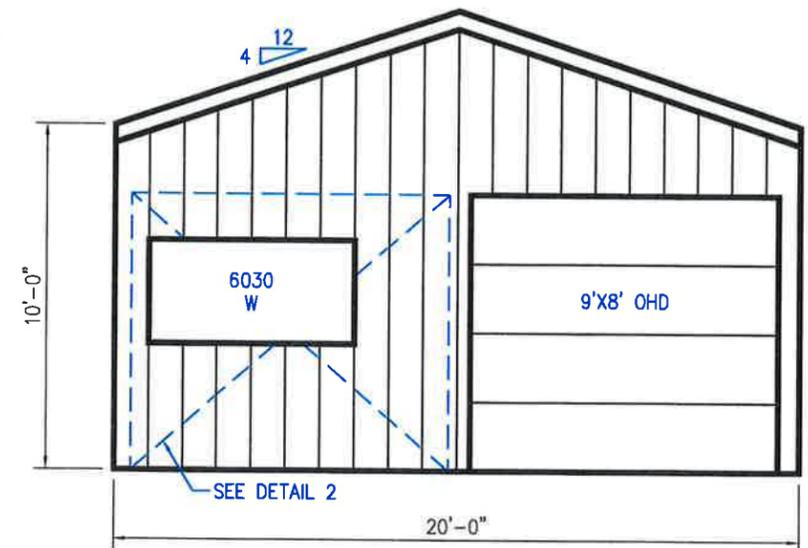
REAR EAVE VIEW



LEFT GABLE VIEW



FRONT EAVE VIEW



RIGHT GABLE VIEW

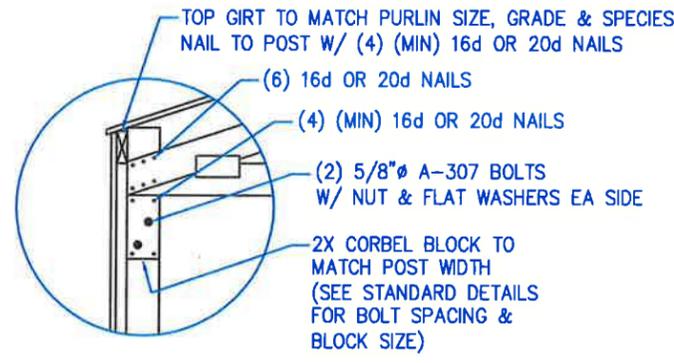
3/16" = 1'-0"

GENERAL NOTES

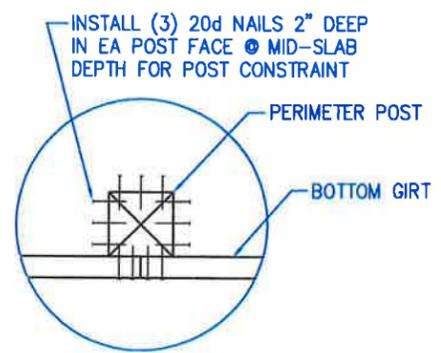
- ON THE AREAS SHOWN, INSTALL 7/16" OSB OR 1/2" CDX PLYWOOD SHEATHING. NAIL WOOD SHEATHING WITH 6d NAILS AT 3" O.C. BOUNDARY, 12" O.C. FIELD. PROVIDE 2X BLOCKING AT ALL PANEL EDGES.



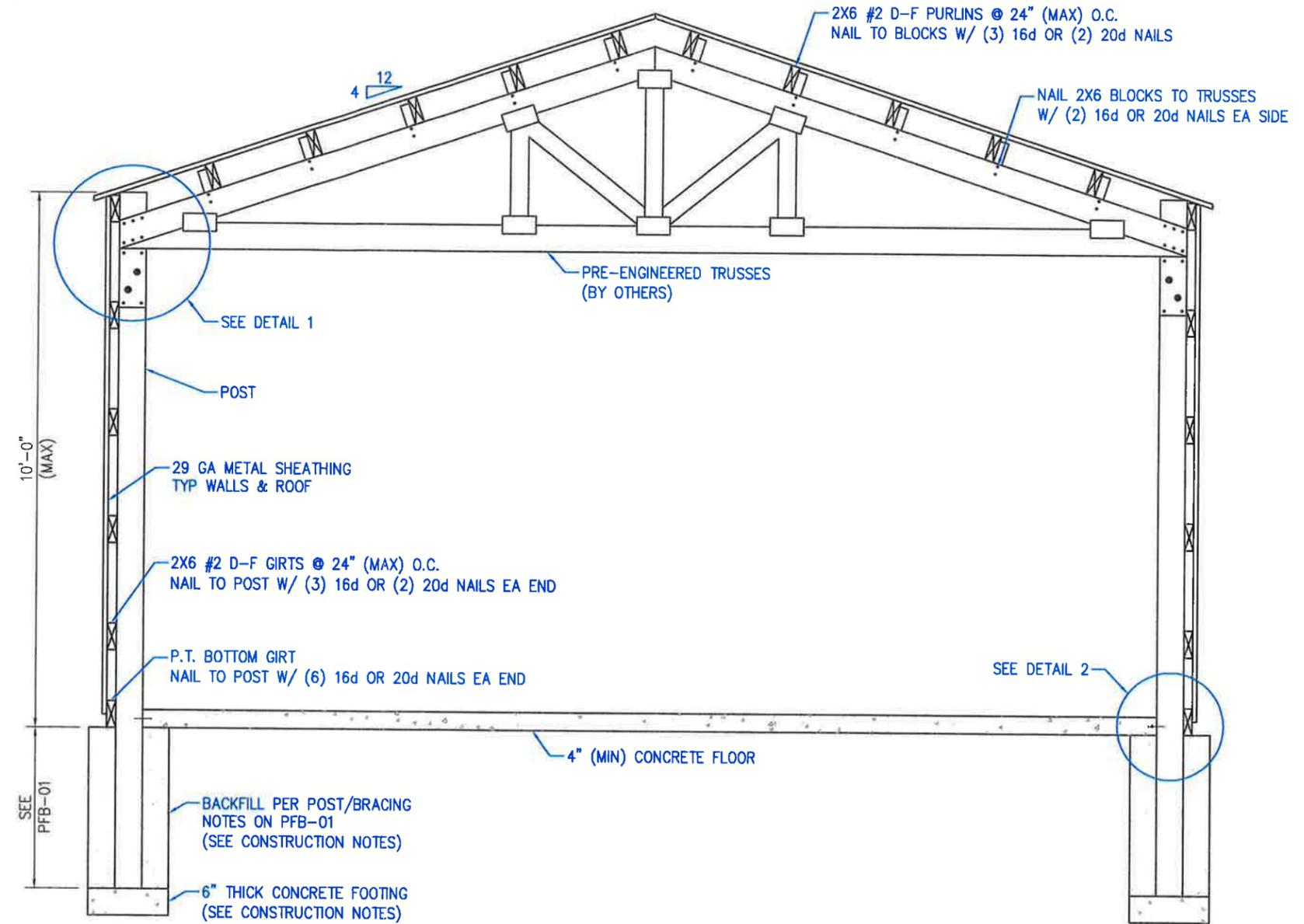
ELEVATION VIEWS	
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CLIENT	OWNER / BUILDING LOCATION
ECON-O-FAB BUILDINGS PO BOX 724 GASTON, OR 97119	BRANDON BURT 1165 SW BORLAND RD WEST LINN, OR 97068
DATE: 17 JAN 19	DWG NO: PFB-02 of 06
DRAWN BY: JP	PLOT: 64
JOB NO: 1101619	REV: 0



DETAIL 1
N.T.S.



DETAIL 2
N.T.S.



BUILDING DATA:

WIDTH:	20'-0"
LENGTH:	40'-0"
EAVE HT:	10'-0"
ROOF SLOPE:	4 IN 12
TRUSS SPACING:	10'-0"

BUILDING CODE:

WIND LOAD:	120 MPH
EXPOSURE:	B
GROUND SNOW LOAD:	25 PSF
ROOF SNOW LOAD:	25 PSF
DEAD LOAD:	3 PSF
SOIL BEARING:	1.5 KSF
SEISMIC CATEGORY:	D
IBC:	2012

- GENERAL NOTES**
- GIRTS MAY BE INSTALLED COMMERCIAL STYLE AT 24" O.C. BY THE CONTRACTOR WITH 2X BLOCKING BETWEEN MEMBERS OR WITH SIMPSON LU26 HANGERS (OR EQUAL). IF 2X BLOCKING IS USED, THEN NAIL BLOCKING TO POST WITH (6) 20d OR (6) 16d NAILS (MIN). NAIL GIRTS TO BLOCKING WITH (2) 20d OR (3) 16d NAILS AT EACH END.
 - PURLINS MAY BE INSTALLED WITH SIMPSON LU26 HANGERS (OR EQUAL) SEE NOTE 12 ON THE CONSTRUCTION NOTES, OVER-LAPPED, OR BUTTED ON THE TRUSSES AS REQUIRED BY THE CONTRACTOR.

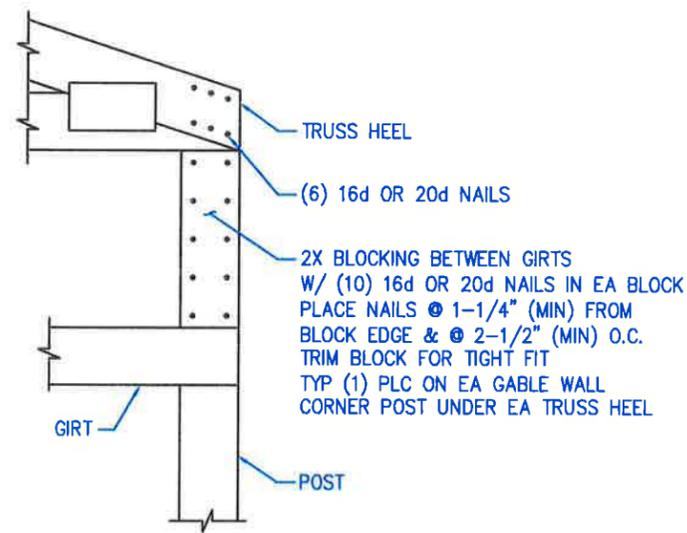


3/8" = 1'-0"

SECTION A

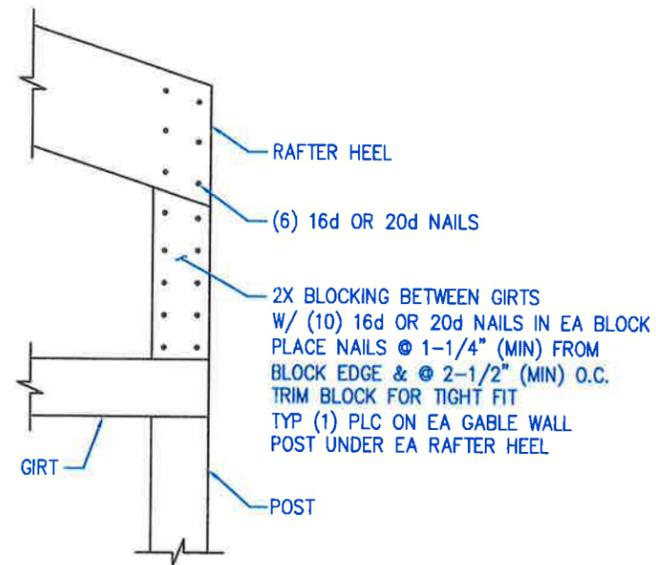
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CLIENT ECON-O-FAB BUILDINGS PO BOX 724 GASTON, OR 97119	OWNER / BUILDING LOCATION BRANDON BURT 1165 SW BORLAND RD WEST LINN, OR 97068
DATE: 17 JAN 19	DWG NO: PFB-03 of 06
DRAWN BY: JP	PLOT @: 32
JOB NO: 1101619	REV: 0



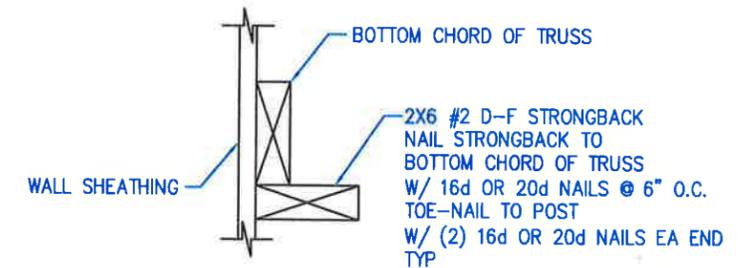
NOTE: ALL 2X BLOCKS TO MATCH POST WIDTH

1 GABLE TRUSS
 N.T.S.



NOTE: ALL 2X BLOCKS TO MATCH POST WIDTH

2 GABLE RAFTER
 N.T.S.



B SECTION
 0104 N.T.S.

GENERAL NOTES

- IF TOTAL NUMBER OF NAILS SPECIFIED WILL NOT FIT DUE TO SIZE OF BLOCKING, AN EXTRA BLOCK MAY BE ADDED TO ACCOMMODATE THE REMAINDER OF THE NAILS.
- IF GIRTS ARE INSTALLED COMMERCIAL STYLE PER GENERAL NOTE 1 ON SECTION A DRAWING THEN INSTALL 2X CORBEL BLOCK W/ QUANTITY OF NAILS SHOWN. PLACE NAILS AT 1-1/4" (MIN) FROM BLOCK EDGE & AT 2-1/2" (MIN) O.C.

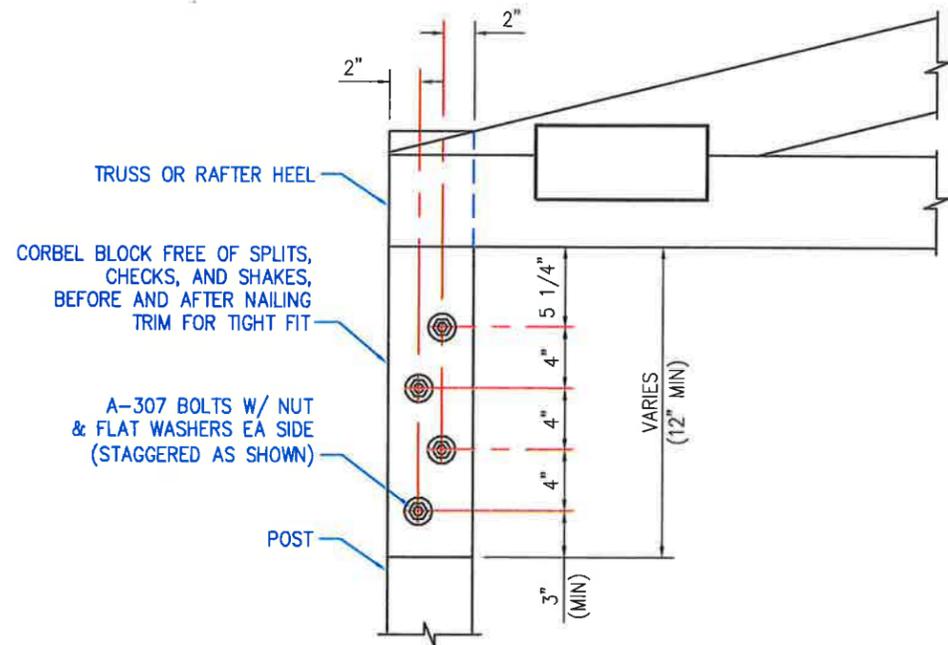


EXPIRES: 6/30/2019

FRAMING DETAILS

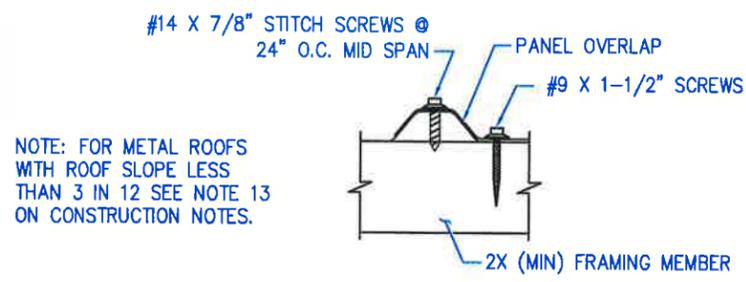


CLIENT		OWNER / BUILDING LOCATION	
ECON-0-FAB BUILDINGS PO BOX 724 GASTON, OR 97119		BRANDON BURT 1165 SW BORLAND RD WEST LINN, OR 97068	
DATE: 17 JAN 19	DWG NO:	JOB NO:	REV:
DRAWN BY: JP	PLOT @: 16	PFB-04 of 06	1101619 0

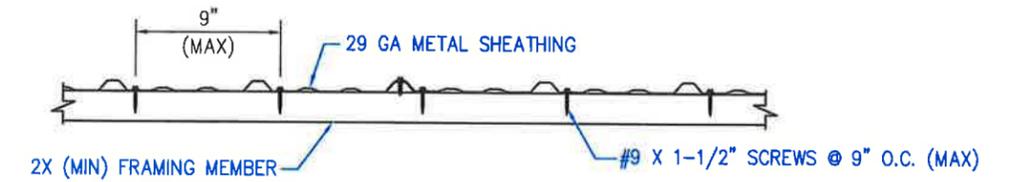
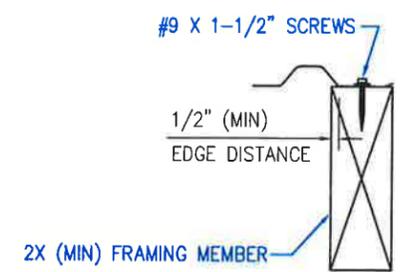


NOTE: THIS DETAIL IS FOR BOLT LOCATION AND CORBEL BLOCK SIZING ONLY. SEE SECTION VIEW FOR ACTUAL BOLT SIZE AND QUANTITY REQUIRED. SEE NOTE 10 ON CONSTRUCTION NOTES DRAWING.

1 CORBEL BLOCK
FOR (2) OR MORE BOLTS



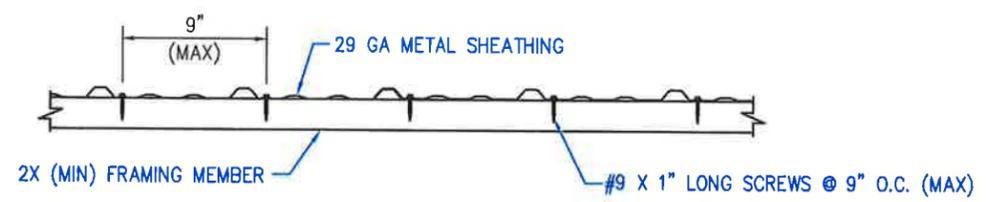
NOTE: FOR METAL ROOFS WITH ROOF SLOPE LESS THAN 3 IN 12 SEE NOTE 13 ON CONSTRUCTION NOTES.



FASTEN THE 29 GA METAL SHEATHING TO THE FRAMING MEMBERS USING #9 X 1-1/2" AT 9" O.C. ADJACENT TO EACH OF THE MAJOR RIBS. PARALLEL TO THE PANEL RIBS, AT TERMINATING EDGES OF ROOF, WALLS AND ALL OPENINGS, THE #9 X 1-1/2" SCREWS SHALL BE SPACED AT 12" O.C. (ADDITIONAL BLOCKING MAY BE REQUIRED TO ACHIEVE PROPER SCREW SPACING AT TERMINATING EDGES). THE FASTENERS SHALL BE 1/2" (MIN) FROM PANEL EDGES. THE DECK SIDE LAPS SHALL BE FASTENED TOGETHER WITH #14 X 7/8" LONG SELF DRILLING SCREWS MID SPAN BETWEEN THE SUPPORTS AT 24" O.C. (MAX). INCREASE LENGTH OF #9 SCREWS BY THICKNESS OF ANY APPLIED SUBSHEATHING.

2 ALTERNATE SCREW SCHEDULE
N.T.S.

NOTE: FOR METAL ROOFS WITH ROOF SLOPE LESS THAN 3 IN 12 SEE NOTE 13 ON CONSTRUCTION NOTES.



NOTE: NO STITCH SCREWS REQUIRED

FASTEN THE 29 GA METAL SHEATHING TO THE FRAMING MEMBERS USING #9 X 1" AT 9" O.C. ADJACENT TO EACH OF THE MAJOR RIBS. THE FASTENERS SHALL BE 1/2" (MIN) FROM PANEL EDGES. INCREASE LENGTH OF #9 SCREWS BY THICKNESS OF ANY APPLIED SUBSHEATHING.

3 TYPICAL SCREW SCHEDULE
N.T.S.



STANDARD DETAILS			
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CLIENT	OWNER / BUILDING LOCATION		
ECON-O-FAB BUILDINGS PO BOX 724 GASTON, OR 97119	BRANDON BURT 1165 SW BORLAND RD WEST LINN, OR 97068		
DATE: 17 JAN 19	DWG NO:	JOB NO:	REV:
DRAWN BY: JP	PLOT: 12	PFB-05 of 06	1101619

POLE BUILDING CONSTRUCTION NOTES:

1. UNLESS NOTED OTHERWISE, ALL CONCRETE f_c SHALL BE 2500 PSI MINIMUM AT 28 DAYS. THE CONCRETE SHALL BE MIXED IN THE CORRECT PROPORTIONS PRIOR TO PLACEMENT. NO SPECIAL INSPECTION IS REQUIRED.
2. ALL SOLID SAWN LUMBER 5"x5" AND LARGER SHALL BE ROUGH SAWN VISUALLY GRADED TIMBERS UNLESS OTHERWISE NOTED. ALL FRAMING LUMBER SHALL BE AT LEAST THE MINIMUM NOTED ON THE DRAWINGS. LUMBER NOT SPECIFICALLY CALLED OUT MAY BE STANDARD OR BETTER. No. 2 DOUG-FIR MAY BE SUBSTITUTED FOR No. 2 HEM-FIR. MSR1650 MAY BE SUBSTITUTED FOR No. 2 DOUG-FIR.
3. ALL POSTS SHALL BE CENTERED IN THE POSTHOLES. ALL POST EMBEDMENT DEPTHS SHALL BE MEASURED FROM THE TOP OF THE CONCRETE PAD TO TOP OF GRADE. IF SOLID ROCK IS ENCOUNTERED, THE CONCRETE PAD MAY BE OMITTED PROVIDED THE POST BEARS DIRECTLY ON SOLID ROCK. POSTS SHALL BE EMBEDDED INTO UNDISTURBED NATIVE SOIL AT THE EMBEDMENT DEPTHS SPECIFIED. IF FILL IS PLACED ON THE SITE, THE POSTHOLE DEPTHS SHALL BE INCREASED AS REQUIRED TO PROVIDE UNDISTURBED NATIVE SOIL UNLESS THE FILL HAS BEEN TESTED BY A CERTIFIED SOILS TESTING LABORATORY TO BE 95% COMPACTED.
4. IF THE DRAWINGS SPECIFY CONCRETE BACKFILL IN THE POSTHOLES, THE BACKFILL SHALL BE THE MINIMUM PSI AS SPECIFIED IN NOTE 1, UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL INSTALL (10) 20d NAILS 2" DEEP INTO (2) OPPOSITE POST FACES ON EACH POST BELOW GRADE. NAILS MAY BE OMITTED IN FULLY ENCLOSED BUILDINGS WITH A STRUCTURAL 4" (MIN) CONCRETE FLOOR. PROVIDE 6" THICK CONCRETE FOOTING TO MATCH HOLE DIAMETER.
5. IF THE DRAWINGS SPECIFY GRANULAR BACKFILL IN THE POSTHOLES, THE BACKFILL SHALL BE 5/8" TO 3/4" (-) GRAVEL OR CRUSHED ROCK. THE CONTRACTOR SHALL INSURE THAT THE BACKFILL IS SATURATED PRIOR TO BACKFILLING AND IS COMPACTED AFTER EACH 6" LIFT. PROVIDE 6" THICK CONCRETE FOOTING TO MATCH HOLE DIAMETER.
6. IF THE DRAWINGS SPECIFY NATURAL BACKFILL IN THE POSTHOLES, THE BACKFILL SHALL BE WELL-GRADED NATIVE SOIL (FREE FROM ALL ORGANICS AND LARGE COBBLES). THE CONTRACTOR SHALL INSURE THAT THE BACKFILL IS SATURATED PRIOR TO BACKFILLING AND IS COMPACTED AFTER EACH 6" LIFT. PROVIDE 6" THICK CONCRETE FOOTING TO MATCH HOLE DIAMETER.
7. ALL WOOD MEMBERS, FRAMING REQUIREMENTS AND CONNECTIONS SHALL COMPLY WITH THE BUILDING CODE LISTED ON THESE DRAWINGS. INSTALL EXTERIOR FLASHING PER THE BUILDING CODE LISTED ON THESE DRAWINGS, AND IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS. INSTALL VENTILATION AS REQUIRED AND IN ACCORDANCE WITH THE BUILDING CODE LISTED ON THESE DRAWINGS.
8. ALL FASTENERS DRIVEN INTO, OR STEEL CONNECTORS EXPOSED TO, PRESSURE TREATED WOOD SHALL BE HOT DIPPED GALVANIZED OR STAINLESS STEEL.
9. OFF LOADING & HANDLING AND TEMPORARY & PERMANENT BRACING OF ALL TRUSSES SHALL COMPLY WITH BUILDING COMPONENT SAFETY INFORMATION PUBLICATIONS BCSI-B1 AND BCSI-B10. INSURE THAT ALL BRACING AND BEARING AREA REQUIRED BY THE MANUFACTURER OF THE PRE-ENGINEERED TRUSSES HAVE BEEN INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
10. PROTECTIVE COVERING OR COATING SHALL BE PROVIDED FOR ALL CORBEL BLOCKS, BOLTS, TRUSS AND/OR RAFTER HEELS AND WOOD FASCIAS DIRECTLY EXPOSED TO THE ELEMENTS.
11. UNLESS NOTED OTHERWISE, GIRTS AND PURLINS HAVE BEEN DESIGNED FOR STRESS ONLY. THEY HAVE NOT BEEN DESIGNED FOR THE DIRECT ATTACHMENT OF INTERIOR FINISHES.
12. IF PURLINS ARE INSTALLED WITH JOIST HANGERS, OMIT THE PURLIN BLOCKS AND INSTALL 2X CONTINUOUS BLOCKING TO MATCH POST WIDTH BETWEEN RAFTERS/TRUSS TOP CHORDS. LOCATE BLOCKING AT THE TOP OF THE RAFTERS/TRUSS TOP CHORDS AND NAIL EACH SIDE WITH 16d NAILS AT 12" (MAX) O.C.. CONTRACTOR TO VERIFY THAT THE WIDTH OF THE TRUSS TOP CHORD IS EQUAL TO OR GREATER THAN THE PURLIN WIDTH, PRIOR TO CONSTRUCTION.
13. INSTALL ALL STEEL SHEATHING TO THE INTERIOR FRAMING MEMBERS (GIRTS AND PURLINS) PER THE TYPICAL SCREW SCHEDULE GIVEN ON THE STANDARD DETAILS DRAWING UNLESS NOTED OTHERWISE. FOR NON-STANDING SEAM METAL ROOFS WITH ROOF SLOPE OF LESS THAN 3 IN 12 AND STANDING SEAM METAL ROOFS WITH ROOF SLOPE OF 1/4 IN 12, APPLY LAP SEALANT PER MANUFACTURER'S SPECIFICATIONS IN ACCORDANCE WITH THE BUILDING CODE LISTED ON THESE DRAWINGS.
14. IF THE DRAWINGS SHOW POLYCARBONATE LIGHT PANELS, BOTH ENDS OF THE PANELS MUST TERMINATE AT A WALL GIRT. WALL GIRTS THAT LIGHT PANELS ARE ATTACHED TO MUST BE FASTENED TO THE POSTS WITH (4) 16d OR 20d NAILS AT EACH END UNLESS COMMERCIAL GIRTS ARE USED.
15. UNLESS NOTED OTHERWISE, INSTALL ALL SIMPSON HARDWARE PER MANUFACTURER'S SPECIFICATIONS.

ABBREVIATIONS & SYMBOLS:

CONT.	CONTINUOUS	PLCS	PLACES
D-F	DOUGLAS FIR	P.T.	PRESSURE TREATED
EA	EACH	SPF	SPRUCE PINE FIR
GA	GAUGE	SS	SELECT STRUCTURAL
GLB	GLUE LAM BEAM	SYP	SOUTHERN YELLOW PINE
H-F	HEMLOCK FIR	TYP	TYPICAL
HDG	HOT DIPPED GALVANIZED	U.N.O.	UNLESS NOTED OTHERWISE
MD	MAN DOOR	W	WINDOW
MFR'S	MANUFACTURER'S	W/	WITH
MSR	MACHINE STRESS RATED	⊕	AT
O.C.	ON CENTER	⊙	DIAMETER
OPP	OPPOSITE		



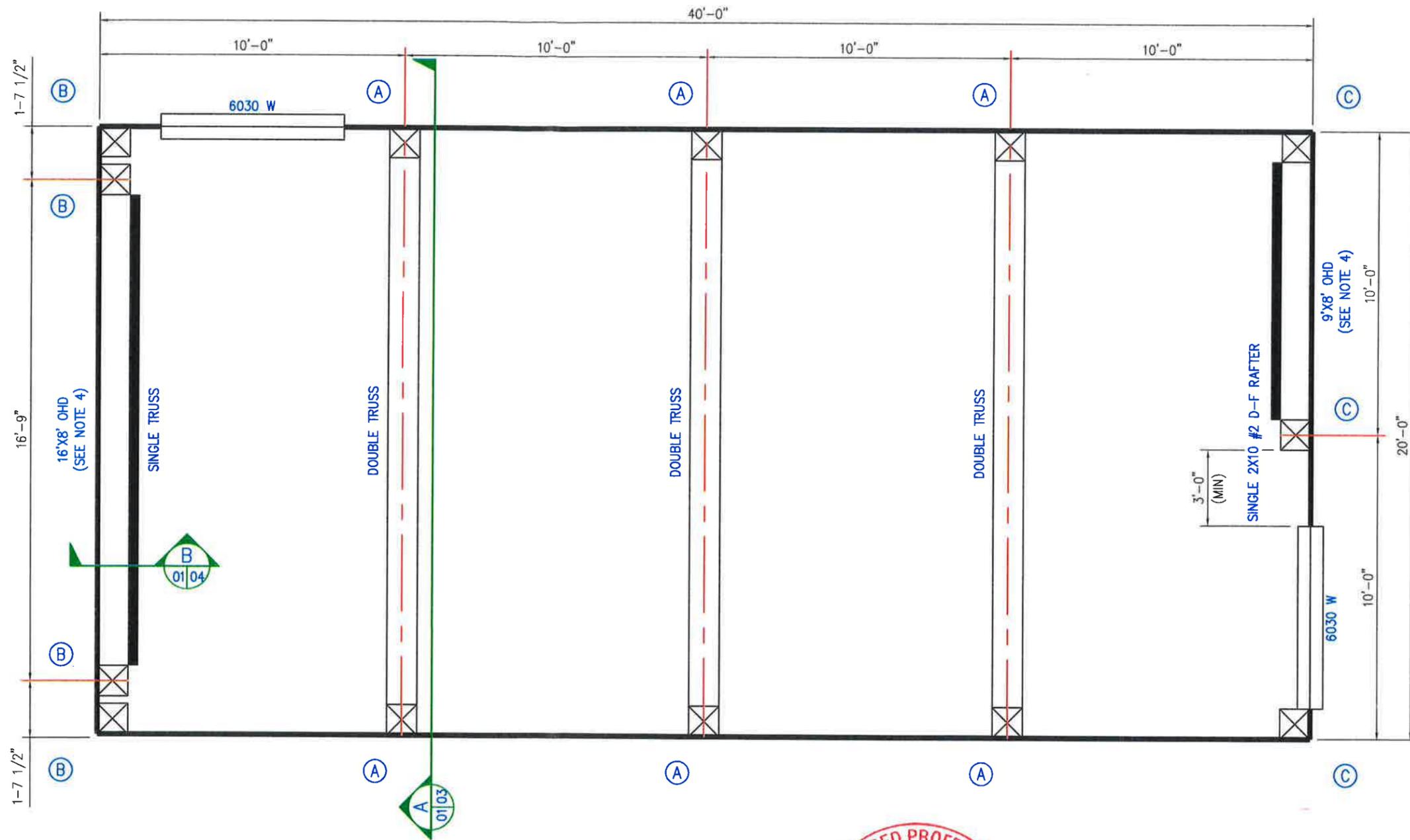
CONSTRUCTION NOTES



CLIENT	OWNER / BUILDING LOCATION
ECON-0-FAB BUILDINGS PO BOX 724 GASTON, OR 97119	BRANDON BURT 1165 SW BORLAND RD WEST LINN, OR 97068
DATE: 17 JAN 19	DWG NO: PFB-06 of 06
DRAWN BY: JP	JOB NO: 1101619
PLOT 1	REV: 0

POST / BRACING NOTES

ITEM	DESCRIPTION
(A)	6X6 P.T. #2 H-F POST USE 3'-0" (MIN) EMBEDMENT DEPTH, 18"Ø FOOTING AND GRANULAR BACKFILL
(B)	6X6 P.T. #2 H-F POST USE 3'-0" (MIN) EMBEDMENT DEPTH, 18"Ø FOOTING AND CONCRETE BACKFILL
(C)	6X6 P.T. #2 H-F POST USE 4'-0" (MIN) EMBEDMENT DEPTH, 18"Ø FOOTING AND CONCRETE BACKFILL



GENERAL NOTES

1. ALL POSTS EMBEDDED IN GROUND SHALL BE PRESSURE TREATED FOR BURIAL.
2. WINDOW(S) SHOWN MAY BE LOCATED BY THE BUILDER IN THE WALL(S) SHOWN UNLESS SPECIFICALLY LOCATED ON THIS DRAWING.
3. CONTRACTOR TO VERIFY DOOR DIMENSIONS AND CLEARANCES PRIOR TO BUILDING CONSTRUCTION AND DOOR INSTALLATION. OVERHEAD DOOR SIZE MAY BE REDUCED AS REQ'D TO ENSURE CORRECT OPERATION OF THE DOOR.



1/4" = 1'-0"

PLAN VIEW

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CLIENT	OWNER / BUILDING LOCATION
ECON-O-FAB BUILDINGS PO BOX 724 GASTON, OR 97119	BRANDON BURT 1165 SW BORLAND RD WEST LINN, OR 97068
DATE: 17 JAN 19	DWG NO: PFB-01 of 06
DRAWN BY: JP	PLOT: 48
JOB NO: 1101619	REV: 0