



**Department of Finance**

Public Services Building  
2051 Kaen Road, Suite 490 | Oregon City, OR 97045

April 7, 2021

Clackamas County Administration

County Administrator:

Notification of North Willamette Research and Extension Center (NWREC) Parker House  
Remodel Project and Construction of a Laboratory

<b>Purpose/Outcomes</b>	Notification that NWREC intends to remodel the Parker House and construction a laboratory in the near future.
<b>Dollar Amount and Fiscal Impact</b>	No cost to Clackamas County - all construction and remodel costs to be funded by OSU.
<b>Funding Source</b>	Funding for the remodel and construction services will be handled, planned and paid for entirely by OSU.
<b>Duration</b>	Current lease term period is from September 1, 2012 through August 31, 2022.
<b>Strategic Plan Alignment</b>	Completion of this project will help ensure safe and healthy communities and assists in growing a vibrant economy.
<b>Previous Board Action</b>	Not required.
<b>County Counsel Review</b>	Not required.
<b>Procurement Review</b>	Procurement of the remodel and construction services will be handled, planned and paid for entirely by OSU.
<b>Contact Person</b>	Jeff Jorgensen, Division Director, Facilities Management, 503.734.6248

**BACKGROUND:**

Clackamas County currently owns and leases one hundred and fifty-five point seven six acres to The State of Oregon acting by and through the State Board of Higher Education on behalf of Oregon State University (OSU), North Willamette Research and Extension Center (NWREC).

NWREC is OSU's only agriculture field research station located in the northwestern part of the state and serves the farmers of the seven counties of the north valley area and focuses on research and education related to important crops systems including: nurseries and greenhouses, fresh vegetables, specialty seed crops, berries and small fruit, Christmas trees, etc. NWREC houses OSU Extension faculty, staff, and trained volunteers who work alongside local partners to provide educational workshops, activities, and services tailored to unique industries, natural resources, and the citizens of our communities.

The property has several structures on the property including a large office and meeting building, numerous green houses, several barns and equipment buildings and the Parker House Building as shown in the attached site plan.

The Parker House is a two floor building currently being used for administrative and office spaces. The remodel project will alter the use of several office spaces and construct an additional 494 square feet to the building to provide adequate space for the creation of three (3) separate laboratory spaces.

**RECOMMENDATION:**

Facilities Management's normal construction project process is to review, discuss issues with department representatives and then sign and approve permit documents. We recommend approval to proceed forward with our normal process and sign and approve Clackamas County's Nonconforming Use application so that OSU can continue to proceed forward with the Parker House Remodel Project.

Sincerely,

Elizabeth Comfort,  
Director Finance

## Terwilliger, Christina

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**From:** Comfort, Elizabeth  
**Sent:** Saturday, April 3, 2021 8:41 AM  
**To:** Schmidt, Gary  
**Subject:** RE: NWREC Nonconforming Use Application

I will work with Jeff on an email out to the BCC>

Thank you,  
E.

Elizabeth Comfort  
503-936-5345 cell

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**From:** Schmidt, Gary  
**Sent:** Friday, April 2, 2021 10:46 AM  
**To:** Comfort, Elizabeth <[EComfort@clackamas.us](mailto:EComfort@clackamas.us)>  
**Subject:** RE: NWREC Nonconforming Use Application

Hi Elizabeth,

The Board and I am not aware of this. The Board should up updated before we do anything. Would you or Jeff please do that? Either an email or perhaps we add to Issues on April 13?

Thanks.

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**From:** Comfort, Elizabeth <[EComfort@clackamas.us](mailto:EComfort@clackamas.us)>  
**Sent:** Friday, April 2, 2021 9:21 AM  
**To:** Schmidt, Gary <[GSchmidt@clackamas.us](mailto:GSchmidt@clackamas.us)>  
**Subject:** FW: NWREC Nonconforming Use Application

Gary,  
Please see Jeff's information below and his question regarding yours and BCC's notification of this project. Particularly the highlighted area.

Please let me know what next steps to take.

Thank you,  
E.

Elizabeth Comfort  
503-936-5345 cell

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**From:** Jorgensen, Jeff  
**Sent:** Thursday, April 1, 2021 8:26 AM  
**To:** Comfort, Elizabeth <[EComfort@clackamas.us](mailto:EComfort@clackamas.us)>  
**Subject:** FW: NWREC Nonconforming Use Application

Elizabeth,

As an FYI I've attached the Clackamas County Nonconforming Use documents that OSU and the North Willamette Research Experimental Center (NWREC) have submitted to Clackamas County DTD Planning for the expansion of an office building and conversion of existing office spaces within that building to construct a new laboratory. The OSU project expands the footprint of the existing structure by 494sf and eliminated several existing offices to construct the new laboratory spaces.

The normal process allows Facilities Management coordinators, supervisors or managers sign these project documents to keep the projects moving along, but I just wanted to ensure that you, Gary and the BCC are aware of this project and the fact that citizen notification will be sent out from Clackamas County DTD Planning to all residents and businesses with one-half mile of the NWREC facility as required by code. The project is small with no major safety issues and there should be no citizen concerns, but due to RWRECs location across the street from large Charbonneau housing areas I wanted to ensure that County Administration and the BCC are advised and updated concerning this project.

Please tell me if you want me to submit this project through the new review notification and work session process to update Gary and the BCC.

**Jeff Jorgensen, FMA, HP | Facilities Management Director**  
(Pronouns: He/his/him)

**CLACKAMAS COUNTY DEPARTMENT OF FINANCE | FACILITIES MANAGEMENT**  
1710 Red Soils Court, Oregon City, OR 97045  
Office 503-557-6414, Mobile 503-734-6248  
[www.clackamas.us](http://www.clackamas.us)

**Follow Clackamas County: [Facebook](#) | [Twitter](#) | [YouTube](#) | [Nextdoor](#)**  
My working hours are Monday through Thursday 7AM to 6PM.

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**From:** Hackenbruck, Joshua <[Joshua.Hackenbruck@oregonstate.edu](mailto:Joshua.Hackenbruck@oregonstate.edu)>  
**Sent:** Wednesday, March 31, 2021 3:34 PM  
**To:** Jorgensen, Jeff <[JeffJor@clackamas.us](mailto:JeffJor@clackamas.us)>  
**Subject:** RE: Incomplete Application

Hi Jeff,  
Non-conforming use app and preliminary drawings of the Project attached here for your reference. Thanks for the help on this.  
Josh

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**From:** Hackenbruck, Joshua  
**Sent:** Tuesday, March 30, 2021 2:15 PM  
**To:** Jorgensen, Jeff <[JeffJor@clackamas.us](mailto:JeffJor@clackamas.us)>  
**Subject:** RE: Incomplete Application

Hi Jeff,  
Would you have time to help us out with this Clackamas County signature for non-conforming use application (alteration/change) at our North Willamette Research and Extension Center. Not sure how familiar you are with station, but I can describe the Project in question over the phone or send you the Project description/paperwork included with the application.  
Thanks, Josh

(541) 908-2992

--

Josh Hackenbruck  
College of Agricultural Sciences  
[joshua.hackenbruck@oregonstate.edu](mailto:joshua.hackenbruck@oregonstate.edu)

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**From:** Hamburg, Glen <[GHamburg@clackamas.us](mailto:GHamburg@clackamas.us)>  
**Sent:** Friday, March 26, 2021 10:55 AM  
**To:** Bondi, Michael Charles <[michael.bondi@oregonstate.edu](mailto:michael.bondi@oregonstate.edu)>; Hackenbruck, Joshua <[Joshua.Hackenbruck@oregonstate.edu](mailto:Joshua.Hackenbruck@oregonstate.edu)>  
**Cc:** Jorgensen, Jeff <[JeffJor@clackamas.us](mailto:JeffJor@clackamas.us)>  
**Subject:** RE: Incomplete Application

[This email originated from outside of OSU. Use caution with links and attachments.]

Hi All,

The application cannot be deemed complete and processed until signed by the Applicant and the property owner. When the owner's signature matter was discussed back in December 2020, Jeff Jorgensen, the County's Facilities Management Director who's CCed here, was in the loop; if he's not specifically the one to sign as the property owner today, he might know who is.

It looks like Jeff will be out of the office until March 30<sup>th</sup>. Dan Robertson (Facilities Construction Manager, Tel: 503.557.6419) may also be able to sign for the County, but I've heard that he won't be in the office until Monday.

No great concern though. I'll simply 'hold' this paperwork just as it is until the middle of next week and we can touch base by then. When you have the required signatures on the first page of the application, you can simply send that completed page to me and I'll match it up with everything else you've turned in already, review the application for completeness, and, if complete, prepare the public notice.

All the best this sunny Friday,

**Glen Hamburg**

Senior Planner  
Clackamas County Planning & Zoning  
150 Beaver Creek Rd  
Oregon City, OR 97045  
Tel: 503.742.4523  
General Schedule: Tuesday-Friday, 7am-5:30pm



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**From:** Bondi, Michael Charles <[michael.bondi@oregonstate.edu](mailto:michael.bondi@oregonstate.edu)>  
**Sent:** Friday, March 26, 2021 9:29 AM  
**To:** Hackenbruck, Joshua <[Joshua.Hackenbruck@oregonstate.edu](mailto:Joshua.Hackenbruck@oregonstate.edu)>; Hamburg, Glen <[GHamburg@clackamas.us](mailto:GHamburg@clackamas.us)>  
**Cc:** Jorgensen, Jeff <[JeffJor@clackamas.us](mailto:JeffJor@clackamas.us)>  
**Subject:** RE: Incomplete Application

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Warning: External email. Be cautious opening attachments and links.

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All:

Yes, let's figure out who the correct signers should be so we can get correct. I have administrative responsibility for the management of NWREC. So, I don't have a problem signing. But, for ownership purposes, that might need to be someone on campus??. Maybe the Dean's office?? I don't know on this. Glen, what are your thoughts of what you need or would be appropriate?

*Mike*

Michael C. Bondi, Research Center Director  
OSU College of Agricultural Sciences  
North Willamette Research and Extension Center

North Willamette Research and Extension Center  
15210 NE Miley Road  
Aurora, OR 97002  
Office: 971-801-0384  
Mobile: 503-705-2434  
Web: [oregonstate.edu/dept/NWREC](http://oregonstate.edu/dept/NWREC)

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**From:** Hackenbruck, Joshua <[Joshua.Hackenbruck@oregonstate.edu](mailto:Joshua.Hackenbruck@oregonstate.edu)>  
**Sent:** Friday, March 26, 2021 9:22 AM  
**To:** Hamburg, Glen <[GHamburg@clackamas.us](mailto:GHamburg@clackamas.us)>  
**Cc:** Bondi, Michael Charles <[michael.bondi@oregonstate.edu](mailto:michael.bondi@oregonstate.edu)>; Jorgensen, Jeff <[JeffJor@clackamas.us](mailto:JeffJor@clackamas.us)>  
**Subject:** RE: Incomplete Application

Hi Glen,

My mistake, I thought the signature for the Property Owner was internal to Clackamas County after the application review process. Sounds like the required signatures are both Michael Bondi the NWREC Station Director, and someone with Clackamas County? Let me know where I need to go within Clackamas County, and we will work on resubmitting this before Tuesday.

Thanks, Josh

--

Josh Hackenbruck  
College of Agricultural Sciences  
[joshua.hackenbruck@oregonstate.edu](mailto:joshua.hackenbruck@oregonstate.edu)  
(541) 737-5913

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**From:** Hamburg, Glen <[GHamburg@clackamas.us](mailto:GHamburg@clackamas.us)>  
**Sent:** Friday, March 26, 2021 7:16 AM  
**To:** Hackenbruck, Joshua <[Joshua.Hackenbruck@oregonstate.edu](mailto:Joshua.Hackenbruck@oregonstate.edu)>  
**Cc:** Bondi, Michael Charles <[michael.bondi@oregonstate.edu](mailto:michael.bondi@oregonstate.edu)>; Jorgensen, Jeff <[JeffJor@clackamas.us](mailto:JeffJor@clackamas.us)>  
**Subject:** Incomplete Application

[This email originated from outside of OSU. Use caution with links and attachments.]

Hi again Joshua,

A nonconforming use application was submitted yesterday for the NWREC, but the application is missing the required signatures from the applicant and property owners that we've discussed, so the application cannot be processed. I will need to draft and send out by registered mail a formal incomplete application notice by Tuesday of next week at the latest if we still do not have those signatures. Do you know what the plan is for getting them? If I had the signatures on the application today, that would resolve the concern.

All the best,

**Glen Hamburg**

Senior Planner  
Clackamas County Planning & Zoning  
150 Beaver Creek Rd  
Oregon City, OR 97045  
Tel: 503.742.4523  
General Schedule: Tuesday-Friday, 7am-5:30pm



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**Planning and Zoning**  
**Department of Transportation and Development**  
 Development Services Building  
 150 Beaver Creek Road | Oregon City, OR 97045  
 503-742-4500 | zoninginfo@clackamas.us  
 www.clackamas.us/planning

**STAFF USE ONLY**

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Staff Initials: \_\_\_\_\_ File Number: \_\_\_\_\_

Land use application for:

# NONCONFORMING USE

## VERIFICATION, RESTORATION, REPLACEMENT, AND/OR ALTERATION/CHANGE

**Application Fee: \$960**

(+ \$120 if an expanded notification area is required by ZDO Section 1307)

APPLICANT INFORMATION			
Applicant name: OSU (N. Willamette Research & Extension Center )	Applicant email: joshua.hackenbruck@oregonstate.edu	Applicant phone: (541) 908-2992	
Applicant mailing address: 15210 NE Miley Road	City: Aurora	State: OR	ZIP: 97002
Contact person name (if other than applicant): Josh Hackenbruck	Contact person email: joshua.hackenbruck@oregonstate.edu	Contact person phone: (541) 908-2992	
Contact person mailing address: 170 SW Waldo Place - 447B Strand Ag Hall, OSU	City: Corvallis	State: OR	ZIP: 97331

PROPOSAL
Brief description of proposal: Alteration/Change to existing use.. No occupancy change. Small addition and interior renewal on >50% of building.

SITE INFORMATION		
Site address: 15210 NE Miley Road	Comprehensive Plan designation:	Zoning district: EFU
Map and tax lot #:  Township: <u>  T3S  </u> Range: <u>  R1W  </u> Section: <u>  25  </u> Tax Lot: <u>  500  </u> Township: <u>      </u> Range: <u>      </u> Section: <u>      </u> Tax Lot: <u>      </u> Township: <u>      </u> Range: <u>      </u> Section: <u>      </u> Tax Lot: <u>      </u>	Land area:  155.76 Acres	
Adjacent properties under same ownership:  Township: <u>      </u> Range: <u>      </u> Section: <u>      </u> Tax Lot: <u>      </u> Township: <u>      </u> Range: <u>      </u> Section: <u>      </u> Tax Lot: <u>      </u>		

Printed names of all property owners:	Signatures of all property owners:	Date(s):
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***I hereby certify that the statements contained herein, along with the evidence submitted, are in all respects true and correct to the best of my knowledge.***

Applicant signature: \_\_\_\_\_ Date: \_\_\_\_\_



## A. Review applicable land use rules:

This application is subject to the provisions of [Section 1206, Nonconforming Uses and Vested Rights](#) of the [Clackamas County Zoning and Development Ordinance](#) (ZDO).

It is also subject to the ZDO's definitions, procedures, and other general provisions, as well as to the specific rules of the subject property's zoning district and applicable development standards, as outlined in the ZDO.

## B. Turn in all of the following:

- Complete application form:** Respond to all the questions and requests in this application, and make sure all owners of the subject property sign the first page of this application. Applications without the signatures of *all* property owners are incomplete.
- Application fee:** The cost of this application is **\$960, plus a \$120 notification surcharge if an expanded notification area is required by ZDO Section 1307**. Payment can be made by cash, by check payable to "Clackamas County", or by credit/debit card with an additional card processing fee using the [Credit Card Authorization Form](#) available from the Planning and Zoning website. Payment is due when the application is submitted. Refer to the FAQs at the end of this form and to the adopted [Fee Schedule](#) for refund policies.
- Site plan:** Provide a site plan (also called a plot plan). A [Site Plan Sample](#) is available from the Planning and Zoning website. The site plan must be accurate and drawn to-scale on paper measuring no larger than 11 inches x 17 inches. The site plan must illustrate all of the following (when applicable):
  - Lot lines, lot/parcel numbers, and acreage/square footage of lots;
  - Contiguous properties under the same ownership;
  - All existing and proposed structures, fences, roads, driveways, parking areas, and easements, each with identifying labels and dimensions;
  - Setbacks of all structures from lot lines and easements;
  - Significant natural features (rivers, streams, wetlands, slopes of 20% or greater, geologic hazards, mature trees or forested areas, drainage areas, etc.); and
  - Location of utilities, wells, and all onsite wastewater treatment facilities (e.g., septic tanks, septic drainfield areas, replacement drainfield areas, drywells).
- Floor plans:** Attach detailed, accurate, and to-scale floor plans for all structures to be considered in this application. Label all rooms with their existing and proposed use, show all of their dimensions, include the square footage of each room, and identify all doors and partition walls.
- Building elevation diagrams:** Attach drawings of all structures to be considered in this application. The drawings must be to-scale and must show each side of the building and any windows, doors, or other appurtenances. Include all measurements (height, length, width, and area).
- Evidence of lawful establishment:** Attach evidence (e.g. building permits, tax records, dated photographs, dated aerial images, financial statements, signed affidavits, and previous land use approvals) substantiating that the nonconforming use to be verified, restored, replaced, and/or altered was lawfully established.

## C. For verification of a nonconforming use:

If you are requesting verification of nonconforming use pursuant to ZDO Subsection 1206.07, answer the following questions here in Part C. Attach additional pages, if necessary, and copies of supporting documentation.

For the purposes of Part C, the “nonconforming use” is the land use(s), structure(s), and/or physical improvement(s) for which you are seeking nonconforming use verification.

1. What is the nonconforming use? Describe the nonconforming use in detail, including buildings, vehicles, equipment, and materials used, days and hours of operation, the number of employees, and other operational and physical information, as applicable:

2. When did the nonconforming use first become nonconforming to the County's zoning regulations?

Date: \_\_\_\_\_

3. What *current* zoning regulations do/does the nonconforming use described in response to Question C.1 not conform to?

4. When was the nonconforming use described in response to Question C.1 established? Attach evidence that supports your response.

Date: \_\_\_\_\_

5. Describe any changes in the nonconforming use since being established, and identify, with supporting documentation, when those changes occurred:

6. Did the existence, continuity, nature, or extent of the nonconforming use discontinue for any 12-month period in the 20 years immediately preceding the date of this application?

- NO, and supporting documentation is attached.
- NO, and supporting documentation is attached to prove the existence, continuity, nature, and extend of the nonconforming use for the *10-year* period immediately preceding the date of this application. Pursuant to ZDO Subsection 1206.07(B), this creates a rebuttable presumption that the nonconforming use, as proven, lawfully existed at the time of, and has continued uninterrupted since, the adoption of restrictive zoning regulations, or a change in the zoning or zoning regulations, that have the effect of prohibiting the nonconforming use under the current provisions of the ZDO.
- YES, as explained in the box below:

**D. For restoration or replacement of a nonconforming use:**

If this application requests restoration or replacement of a nonconforming use, answer the following questions here in Part D. Attach additional pages, if necessary, and copies of supporting documentation.

For the purposes of Part D, the “nonconforming use” is the land use(s), structure(s), and/or physical improvement(s) you are seeking to restore or replace.

**1. What damaged or destroyed the nonconforming use?**

Fire

Other casualty (i.e., an unfortunate or unforeseen happening), explained in the box below:

Natural disaster, explained in the box below:

**2. When was the nonconforming use damaged or destroyed by the incident(s) identified in response to Question D.1?**

Date: \_\_\_\_\_

3. Explain in the box below, and demonstrate in your attached site plan and other supporting documentation, how your proposed restoration or replacement will *not* alter or change the nature or extent of the nonconforming use as lawfully established prior to the incident(s) identified in response to Question D.1.

*(Note: If you are requesting an alteration or change in the nature or extent of the nonconforming use, you must complete Part E of this application.)*

4. Identify how the nonconforming use status of the existing use will be, or already has been, verified pursuant to ZDO Subsection 1206.07:

- Verification is being requested in Part C of this application.
- Verification was previously approved by the County within the last 12 months.

File No. of approved verification: Z\_\_\_\_\_

- Verification was previously approved by the County more than 12 months ago, and documentation is attached showing that the nonconforming use has not discontinued for 12 consecutive months since that approved verification.

File No. of approved verification: Z\_\_\_\_\_

**E. For alteration/change of a nonconforming use:**

If this application requests alteration or change of a nonconforming use, answer the following questions here in Part E. Attach additional pages, if necessary, and copies of supporting documentation.

For the purposes of Part E, the “existing use” is the nonconforming land use(s), structure(s), and/or physical improvement(s) you are seeking to alter/change.

1. Describe the proposed alteration/change:

LEVEL TWO (OSSC 34 & IEBC CHAP 8) ADDITION AND ALTERATION (> 50%) OF OVERALL BUILDING AREA. NO CHANGE OF OCCUPANCY. NO WORK IN EAST SIDE OF BLDG.

EXISTING BUILDING AREA:

FIRST FLOOR	2,584sf
SECOND FLOOR	475sf
TOTAL	3,059sf

ADDITION/ALTERATION AREA: ADDITION 494sf (ALTERATION AREA 1,167sf)

TOTAL (W/ADD) 3,553sf

2. Explain how the alteration/change will, after the imposition of conditions of approval deemed necessary to ensure the mitigation of any adverse impacts, have no greater adverse impact on the neighborhood than the existing use:

Proposed 475sf addition and alteration of 1,167sf of existing non-confirming use. No change of use and max occupancy change from an existing twenty occupants (20) to twenty-three (23) occupants. Project will include an accessibility upgrades with van parking space, entry, and restroom facilities. Work is located interior to site and would have no exposure to neighborhood. See attached Drawing Sheets.

3. Identify how the nonconforming use status of the existing use will be, or already has been, verified pursuant to ZDO Subsection 1206.07:

- Verification is being requested in Part C of this application.
- Verification was previously approved by the County within the last 12 months.

File No. of approved verification: Z \_\_\_\_\_

- Verification was previously approved by the County more than 12 months ago, and documentation is attached showing that the nonconforming use has not discontinued for 12 consecutive months since that approved verification.

File No. of approved verification: Z 1073-99

4. Will the alteration/change expand the existing use from one lot of record to another?

- NO, the alteration/change will be on the same lot of record.
- YES, but the lot of record on which expansion is proposed, *and* the lot of record on which the existing use is currently located, have been part of the same tract continuously since the date the existing use became nonconforming, as evidenced by attached documentation.
- YES, but the expansion would allow only for facilities necessary to support the existing use, such as driveways, storm water management facilities, and on-site wastewater treatment systems. The alteration/change on the other lot of record are necessary to support the existing use for the following reasons:



## FAQs

### **What is a nonconforming use?**

A “nonconforming use” is a use of any building, structure or land allowed by right when established or that obtained a required land use approval when established but, due to a change in the zone or zoning regulations, is now prohibited in the zone.

### **When is a Nonconforming Use permit required?**

The County’s Zoning and Development Ordinance (ZDO) lists the uses, structures, and other physical improvements that are allowed in each zone. However, the ZDO also allows uses, structures, and other physical improvements to continue, even if they do not conform to current ZDO rules, provided they were legally established and meet other criteria.

Formal verification by the County that a nonconforming use/structure/improvement was legally established and meets the other criteria requires an application for nonconforming use verification using Part C of the Nonconforming Use permit application form.

The ZDO allows a verified nonconforming use to be restored or replaced if it was damaged or destroyed by fire, other casualty, or natural disaster, provided it is restored or replaced to the nature and extent of the nonconforming use as lawfully established prior to the incident, and subject to certain criteria. Requests for restoration or replacement are made using Part D of the Nonconforming Use permit application form. Restoration or replacement must be lawfully commenced, as defined by Subsection 1206.04(B) of the ZDO, within one year of the occurrence of the damage or destruction.

The ZDO also allows a verified nonconforming use to be altered or changed (e.g., expanded), subject to certain criteria; such requests are made using Part E of the Nonconforming Use permit application form. Per ZDO Subsection 1206.06(A), the alteration of any nonconforming use that is necessary to comply with any lawful requirement does not require a Nonconforming Use permit.

### **What is the permit application process?**

Nonconforming Use permits are subject to a “Type II” land use application process, as provided for in [Section 1307](#) of the ZDO. Type II decisions include notice to owners of nearby land, the Community Planning Organization (if active), service providers (sewer, water, fire, etc.), and affected government agencies. If the application is approved, the applicant must comply with any conditions of approval identified in the decision. The Planning Director’s decision can be appealed to the County Land Use Hearings Officer.

### **What is needed for the County to approve a land use permit?**

Nonconforming use verifications, restorations, replacements, and/or alterations/changes *may* be permitted after an evaluation by the County of applicable standards of the ZDO. The applicant is responsible for providing evidence that their proposal does or can meet those standards. In order to address the standards, the information requested in this application should be as thorough and complete as possible. A permit will only be approved or denied after a complete application is received and reviewed. The County approves an application only if it finds that the proposal meets the standards or can meet the standards with conditions.

## FAQs continued

### **How long will it take the County to make a decision about an application?**

The County makes every effort to issue a decision on a Type II land use application within 45 days of when we deem the application to be complete. State law generally requires a final County decision on a land use permit application in an urban area within 120 days of the application being deemed complete, and within 150 days for a land use permit in a rural area, although there are some exceptions.

### **If an application is submitted and then withdrawn, will a refund be given?**

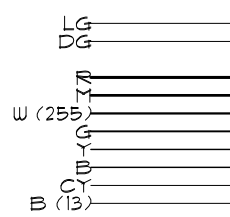
If a submitted Type II application is withdrawn before it is publicly noticed, 75% of the application fee paid will be refunded. If a submitted application is withdrawn after it is publicly noticed, but before a decision is issued, 50% of the application fee will be refunded. No refund will be given after a decision is issued.

### **Who can help answer additional questions?**

For questions about the County's land use permit requirements and this application form, contact Planning and Zoning at **503-742-4500** or [zoninginfo@clackamas.us](mailto:zoninginfo@clackamas.us). You can also find information online at the Planning and Zoning website: [www.clackamas.us/planning](http://www.clackamas.us/planning).

*Clackamas County is committed to providing meaningful access and will make reasonable accommodations, modifications, or provide translation, interpretation or other services upon request. Please contact us at 503-742-4545 or [drenhard@clackamas.us](mailto:drenhard@clackamas.us).*

**503-742-4545:** ¿Traducción e interpretación? | Требуется ли вам устный или письменный перевод?  
翻译或口译? | Cần Biên dịch hoặc Phiên dịch? | 번역 또는 통역?



**ABBREVIATIONS**

Note: See Also Project Manual/Specifications for Abbreviations.

Table of abbreviations including symbols like +/-, @, &, ACFL, ACST, ACT, ADJ, AFF, ALUM, ARCH, ASC, ASSY, AW, BD, BLDG, BLW, BTM, BOS, BYD, CHNL, CL of c, CAB, CIP, CLNG/CLG, COL, CONC, CONT, CRAC, DR, DS, SWITCH, DTL, DIA or Ø, ELEC, EQ, OR =, EQUIP, EW, EXP, EXT, EXIST, FAB, FAST, FLWK, FIN, FNDN, FTN'G, GALV, GC, GFICI, GSHP, HD, HDO, HM, HVAC, HYD, IMP, INSUL, LGMF, MDO, MECH, M/E/P, MFR, MTL, ±, NIC, OPP, PFN, FEB, PER, PLMB, PNG, PNL, REINF, REM, RSGF, RO, SCH, SIM, SPEC, SUSP, SS, STL, SST, STRUCT, T&G, TBM, THLD, TOC, TOS, TYP, UNO, VB, VER, VIF, VTR, W/, WD, WP, WSCT, WVNR, WWF, YD.

**PROJECT DESCRIPTION**

LEVEL TWO (OSSC 34 & IEBC CHAP 8) ADDITION AND ALTERATION (> 50%) OF OVERALL BUILDING AREA. OFFICES TO LAB SPACE. NO CHANGE OF OCCUPANCY.

**CODE NOTES**

ZONING: EXCLUSIVE FARM USE (EFU) - CLACKAMAS COUNTY

OCCUPANCY CLASS (EXISTING & PROPOSED): BUSINESS GROUP B

CONSTRUCTION TYPE (EXISTING & PROPOSED): VB (NON-SPRINKLERED), WOOD FRAME

LIMITATIONS: HEIGHT - 40', STORIES - TWO, AREA - 9,000sf

EXISTING BUILDING AREA: FIRST FLOOR 2,584sf, SECOND FLOOR 475sf, TOTAL 3,059sf

ADDITION AREA: FIRST 494sf, TOTAL (W/ADD) 3,553sf

ALTERATION AREA: GROSS 1,167sf

WASTE WATER: SEE SITE PLAN A1.1 FOR NARRATIVE AND CALCULATIONS.

FIRE RESISTIVE REQUIREMENTS: ALL BUILDING ELEMENTS - ZERO (0), CORRIDOR FIRE RESISTANCE RATING NOT REQUIRED FOR GROUP-B WITH ONLY ONE REQUIRED EXIT

FIRE SEPARATION REQUIREMENTS: SOUTH 20'-0", NORTH 30'-0", EXT WALLS - ZERO (0), EXT WALL MAX OPENINGS: NORTH NO LIMIT, SOUTH 45% MAX

MAX OCCUPANCY: BUSINESS GROUP B = 150sf GROSS / OCCUPANT, EXISTING BLDG - 3,059sf (2,584 1st + 475 2nd) (20 OCCUPANTS), PROPOSED ADDITION 494sf, TOTAL 3,553sf (23 OCCUPANTS), NEW LAB AREA - 1,691sf/150 = 11 OCCUPANTS, REMAINDER OF BLDG - 1,862sf/150 = 12 OCCUPANTS

MEANS OF EGRESS (EXIT ACCESS, EXIT, EXIT DISCHARGE): REQ'D EXITS - ONE REQ'D (LESS THAN 30 OCCUPANTS UNSPRINKLERED 1006.2.1) TWO PROVIDED, MAX COMMON PATH OF EGRESS DISTANCE = 100' (LESS THAN 30 OCCUPANTS UNSPRINKLERED), EXIT ACCESS TRAVEL DISTANCE = 200'

EGRESS DOOR SIZE (1010.1.1): MIN 32"x80"

ACCESSIBILITY (CHAPTER 11): REQUIRED AT ALL MODIFIED SPACES AND SITE

PARKING 2.7/1000SF = 9 SPACES

MINIMUM NUMBER OF REQ'D PLUMBING FIXTURES (2902.1): WATER CLOSETS 1/25 FOR FIRST 50 = ONE REQ'D\*, LAVS 1/40 FOR FIRST 80 = ONE REQ'D\*, ALTERATION OF PRIMARY USE ALSO REQUIRES TOILET FACILITIES AND DRINKING FOUNTAIN, OSSC 2902.2, EXCEPTION 4, BUSINESS OCCUPANCY WITH AN OCCUPANT LOAD OF 25 OR FEWER, (1) SINGLE USER/UNISEX BATHROOM ALLOWED

**GENERAL NOTES**

- 1. COORDINATE WITH UTILITIES SERVICE PROVIDERS. COMPLY WITH ALL APPLICABLE BUILDING CODES AND STANDARDS.
- 2. COORDINATE ROUGH-IN REQUIREMENTS. PROVIDE STUD SPACING, BLOCKS, ETC. TO SUIT VARIOUS EQUIPMENT, REGISTERS, GRILLES, ETC. TO BE BUILT-IN.
- 3. PROVIDE BLOCKING AND SOLID GROUNDS FOR ALL EQUIPMENT AND ACCESSORIES SUCH AS: FIXTURES, TOILET PARTITIONS, WALL MOUNTED DOOR STOPS, HARDWARE, SHELVING, CABINETS, APPLIANCES, PLUMBING FIXTURES, OPENING SUB-FRAMES, ETC.
- 4. ALL CONCEALED WOOD BLOCKING SHALL BE OF #2 GRADE, PRESSURE PRESERVATIVE TREATED (PT)
- 5. ALL WOOD IN CONTACT WITH EARTH, MASONRY, CONCRETE OR STEEL SHALL BE PRESSURE PRESERVATIVE TREATED (PT).
- 6. AT ROOF PENETRATIONS PROVIDE FLASHING CAPS, ROOFING MASTIC AND MEMBRANES AS REQUIRED TO THOROUGHLY MAKE PENETRATIONS WATERTIGHT. USE FLASHING COMPATIBLE WITH ROOF MATERIAL. PROTECT VENTS FROM ULTRAVIOLET LIGHT BY PAINTING, OR COVERING VENT MATERIAL. COORDINATE WITH SPECIFICATIONS.
- 7. CAULK, SEAL, OR WEATHER STRIP ALL OPENINGS, CRACKS, AND INTERSECTIONS OF MATERIALS WHERE WEATHER-TIGHTNESS IS NEEDED, AIR-TIGHTNESS IS NEEDED, INSECT CONTROL IS NEEDED, OR WHERE APPEARANCE IS IMPORTANT. INTENT IS A NEAT, WEATHER TIGHT, FINISHED PROJECT. PROVIDE CAULKING AT PLUMBING FIXTURE INTERFACE WITH FLOORS, WALKS, ETC.
- 8. PROVIDE CONTINUOUS BATT INSULATION (OR OTHER INSULATION THAT MAY BE CALLED FOR) BETWEEN AIR CONDITIONED AND UNCONDITIONED AREAS AT WALLS, AND CEILINGS, UNLESS SHOWN OTHERWISE.
- 9. PROVIDE INSULATION OVER ALL RECESSED FIXTURES AND EQUIPMENT IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS AND UL REQUIREMENTS.
- 10. PROVIDE EXPANSION JOINTS TO SUIT; CONTRACTOR ADVISE OWNER'S AUTHORIZED REPRESENTATIVE (OAR) OF ADDITIONAL JOINT RECOMMENDATIONS PRIOR TO CONSTRUCTION.
- 11. ALL ALUMINUM SURFACES, IN CONTACT WITH MASONRY WORK, MORTAR, OR CONCRETE, SHALL BE GIVEN A HEAVY PROTECTIVE COATING OF BITUMINOUS PAINT.
- 12. PROVIDE GALVANIC ISOLATION BETWEEN DISSIMILAR METALS.
- 13. FOR METAL STUD/JOIST/RAFTER CONSTRUCTION, FOLLOW METHODS AND PROCEDURES OF INDUSTRY. PROVIDE STIFFENERS, CONNECTIONS, CLIPS, STRAPS, "X" BRACING, COLLARS, STRUTS, ETC. FOR STRUCTURAL INTEGRITY AS SHOWN.
- 14. UNLESS NOTED OTHERWISE, USE HOT DIP GALVANIZED OR SS FASTENERS AT ALL CONNECTIONS, WHERE EXPOSED TO WEATHER DURING OR AFTER CONSTRUCTION.
- 15. ALL FASTENERS SUIT LOADS AND CONDITIONS.
- 16. PROVIDE ARCHITECT WITH A DIGITAL COPY OF RECORD DRAWINGS.

**CONSTRUCTION CODES**

2019 OREGON STRUCTURAL SPECIALTY CODE (OSSC)
2019 OREGON MECHANICAL SPECIALTY CODE
2017 OREGON PLUMBING SPECIALTY CODE
2017 OREGON ELECTRICAL SPECIALTY CODE
2019 OREGON FIRE CODE
2019 OREGON ZERO ENERGY READY COMMERCIAL CODE
OREGON ENERGY CODE PUBLICATIONS AND SOFTWARE
2018 INTERNATIONAL EXISTING BUILDING CODE (IEBC)

**DESIGN ASSUMPTIONS FOR PROJECT**

CLIMATE ZONE 4C
WIND SPEED 120MPH ULTIMATE / 93MPH
NOMINAL SNOW LOADING 20 PSF
FROST DEPTH 12 INCHES BELOW GRADE
SOIL BEARING CAPACITY VARIES
SEISMIC ZONE D-COMMERCIAL
SEISMIC COEFFICIENT BASED ON SOIL TYPE
SOIL PROFILE TYPE VARIES
CLACKAMAS COUNTY / DESIGNATION: EFU / URBAN GROWTH BOUNDARY: OUTSIDE
CLIMATE ZONE: 4C / RISK CATEGORY: "II" WIND SPEED 120 / SEISMIC DESIGN CLASS: "D1" / SNOW LOAD: 25PSF / ASHRAE ZONE 4 FOR INSULATION

**EXT ACCESSIBLE ROUTES - SPECIAL NOTES & REQUIREMENTS:**

TOLERANCES & QUALITY CONTROL: CONTRACTOR SHALL COMPLY WITH PART 4 OF THE ACCESS BOARD RESEARCH FINAL REPORT "INITIATIVE ON DIMENSIONAL TOLERANCES IN CONSTRUCTION, DIMENSIONAL TOLERANCES FOR SURFACE ACCESSIBILITY" JANUARY 2011. THE SUGGESTED TOLERANCES AND MEASUREMENT PROTOCOLS ARE INCORPORATED INTO THIS PROJECT AS REQUIREMENTS, TO WHICH THE CONTRACTOR SHALL ADHERE. IN THE REFERENCED REPORT, OPTIONAL TERMS SHALL BE INTERPRETED AS MANDATORY LANGUAGE (I.E. - REPLACE "SHOULD" IN THE REPORT LANGUAGE WITH "SHALL"). THE CONTRACTOR SHALL CONDUCT QUALITY CONTROL AND KEEP WRITTEN RECORDS DURING CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE A FINAL WRITTEN RECORD OF QUALITY CONTROL CHECKS, MADE AT THE CONTRACTOR'S EXPENSE, TO THE ENGINEER-OF-RECORD SHOWING COMPLIANCE WITH MEASUREMENT PROTOCOLS AND TOLERANCES OF PART 4, SECTION 1 OF THE REFERENCED ACCESS BOARD RESEARCH FINAL REPORT FOR ALL COMPLETED ACCESSIBLE EXTERIOR ELEMENTS (PARKING STALLS & AISLES, CURB RAMPS, RAMPS, WALKWAYS, HANDRAILS, PASSENGER LOADING ZONES). WRITTEN RECORDS DURING CONSTRUCTION AND THE FINAL WRITTEN REPORT SHALL CLEARLY SHOW THE FOLLOWING INFORMATION, AT A MINIMUM:
1. MEASUREMENT TOOL(S) UTILIZED, WITH DESCRIPTION OF ACCURACY, PRECISION, AND CALIBRATION METHOD (INCLUDING DATE)
2. REFERENCE TO SECTION IN PART 4 OF FINAL REPORT FOR MEASUREMENT PROTOCOL AND TOLERANCE CHECKED.
3. SKETCH OR DIAGRAM SHOWING LOCATION & FREQUENCY OF MEASUREMENTS, INCLUDING MEASUREMENT STARTING POINTS.
4. FLAG AREAS NOT MEETING CONTRACT DOCUMENT REQUIREMENTS, AND NOTE PLAN FOR OR HOW ISSUE WAS RESOLVED. CONTRACTOR SHALL NOTIFY THE ENGINEER-OF-RECORD OF ANY ACCESSIBLE ELEMENTS WHICH EXCEED THE MOST RESTRICTIVE REQUIREMENTS OF THE PROJECT DRAWINGS; OSU CAMPUS CONSTRUCTION STANDARDS; REFERENCED ACCESS BOARD FINAL REPORT, PART 4; PROJECT SPECIFICATIONS.

NOTICE: ANY ACCESSIBLE PARKING SPACE, AISLE, RAMP, OR WALKWAY CONSTRUCTED WITH A GROSS SLOPE EXCEEDING 2%, A LONGITUDINAL SLOPE EXCEEDING THE LIMITS ESTABLISHED IN THE OREGON STRUCTURAL SPECIALTY CODE; OR THE TOLERANCES INDICATED IN THE REFERENCED ACCESS BOARD RESEARCH FINAL REPORT ABOVE, SHALL BE REPLACED AT CONTRACTOR'S EXPENSE.

QUALITY ASSURANCE & VERIFICATION OF SURFACE ACCESSIBILITY: OWNER WILL ENGAGE A 3RD PARTY CONSULTANT TO PERFORM AN ON-SITE ACCESSIBILITY EVALUATION OF THE PROJECT TO VERIFY THAT ALL ACCESSIBILITY-RELATED ELEMENTS HAVE BEEN CONSTRUCTED PER THE DRAWINGS AND SPECIFICATIONS. ANY ELEMENTS THAT ARE NON-COMPLIANT SHALL BE ADDED TO THE PUNCHLIST OF ITEMS TO BE CORRECTED BY THE CONTRACTOR, AT THE CONTRACTOR'S EXPENSE.

**DRAWING INDEX**

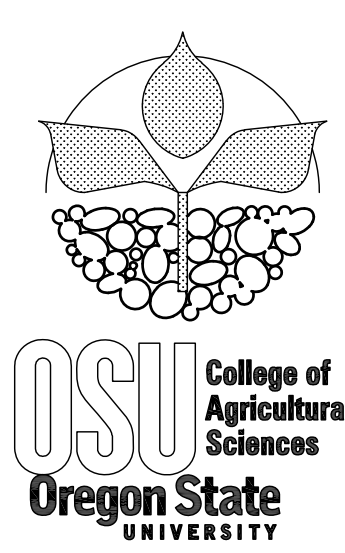
- A0.1 PROJECT DATA & LOCATION PLAN
A1.1 SITE PLAN
A1.2 EXISTING/DEMO PLANS
A1.3 FOUNDATION PLAN
A1.4 NEW FLOOR PLAN
A1.5 FOUNDATION PLAN
A2.1 EXISTING EXT ELEVATIONS & DEMO
A2.2 EXTERIOR ELEVATIONS
A3.1 BUILDING SECTIONS
A5.3 DETAILS
A6.1 INTERIOR ELEVATIONS
A6.2 OPENINGS, SINK, CABS, & SCHEDULES

**PROJECT DIRECTORY**

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NWREC LAB RENEWAL
15210 NE MILEY ROAD, AURORA OR 97002

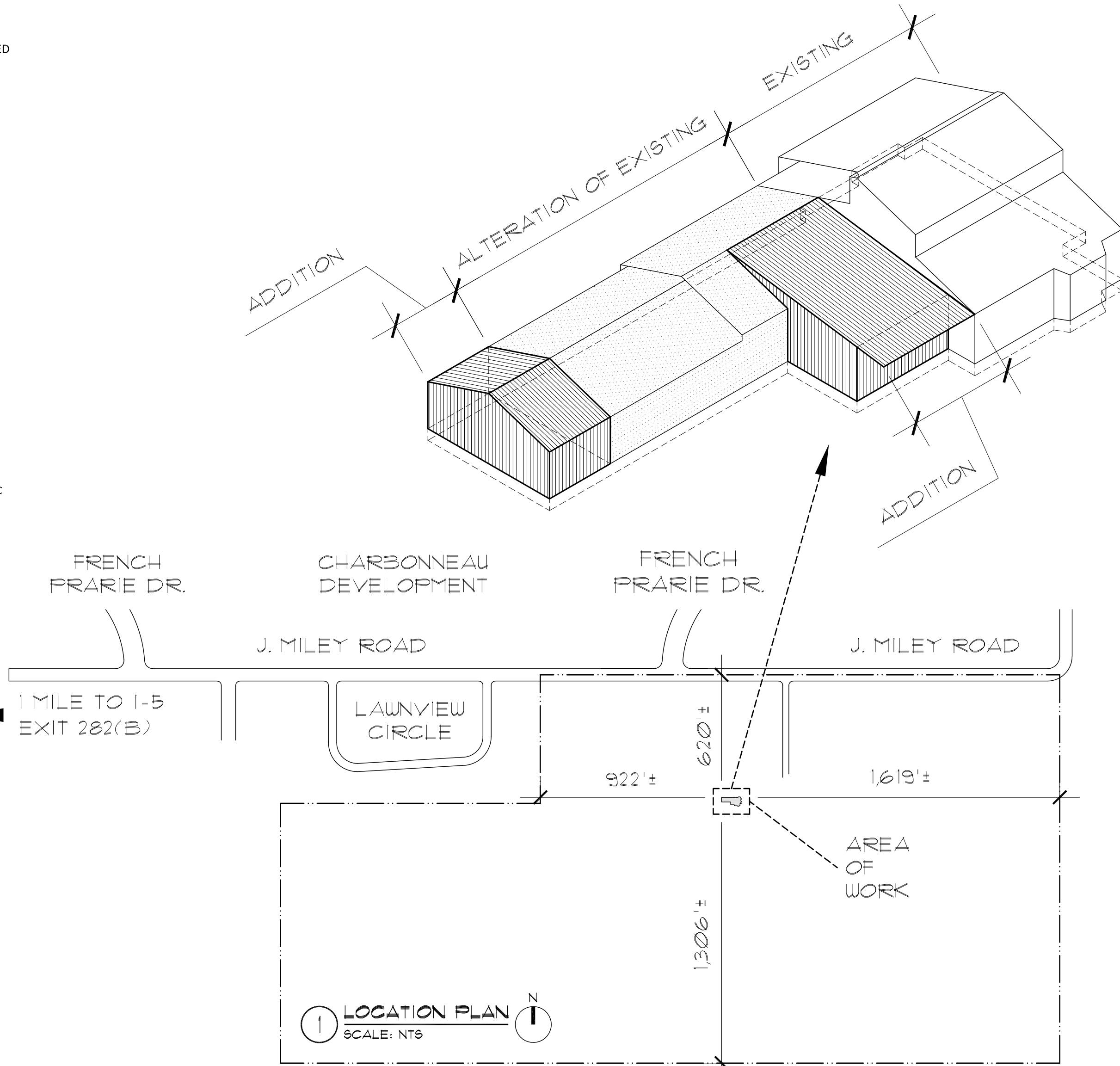
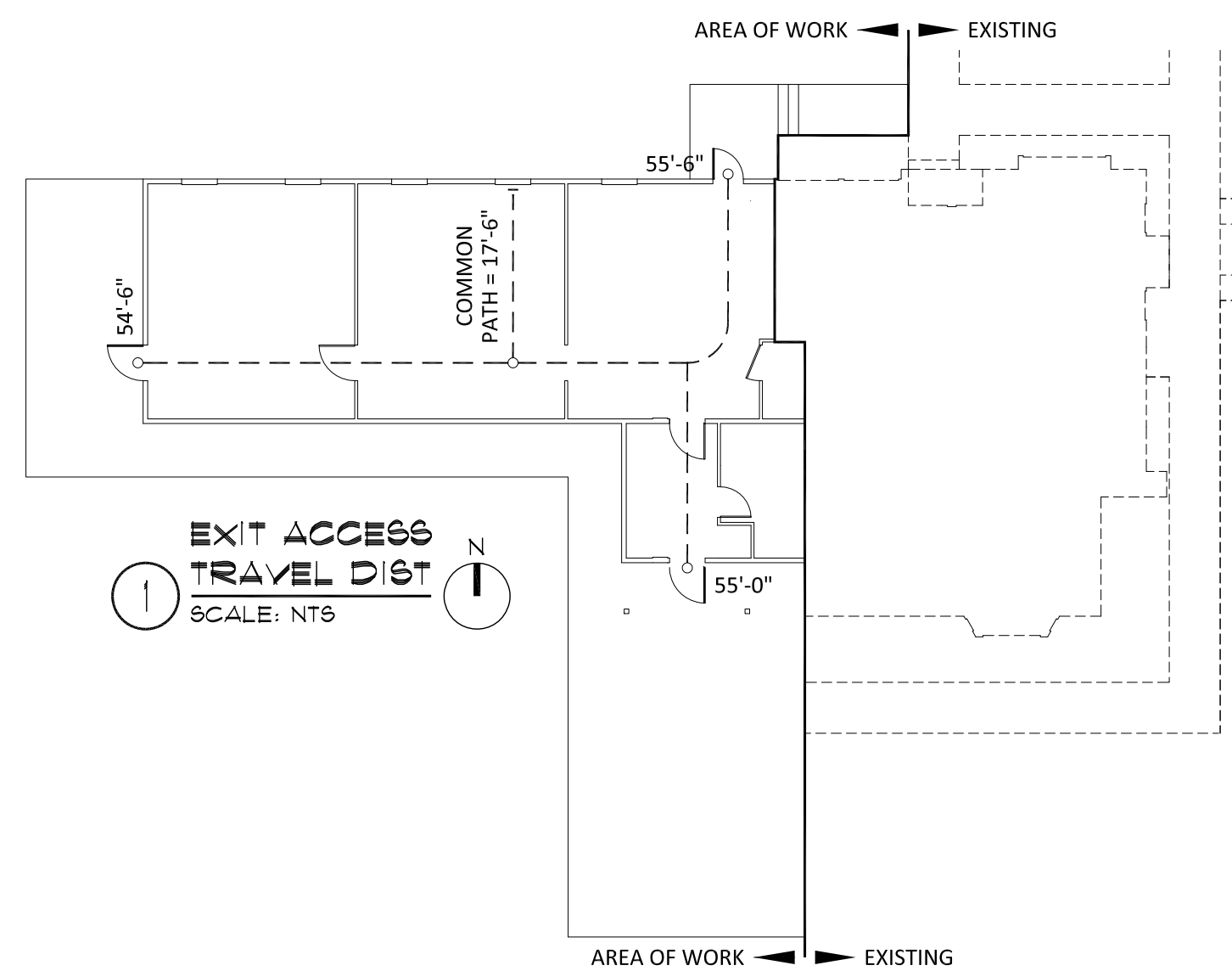
Table with project location and identification info: county (CLCKMS), range & township (R1WT3S), section (25), taxlot (31W25), Project # (798), Building # (798), Permit # (BLD??-?????)

Table for revisions: REVISION ISSUE, DATE, NUMBER

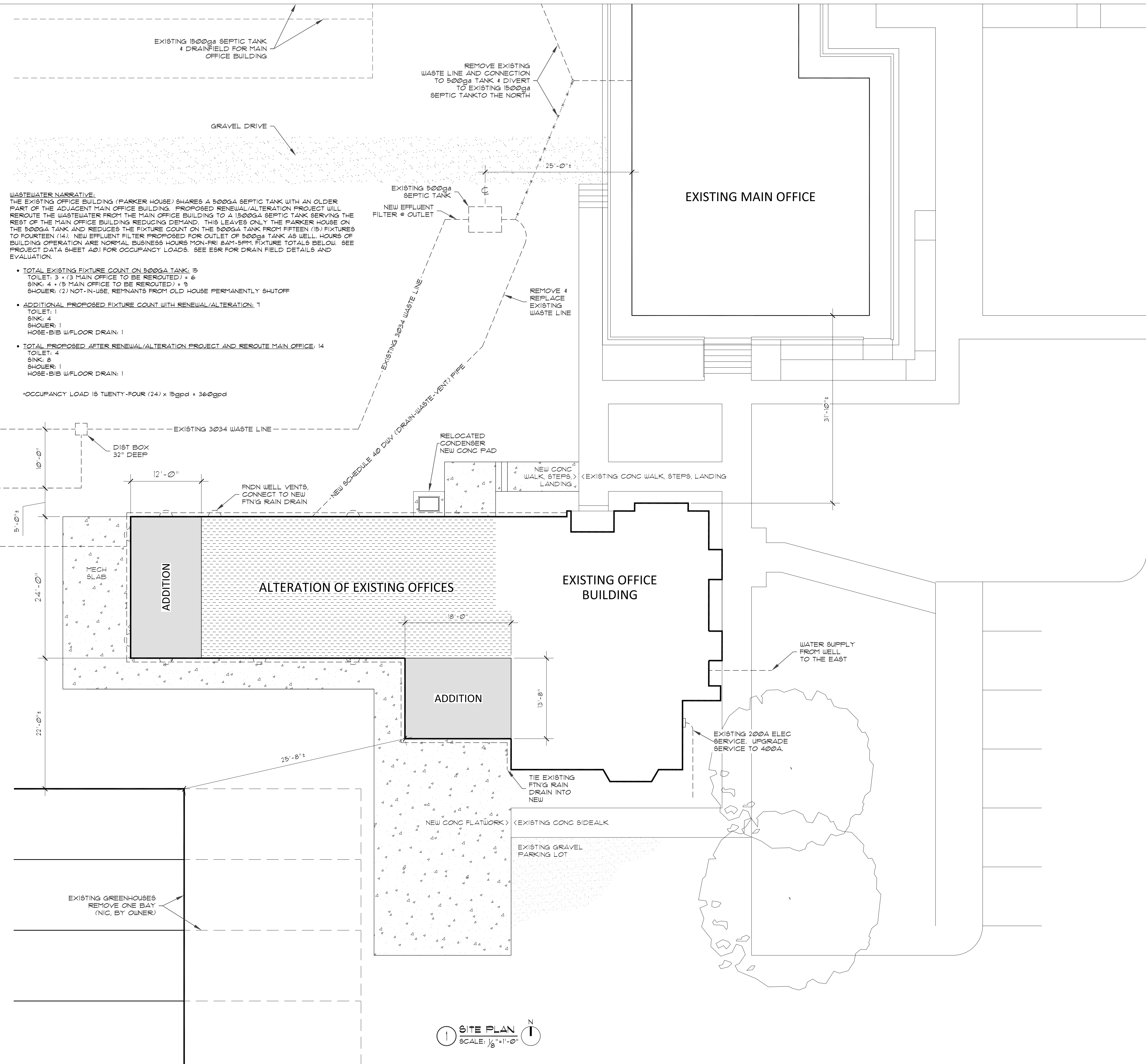
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PROJECT DATA & LOCATION PLAN

Number: A 0.1



15' 0" (15)  
 10' 0" (10)  
 5' 0" (5)  
 0' 0" (0)

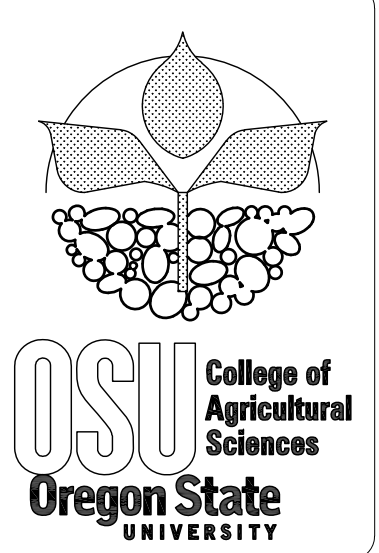


**WASTEWATER NARRATIVE:**  
 THE EXISTING OFFICE BUILDING (PARKER HOUSE) SHARES A 500GA SEPTIC TANK WITH AN OLDER PART OF THE ADJACENT MAIN OFFICE BUILDING. PROPOSED RENEWAL/ALTERATION PROJECT WILL REROUTE THE WASTEWATER FROM THE MAIN OFFICE BUILDING TO A 1500GA SEPTIC TANK SERVING THE REST OF THE MAIN OFFICE BUILDING REDUCING DEMAND. THIS LEAVES ONLY THE PARKER HOUSE ON THE 500GA TANK AND REDUCES THE FIXTURE COUNT ON THE 500GA TANK FROM FIFTEEN (15) FIXTURES TO FOURTEEN (14). NEW EFFLUENT FILTER PROPOSED FOR OUTLET OF 500ga TANK AS WELL. HOURS OF BUILDING OPERATION ARE NORMAL BUSINESS HOURS MON-FRI 8AM-5PM. FIXTURE TOTALS BELOW. SEE PROJECT DATA SHEET A01 FOR OCCUPANCY LOADS. SEE EBR FOR DRAIN FIELD DETAILS AND EVALUATION.

- TOTAL EXISTING FIXTURE COUNT ON 500GA TANK: 15  
 TOILET: 3 (3 MAIN OFFICE TO BE REROUTED) + 6  
 SINK: 4 + (5 MAIN OFFICE TO BE REROUTED) + 3  
 SHOWER: (2) NOT-IN-USE, REMNANTS FROM OLD HOUSE PERMANENTLY SHUTOFF
- ADDITIONAL PROPOSED FIXTURE COUNT WITH RENEWAL/ALTERATION: 7  
 TOILET: 1  
 SINK: 4  
 SHOWER: 1  
 HOSE-BIB W/FLOOR DRAIN: 1
- TOTAL PROPOSED AFTER RENEWAL/ALTERATION PROJECT AND REROUTE MAIN OFFICE: 14  
 TOILET: 4  
 SINK: 8  
 SHOWER: 1  
 HOSE-BIB W/FLOOR DRAIN: 1

• OCCUPANCY LOAD IS TWENTY-FOUR (24) x 15gpd = 360gpd

1 SITE PLAN  
 SCALE: 1/8"=1'-0"



stamp

stamp

project title & address  
**NWREC LAB RENEWAL**  
 15210 NE MILEY ROAD, AURORA OR 97002

county	range & township
CLKMS	R1WT3S
section	taxlot
25	31W25
Project #	Building #
.	798
Permit #	
BLD??-????	

revisions	
REVISION ISSUE	
DATE	NUMBER

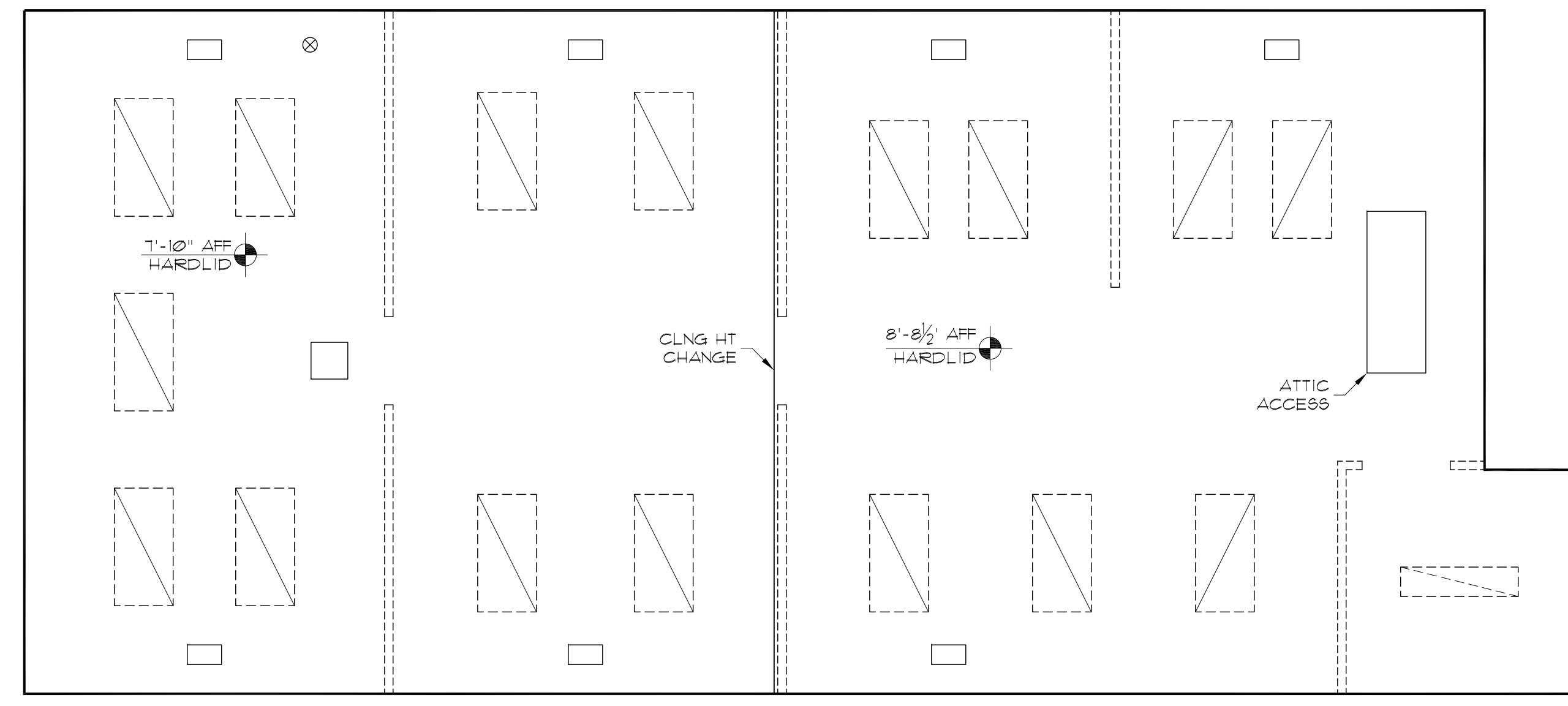
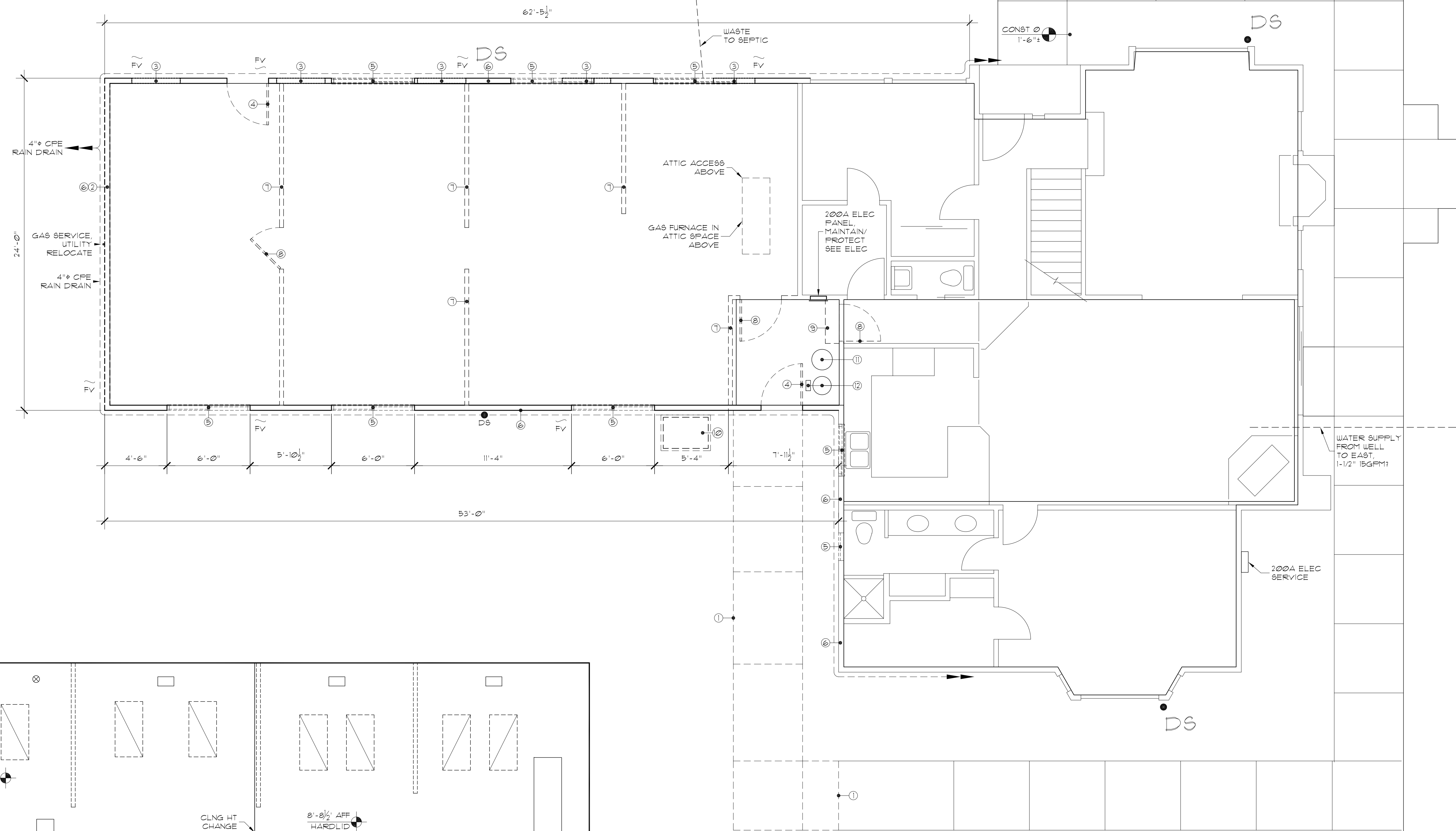
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SITE PLAN  
 Number

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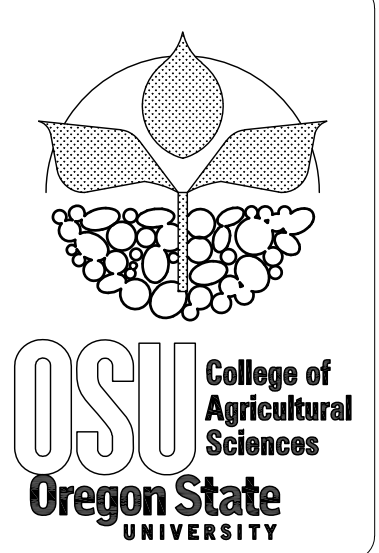
DS  
 W (2004)  
 C  
 B (75)

- DEMOLITION KEY NOTES**
1. DEMO/REMOVE FLATWORK, SAW-CUT AS NECESSARY.
  2. DEMO/REMOVE NON-BEARING 2X WOOD STUD END-WALL, INT 4 EXT SHEATHING, AND ASSOCIATED M/E/P.
  3. DEMO/REMOVE EXISTING WALL AND SHEATHING TO ACCOMMODATE NEW CONSTRUCTION.
  4. DEMO/REMOVE DOOR, DOOR FRAME, 4 TRIM. INFILL WITH FRAMING AND SHEATHING TO ACCOMMODATE NEW CONSTRUCTION AND MATCH EXISTING.
  5. DEMO/REMOVE VINYL WINDOW AND TRIM. INFILL WITH FRAMING AND SHEATHING TO ACCOMMODATE NEW CONSTRUCTION AND MATCH EXISTING.
  6. DEMO/REMOVE VINYL SIDING 4 TRIM.
  7. DEMO/REMOVE NON-BEARING INTERIOR WOOD STUD WALL, SHEATHING, DOORS AND ASSOCIATED MECHANICAL AND ELECTRICAL.
  8. DEMO/REMOVE INTERIOR DOOR, FRAME, 4 TRIM.
  9. DEMO/REMOVE INTERIOR STAIR. REPAIR SUBFLOOR.
  10. DEMO/REMOVE CONDENSER, ASSOCIATED MEP, AND CONC BASE PAD.
  11. WATER HEATER.
  12. MECHANICAL DUCT.



1 EXISTING/DEMO FLOORPLAN  
 SCALE: 1/4" = 1'-0"

2 EXISTING/DEMO REFLECTED CEILING PLAN  
 SCALE: 1/8" = 1'-0"



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stamp

**NWREC LAB RENEWAL**  
 15210 NE MILEY ROAD, AURORA OR 97002

county range & township  
 CLCKMS R1WT3S  
 section taxlot  
 25 31W25  
 Project # Building #  
 . 798  
 Permit #  
 BLD??-?????

revisions

REVISION	ISSUE
DATE	NUMBER

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 03/26/21 .

EXISTING/DEMO PLANS

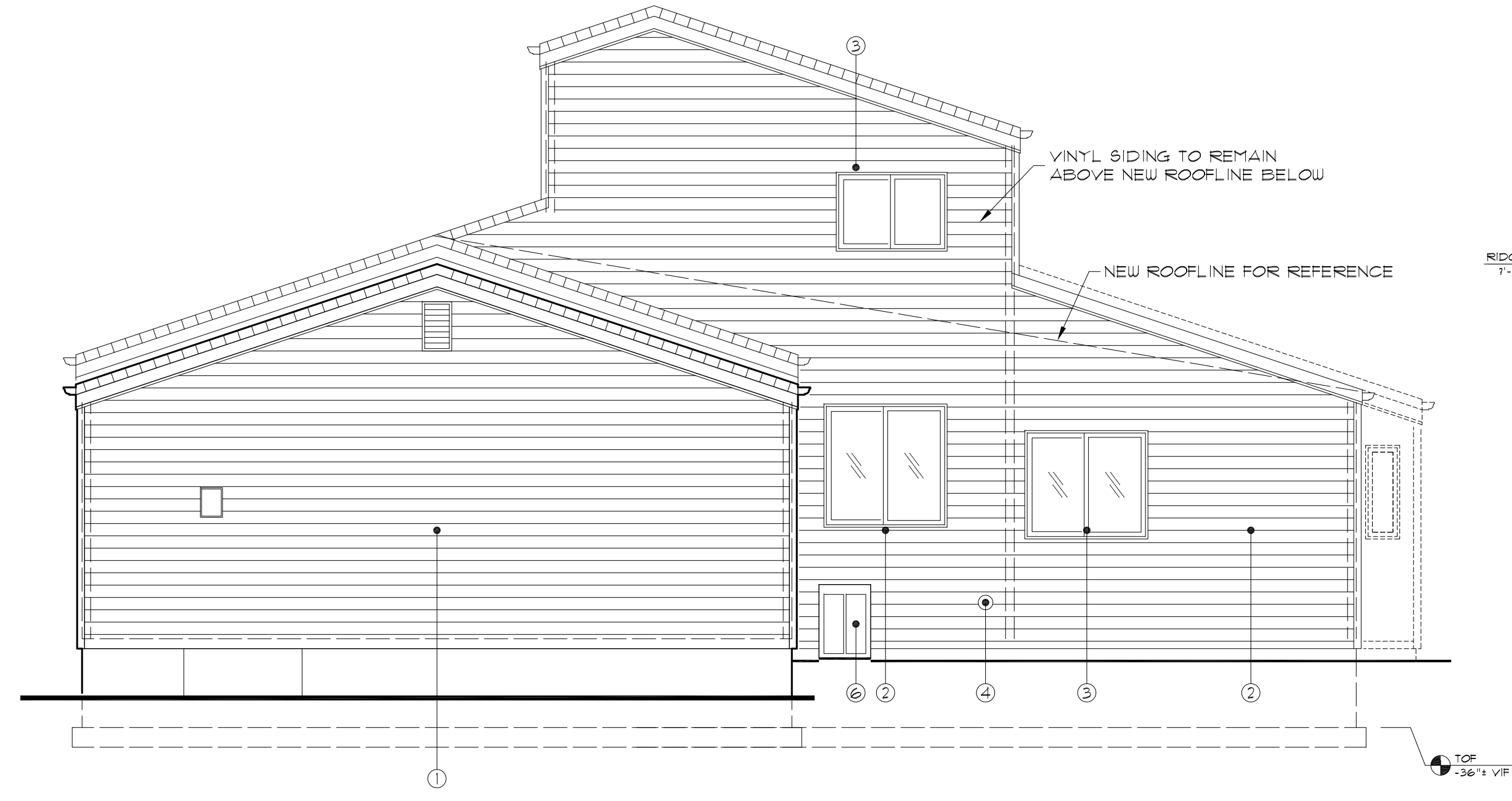
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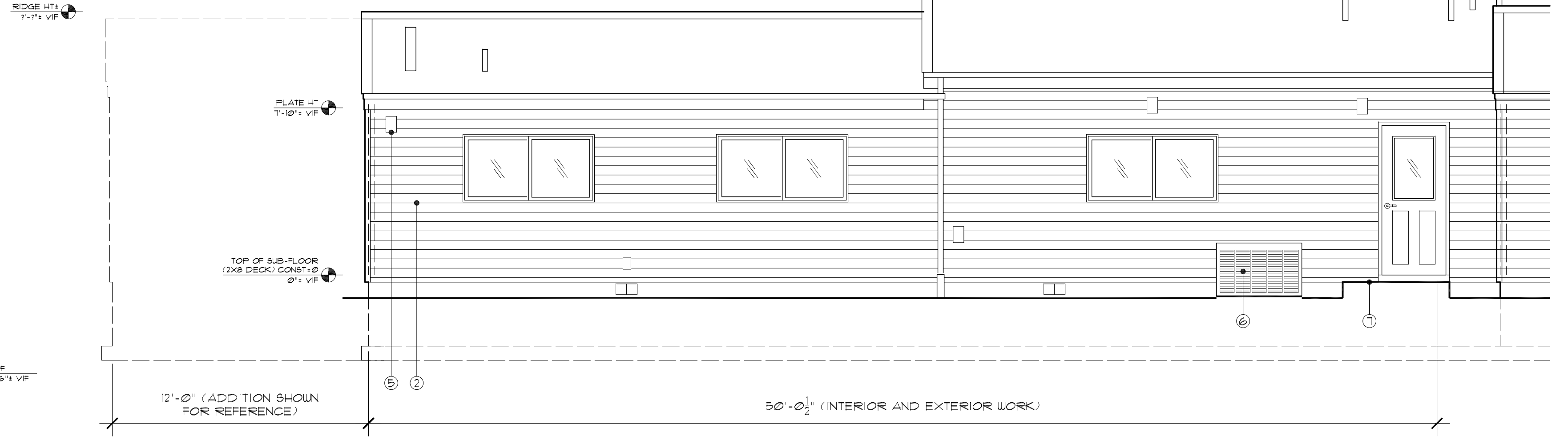


D5  
 8  
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 B (75)

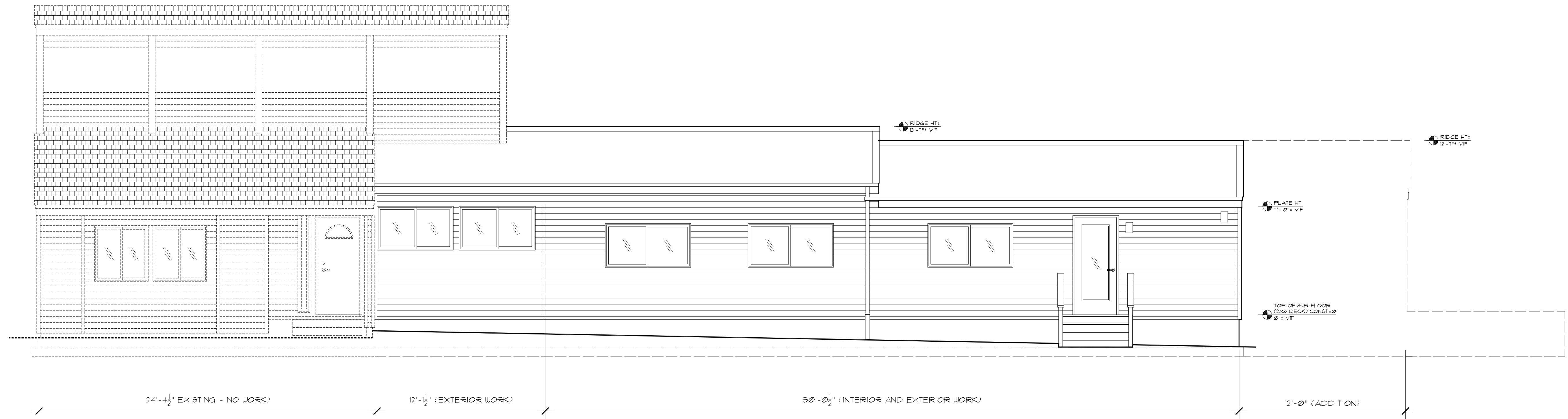
- GENERAL DEMOLITION NOTES**
1. DEMO/REMOVE NON-BEARING WOOD STUD WALL, SHEATHING, SIDING, VENTS.
  2. DEMO/REMOVE VINYL SIDING
  3. DEMO/REMOVE VINYL WINDOW AND TRIM.
  4. DEMO/REMOVE EXTERIOR DOOR AND TRIM.
  5. DEMO/REMOVE EXISTING LIGHT FIXTURE
  6. DEMO/REMOVE CONDENSER AND ASSOCIATED MEP
  7. DEMO/REMOVE FLATWORK, SAW-CUT AS NECESSARY.



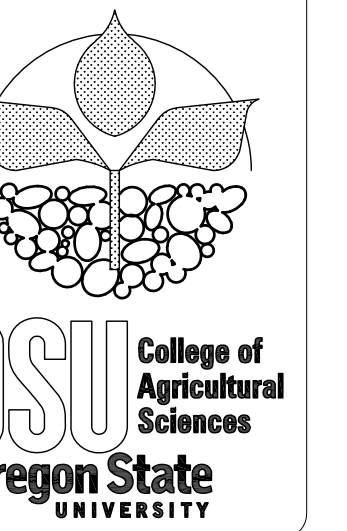
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 SCALE: 1/4"=1'-0"



2 EXISTING/DEMO ELEVATION - S  
 SCALE: 1/4"=1'-0"



1 EXISTING/DEMO ELEVATION - N  
 SCALE: 1/4"=1'-0"



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stamp

**NWREC LAB RENEWAL**  
 15210 NE MILEY ROAD, AURORA OR 97002

project title & address

county	range & township
BENTON	.
section	taxlot
.	.
Project #	Building #
.	.
Permit #	
BLD??-?????	

REVISION ISSUE	
DATE	NUMBER

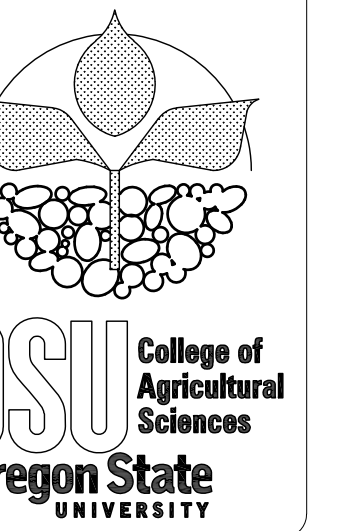
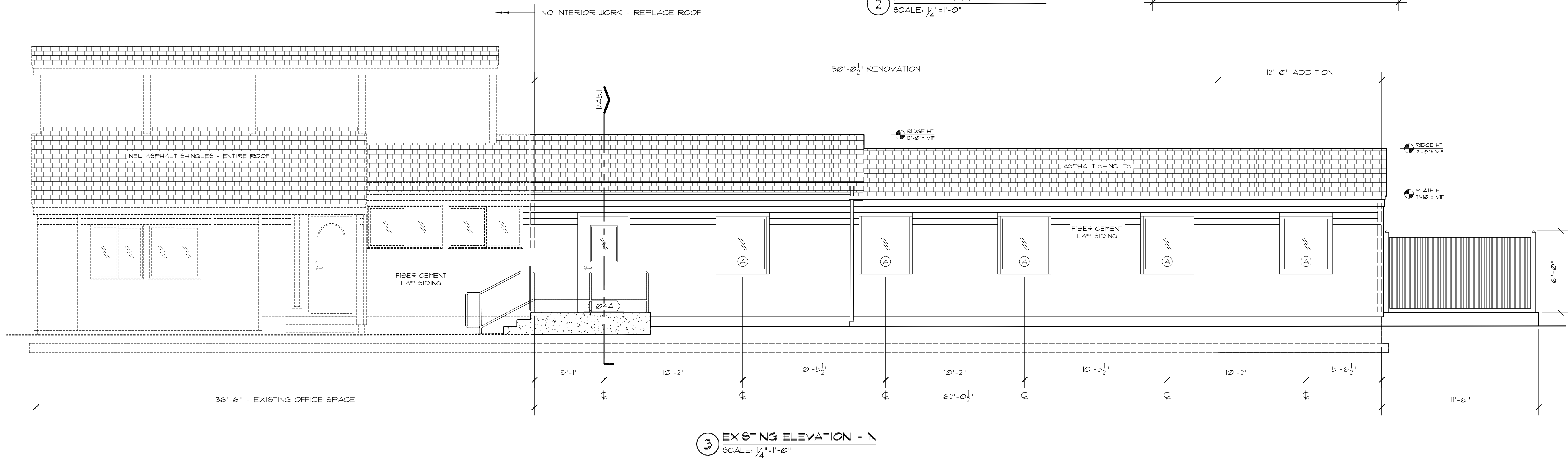
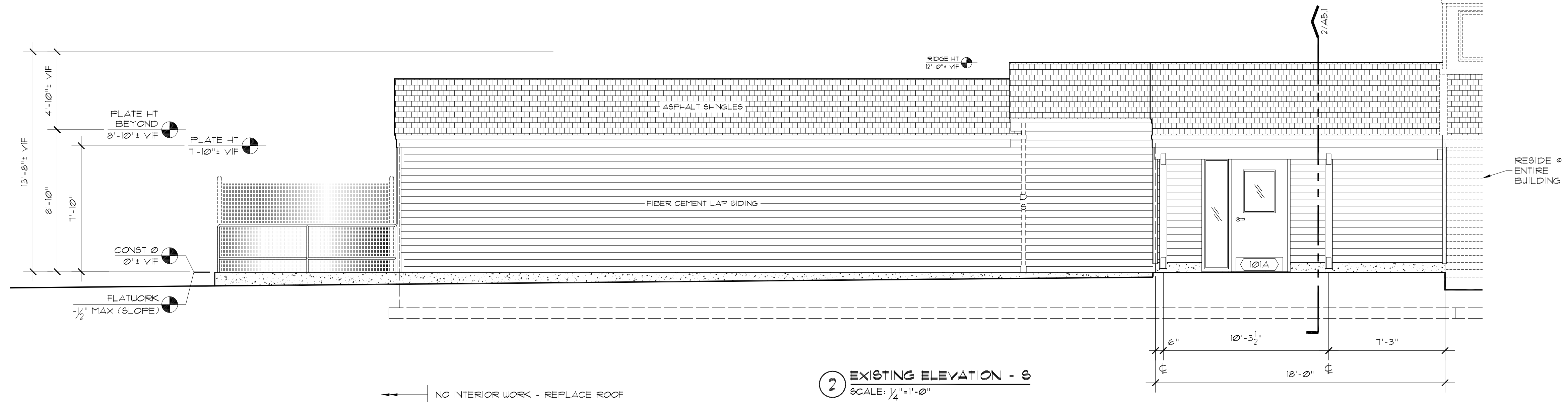
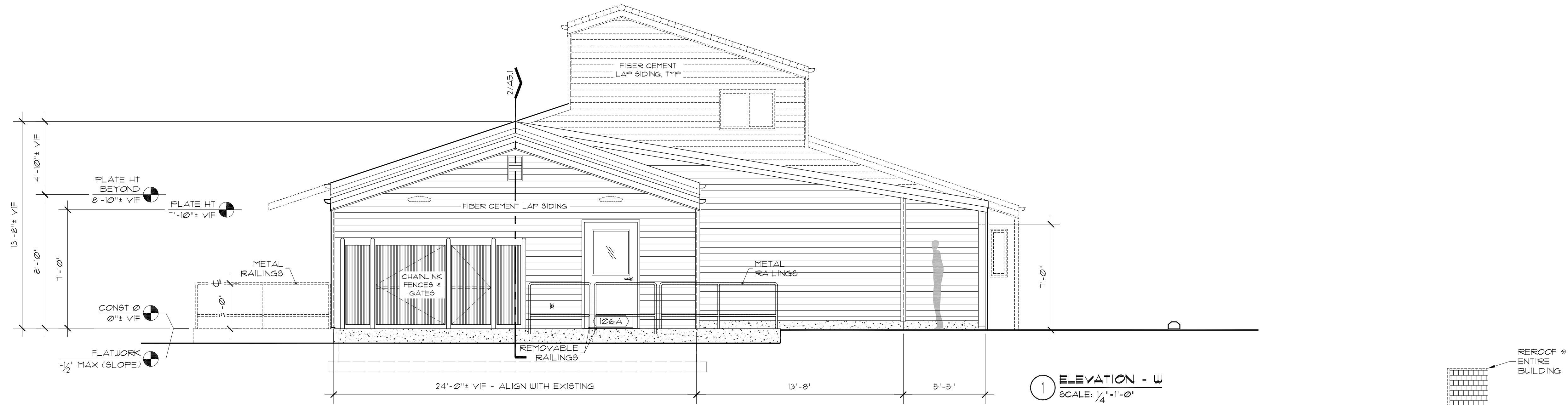
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EXISTING EXT ELEVATIONS & DEMO  
 Number

**A 2.1**

1/8" = 1'-0"  
 1/4" = 3'-0"  
 1/2" = 6'-0"  
 3/4" = 9'-0"  
 1" = 12'-0"

GENERAL ELEVATION NOTES



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**NWREC LAB RENEWAL**  
 15210 NE MILEY ROAD, AURORA OR 97002

Project title & address

county	range & township
BENTON	.
section	taxlot
.	.
Project #	Building #
.	.
Permit #	
BLD??-?????	

revisions

REVISION ISSUE	
DATE	NUMBER

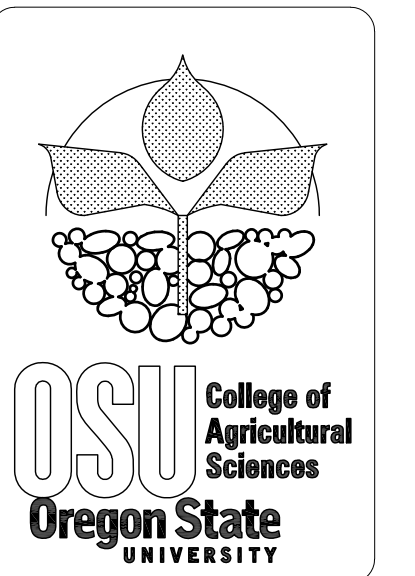
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EXTERIOR ELEVATIONS

Number A 2.2



15  
14  
13  
12  
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6  
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2  
1



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**NWREC LAB RENEWAL**  
15210 NE MILEY ROAD, AURORA OR 97002

project title & address

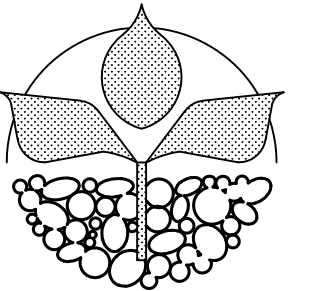
county	range & township
CLKMS	R1WT3S
section	taxlot
25	31W25
Project #	Building #
.	798
Permit #	
BLD??-????	

revisions	
REVISION	ISSUE
DATE	NUMBER

Date 03/26/21 drawn by

INTERIOR ELEVATIONS

Number A 6.1



OSU College of Agricultural Sciences  
Oregon State UNIVERSITY

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DRAFT

**NWREC Property & Location Plan**  
North Willamette Research & Extension Center  
15210 NE Miley Road  
Aurora, OR 97002

Drawn By:  
L.A.F.

County  
Clackamas

R/T & Section  
R1W/T3S - Section 25

Tax Lot  
390

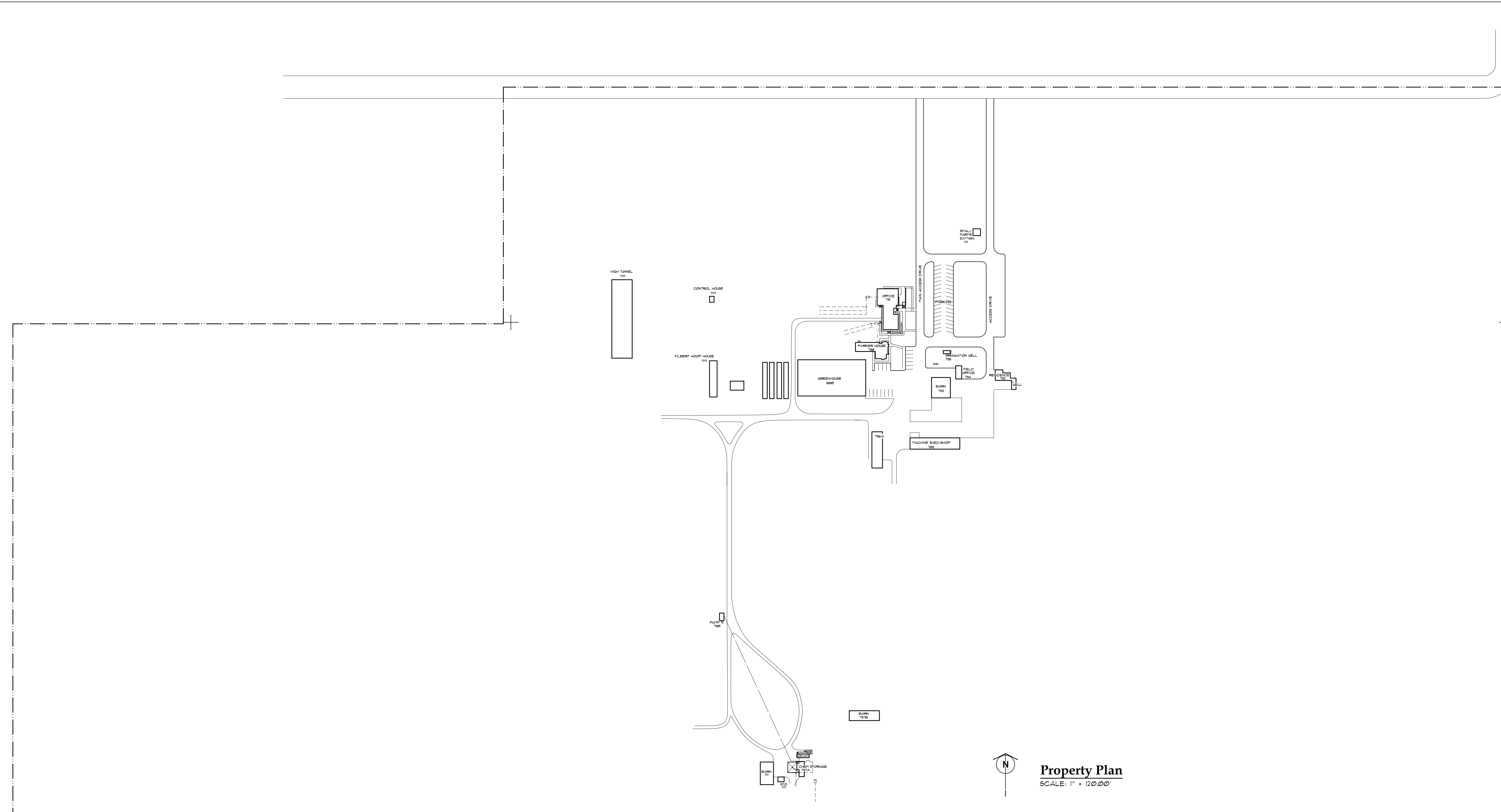
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Building Number  
SITE

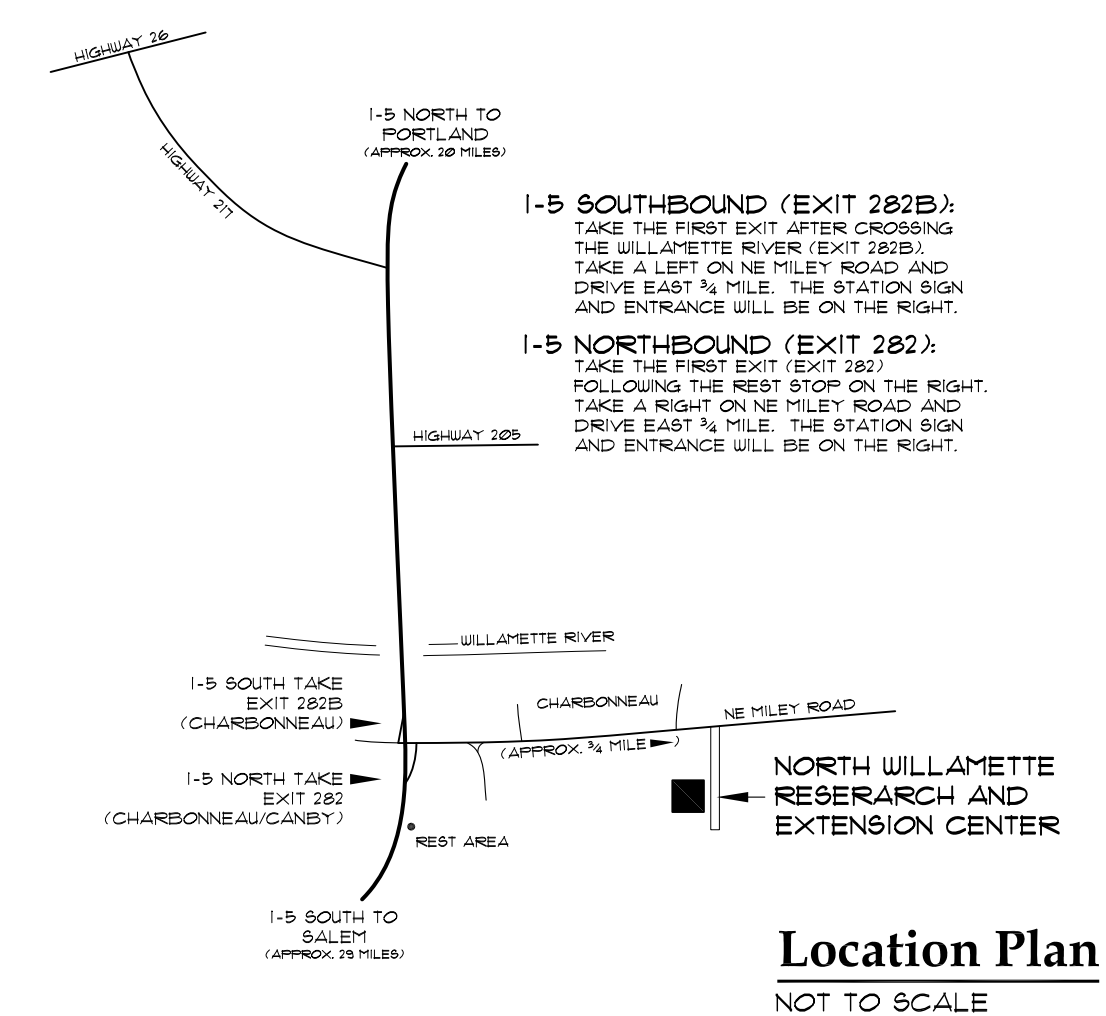
Date  
January 15, 2021

DRAWING SHEET

**A1.1**



**Property Plan**  
SCALE: 1" = 120'00"



NOT TO SCALE